

C23.
Communication
CW(PM) – May 7, 2024
Item No. 6

3300 Rutherford Road

Community Public Meeting #2
May 2024

A significantly sized site capable of accommodating a compact mixed-use, complete community, that is respectful of the context



Location: Intensification Corridor

Current/Permitted Use: Commercial

Context: Low-rise residential; high-rise mixed use residential; commercial & retail uses

Connectivity

- Highway 400
- Multiple YRT Bus Routes

Area of planned intensification
(Primary Intensification Corridor
& Intensification Centre)

Vaughan Mills
Shopping Centre

Vaughan is growing rapidly and urbanizing with **several proposed & approved developments** within the surrounding context, which 3300 Rutherford is consistent with



We have revised the 2023 submission to respond to what we heard from the community & City Staff



Render of 2023 Proposal

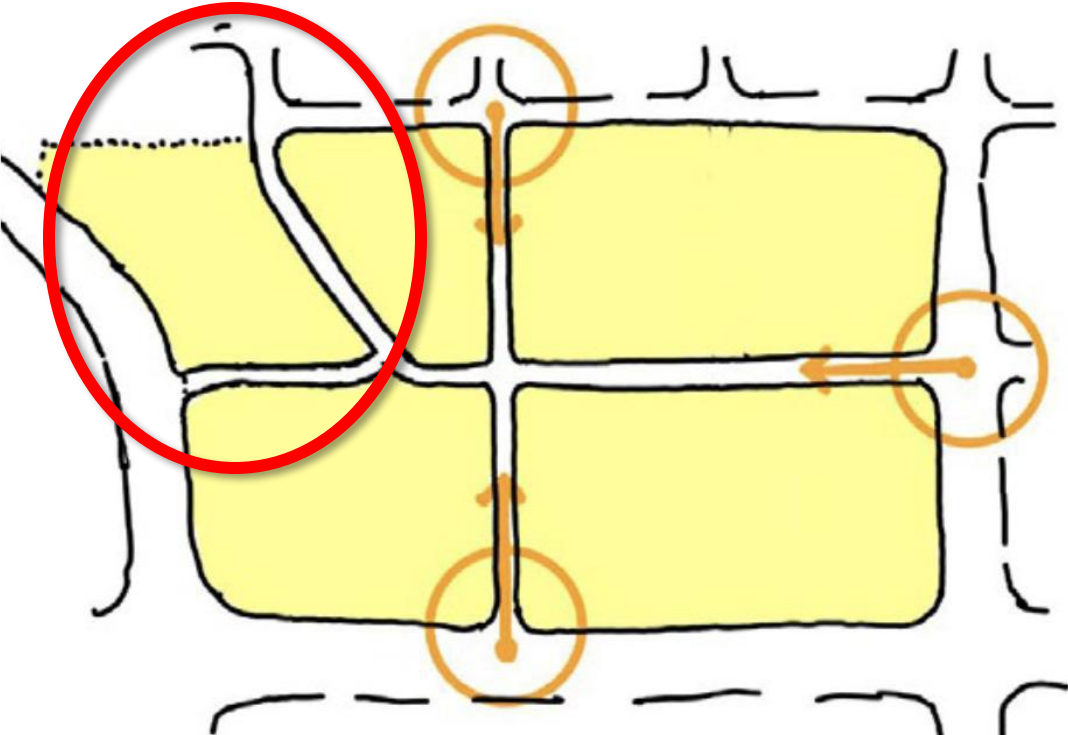
What We Heard

- Density is too high for the location
- Concerns over traffic and circulation
- Reduce tower heights
- Expand the central public park
- Improve the neighborhood interface
- Revisit locations for retail and community use

