

8700 Huntington

8700 Huntington Rd. Vaughan, ON
20-293

Issued For

SITE PLAN APPROVAL

April 15, 2024

ERA

PRIME ARCHITECT

Standard Practice Architects Inc.
213 Sterling Rd., Suite 209, Toronto, ON M6R 2B2

HERITAGE ARCHITECT

ERA Architects Inc.
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HERITAGE DRAWING LIST

AH000 General
AH001 Cover Page
AH002 Assemblies & Schedules
AH020 Demolition/Protection
AH021 Floor Plans and Elevations, Demolition
AH021 Building Section, Demolition
AH500 Floor Plans
AH501 Floor Plans, Proposed
AH600 Elevations
AH601 Elevations, Proposed
AH600 Bldg Sections
AH601 Building Section, Proposed

ABBREVIATIONS LIST	
CW	COMPLETE WITH
CONC	CONCRETE
CONFIG	CONFIGURATION
DEMO	DEMOLITION
DKA	DIAMETER
ETC.	ETCETERA
EX	EXISTING
I.E.	FOR EXAMPLE
LCC	LEAD COATED COPPER
ME	MECHANICAL
S.O.G.	SLAB ON GRADE
TYP	TYPICAL
W/	WITH
±	APPROXIMATE

NO.	DATE	REVISION /ISSUANCE
1	2024-04-15	SITE PLAN APPROVAL

NOT FOR CONSTRUCTION

LEGEND		EXISTING	
	REBUILD BRICKWORK W/ NEW BRICK TO MATCH EXISTING (EXCEPT WHERE OTHERWISE INDICATED)		EXISTING
	REPAIR CRACK IN BRICKWORK		DEMOLISHED
	CUT OUT AND REPAIR JOINTS IN BRICKWORK		SALVAGED
	REPAIR CRACK IN BRICKWORK		NEW ENVELOPE WITHIN EXISTING STRUCTURE
	NOTIFY MATCH REPAIR TO HOLE IN BRICK UP TO 15MM DIA.		NEW CONSTRUCTION
	REPLACE BRICK		NEW CONSTRUCTION
	REPLACE 3 BRICKS		NEW CONSTRUCTION
STONEWORK			
	REBUILD STONEWORK TO MATCH EXISTING		REPAIR CRACK IN STONEWORK
METALS			
	NEW YELLOW METAL (I.E. COPPER, BRASS, BRONZE)		WOOD
	REPAIR CRACK IN BRICKWORK		SALVAGE WOOD ELEMENT

MATERIALS:
BRICK: ASSUME HISTORICALLY APPROPRIATE CLAY BRICK TO MATCH ORIGINAL.

GENERAL NOTES:
ASSOCIATED SCOPES:
REFER TO ARCHITECTURAL + ELECTRICAL FOR LIGHTING SCOPES AT BOTH INTERIOR AND EXTERIOR OF HERITAGE BUILDING.
REFER TO ARCHITECTURAL AND STRUCTURAL FOR NEW STEEL FACADE SUPPORT STRUCTURE, NEW FLOOR AND STAIR ASSEMBLY, NEW S.O.G.
REFER TO ME FOR NEW SERVICE LOCATIONS.

GENERAL DEMO NOTES:
1. PROTECT IN PLACE DURING DEMO ACTIVITIES ALL EXISTING ASSEMBLIES NOT SHOWN FOR REMOVAL, INCLUDING BUT NOT LIMITED TO:
EXTERIOR WINDOWS AND DOORS
2. EXTERIOR DEMO:
REMOVE ALL EXISTING APPENDAGES INCLUDING LOFT FINISHES, CONDUIT AND SERVICES, SHUTTERS, EAVES TROUGHS AND DOWNSPUTS, SIGNAGE, ETC.
3. INTERIOR DEMO: TYP ALL ROOMS FLOORS:
REMOVE ALL INTERIOR PARTITIONS AND STAIR ASSEMBLIES INCLUDING ALL ASSOCIATED DOORS, BUILT IN SHELVES ETC.
REMOVE EXISTING S.O.G. AT BASEMENT
REMOVE EXISTING LEVEL 1 FLOOR LEVEL 2 FLOOR TO REMAIN IN PLACE
REMOVE ALL CEILINGS AND FINISHES TO EXISTING RAFTERS/ROOF DECKING
REMOVE ALL ME EQUIPMENT, FIXTURES, AND SERVICES
REMOVE FINISHES FROM INTERIOR SIDE OF EXTERIOR WALLS BACK TO EXISTING BRICK, INCLUDING INTERIOR SIDE OF WINDOW CASEMENTS TO EXISTING FRAMES.

WALL ASSEMBLIES

WALL TYPE 1 - EXISTING EXT BRICK WALL - TYP

- EXTERIOR
- EXISTING BRICK WALL
 - FLUID APPLIED AIR BARRIER
 - 90mm ROCKWOOL BOARD
 - 100mm STEEL STUD
 - 100mm ROCKWOOL BATT IN PLAIN WITH STUDS
 - SMART VAPOUR RETARDER (INTELLO PLUS OR SIMILAR)
 - 13mm DRYWALL
- INTERIOR

WALL TYPE 2 - EXISTING FOUNDATION WALL - TYP

- EXTERIOR
- WATERPROOFING WHERE APPLICABLE (REFER TO DRAWINGS)
 - DRAINAGE BOARD
 - BITUMINOUS DAMPROOFING MEMBRANE
 - WEPPING TILE
 - PARKING
 - EXISTING RUBBLE STONE FOUNDATION (DEEP REPORT EXTERIOR SIDE AT NEW WATERPROOFING - REFER TO ELEVATION DRAWINGS)
 - FLUID APPLIED AIR BARRIER
 - 90mm ROCKWOOL BOARD
 - 100mm ROCKWOOL BATT IN PLAIN WITH STUDS
 - SMART VAPOUR RETARDER (INTELLO PLUS OR SIMILAR)
 - 13mm DRYWALL
- INTERIOR

PARTITION WALLS AT INTERIOR FIT OUT - REFER TO ARCHITECTURAL

GENERAL NOTE:
INSULATION AND BARRIER STRATEGY AT EXISTING MASONRY WALLS TO BE CONFIRMED VIA HYGROTHERMAL ANALYSIS TO DETERMINE APPROPRIATE R-VALUE AND MITIGATE RISK OF FUTURE FREEZE-THAW DAMAGE.

ROOF ASSEMBLIES

ROOF TYPE 1 - MAIN ROOF - TYP

- EXTERIOR
- NEW SLATE SHINGLES
 - PRESSURE TREATED TIMBER HORIZONTAL BATTENS
 - PRESSURE TREATED COUNTER BATTENS (VENTILATION SPACE)
 - BREATHABLE SARKING MEMBRANE
 - EXISTING SHEATHING
 - EXISTING ROOF JOISTS (REFER TO STRUCTURAL FOR ROOF REINFORCEMENT)
 - 24mm ROCKWOOL BATT INSULATION BETWEEN ROOF JOISTS
 - 15mm DRYWALL
- INTERIOR

ROOF TYPE 2 - EAST PORCH ROOF

- EXTERIOR
- NEW SLATE SHINGLES
 - PRESSURE TREATED TIMBER HORIZONTAL BATTENS
 - PRESSURE TREATED COUNTER BATTENS (VENTILATION SPACE)
 - BREATHABLE SARKING MEMBRANE
 - EXISTING SHEATHING
 - EXISTING ROOF JOISTS
- INTERIOR

ROOF TYPE 3 - NORTH PORCH ROOF

- EXTERIOR
- NEW SLATE SHINGLES
 - PRESSURE TREATED TIMBER HORIZONTAL BATTENS
 - PRESSURE TREATED COUNTER BATTENS (VENTILATION SPACE)
 - BREATHABLE SARKING MEMBRANE
 - SHEATHING
 - 24"X7" ROOF JOISTS
- INTERIOR

FLOOR ASSEMBLIES

REFER TO ARCHITECTURAL

Window Schedule									
Mark	Type Mark	Dimensions		Glass Repair (if of Like Replacement)	Repair Scope			New Interior Storm	Notes
		Width	Height		Frame Repair	Sill Repair	Sash Repair		
Level 01 - Existing									
H-W101	H-W1	± 940	± 1680	1	Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W102	H-W1	± 940	± 1680		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W103	H-W1	± 940	± 1680		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W104	H-W1	± 940	± 1680		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W105	H-W1	± 940	± 1680		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W106	H-W1	± 940	± 1680		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W107	H-W2	± 1080	± 1680		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
Level 02 - Existing									
H-W201	H-W3	± 790	± 1295	1	Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W202	H-W3	± 790	± 1295	1	Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W203	H-W3	± 790	± 1295		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W204	H-W3	± 790	± 1295	2	Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W205	H-W4	± 843	± 1280		Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	
H-W206	H-W4	± 843	± 1280	2	Per Typical Scope	Per Typical Scope	Salvaged/Restored - Per Typical Scope	Yes	

WOOD TRIM REFURBISHMENT SCOPE

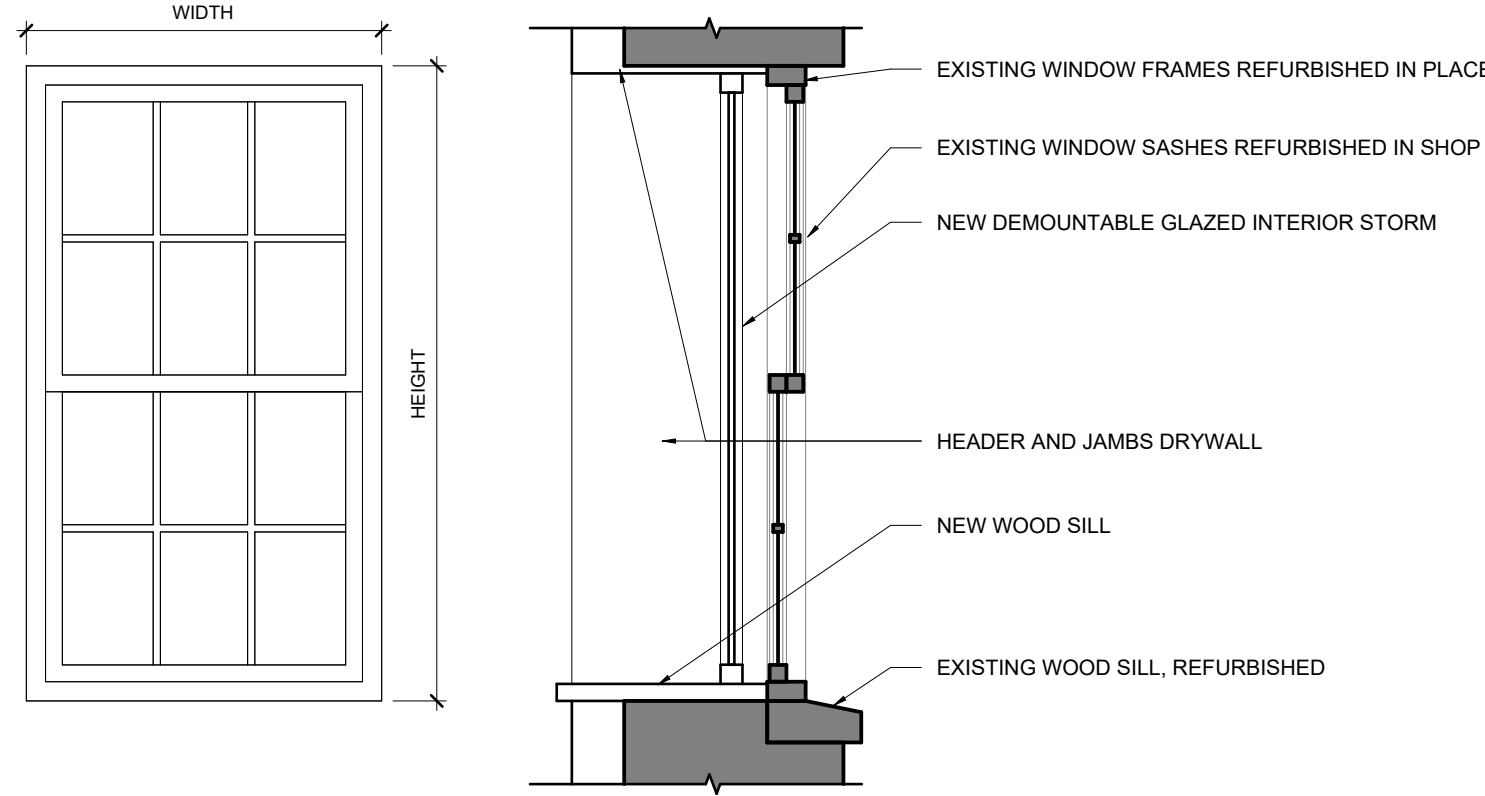
- CATALOGUE AND SALVAGE WINDOW SASHES. PROTECT DURING TRANSPORT, AND CONDUCT REPAIRS IN SHOP. REINSTALL REPAIRED SASHES IN ORIGINAL LOCATIONS.
- STRIP TO BARE, THOROUGHLY INSPECT WOOD FOR INSTANCES OF DAMAGED/DETERIORATION, INCLUDING:
 - ROT, WARPING, AND REPAIR DAMAGED AREAS USING WOOD CONSOLIDANT AND WOOD EPXY WHERE POSSIBLE.
- REPLACE SECTIONS OF WOOD THAT ARE BEYOND REPAIR WITH WOOD MATCHING ORIGINAL PROFILES, SPECIES AND GRAIN DIRECTION, ASSUME 10% REPLACEMENT SCOPE.

