

# ATTACHMENT 2 439 GLENKINDIE



This drawing shall not be used for construction purposes unless issued for construction and signed by the Consultant.

**Structural Engineering**  
TDMT and Associates  
207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering  
N/A

**Landscape Architect**  
N/A

**Civil Engineering**  
N/A

Interior Design  
N/A

Metric Scale		
Drawing No.	Issued for:	Date:
1	INTERNAL REVIEW	2023-08-01
2	HERITAGE REVIEW	2023-03-03
3	ISSUED FOR COORDINATION	2024-02-07
4	ISSUED FOR COORDINATION	2024-04-15
5	HERITAGE REVIEW R1	2024-04-19



1:250

**Name of Project:**  
 Baron Nelson Architects Inc. (BNA)  
 304 – 67 Mowat Ave., Toronto, ON, M6K 3E3  
 Contact: Jason Nelson 416 662-1601

**Name of Project:**  
 Vaughan Heritage Home Renos – Devlin House

**Location:**  
 11151 Keele St, Vaughan, ON, L6A 1S8

**Date:** TBD

Ontario Building Code Data Matrix Part 11 – Renovation of Existing Building					Building Code Reference <sup>1</sup>	
11.00	Building Code Version:	<u>O. Reg. 332/12</u>	Last Amendment	<u>O. Reg. 191/14</u>		
11.01	Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use Description: <u>HERITAGE BUILDING - ENVELOPE REHABILITATION</u>			[A] 1.1.2.	
11.02	Major Occupancy Classification:	Occupancy <u>D</u> Use <u>OFFICES</u> _____ _____ _____			3.1.2.1.(1)	
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: _____			3.2.2.7.	
11.04	Building Area (m <sup>2</sup> )	Description:	Existing	New	Total	[A] 1.4.1.2.
		<u>LEVEL 1</u>	<u>167.7</u>	<u>0</u>	<u>0</u>	
		<u>LEVEL 2</u>	<u>138.9</u>	<u>0</u>	<u>0</u>	
		_____	<u>0</u>	<u>0</u>	<u>0</u>	
		_____	<u>0</u>	<u>0</u>	<u>0</u>	
		<b>Total</b>	<u>306.6</u>	<u>0</u>	<u>0</u>	
Insert additional lines as needed						
11.05	Building Height	<u>2</u> Storeys above grade	<u>8.6</u> (m)	Above grade		[A] 1.4.1.2. & 3.2.1.1.
		<u>1</u> Storeys below grade				
11.06	Number of Streets/ Firefighter access	<u>1</u> street(s)				3.2.2.10. & 3.2.5.
11.07	Building Size	<input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large				T.11.2.1.1.B.-N.

11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1.1																									
		Construction Index: <u>0</u>	T 11.2.1.1A																									
		Hazard Index: <u>0</u>	T 11.2.1.1B to N																									
		Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	4.2.1.(3), 5.2.2.1.(2)																									
11.09	Renovation type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1, 11.3.3.2																									
11.10	Occupant Load	<table border="1"> <thead> <tr> <th>Floor Level/Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occupant Load (Persons)</th> </tr> </thead> <tbody> <tr> <td>LEVEL 1 / 167.7</td> <td>D</td> <td>OFFICES</td> <td>19</td> </tr> <tr> <td>LEVEL 2 / 138.9</td> <td>D</td> <td>OFFICES</td> <td>15</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> </tbody> </table>	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	LEVEL 1 / 167.7	D	OFFICES	19	LEVEL 2 / 138.9	D	OFFICES	15				0				0	3.1.17.					
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11.11	Plumbing Fixture Requirements	Ratio: <u>M/F = 1/1 Except as otherwise noted</u> <table border="1"> <thead> <tr> <th>Floor Level/Area</th> <th>Occupant Load</th> <th>OBC Reference</th> <th>Fixtures Required</th> <th>Fixtures Provided</th> </tr> </thead> <tbody> <tr> <td>LEVEL 1 / 167.7</td> <td>19</td> <td>3.7.4.7.</td> <td>2</td> <td>1</td> </tr> <tr> <td>LEVEL 2 / 138.9</td> <td>15</td> <td>3.7.4.7.</td> <td>2</td> <td>2</td> </tr> <tr> <td></td> <td>0</td> <td></td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td></td> <td>0</td> <td>0</td> </tr> </tbody> </table>	Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided	LEVEL 1 / 167.7	19	3.7.4.7.	2	1	LEVEL 2 / 138.9	15	3.7.4.7.	2	2		0		0	0		0		0	0	3.7.4.
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	0		0	0																								
	0		0	0																								
	Insert additional lines as needed																											
11.12	Barrier-free Design:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11.3.3.2.(2)																									
11.13	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.																									

11.14	Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes _____ Structural: <input type="checkbox"/> No <input type="checkbox"/> Yes <u>(Describe)</u> Increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes <u>(Describe)</u> Change of major occupancy: <input type="checkbox"/> No <input type="checkbox"/> Yes <u>(Describe)</u> Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes <u>(Describe)</u> Sewage systems: <input type="checkbox"/> No <input type="checkbox"/> Yes <u>(Describe)</u> Extension of combustible construction: <input type="checkbox"/> No <input type="checkbox"/> Yes <u>(Describe)</u>	11.4.3.1, 11.4.3.2, 11.4.3.3, 11.4.3.4, 11.4.3.5, 11.4.3.6, 11.4.3.7.
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <u>(list numbers and describe)</u>  <u>(list numbers and describe)</u>  <u>(list numbers and describe)</u>	11.5.1.
11.16	Notes:	     <i>Insert additional lines as needed</i>	11.5.1.