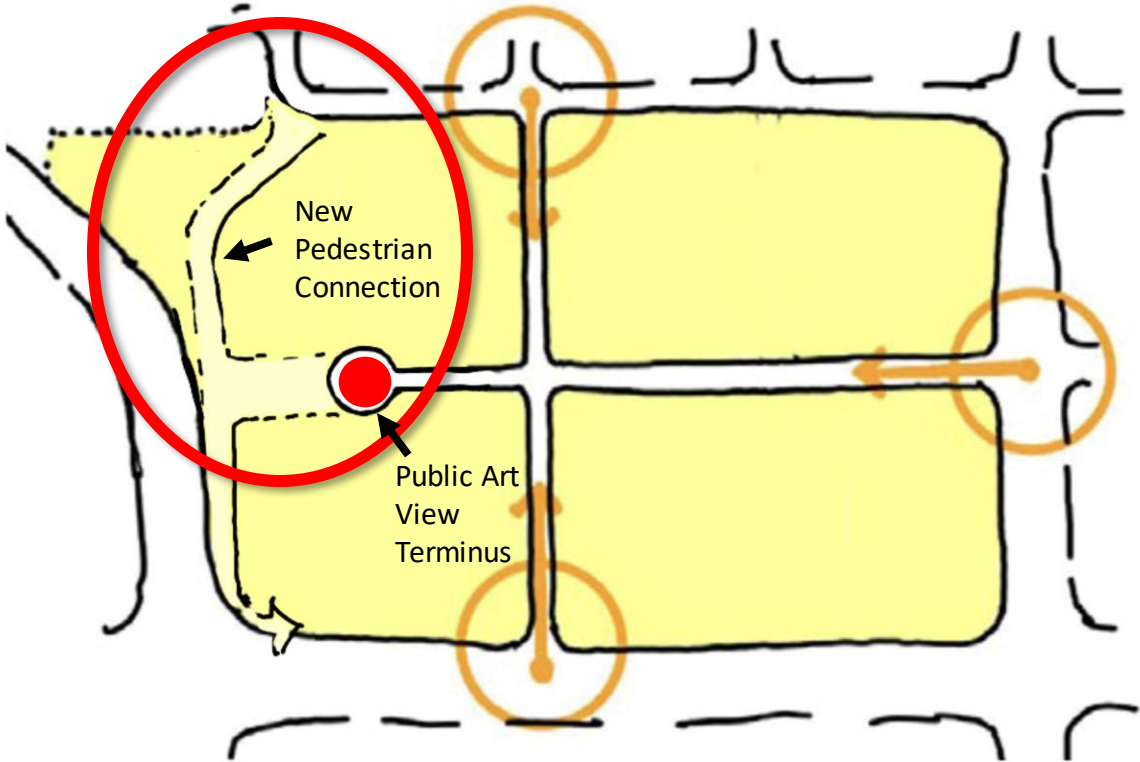
Key Revision: Reduce vehicular connections to the neighbourhood to the north

Key Changes

- Removed vehicular connection to Komura Rd
- Addition of new pedestrian pathway along the western edge of the Site