TYPICAL WINDOW RESTORATION SCOPE:

- REMOVE AND CATALOGUE:
 - CATALOGUE AND SALVAGE WINDOW SASHES. PROTECT DURING TRANSPORT, AND CONDUCT REPAIRS IN SHOP. REINSTALL REPAIRED SASHES IN ORIGINAL LOCATIONS.
 - NOTE: INTERIOR CASEMENTS AND SILLS ARE TO BE REMOVED AS PART OF INTERIOR DEMOLITION.
 - INSTALL TEMPORARY PROTECTION AT NEW OPENINGS AT REMOVED SASH WINDOWS, TAKING CARE NOT TO DAMAGE PORTIONS OF WINDOW FRAME ASSEMBLY TO REMAIN IN SITU.
- WOOD REPAIRS TO FRAMES AND SILLS (IN SITU) AND SASHES (IN SHOP):
 - SAND/PREPARE WOOD TO SOUND SUBSTRATE FOR REPAINTING.
 - THOROUGHLY INSPECT WOOD FOR INSTANCES OF DAMAGE/DETERIORATION, INCLUDING ROT, WARPING.
 - REPAIR DAMAGED AREAS USING WOOD CONSOLIDANT AND WOOD EPXY WHERE POSSIBLE.
 - REPLACE SECTIONS OF WOOD THAT ARE BEYOND REPAIR WITH WOOD MATCHING ORIGINAL PROFILES, SPECIES AND GRAIN DIRECTION.
- SASHES ONLY:
 - REMOVE EXISTING GLAZING PUTTY AT MUNTINS.
 - REMOVE AND CLEAN EXISTING GLASS LITES.
 - REPLACE BROKEN LITES WHERE REQUIRED, (REFER TO SECTION 3 BELOW).
 - REGLAZE SASH WINDOWS.
 - INSTALL NEW CHANNELS AND INSTALL NEW WEATHERSTRIPPING AT MEETING RAIL AND BOTTOM RAIL.
- REPAINT WINDOWS USING HISTORICALLY APPROPRIATE OIL BASED PAINTS.
- RE-INSTALL SASHES AND HARDWARE IN EXISTING WINDOWS. SASH WINDOWS TO BE FIXED CLOSED.
- NEW WOOD SILL AT INTERIOR SIDE OF WINDOW, JAMBS AND HEADER TO BE DRYWALL.
- NEW STORM INSTALLED AT INTERIOR SIDE OF WINDOW.

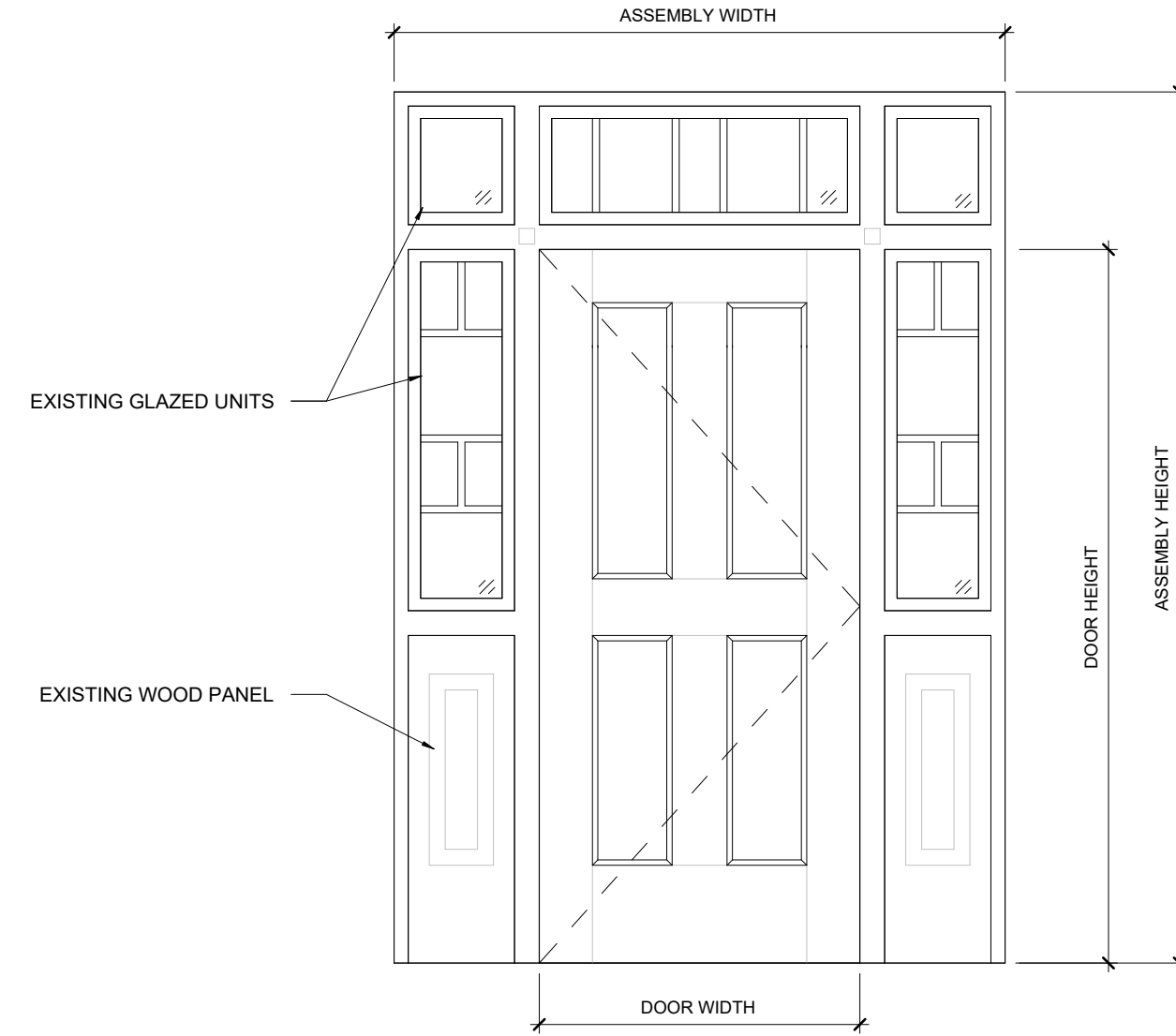
WOOD DOOR FRAME AND SURROUND - RESTORATION NOTES

- SCOPE FOR REPAIRS TO GLAZED SASHES IN SIDE LITES AND TRANSOM - SAME AS WINDOW SASH REPAIR SCOPE.
- SCOPE FOR REPAIRS TO DOOR FRAME, SILL AND SIDE PANELS - SAME AS WINDOW FRAME REPAIR SCOPE, INCLUDE ALSO FOR NEW WOOD TRIMCASING TO INTERIOR SIDE OF DOOR FRAME.
- REPLACEMENT OF 3 WOOD WINDOW SILLS WITH NEW WOOD SILLS TO MATCH EXISTING.



EXISTING SASH WINDOW TYPES H-W1, H-W2, H-W3, H-W4

Door Schedule									
Mark	Phase Created	Door Assembly / Frame			Door Leaf			Notes	
		Dimensions	Width	Height	Side Lite Repair	Transom Lite Repair	Phase Created		Dimensions
Level 01 - Existing									
H-D101	Existing	± 1725	± 2460	Refer to door information scope	Refer to door information scope	New Construction	± 905	± 2015	Refer to door information scope



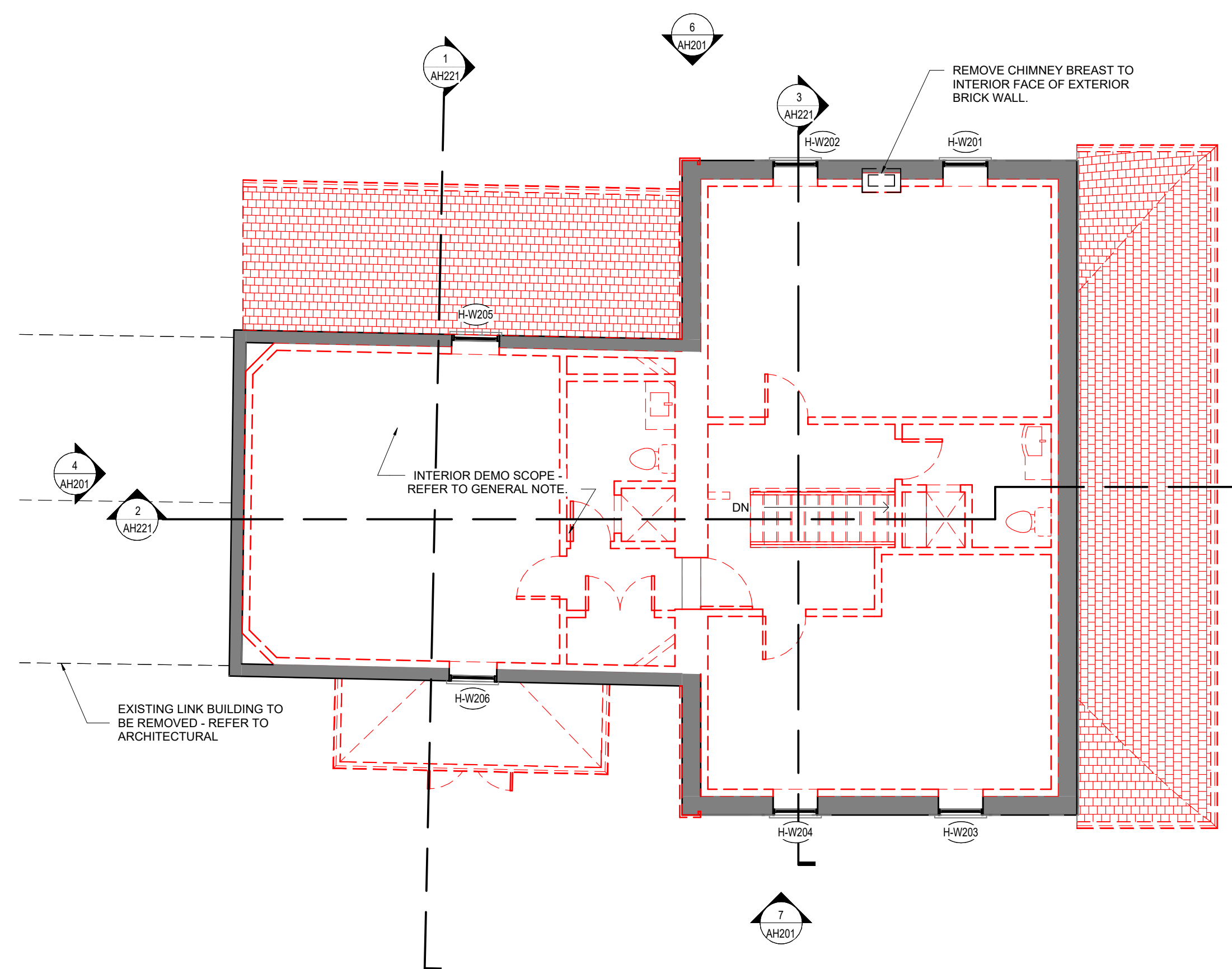
EXISTING DOOR ASSEMBLY H-D101

NO. DATE REVISION /ISSUANCE
1 2024-04-15 SITE PLAN APPROVAL

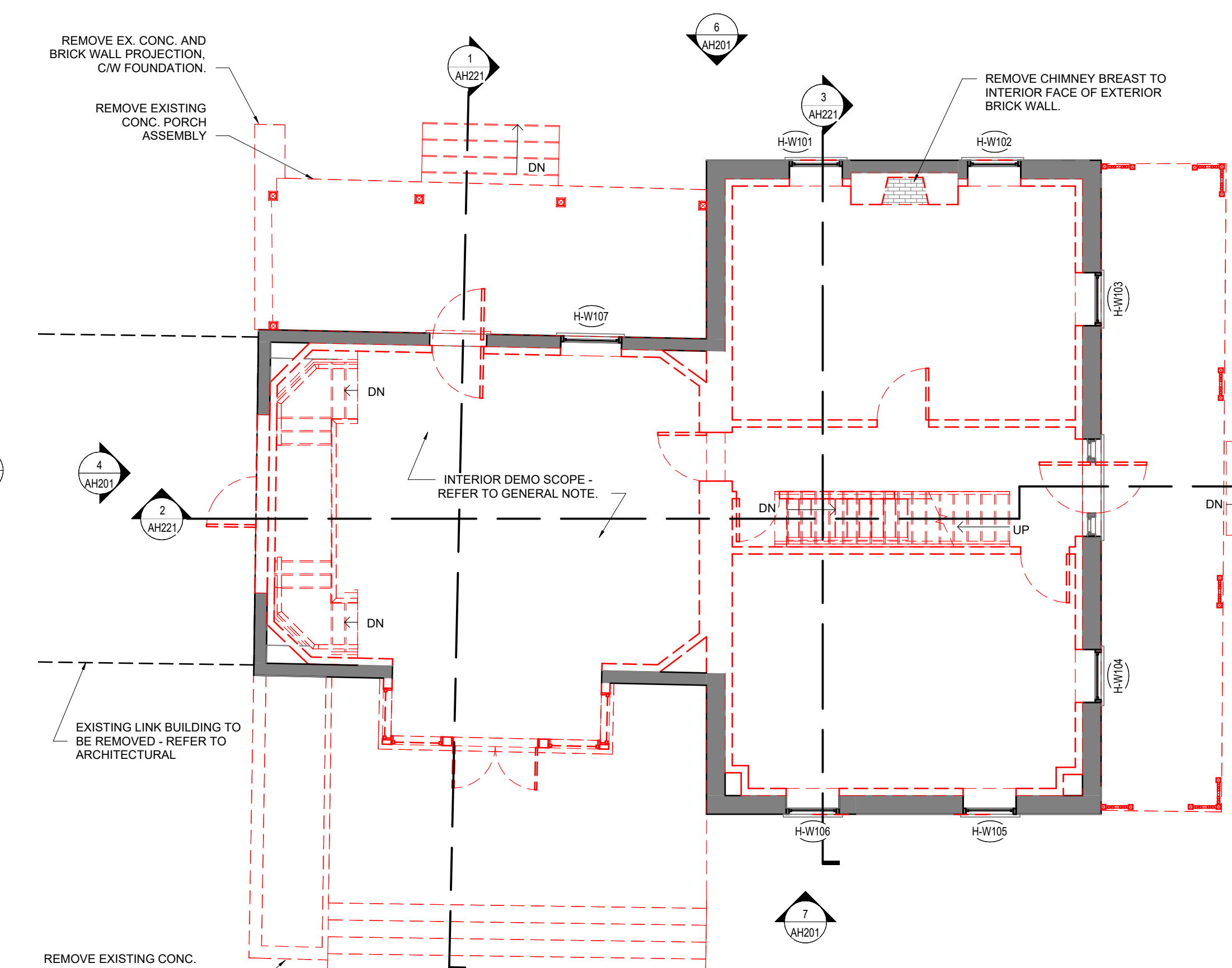
NOT FOR CONSTRUCTION

LEGEND
EXISTING (Solid line)
DEMOLISHED (Dashed line)
SALVAGED (Hatched area)