1 All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C

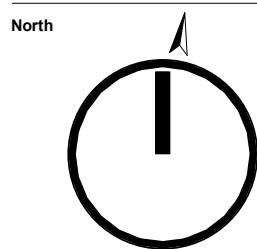
11151 KEELE ST,  
VAUGHAN, ON L6A 1S8

**VAUGHAN HERITAGE HOME  
RENOS - DEVLIN HOUSE**



Project Number

2211



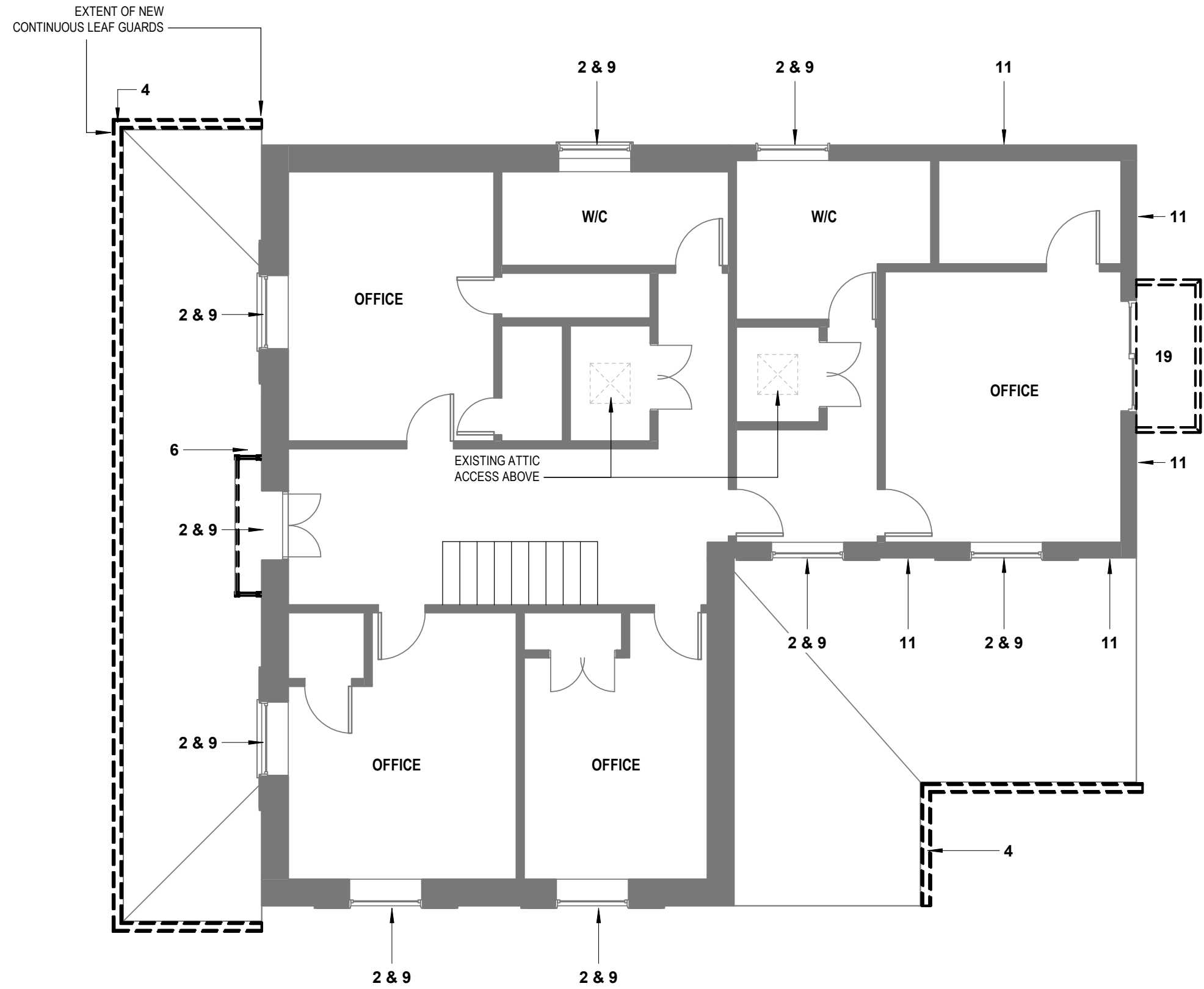
Title

**CONTEXT PLAN AND  
BUILDING CODE MATRIX**

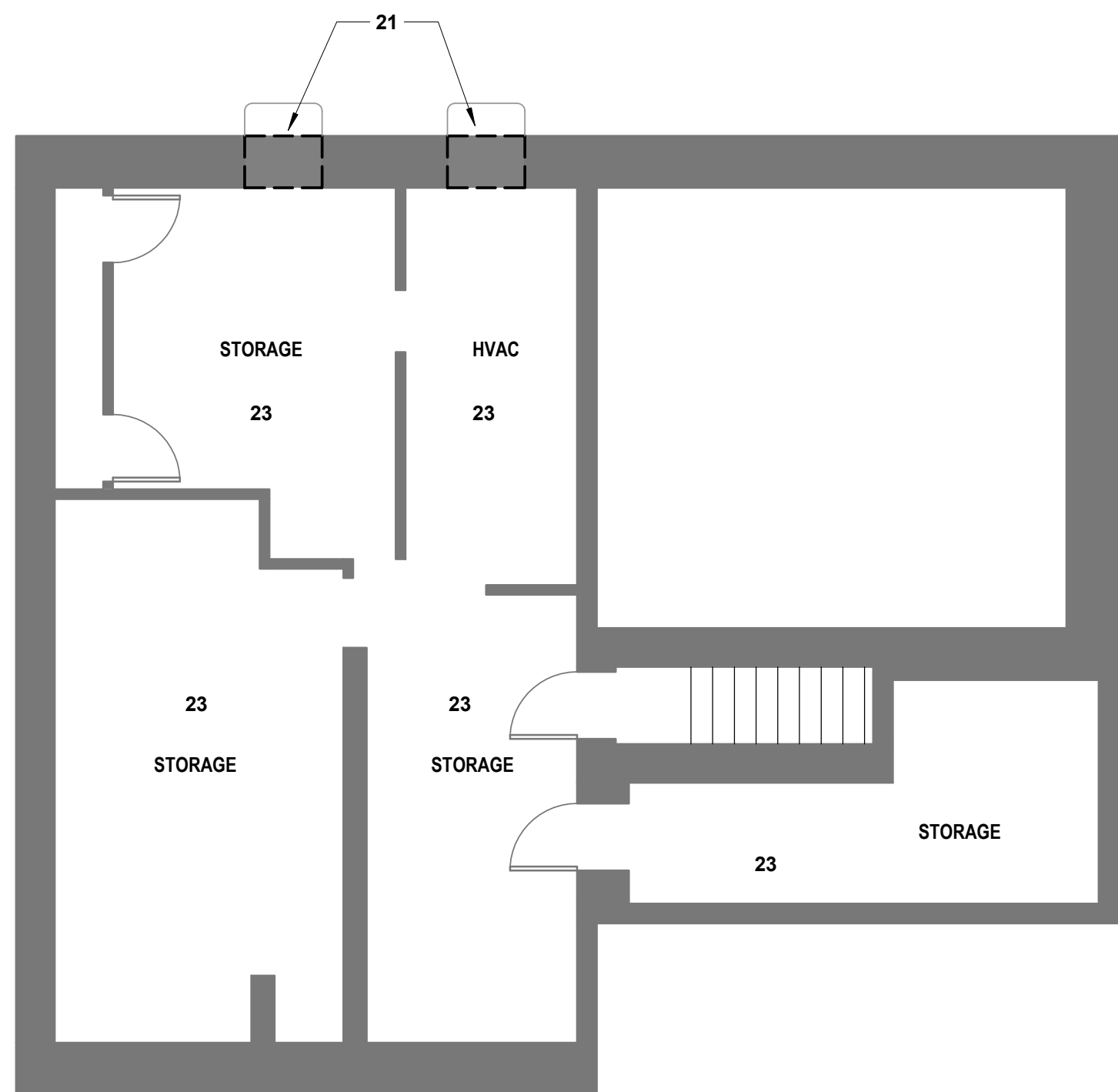
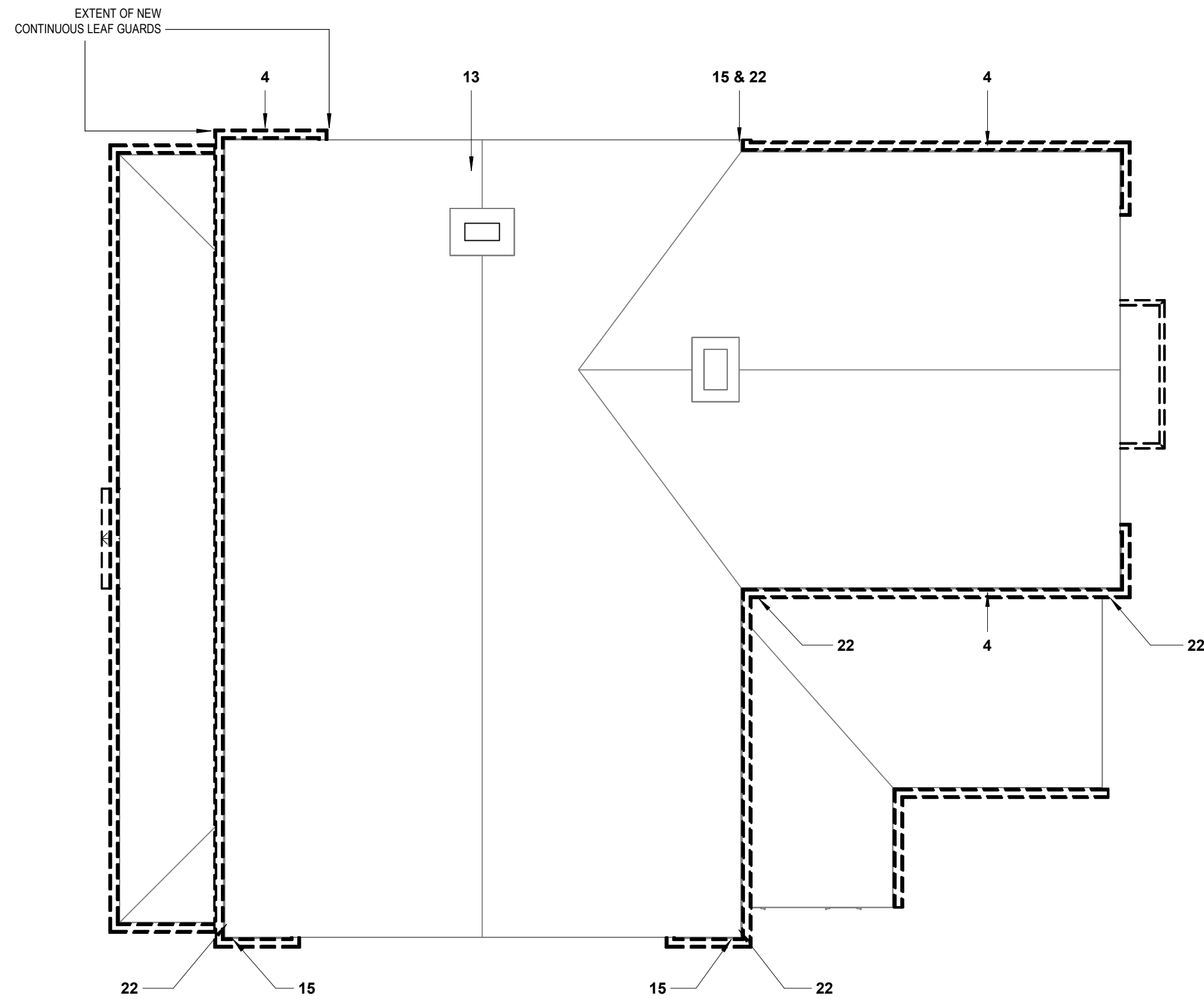
Drawn By	Author	Reviewed By	Checked
Scale	1 : 250	Date	07/04/20
Number			