2023 Initial Proposal

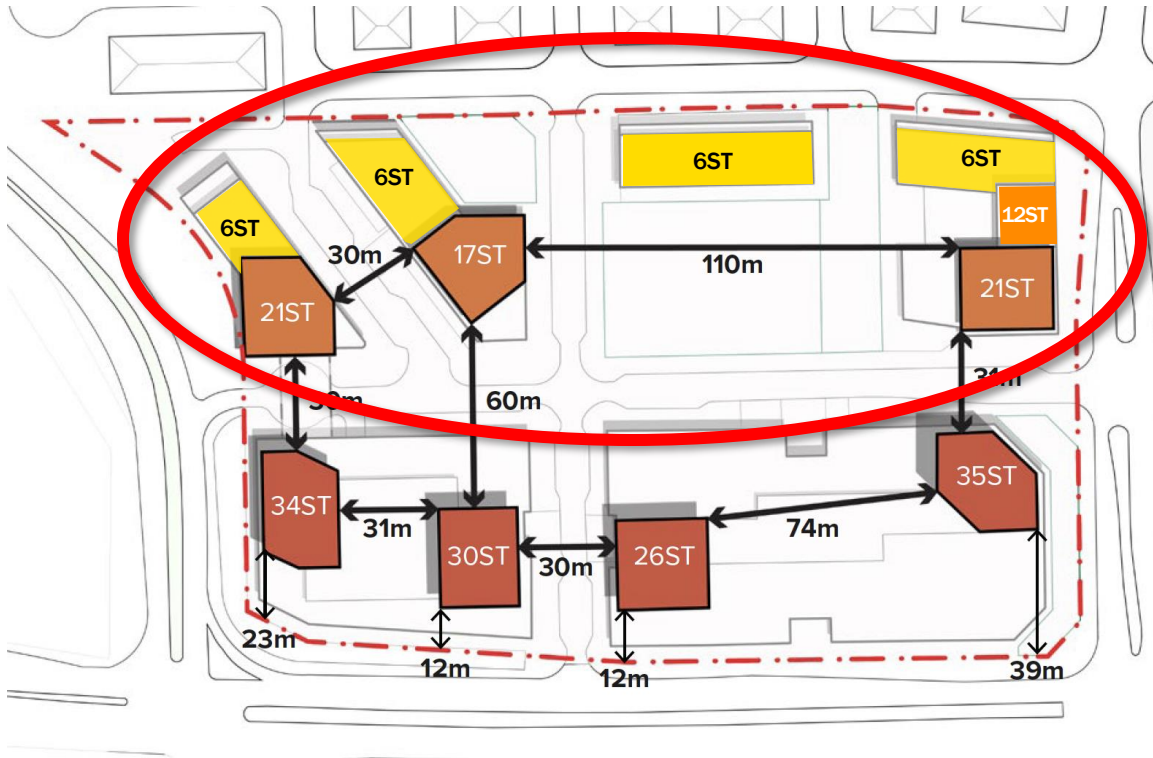


2024 Revised Proposal

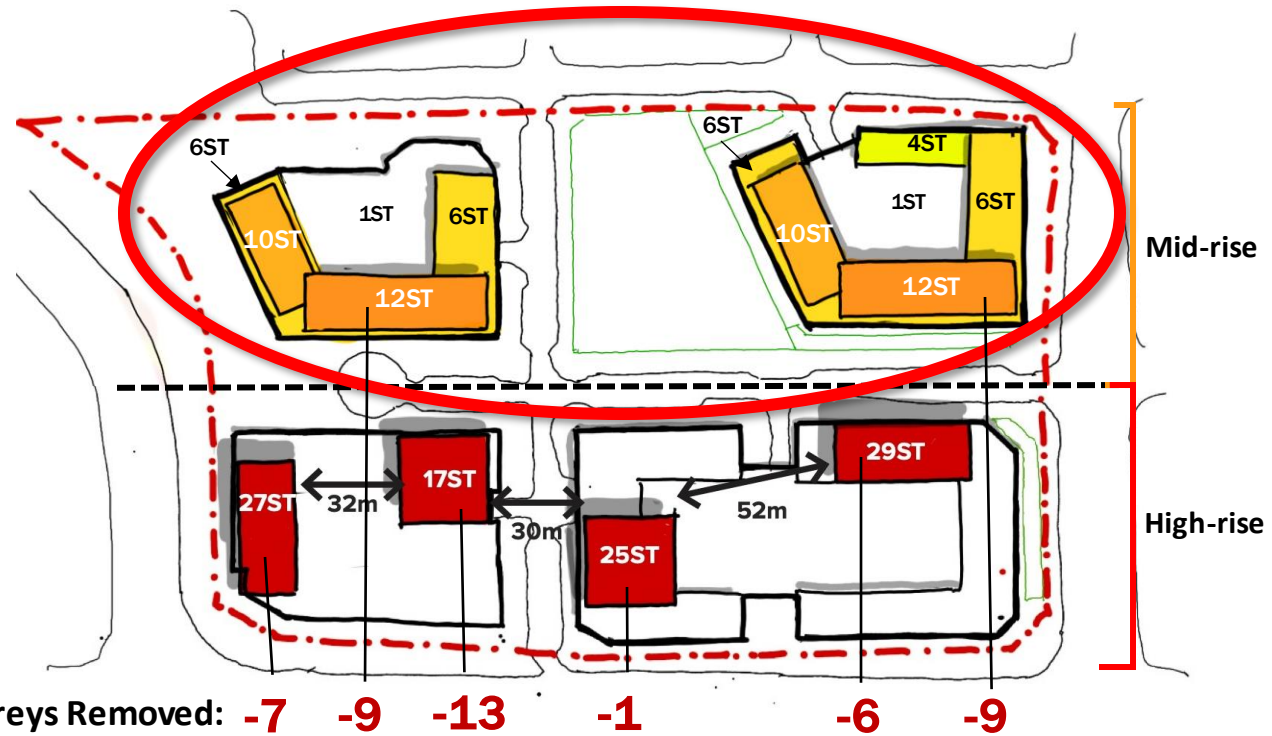
Key Revision: Reduce and refine tower heights and locations

Key Changes

- Height peak reduced from 35 storeys to 29 storeys
- Removal of three towers and introduction of midrise on northern half of the Site
- Greater porosity and pulled back mid-rise