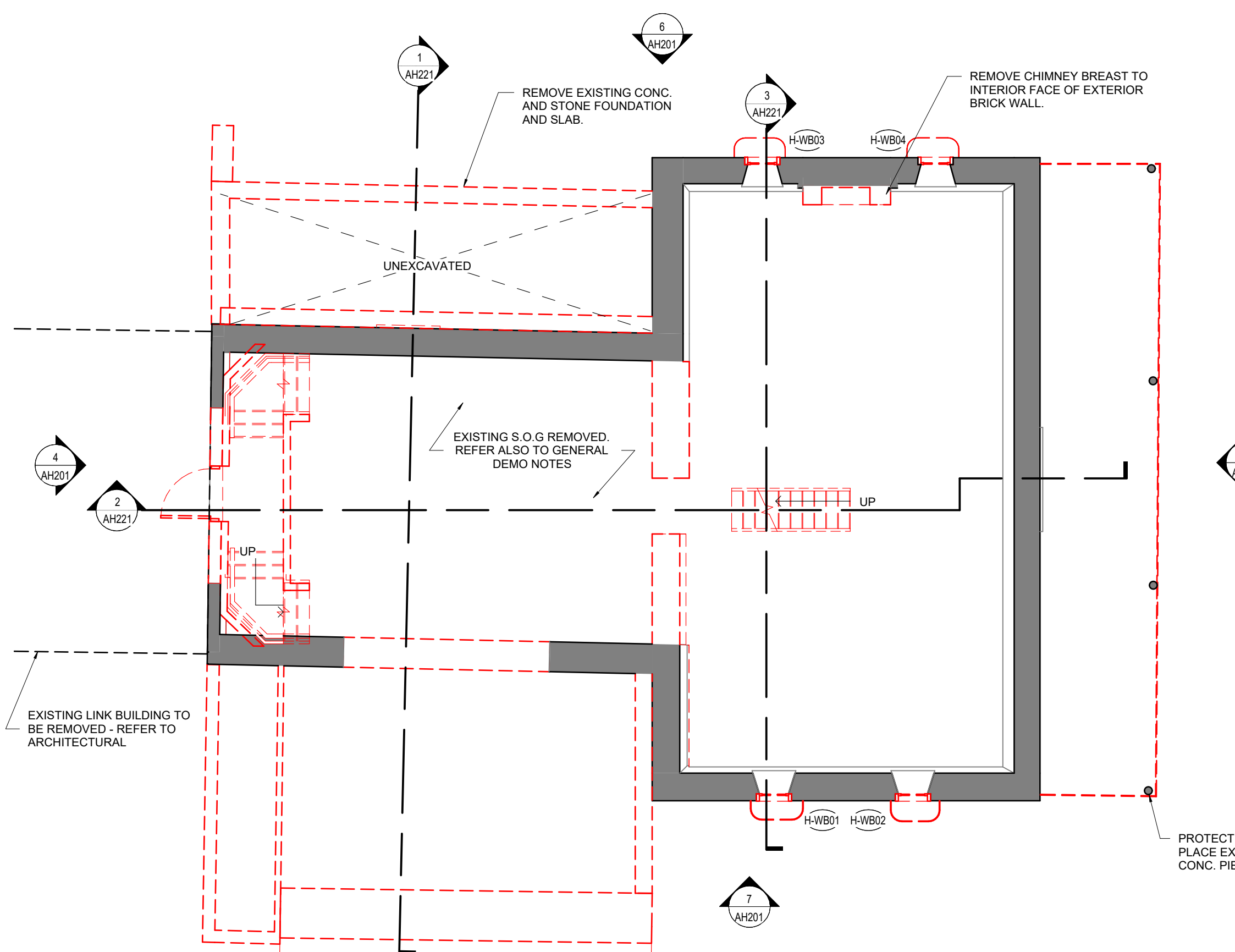
- GENERAL DEMO NOTES:
1. PROTECT IN PLACE DURING DEMO ACTIVITIES ALL EXISTING ASSEMBLIES NOT SHOW FOR REMOVAL, INCLUDING BUT NOT LIMITED TO: EXTERIOR WINDOWS AND DOORS
2. EXTERIOR DEMO: REMOVE ALL EXISTING APPENDAGES INCLUDING LIGHT FIXTURES, CONDUIT AND SERVICES, SHUTTERS, EAVES TROUGHS AND DOWNSPUTS, SIGNAGE, ETC.
3. INTERIOR DEMO: TYP ALL ROOMS / FLOORS: REMOVE ALL INTERIOR PARTITIONS AND STAIR ASSEMBLIES, INCLUDING ALL ASSOCIATED DOORS, BUILT IN SHELVES ETC. REMOVE EXISTING S.O.G. AT BASEMENT. REMOVE EXISTING LEVEL 1 FLOOR LEVEL 2 FLOOR TO REMAIN IN PLACE. REMOVE RAFTERS/ROOF DECKING. REMOVE ALL M.E. EQUIPMENT, FIXTURES, AND SERVICES. EXTERIOR WALLS BACK TO EXISTING BRICK, INCLUDING INTERIOR SIDE OF WINDOW CASEMENTS TO EXISTING FRAMES.