# A1





LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED



ITEM	SCOPE OF WORK DH
1	Remove existing ferrous metal anchors from stone and brick & patch with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5).
2	Remove existing hard coat paint on all wood surfaces (frames, sills, trims, shutters, soffits, friezes, fascias, cornices and siding). Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allback linseed oil paint).
3	Re-point cracks or large joints in stone with colour matched NHL 3.5.
4	Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes, leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. <b>See Detail 4/A7</b>
5	Plumb misaligned shutters.
6	<b>Handrails, guards, pickets and posts:</b> Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allback linseed oil paint).
7	<b>Decorative columns and lattice work:</b> Collect broken lattice segments and reinstall. Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.
8	<b>Front porch assembly:</b> Remove and replace deteriorated pressure treated wood lattice enclosure at grade. Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all visible surfaces with soft coat paint.
9	<b>Door &amp; window sash remediation (exterior surfaces):</b> Investigate and replace assemblies if not viable. If viable, provide exterior repair: protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old perimeter sealant.
10	<b>Severely weathered sills and trims:</b> Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.
11	<b>Wood Siding:</b> Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all surfaces with soft coat paint. See 6/A7 for existing wall section detail.
12	Replace rusted column base standoffs with galv assemblies similar to existing.
13	Reinstall chimney coping sitting dangerously at the edge of the roof.
14	Make good, and repaint metal flashing with soft coat paint.
15	Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.
16	Install galvanized metal kick plate at top riser (width of stair - to protect new wood fascia). Paint to match with soft coat paint.
17	Fill all voids in existing wood nailer with epoxy filler. Sand, prep, and seal using lime putty & linseed oil paint.
18	Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away from window. Extend all mechanical and electrical connections as reqd and make good. <b>See Detail 2/A7</b>
19	Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. <b>See A7 for additional information</b>
20	At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom joint.
21	Remove gravel, debris, and redundant equipment from basement window well. Remove existing spray foam and wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage; replace gravel; make good.
22	Patch, repair and make good damaged segments of wood cornice, fascia, and soffit. Fill gaps between exterior wall and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. <b>See Detail 3/A7</b>
23	<b>Basement Work - Not in Contract (NIC)</b> Source and arrest leaks, replace damaged gypsum wall board, and restore fire separation. The City of Vaughan is pursuing a separate contract for this work.



**Baron Nelson Architects Inc.**  
304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3  
info@bnarch.ca www.bnarch.ca 437-222-6688

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**Heritage Specialist / Architect**  
Alan Kiln Architect Inc.  
14401 Niagara River Parkway, Queenston, Ontario L0S 1L0

**Structural Engineering**  
TDMT and Associates  
207 - 42 Industrial Street, East York, Ontario M4G 1Y9

**Electrical Engineering**  
N/A

**Landscape Architect**  
N/A

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**Interior Design**  
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Last Issued For