2023 Initial Proposal

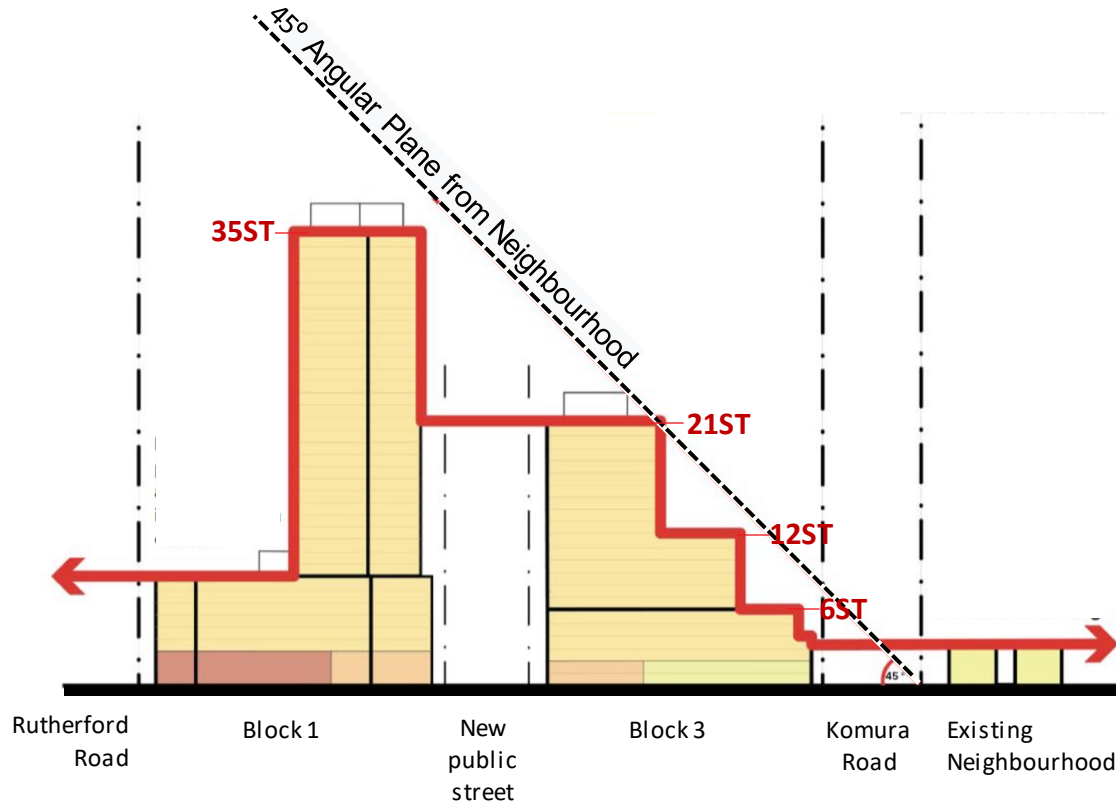


2024 Revised Proposal

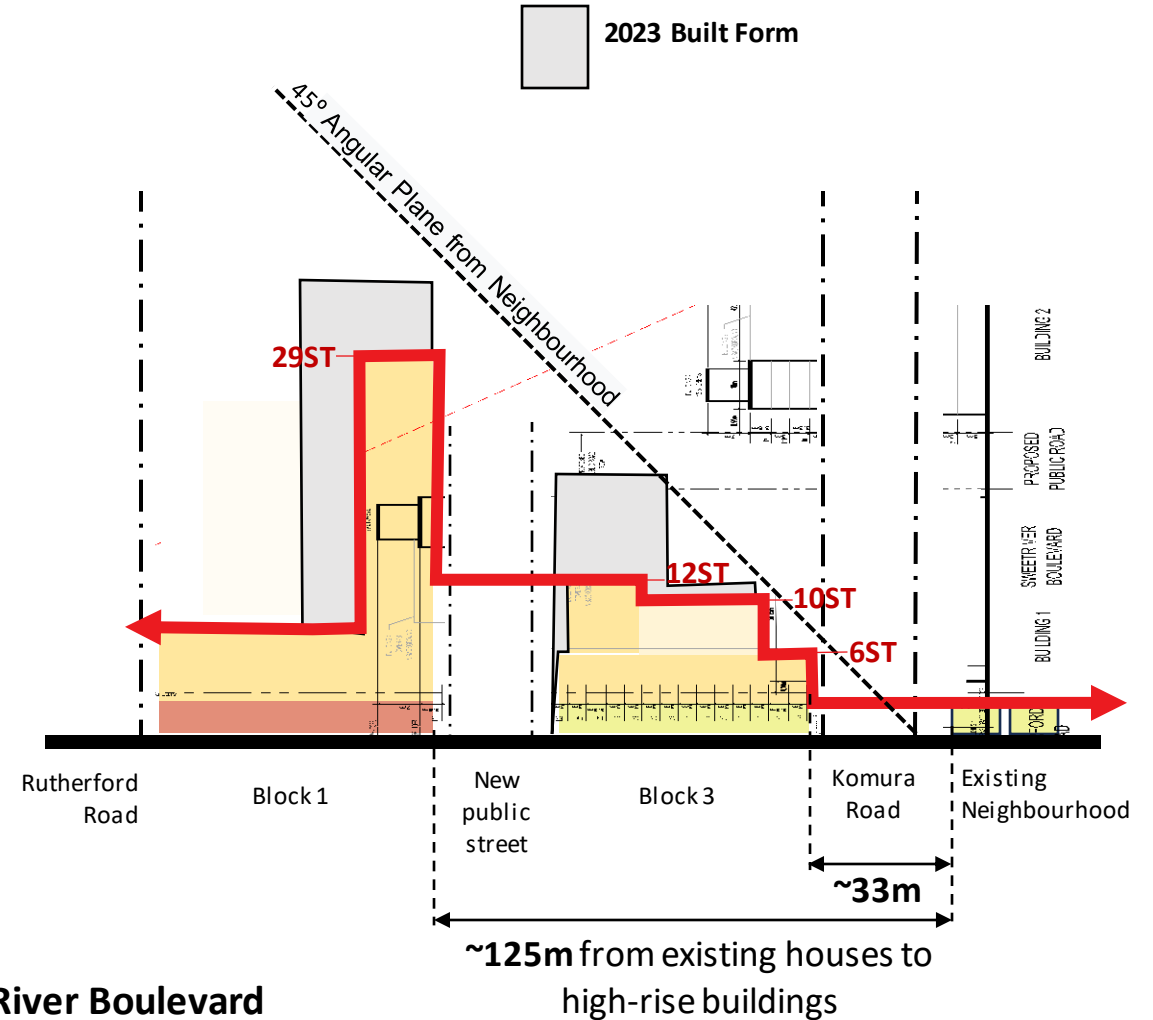
Key Revision: Providing increased built form transition

Key Changes

- Reduction in tower & building heights
- Stepping down of midrise buildings from 12 storeys to 6 & 4 storeys
- Maintaining general compliance with angular plane