Level 02_Demolition 1:75 AH201



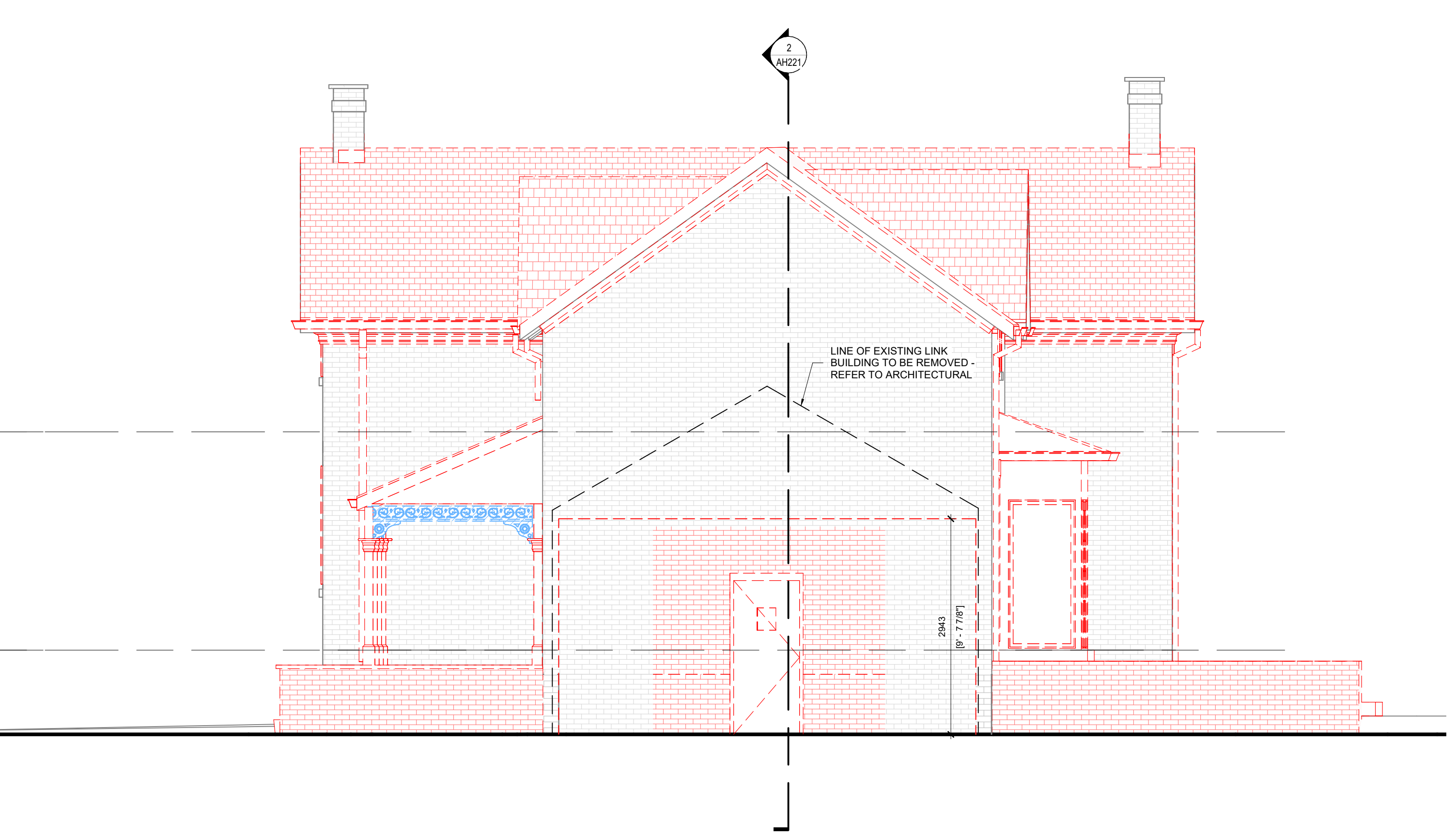
Level 01_Demolition 1:75 AH201



Level P01_Demolition 1:75 AH201



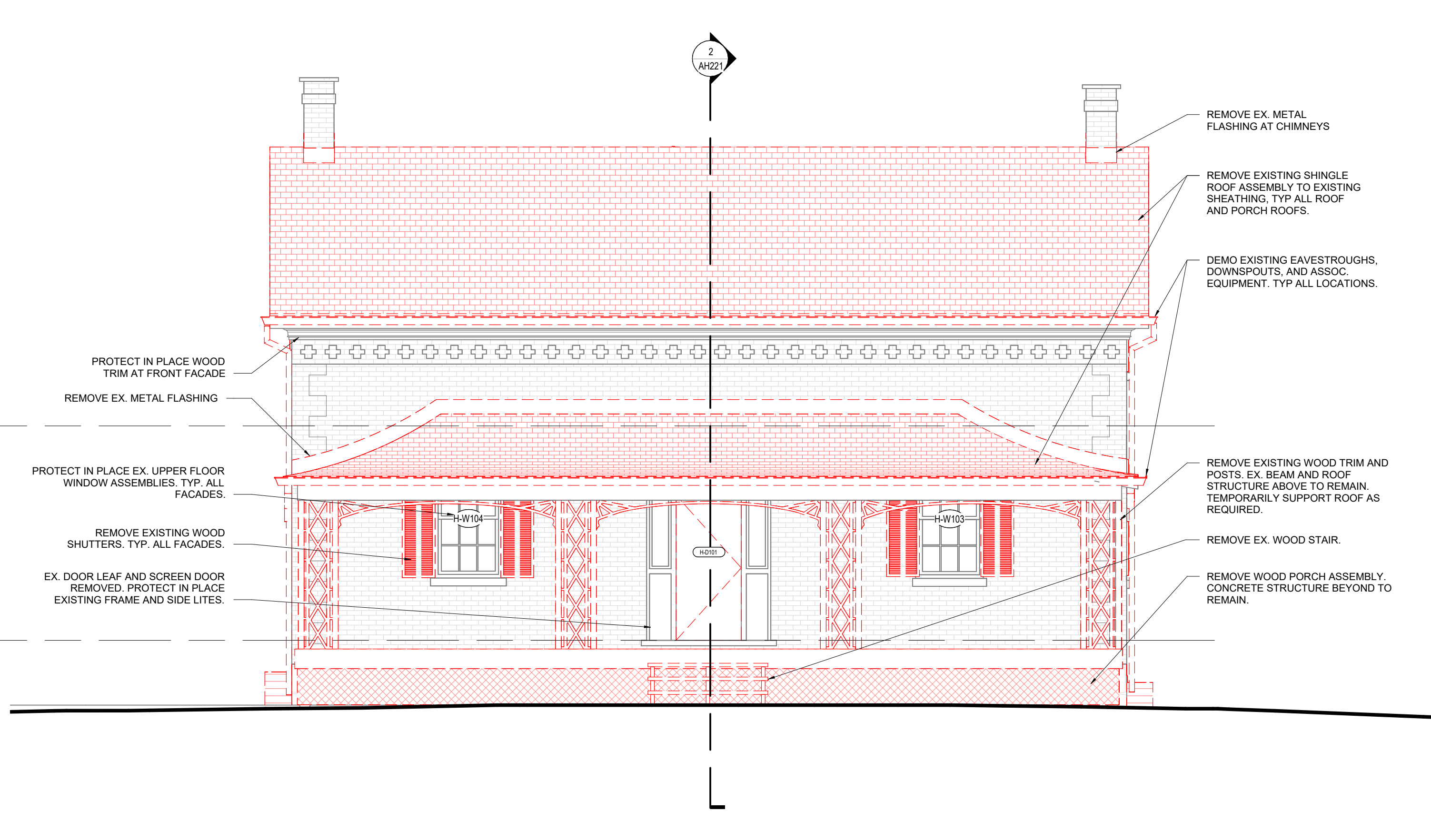
Elevation_North_Demolition 1:50 AH201



Elevation_West_Demolition 1:50 AH201



Elevation_South_Demolition 1:50 AH201



Elevation_East_Demolition 1:50 AH201

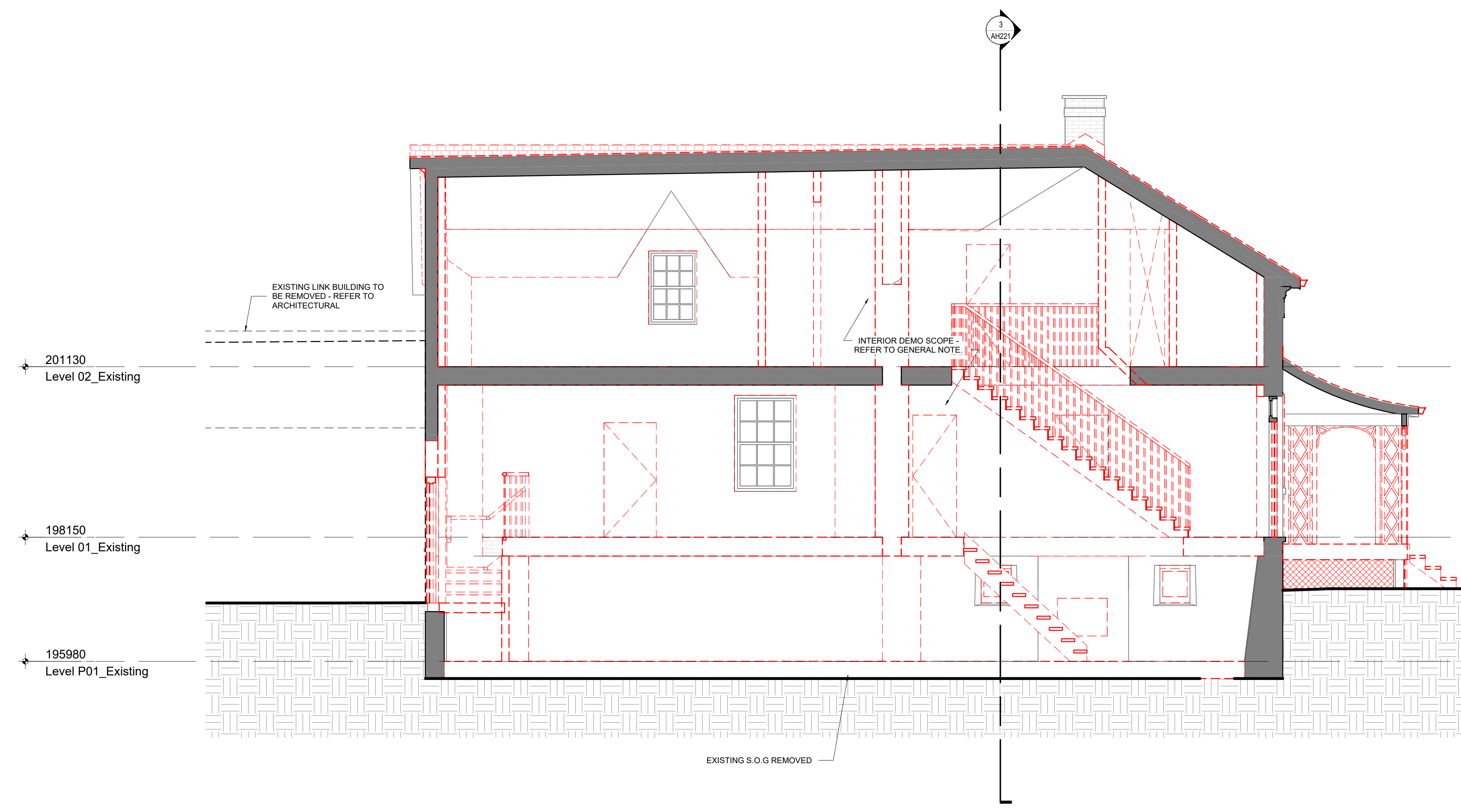
NO.	DATE	REVISION / ISSUANCE
1	2024-04-10	SITE PLAN APPROVAL

NOT FOR CONSTRUCTION

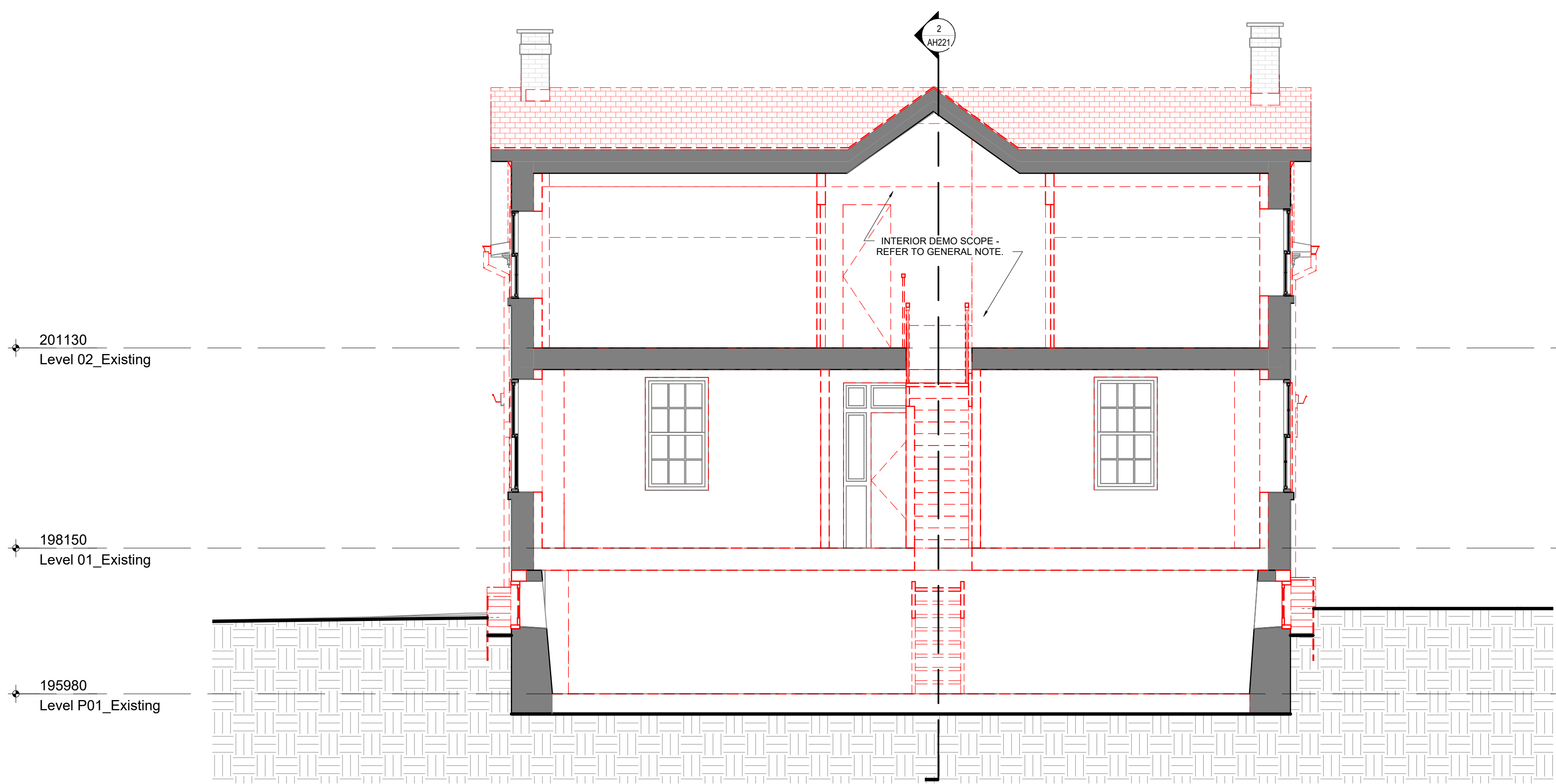
LEGEND	
[Solid Black Box]	EXISTING
[Dashed Red Box]	DEMOLISHED
[Blue Hatched Box]	SALVAGED

- GENERAL DEMO NOTES:**
- PROTECT IN PLACE DURING DEMO ACTIVITIES ALL EXISTING ASSEMBLIES NOT SHOW FOR REMOVAL, INCLUDING BUT NOT LIMITED TO:
 - EXTERIOR WINDOWS AND DOORS
 - EXTERIOR DEMO:
 - REMOVE ALL EXISTING APPENDAGES INCLUDING LIGHT FIXTURES, CONDUIT AND SERVICES, SHUTTERS, EAVES TROUGHS AND DOWNSPOUTS, SIGNAGE, ETC.
 - INTERIOR DEMO: TYP ALL ROOMS / FLOORS:
 - REMOVE ALL EXISTING PARTITIONS AND STAIR ASSEMBLIES, INCLUDING ALL ASSOCIATED DOORS, BUILT IN SHELVES ETC.
 - REMOVE EXISTING S.O.G. AT BASEMENT FLOOR TO REMAIN IN PLACE
 - REMOVE ALL CEILINGS AND FINISHES TO EXISTING RAFTERS/ROOF DECKING
 - REMOVE ALL M.E. EQUIPMENT, FIXTURES, AND SERVICES
 - EXTERIOR WALLS BACK TO EXISTING BRICK, INCLUDING INTERIOR SIDE OF WINDOW CASEMENTS TO EXISTING FRAMES.