**HERITAGE REVIEW R1**  
2024-04-19

11151 KEELE ST.  
VAUGHAN, ON L6A 1S8

**VAUGHAN HERITAGE HOME**  
**RENOS - DEVLIN HOUSE**

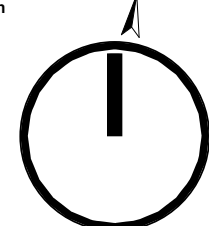
CITY OF VAUGHAN



Project Number

**2211**

North



Seal

Title

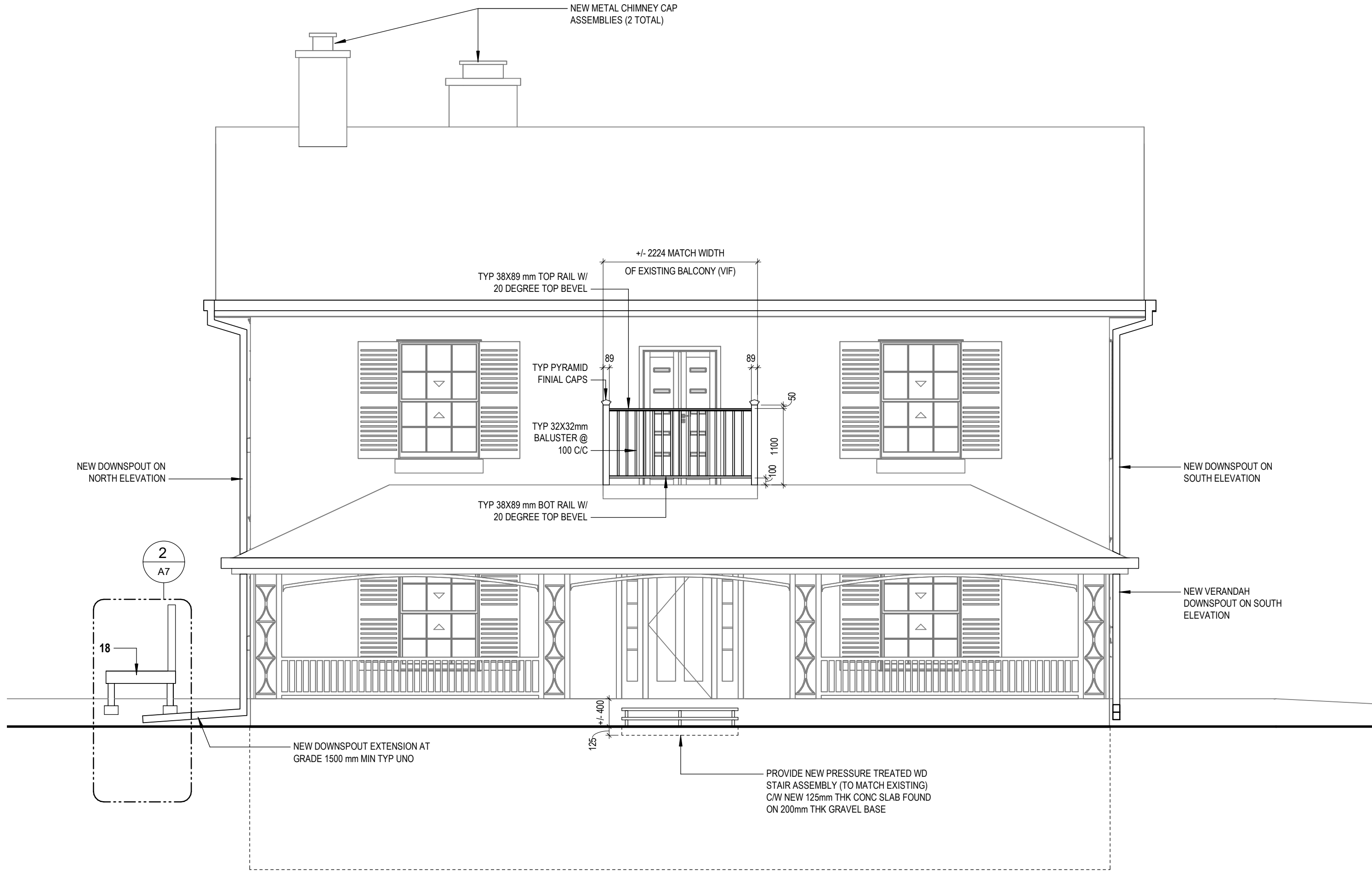
**EXISTING FLOOR PLANS**

Drawn By	Author	Reviewed By	Checker
Scale	As Indicated	Date	07/04/23

Number

**A2**

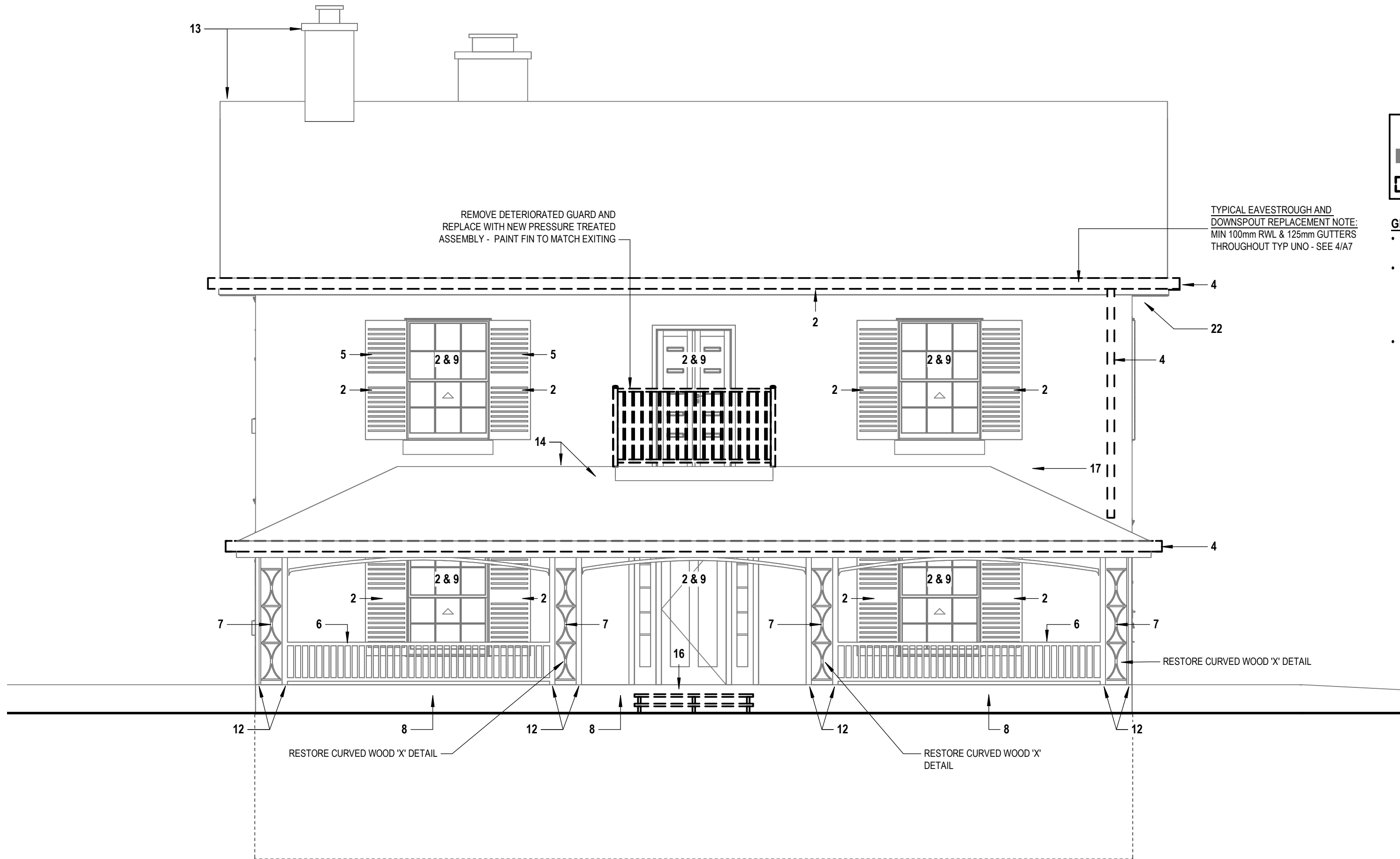




PROPOSED WEST ELEVATION

1:50

2



EXISTING WEST ELEVATION

1:50

1

LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED

- GENERAL NOTES:**
- NEW PAINT COLOURS TO MATCH EXISTING TYP UNO.
  - ALL NEW GUARD MEMBERS (PICKETS, HANDRAILS, ETC.) AND THEIR CONNECTIONS TO FOLLOW OBC SB-7 REQUIREMENT'S TYP UNO.
  - ALL EXT WOOD MEMBERS TO BE PRESSURE TREATED AND ALL CONNECTIONS TO BE GALVANIZED TYP UNO



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3	Re-point cracks or large joints in stone with colour matched NHL 3.5.
4	Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes, leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. <b>See Detail 4/A7</b>
5	Plumb misaligned shutters.
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8	<b>Front porch assembly:</b> Remove and replace deteriorated pressure treated wood lattice enclosure at grade. Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all visible surfaces with soft coat paint.
9	<b>Door &amp; window sash remediation (exterior surfaces):</b> Investigate and replace assemblies if not viable. If viable, provide exterior repair; protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old perimeter sealant.
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13	Reinstall chimney coping sitting dangerously at the edge of the roof.
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15	Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.
16	Install galvanized metal kick plate at top riser (width of stair - to protect new wood fascia). Paint to match with soft coat paint.
17	Fill all voids in existing wood nailer with epoxy filler. Sand, prep, and seal using lime putty & linseed oil paint.
18	Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away from window. Extend all mechanical and electrical connections as reqd and make good. <b>See Detail 2/A7</b>
19	Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. <b>See A7 for additional information</b>
20	At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom joint.
21	Remove gravel, debris, and redundant equipment from basement window well. Remove existing spray foam and wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage; replace gravel; make good.
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Heritage Specialist / Architect  
Alana Kilm Architect Inc.  
14451 Niagara River Parkway, Queenston, Ontario L0S 1L0

Structural Engineering  
TDMT and Associates  
207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering  
N/A

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11151 KEEL E ST.  
VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME  
RENOS - DEVLIN HOUSE

CITY OF VAUGHAN



Project Number

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North

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EXISTING & PROPOSED  
WEST ELEVATION