2023 Initial Proposal

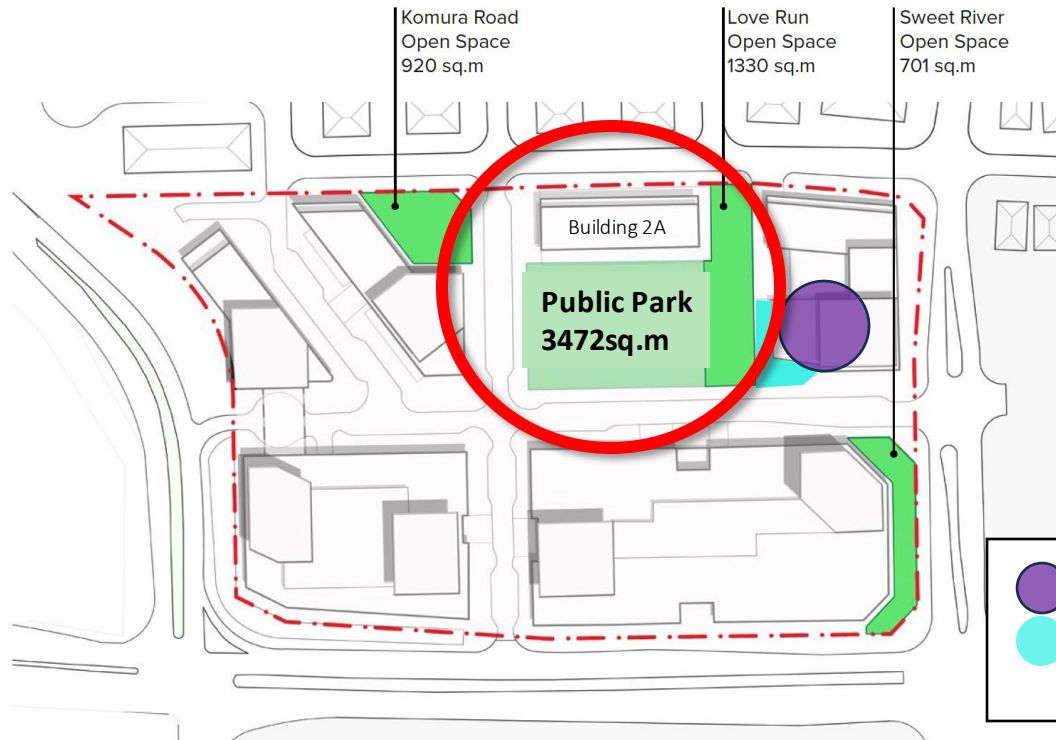


View from Sweet River Boulevard

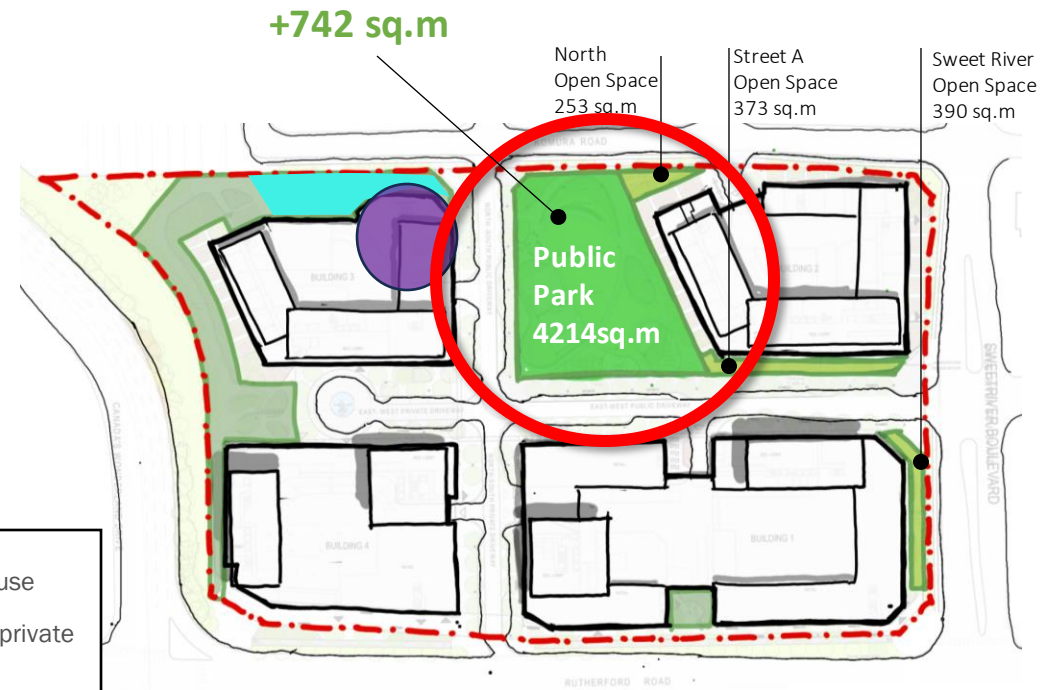
Key Revision: Expand the central Public Park

Key Changes

- Replacement of 6 storey building along Komura Rd with Public Park
- Park interfaces directly with the Neighbourhood
- Public Park size increased by 742 sq.m