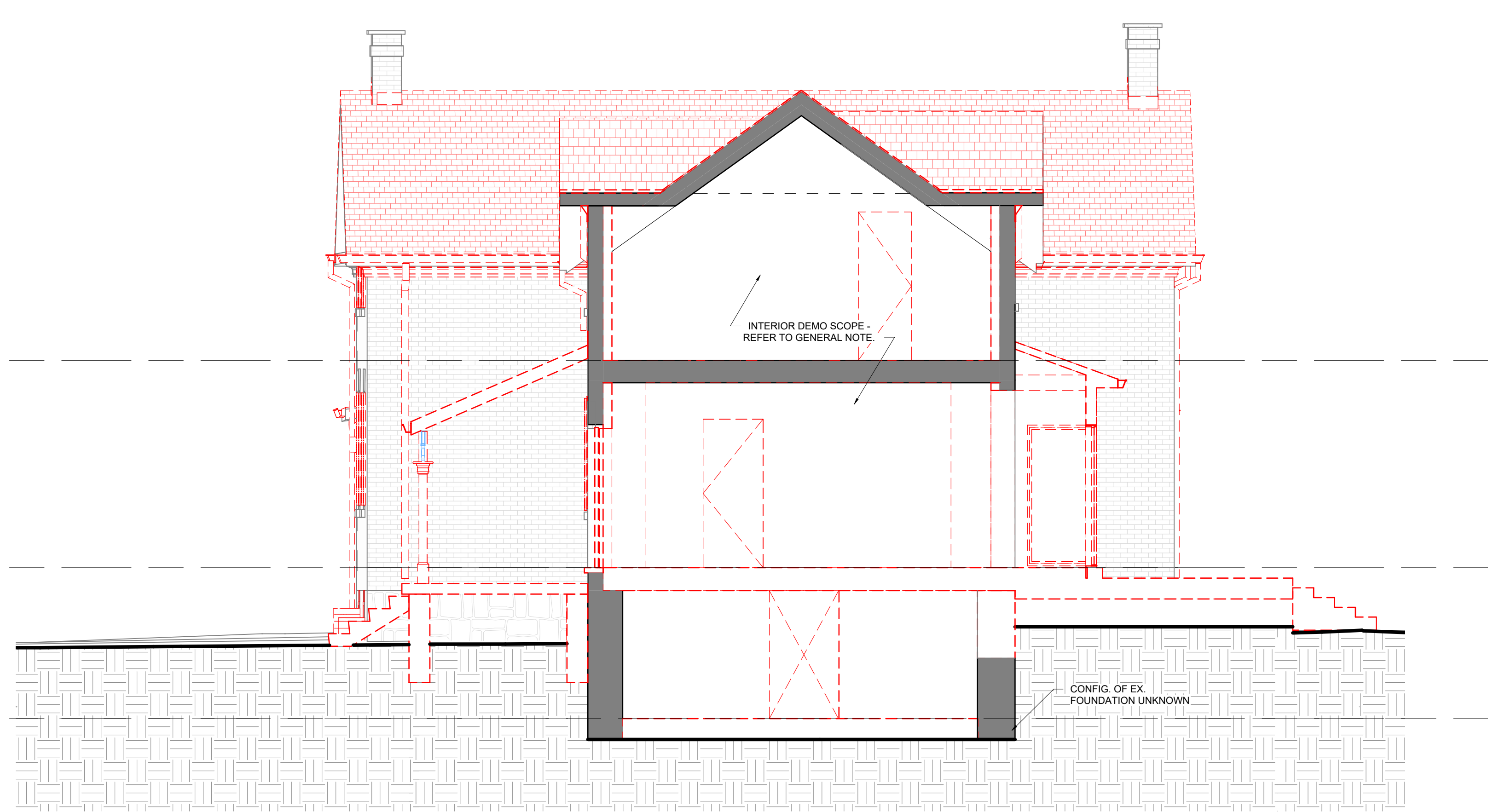
CONSERVATION REPAIR LEGEND



Section 03_EW_Demolition ²
1:50 AH21



Section 02_NS_Demolition ³
1:50 AH21



Section 01_NS_Demolition ¹
1:50 AH21

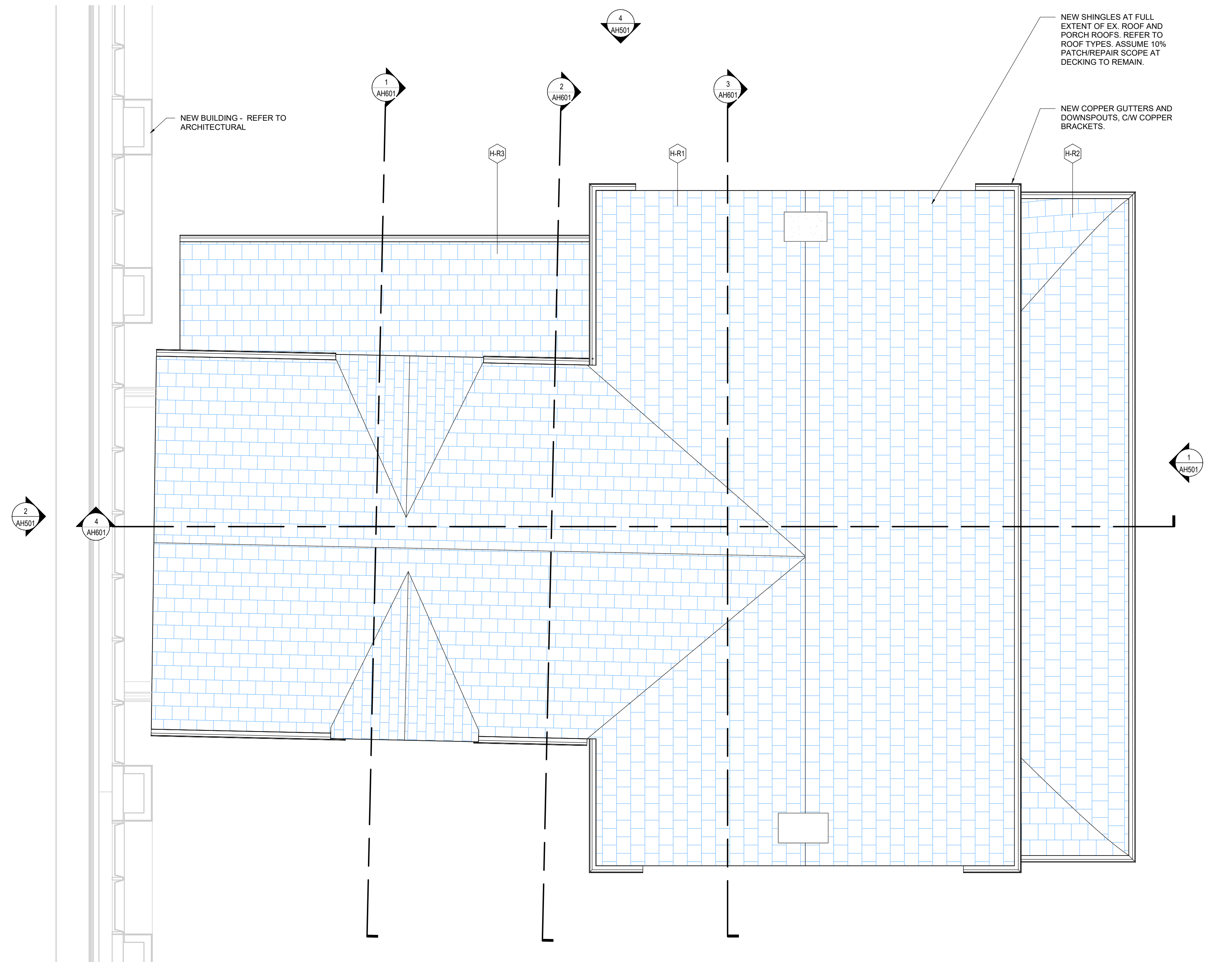
This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without written approval. Refer to Engineering drawings where applicable with the following: The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. within 48 hours of start of work. E.R.A. shall not be responsible for any changes made to the drawings without E.R.A.'s approval.

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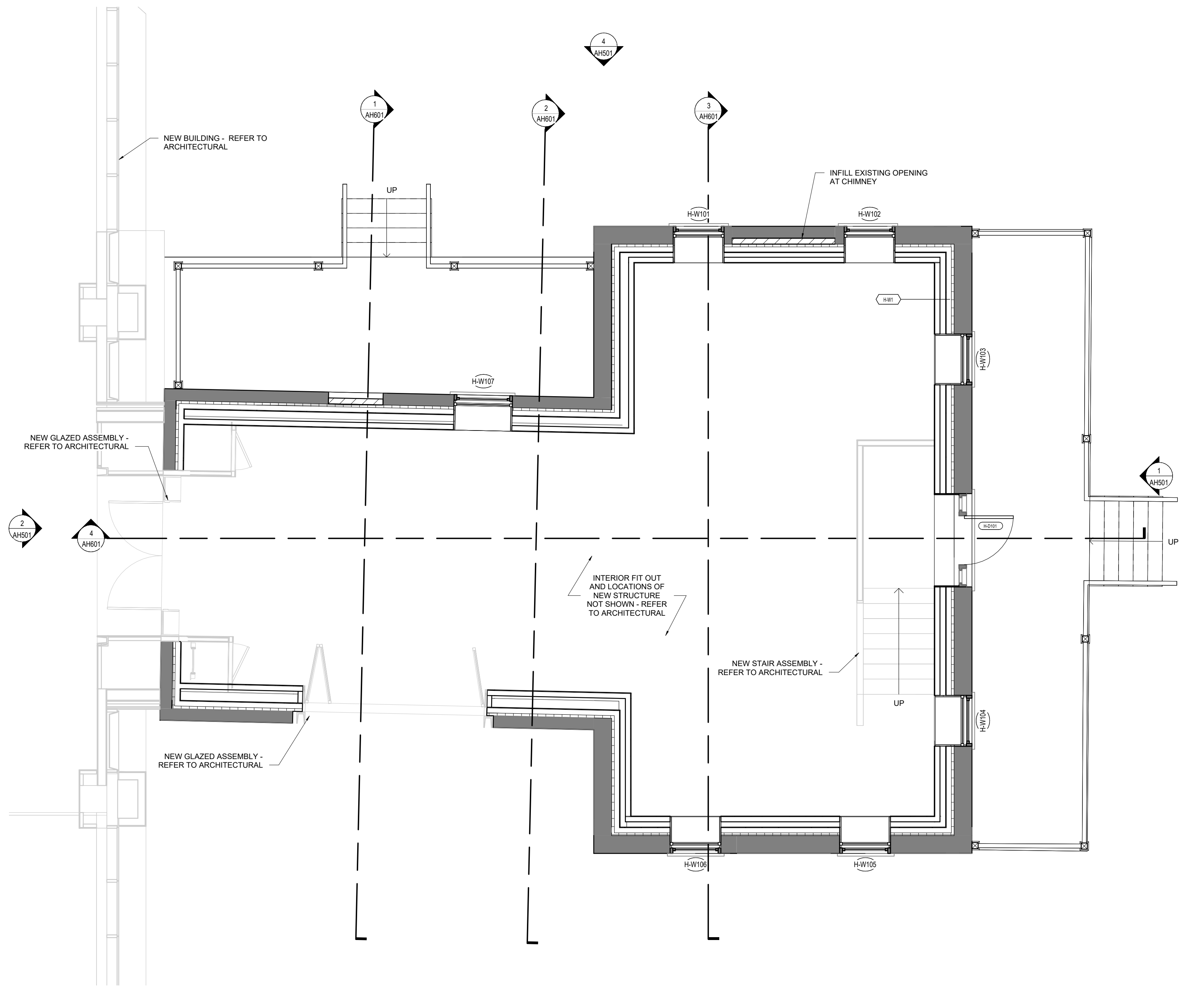
NOT FOR CONSTRUCTION

CONSERVATION REPAIR LEGEND	
	BRICKWORK REBUILD BRICKWORK WITH NEW BRICK TO MATCH EXISTING, EXCEPT WHERE INDICATED. OUT OUT AND REPORT JOINTS IN BRICKWORK.
	STONEWORK REBUILD STONEWORK FOUNDATION TO MATCH EXISTING. REPAIR CRACKS IN STONEWORK.
	METALS NEW YELLOW METAL (I.E. COPPER, BRASS, BRONZE).
	WOOD SALVAGE WOOD ELEMENT.

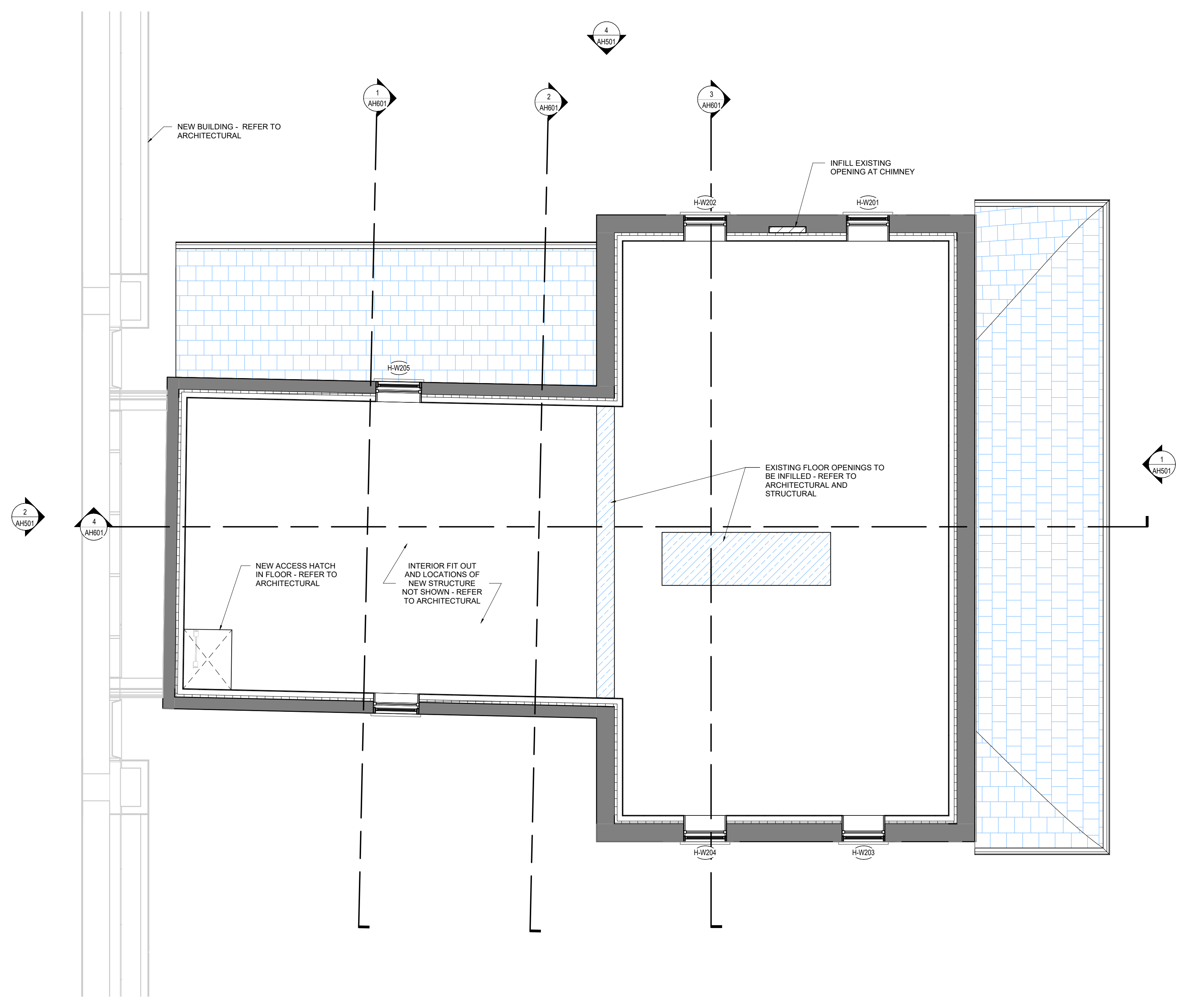
LEGEND	
	EXISTING
	EXISTING WITHIN EXISTING STRUCTURE
	NEW ENVELOPE WITHIN EXISTING STRUCTURE
	NEW CONSTRUCTION
	NEW CONSTRUCTION