Drawn By	Author	Reviewed By	Checker
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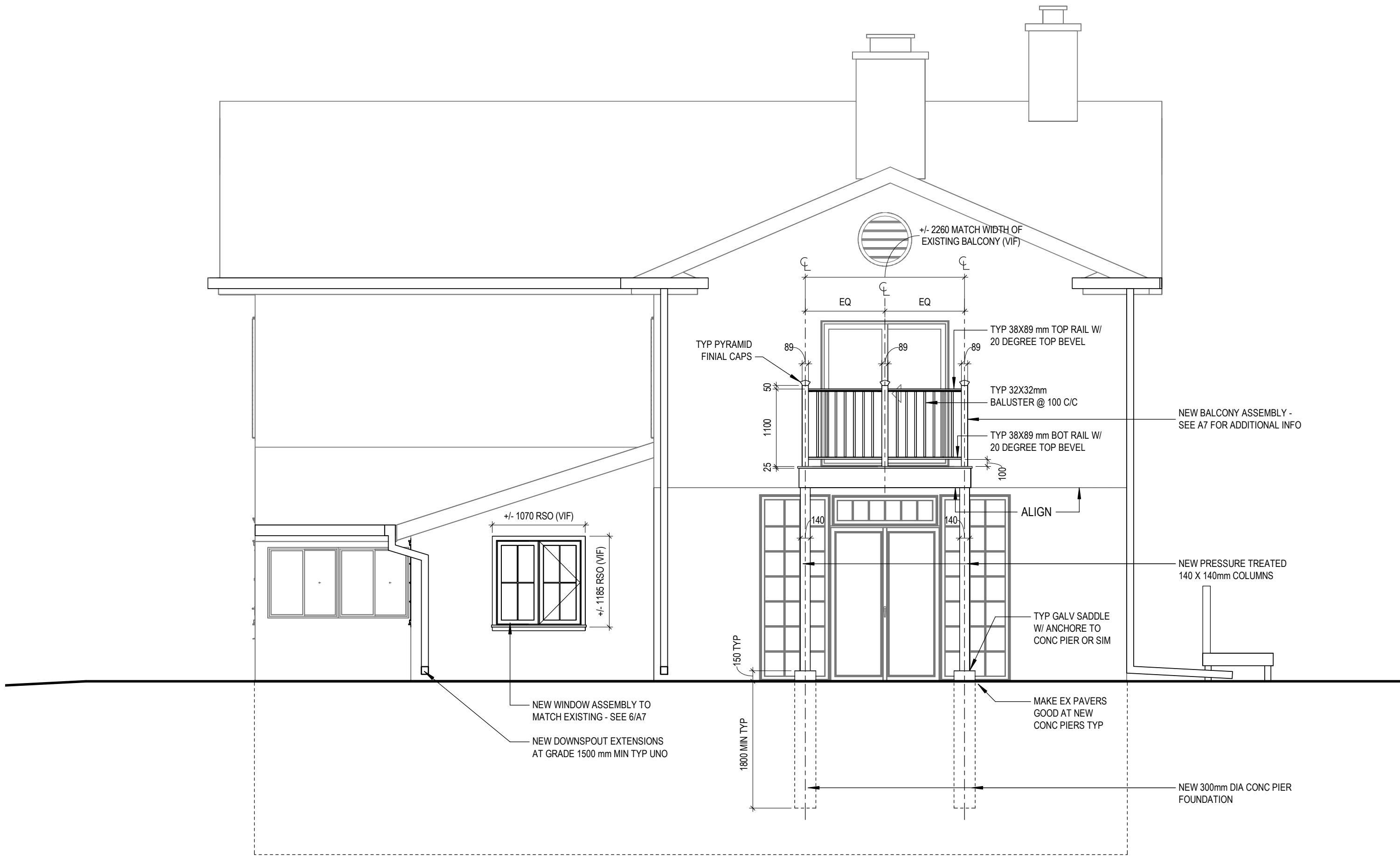
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A3



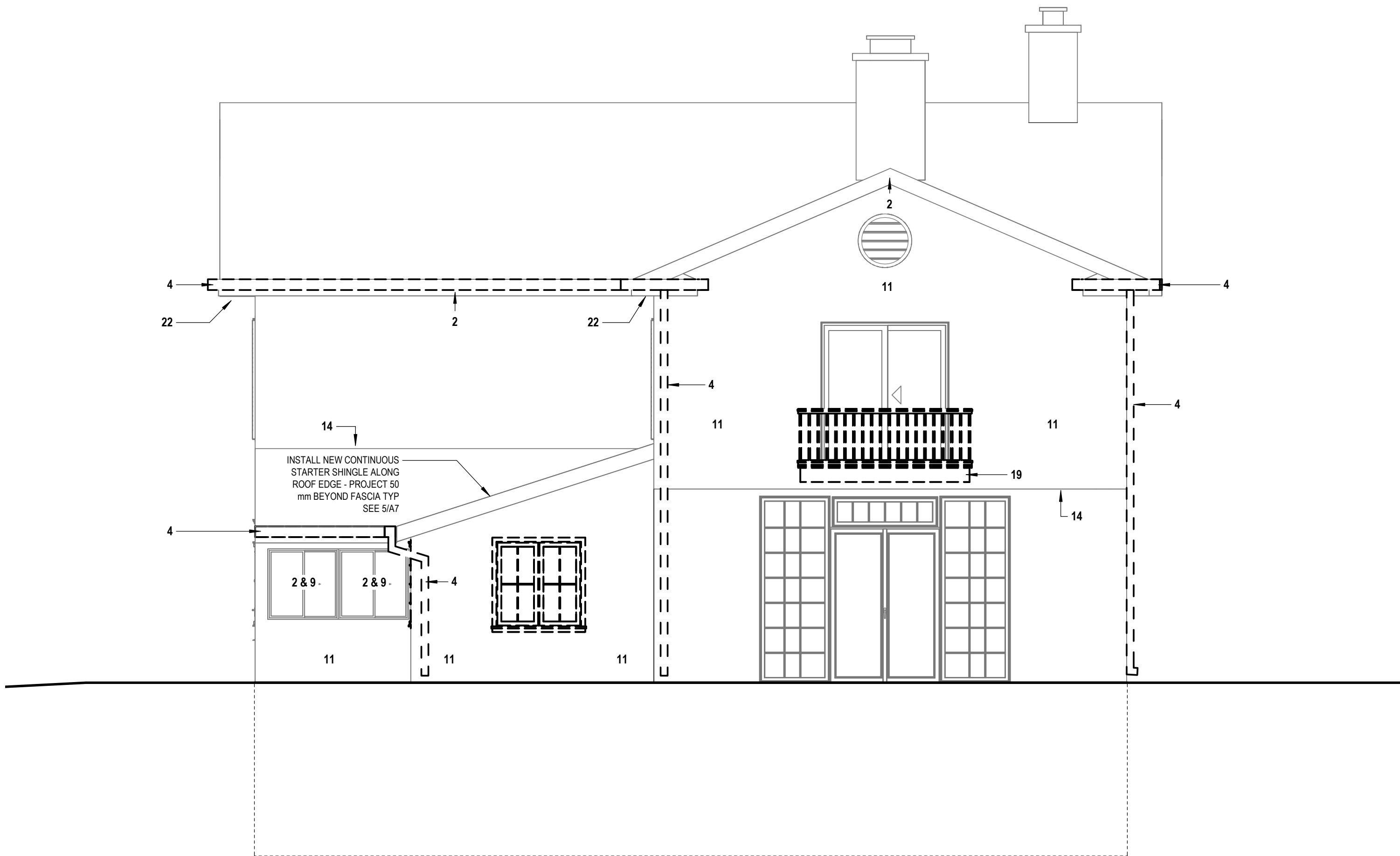






PROPOSED EAST ELEVATION 2

1:50

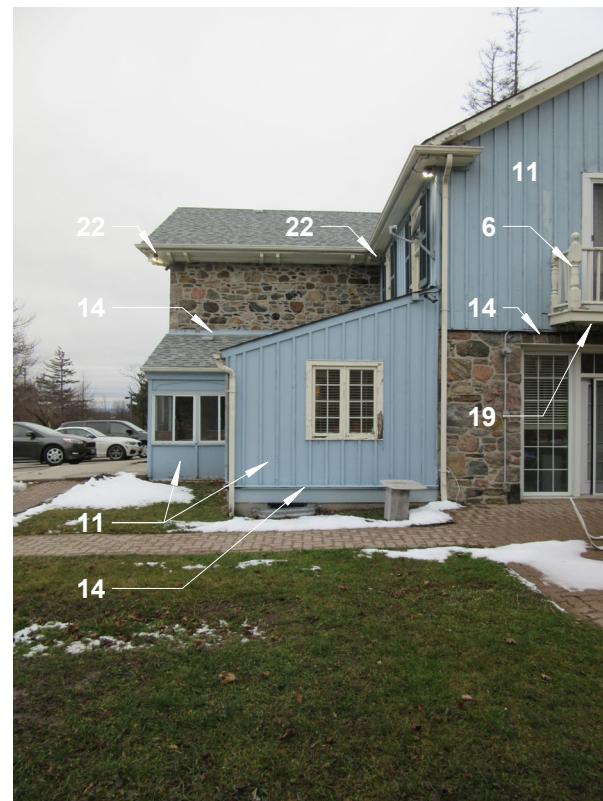


EXISTING EAST ELEVATION 1

1:50

LEGEND	
	EXISTING TO REMAIN
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- GENERAL NOTES:
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19	Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. <b>See A7 for additional information</b>
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22	Patch, repair and make good damaged segments of wood cornice, fascia, and soffit. Fill gaps between exterior wall and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. <b>See Detail 3/A7</b>
23	Basement Work - Not in Contract (NIC) Source and arrest leaks, replace damaged gypsum wall board, and restore fire separation. The City of Vaughan is pursuing a separate contract for this work.