2023 Initial Proposal

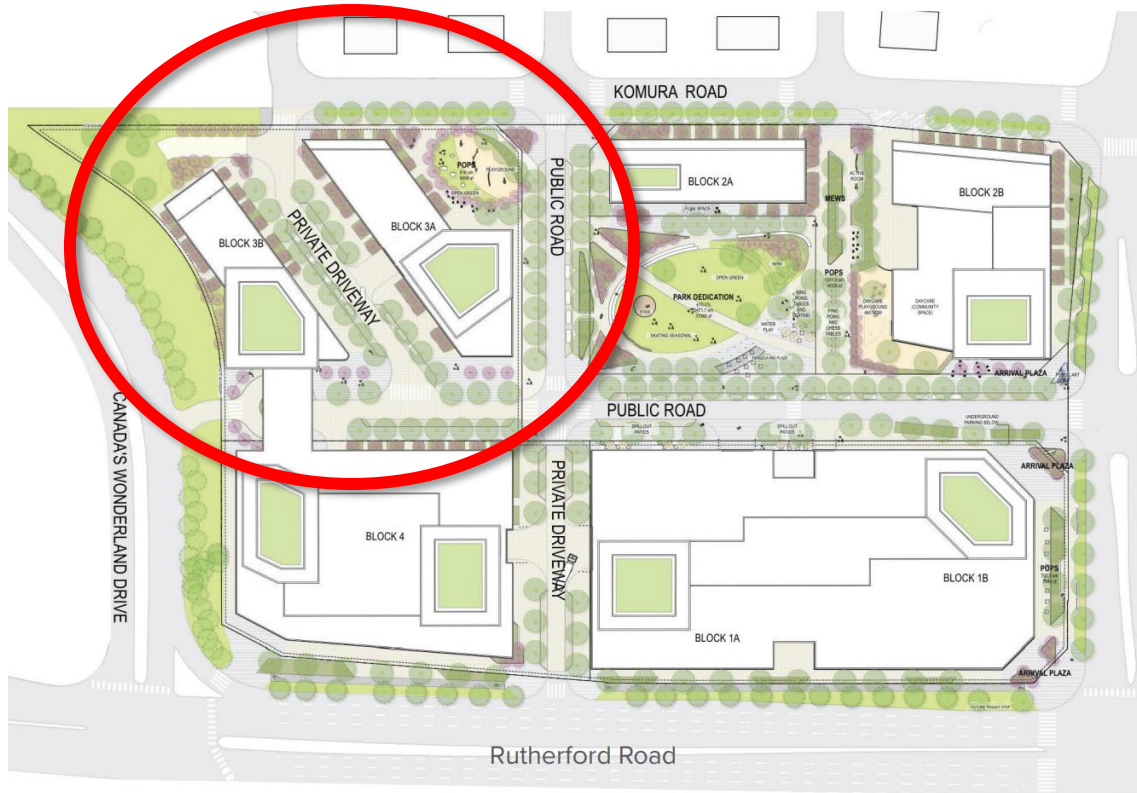


2024 Revised Proposal

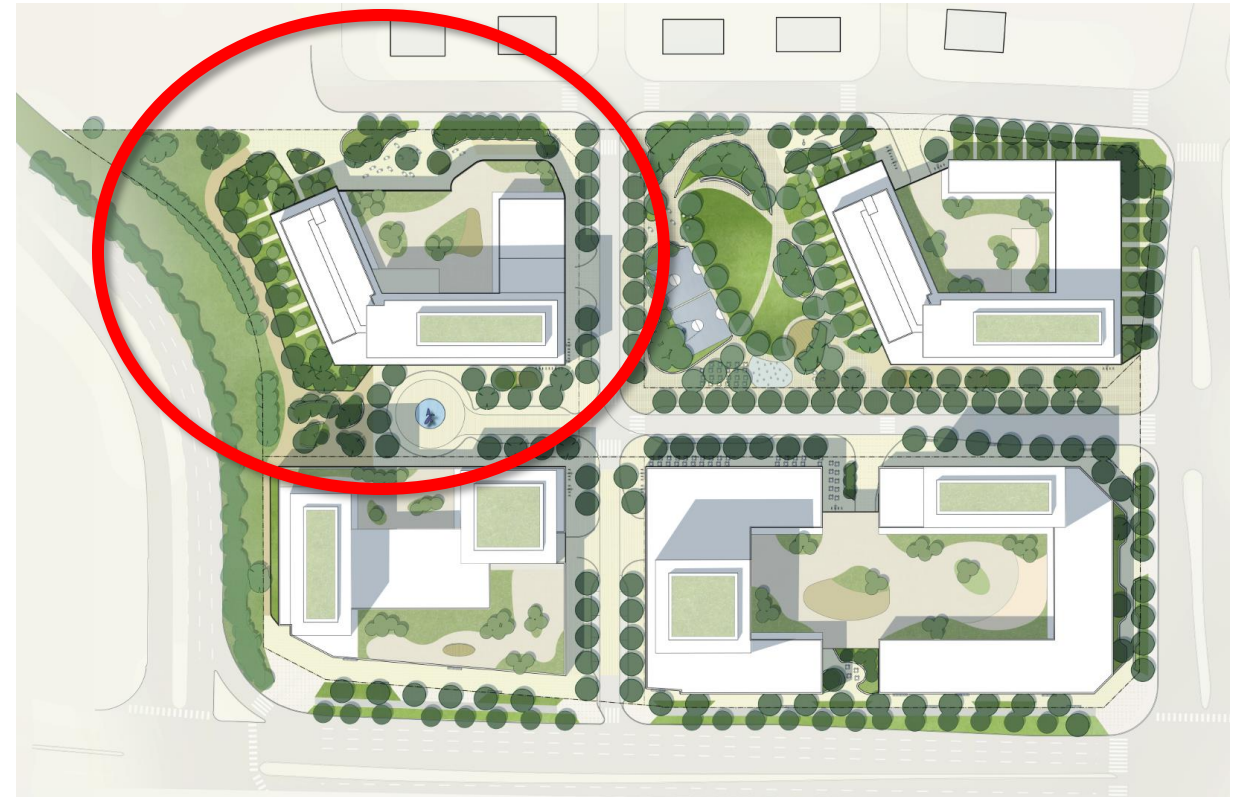
Key Revision: Improve the north-west built form and landscape configuration