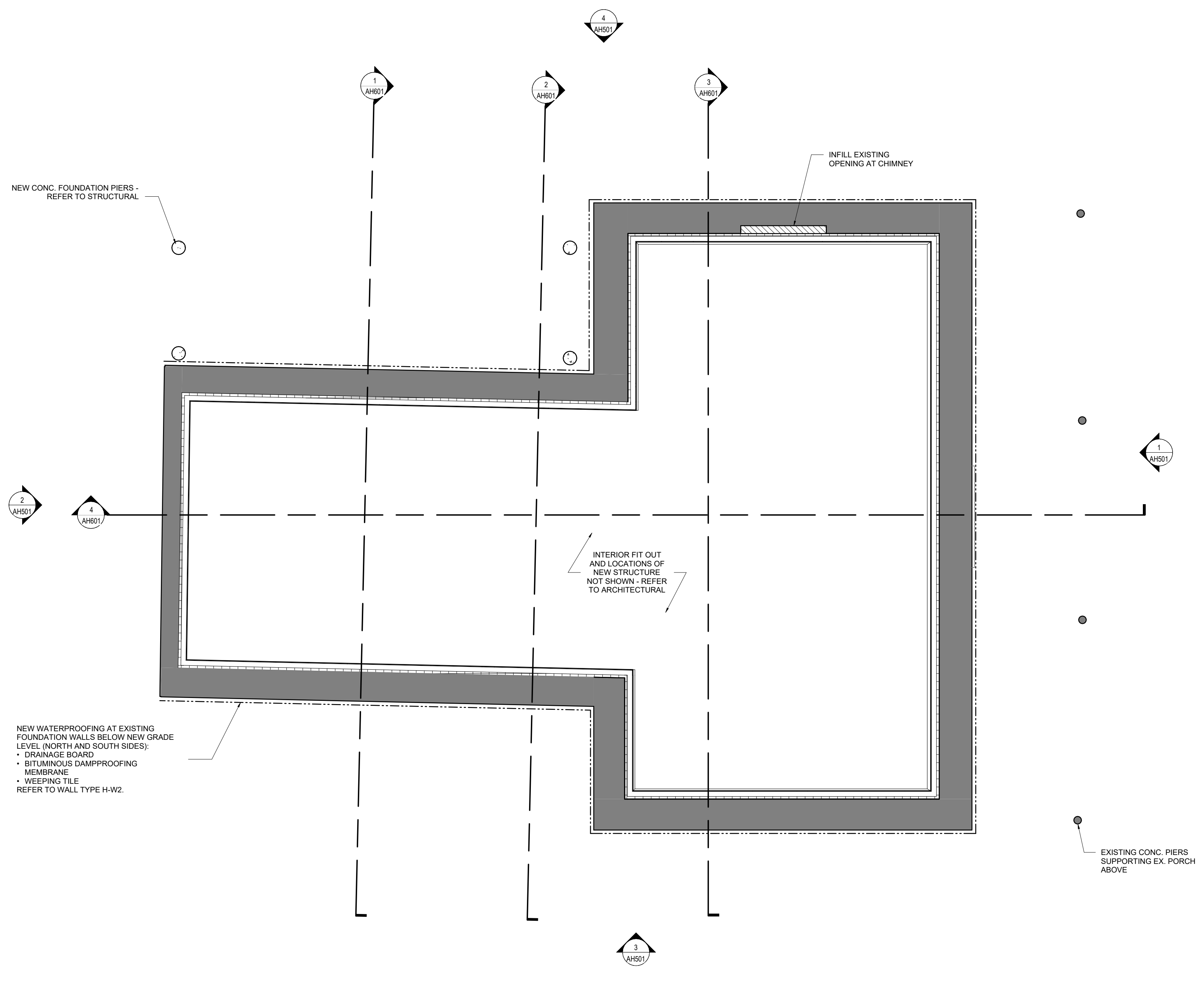
Roof_Proposed 4
1:50 AH301



Level 01_Proposed 2
1:50 AH301



Level 02_Proposed 3
1:50 AH301



Level P01_Proposed 1
1:50 AH301



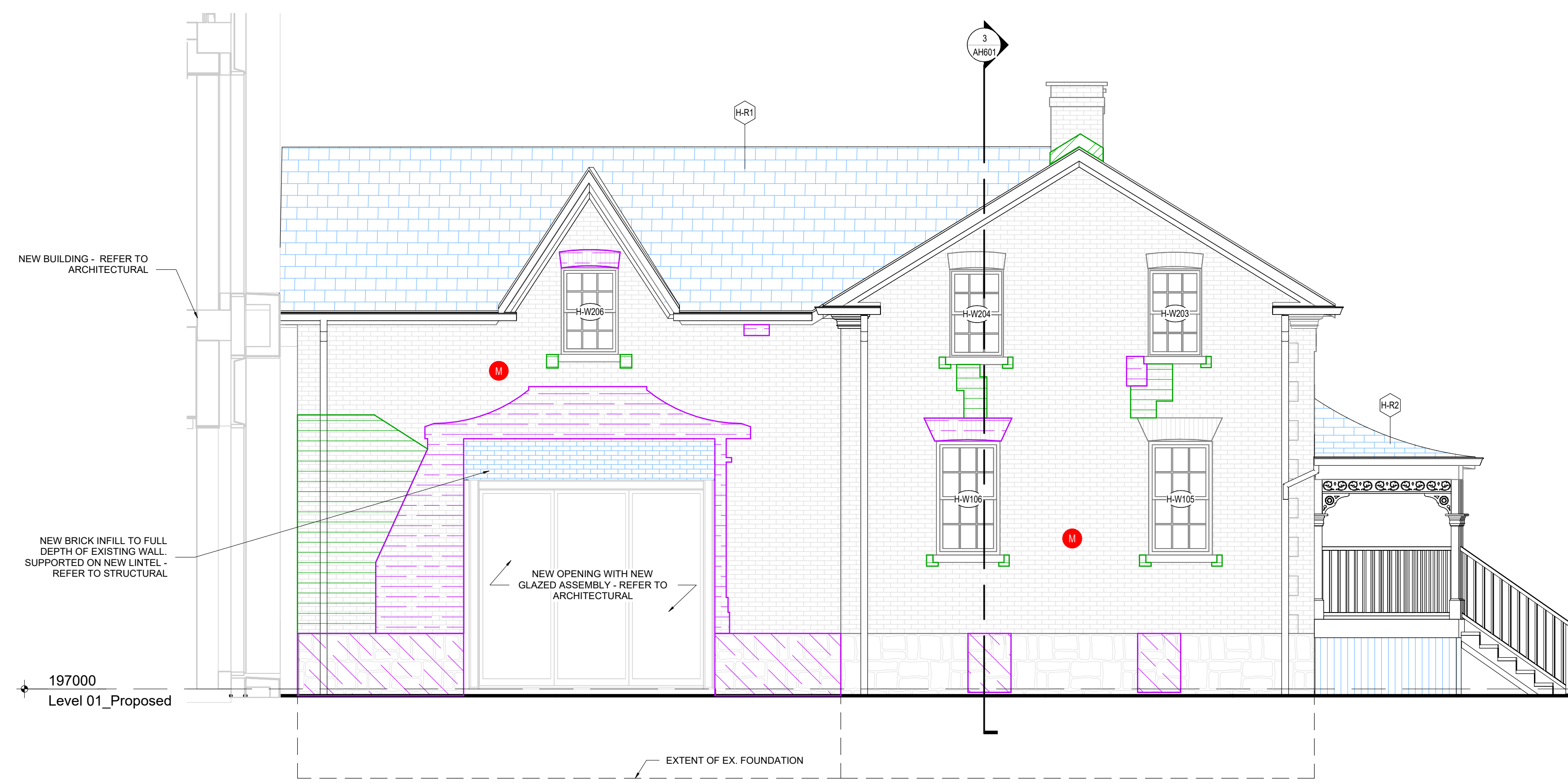
Project	8700 Huntington
Address	8700 Huntington Rd. Vaughan, ON
Pur	LUNA Local 183
Project no.	20-293
Scale at Arch. E.	As Indicated
Drawn by	NB
Reviewed by	MB
Drawing title	Floor Plans_Proposed

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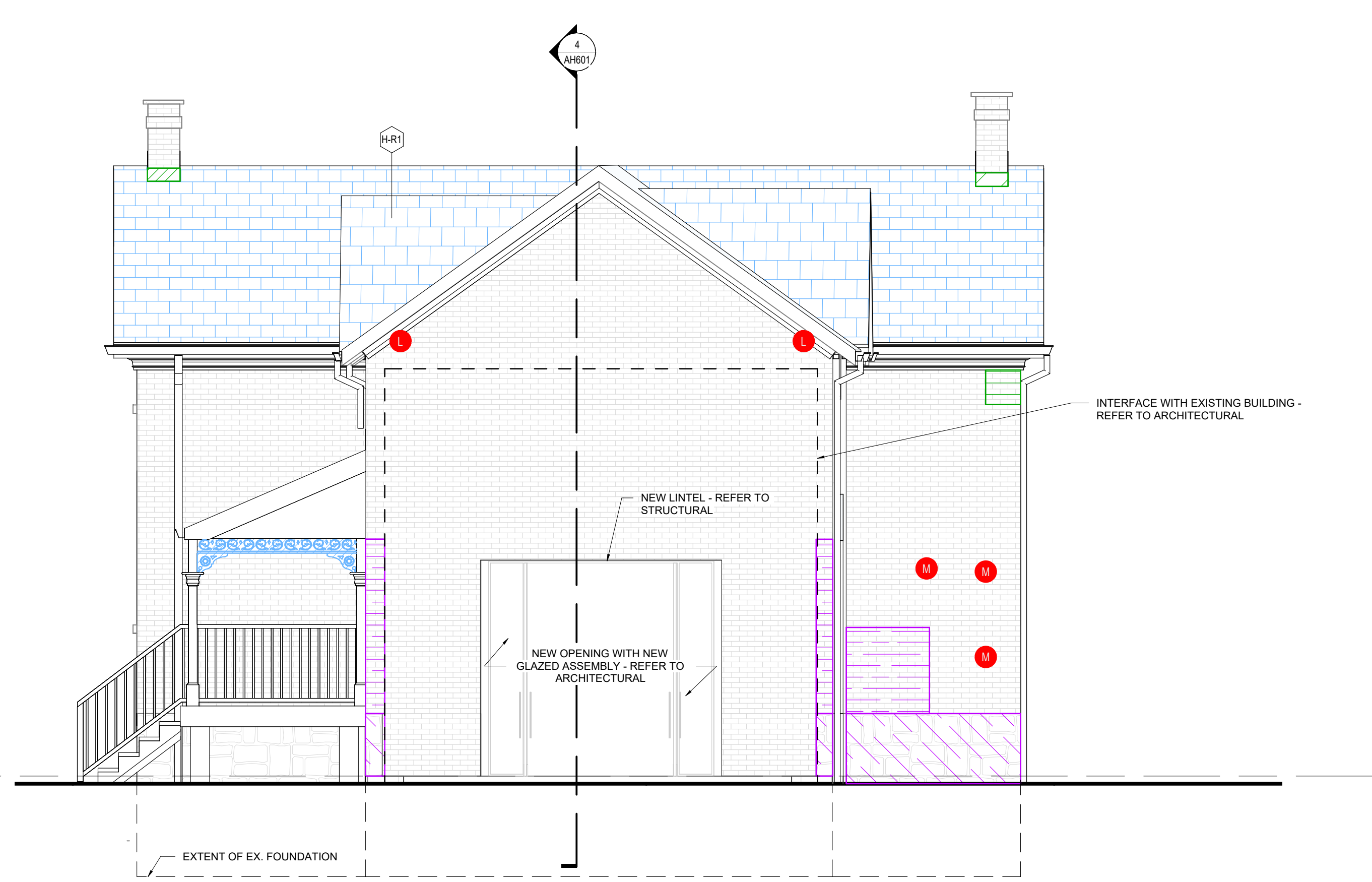
NOT FOR CONSTRUCTION

	BRICKWORK
	REBUILD BRICKWORK WITH NEW BRICK TO MATCH EXISTING (EXCEPT WHERE INDICATED)
	CUT OUT AND REPOINT JOINTS IN BRICKWORK
	REPAIR CRACK IN BRICKWORK
	MORTAR PATCH REPAIR TO HOLE IN BRICK UP TO 13MM DIA.
	REPLACE BRICK
	REPLACE 3 BRICKS
	STONESTONEWORK
	REBUILD STONESTONEWORK TO MATCH EXISTING
	REPAIR CRACK IN STONESTONEWORK
	METALS
	NEW YELLOW METAL (I.E. COPPER, BRASS, BRONZE)
	WOOD
	SALVAGE WOOD ELEMENT