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Electrical Engineering  
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Landscape Architect  
N/A

Civil Engineering  
N/A

Interior Design  
N/A

Metric Scale		
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4	ISSUED FOR COORDINATION	2024-04-15
5	HERITAGE REVIEW R1	2024-04-19

Last Issued For

HERITAGE REVIEW R1  
2024-04-19

11151 KEELER ST.  
VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME  
RENOS - DEVLIN HOUSE

CITY OF VAUGHAN



Project Number

2211

North

Seal

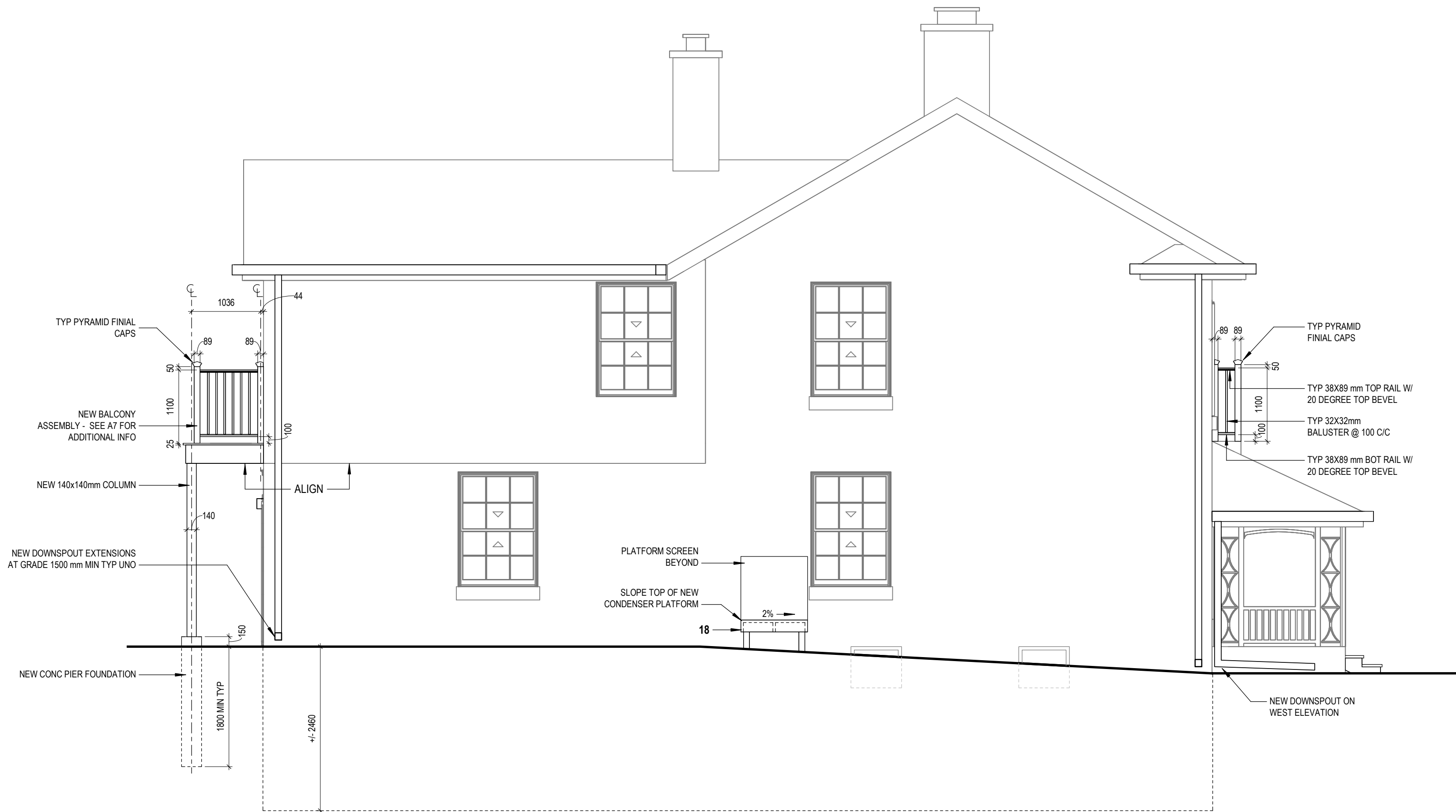
EXISTING & PROPOSED  
EAST ELEVATION

Drawn By	Author	Reviewed By	Checker
Scale	As Indicated	Date	07/04/23

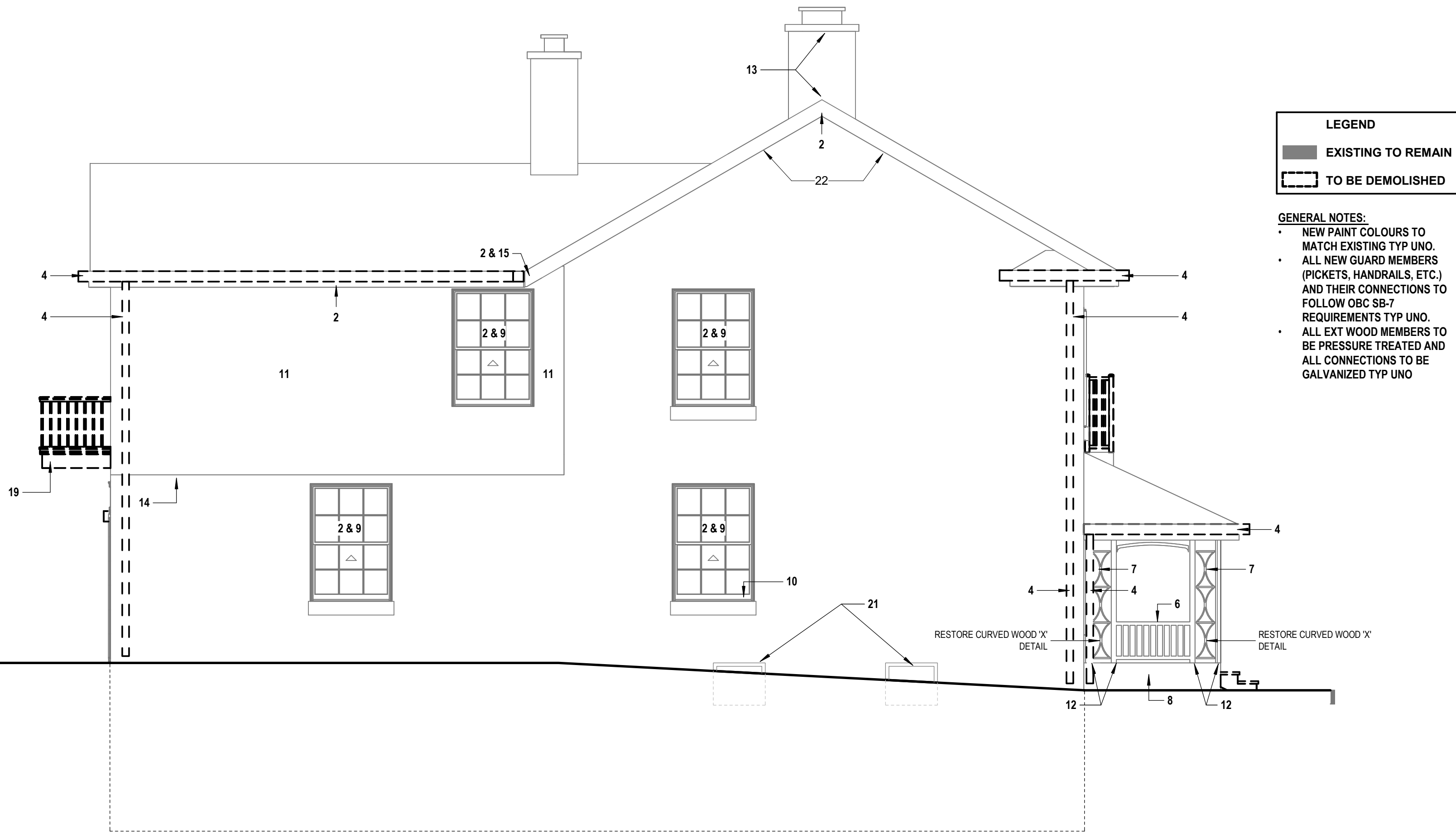
Number

A5





PROPOSED NORTH ELEVATION 1:50 2



EXISTING NORTH ELEVATION 1:50 1



ITEM	SCOPE OF WORK DH
1	Remove existing ferrous metal anchors from stone and brick & patch with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5).
2	Remove existing hard coat paint on all wood surfaces (frames, sills, trims, shutters, soffits, friezes, fascias, cornices and siding). Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allback linseed oil paint).
3	Re-point cracks or large joints in stone with colour matched NHL 3.5.
4	Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes, leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. <b>See Detail 4/A7</b>
5	Plumb misaligned shutters.
6	<b>Handrails, guards, pickets and posts:</b> Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allback linseed oil paint).
7	<b>Decorative columns and lattice work:</b> Collect broken lattice segments and reinstall. Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.
8	<b>Front porch assembly:</b> Remove and replace deteriorated pressure treated wood lattice enclosure at grade. Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all visible surfaces with soft coat paint.