Key Changes

- Greater landscape depth along western property line
- Introduction of new pedestrian pathway with generous landscaping and public art



2023 Initial Proposal

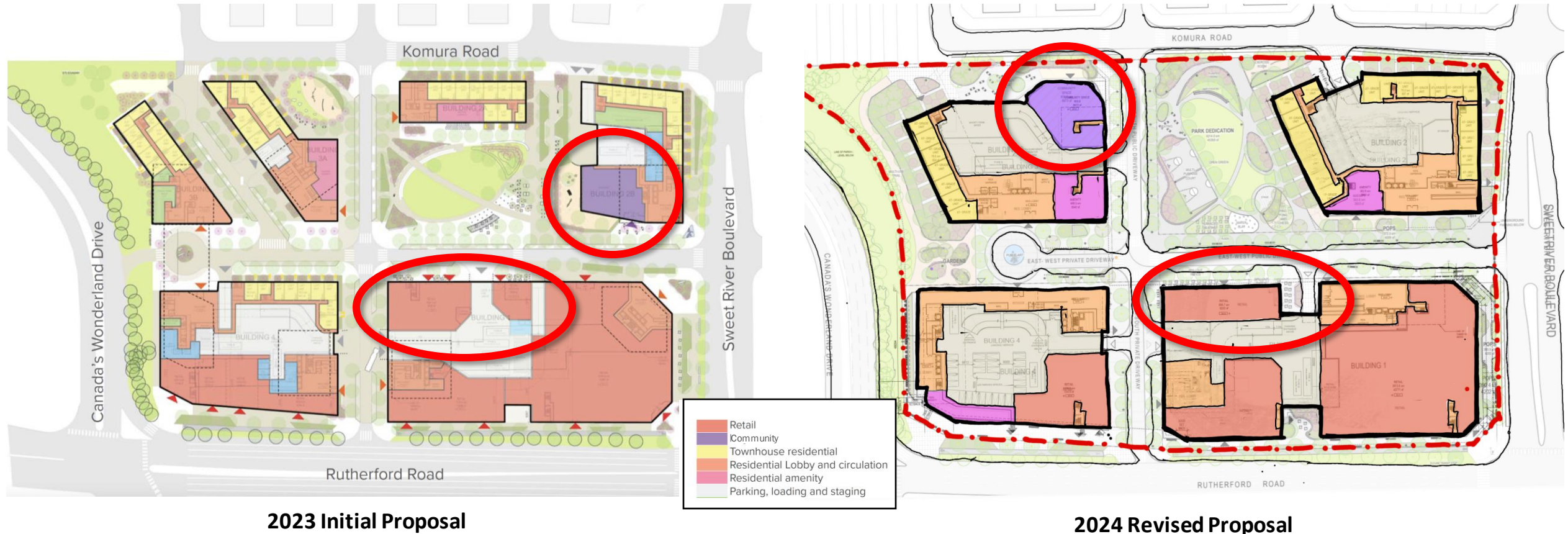


2024 Revised Proposal

Key Revision: Reconfigured community use & ground floor retail

Key Changes

- Relocated community use to improve proximity to Neighbourhood
- Loading and servicing entrances reconfigured to improve ground floor retail



2023 Initial Proposal

2024 Revised Proposal

2024 Resubmission

The 2024 resubmission maintains the core principles of the original submission to transform an auto-oriented single-use district into a mixed-use complete community centered on a Central Public Park, while responding to key comments from City staff and **reducing dwelling units within the proposal by 35%.**



Render of 2024 Proposal

2024 Submission Statistics

- **Residential Units:** 2,009 (Previously 3,047)
- **Public Park:** 4,214 sq.m / 0.42ha (Previously 0.35ha)
- **Tallest Building:** 29 Storeys (Previously 35 Storeys)
- **Total GFA:** 172,000 sq.m (Previously 218,000 sq.m)
 - Residential GFA: 164,000 sq.m
 - Retail GFA: 7,150 sq.m
 - Community Space GFA: 800sq.m