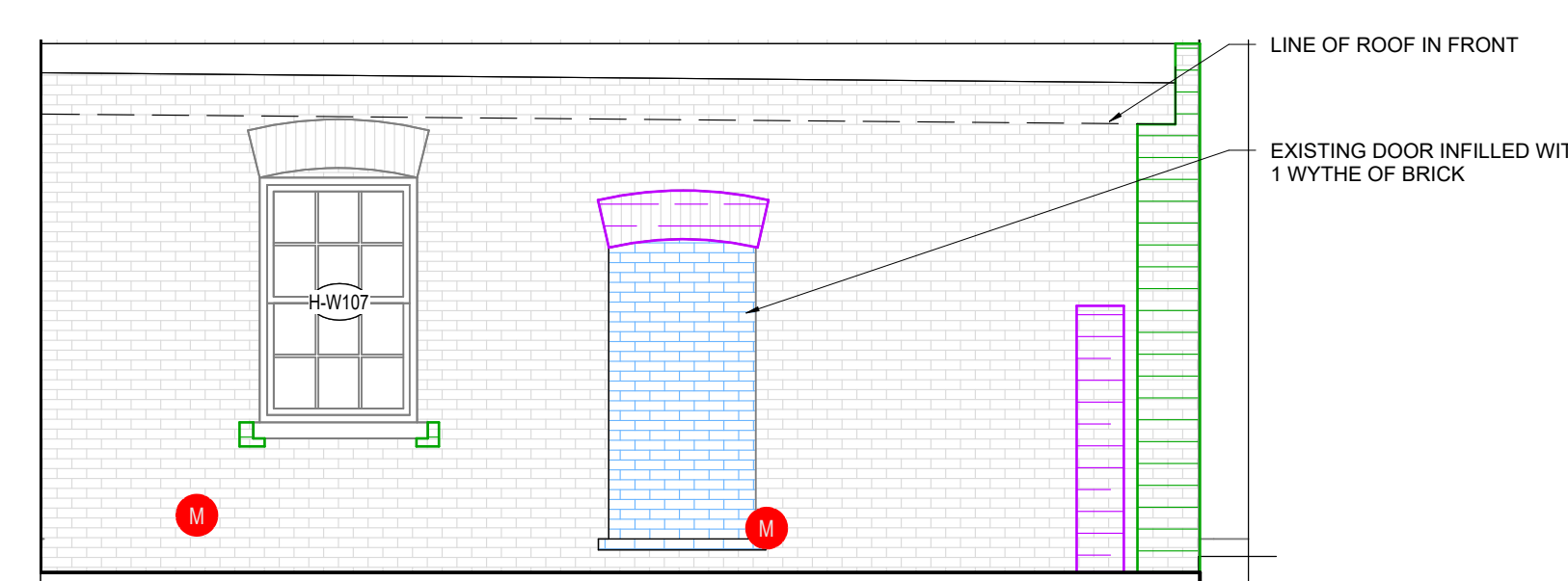
	EXISTING
	NEW ENVELOPE WITHIN EXISTING STRUCTURE
	NEW CONSTRUCTION



Elevation_South_Proposed 3
1:50 AH501



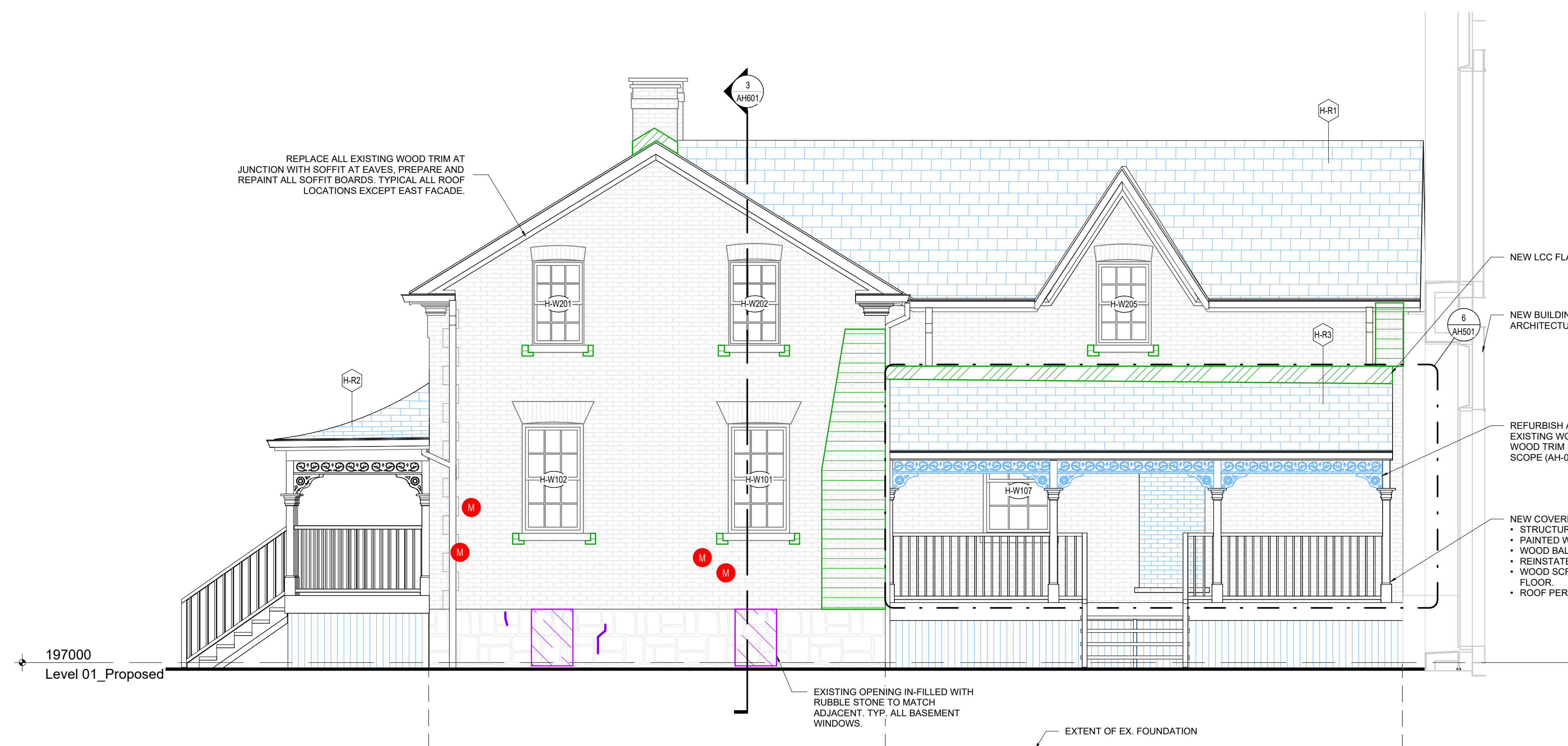
Elevation_West_Proposed 2
1:50 AH501



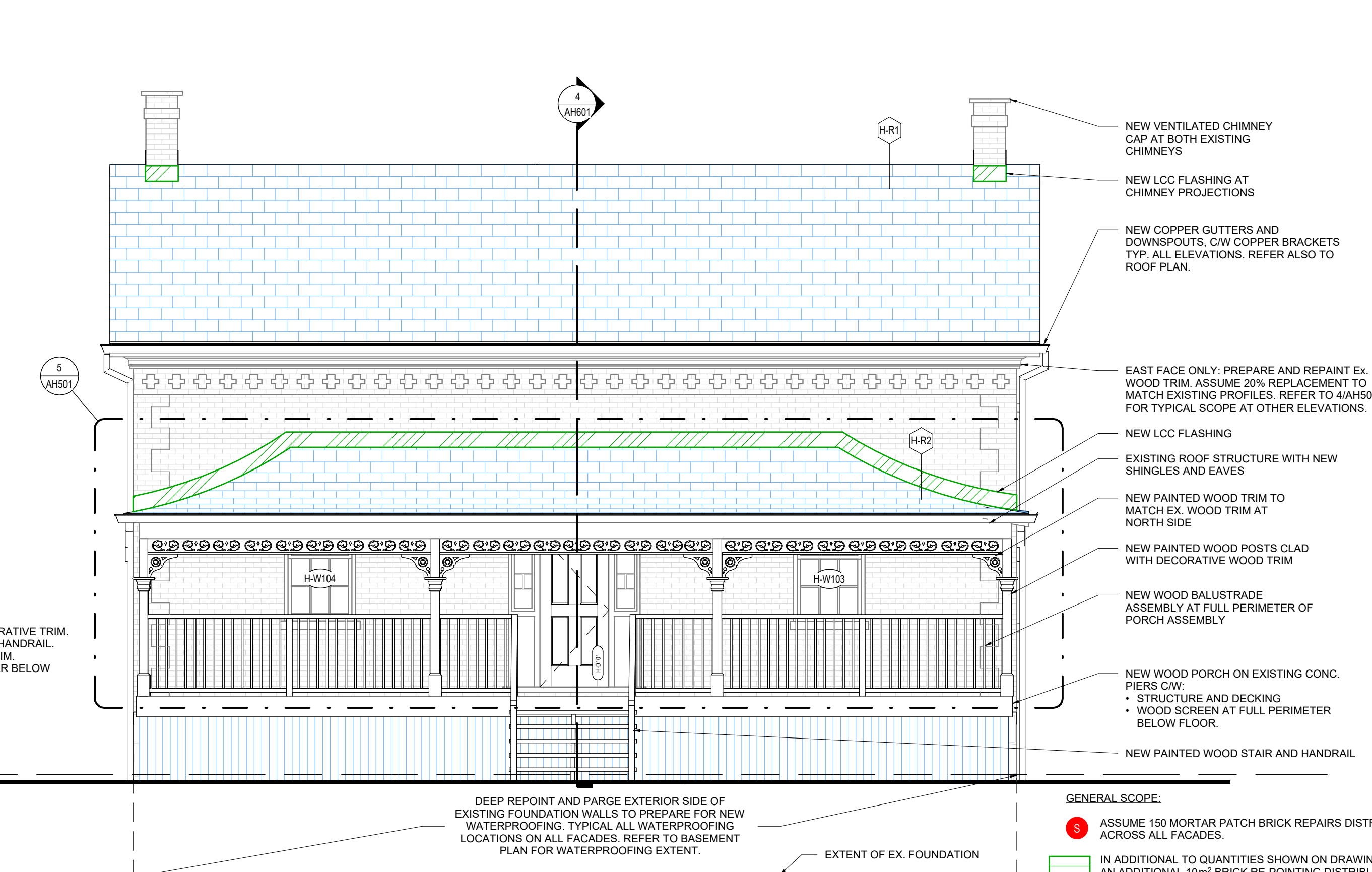
Elevation_North_Proposed - Callout 1 6
1:50 AH501



Elevation_East_Proposed - Callout 2 5
1:50 AH501



Elevation_North_Proposed 4
1:50 AH501

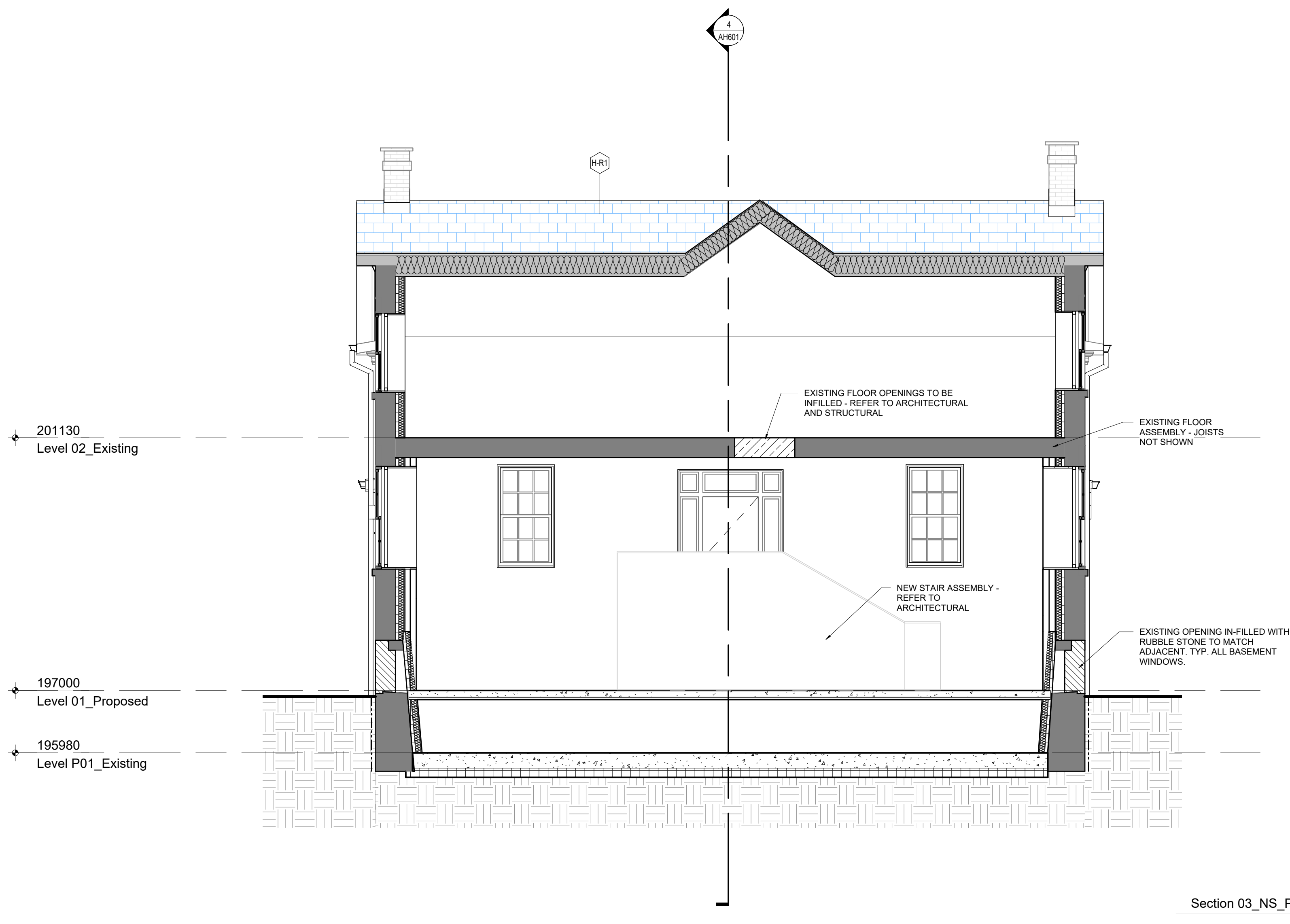


Elevation_East_Proposed 1
1:50 AH501

GENERAL NOTES:
 1. ASSUME 100 MORTAR-PATCH BRICK REPAIRS DISTRIBUTED ACROSS ALL FACADES.
 2. IN ADDITIONAL TO QUANTITIES SHOWN ON DRAWINGS ASSUME AN ADDITIONAL 100m² BRICK REPOINTING DISTRIBUTED ACROSS ALL FACADES.