9	<b>Door &amp; window sash remediation (exterior surfaces):</b> Investigate and replace assemblies if not viable. If viable, provide exterior repair: protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old perimeter sealant.
10	<b>Severely weathered sills and trims:</b> Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.
11	<b>Wood Siding:</b> Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all surfaces with soft coat paint. See 6/A7 for existing wall section detail.
12	Replace rusted column base standoffs with galv assemblies similar to existing.
13	Reinstall chimney coping sitting dangerously at the edge of the roof.
14	Make good, and repaint metal flashing with soft coat paint.
15	Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.
16	Install galvanized metal kick plate at top riser (width of stair - to protect new wood fascia). Paint to match with soft coat paint.
17	Fill all voids in existing wood nailer with epoxy filler. Sand, prep, and seal using lime putty & linseed oil paint.
18	Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away from window. Extend all mechanical and electrical connections as reqd and make good. <b>See Detail 2/A7</b>
19	Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. <b>See A7 for additional information</b>
20	At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom joint.
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Electrical Engineering  
N/A

Landscape Architect  
N/A

Civil Engineering  
N/A

Interior Design  
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Last Issued For

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11151 KEELIE ST.  
VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME  
RENOS - DEVLIN HOUSE

CITY OF VAUGHAN



Project Number

2211

North

Seal

Title

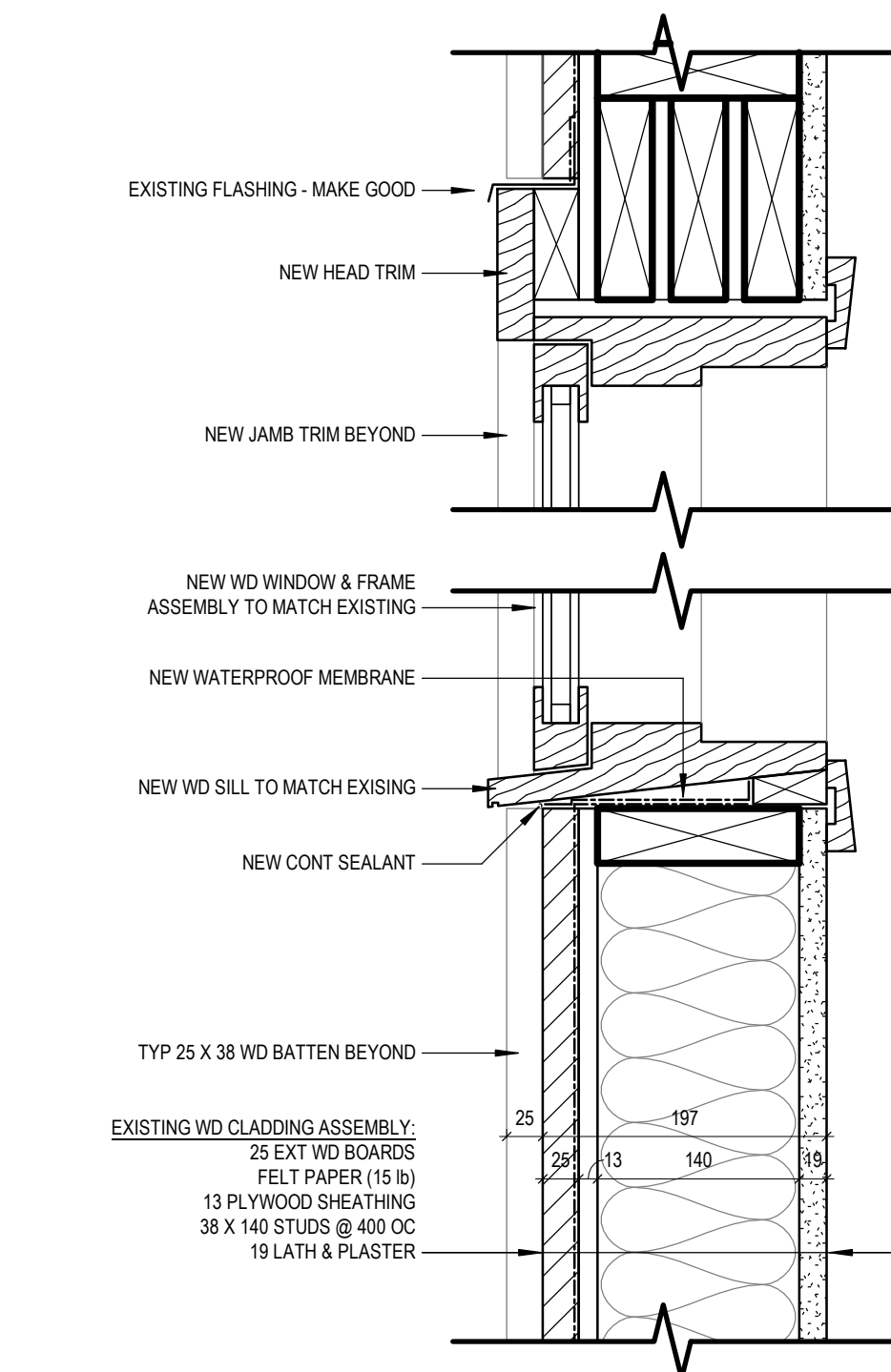
EXISTING & PROPOSED  
NORTH ELEVATION

Drawn By	Author	Reviewed By	Checker
Scale	As Indicated	Date	07/04/23

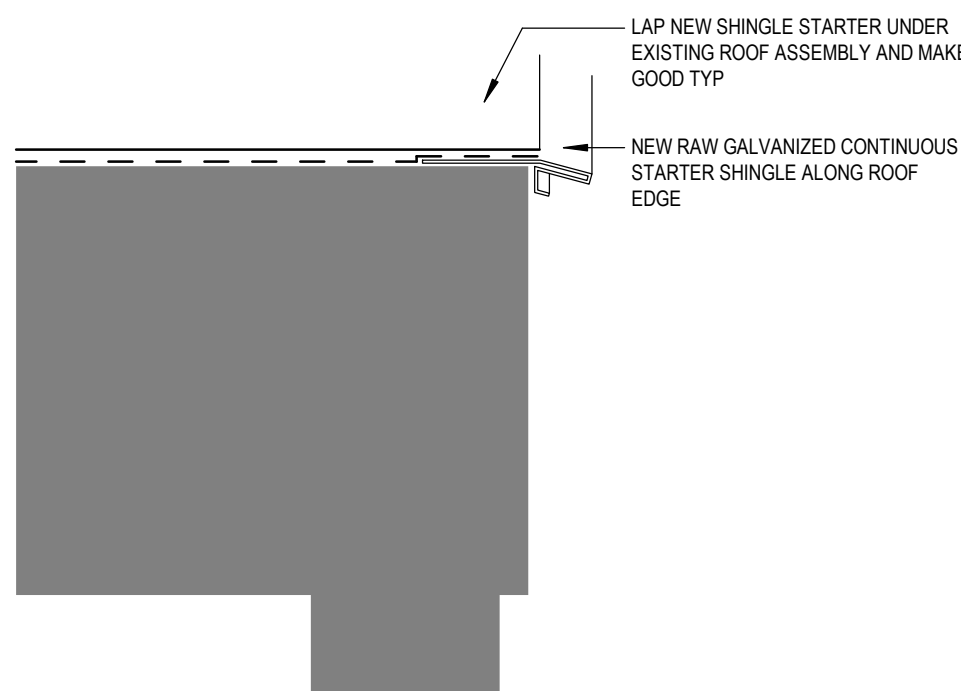
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A6