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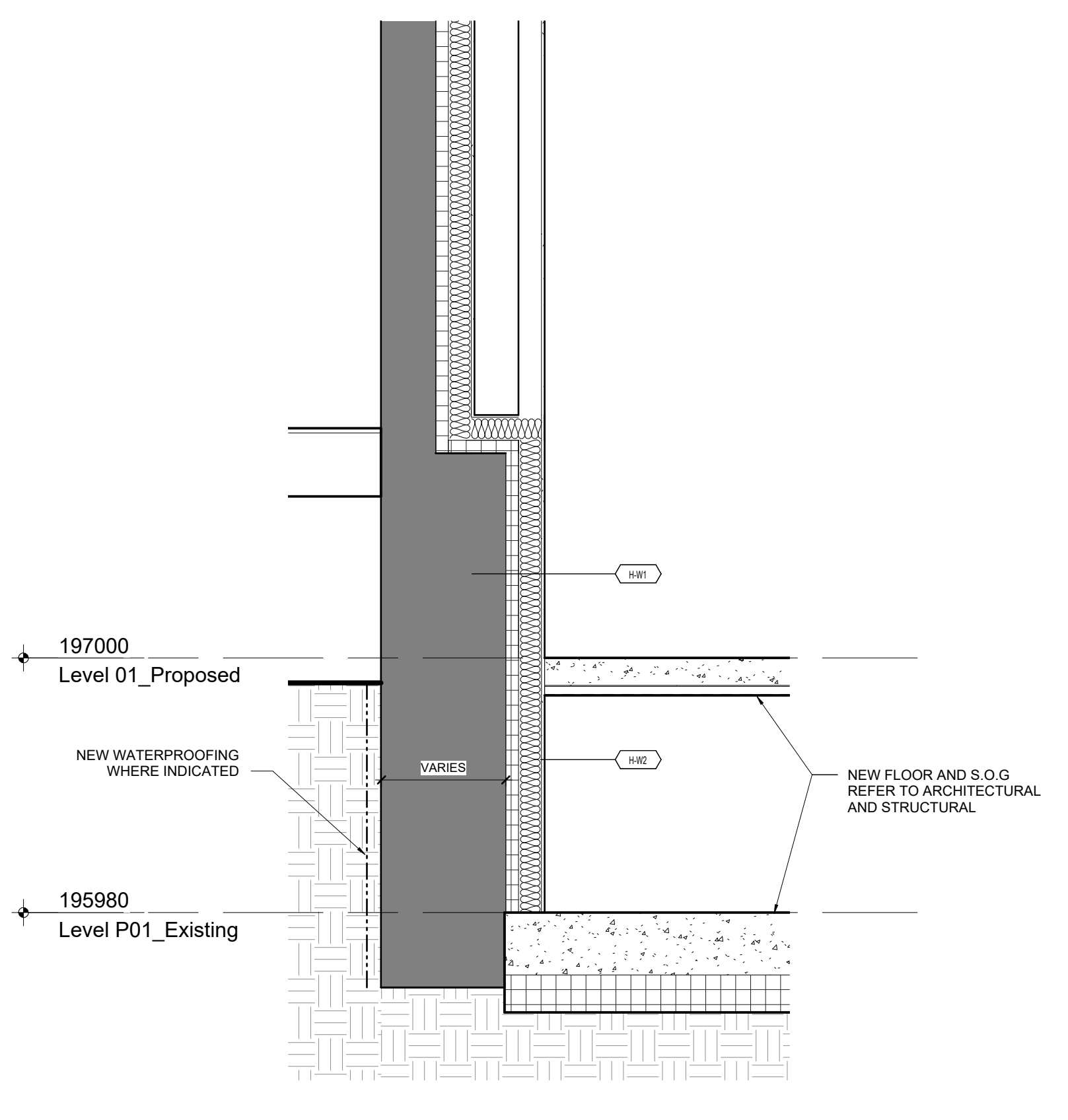
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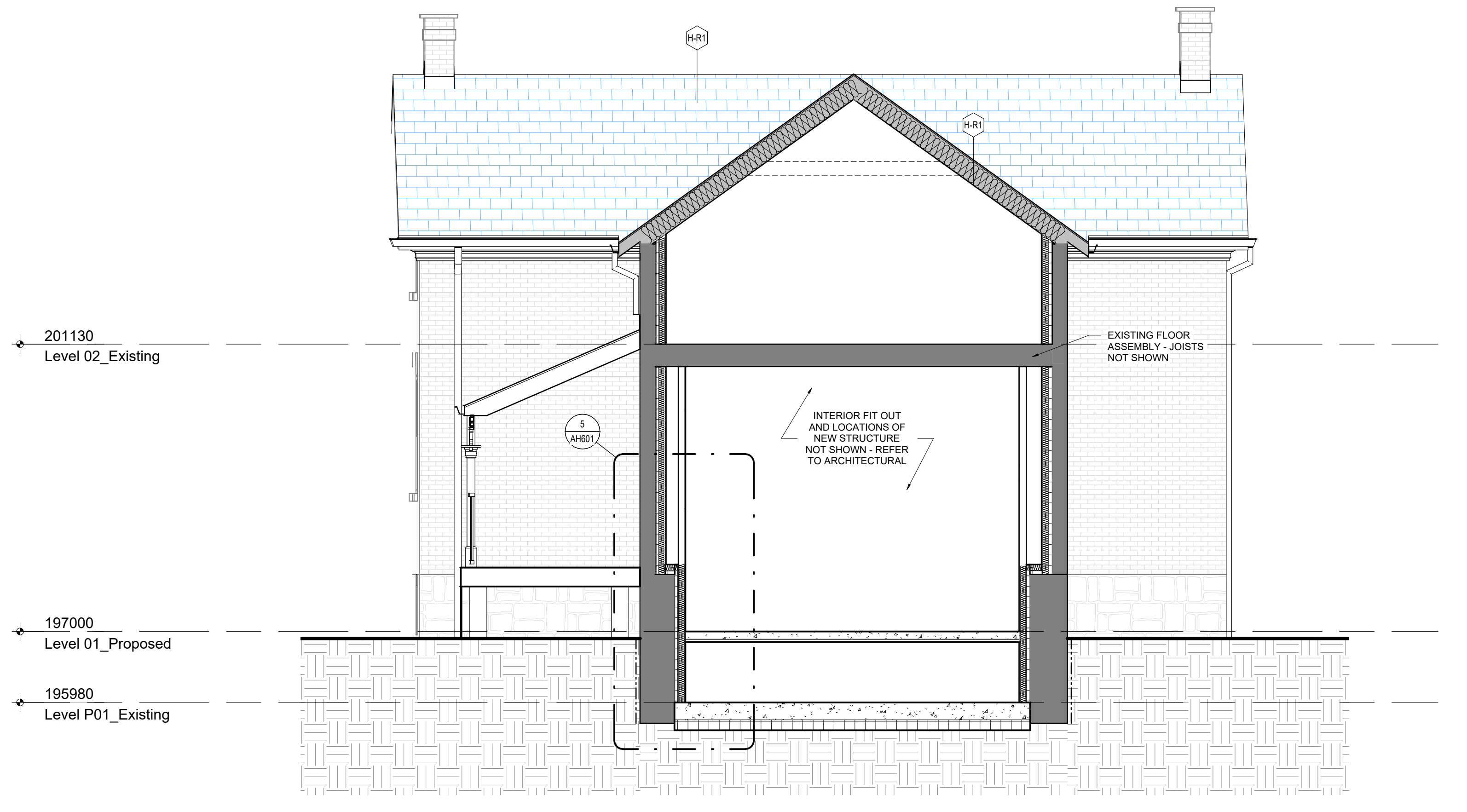
Section 03_NS_Proposed 3
1:50 AH001

CONSERVATION REPAIR LEGEND	
	BRICKWORK REBUILD BRICKWORK WITH NEW BRICK TO MATCH EXISTING (EXCEPT WHERE OTHERWISE INDICATED). EXCEPT WHERE OTHERWISE INDICATED.
	REPAIR CRACK IN BRICKWORK
	MORTAR PATCH REPAIR TO HOLE IN BRICK UP TO 15MM DIA.
	REPLACE BRICK
	REPLACE 3 BRICKS
	STONEMWORK REBUILD STONEMWORK FOUNDATION TO MATCH EXISTING.
	REPAIR CRACK IN STONEMWORK
	METALS NEW YELLOW METAL (I.E. COPPER, BRASS, BRONZE)
	WOOD SALVAGE WOOD ELEMENT

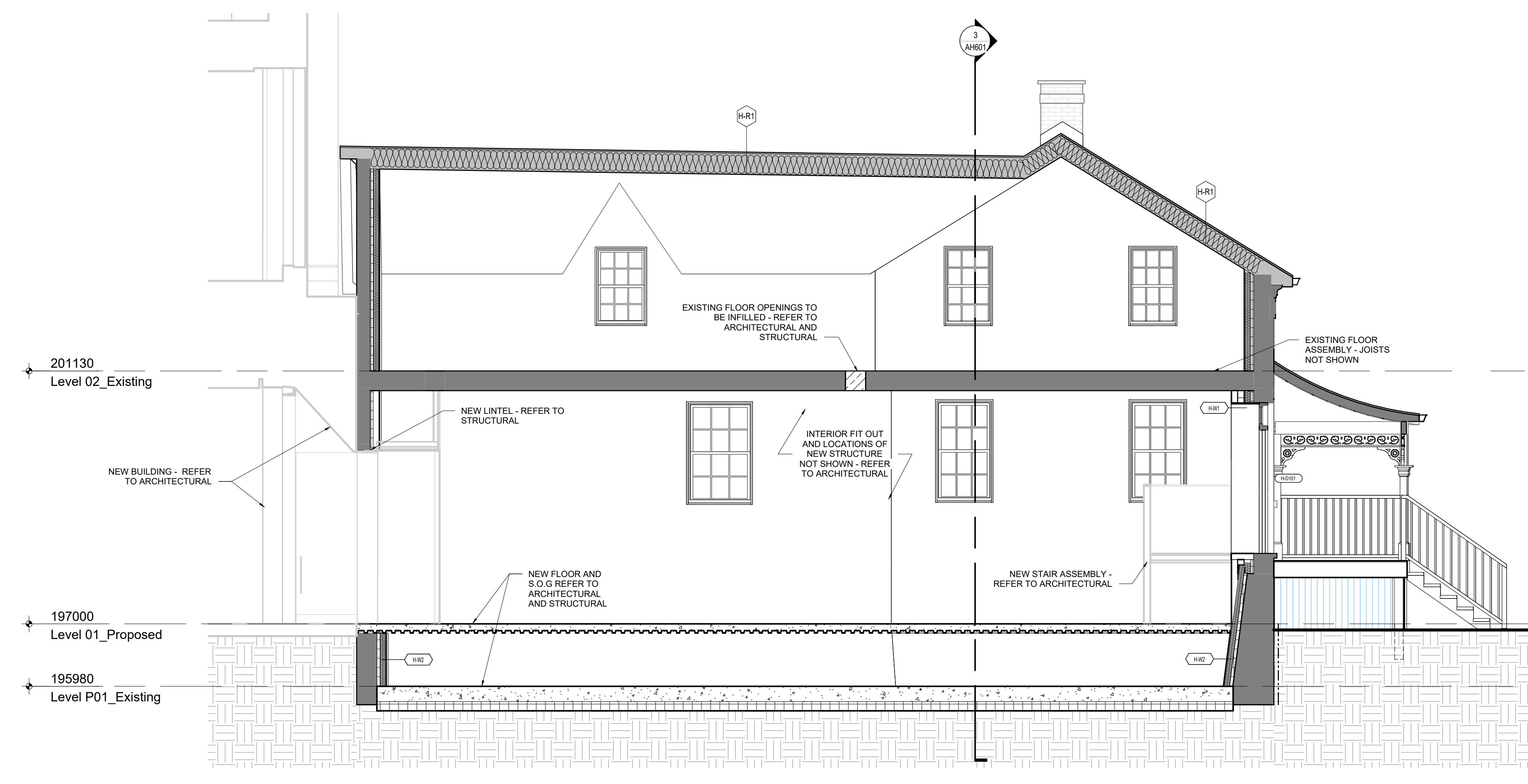
LEGEND	
	EXISTING
	EXISTING
	NEW ENVELOPE WITHIN EXISTING STRUCTURE
	NEW CONSTRUCTION
	NEW CONSTRUCTION



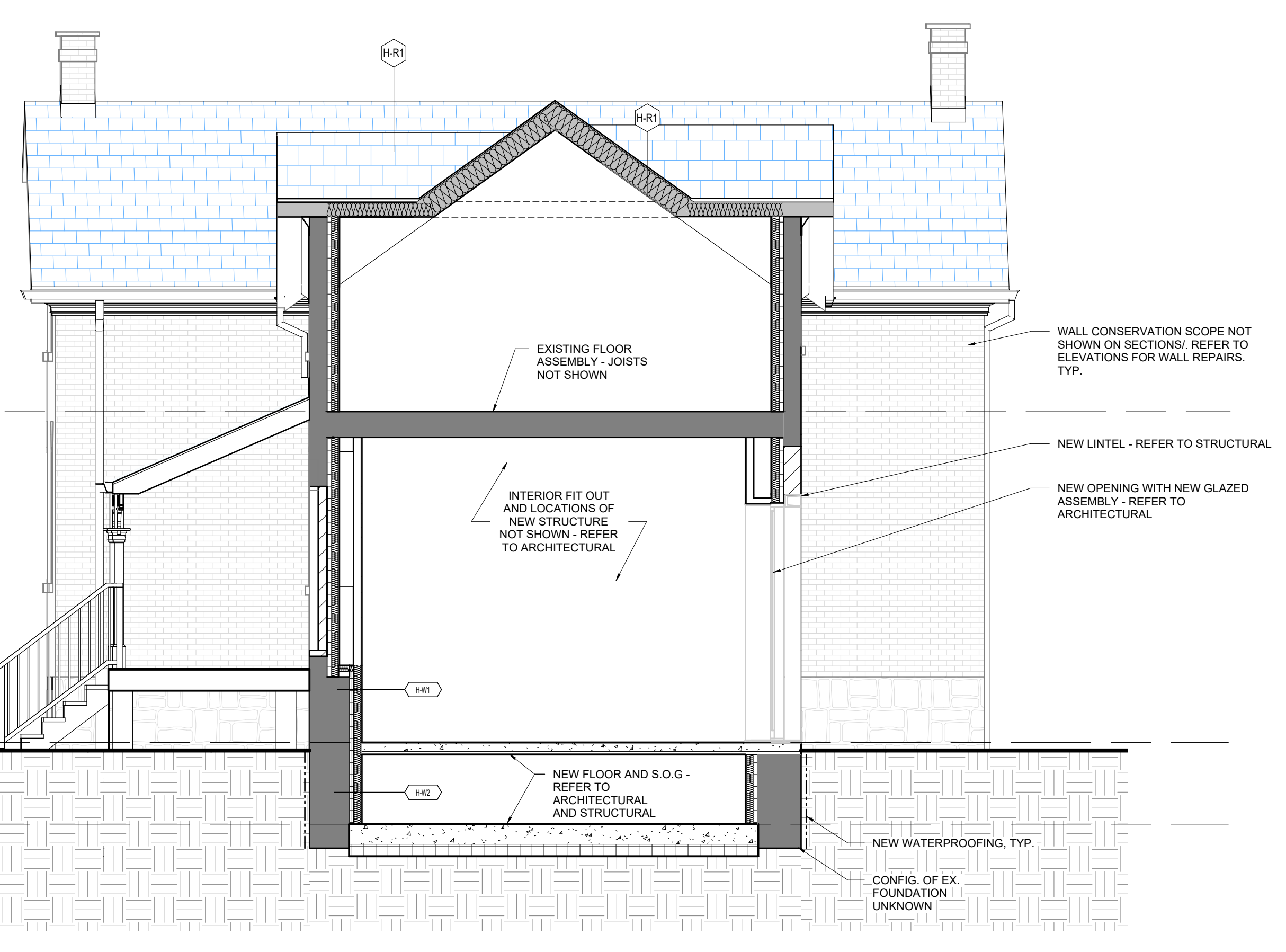
Wall Section @ Exterior Wall - Typ 5
1:20 AH001



Section 02_NS_Proposed 2
1:50 AH001



Section 04_EW_Proposed 4
1:50 AH001



Section 01_NS_Proposed 1
1:50 AH001