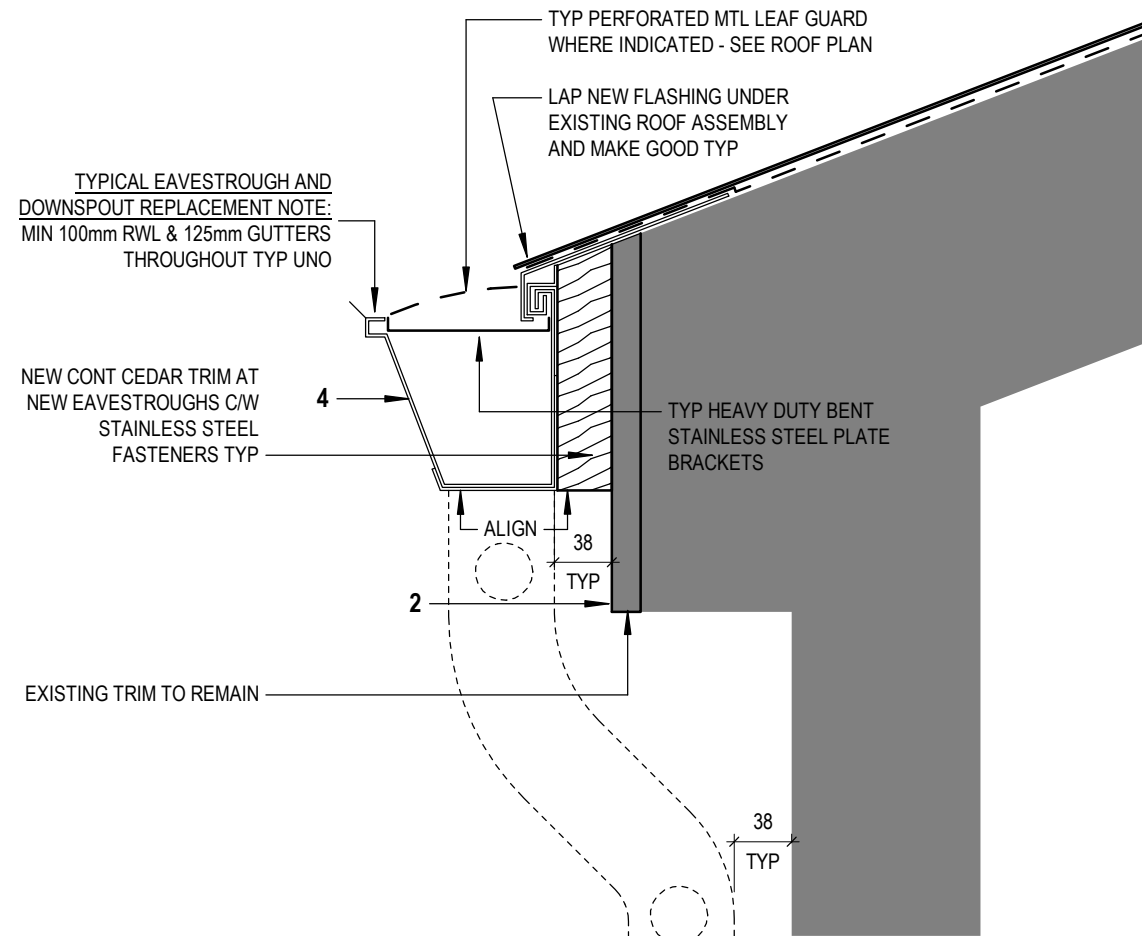




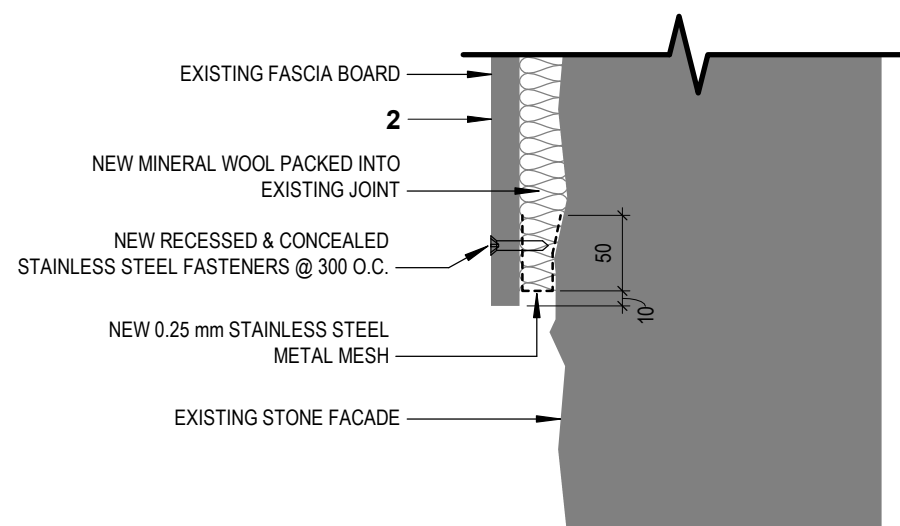
**TYP WIN & WD CLADDING SECTION DET** 6  
1:5



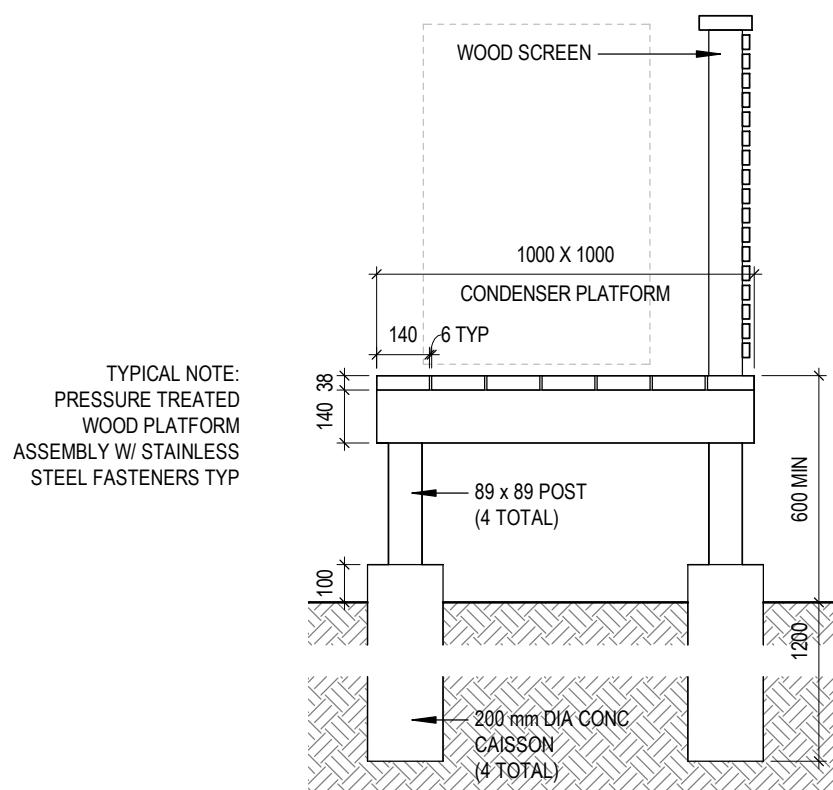
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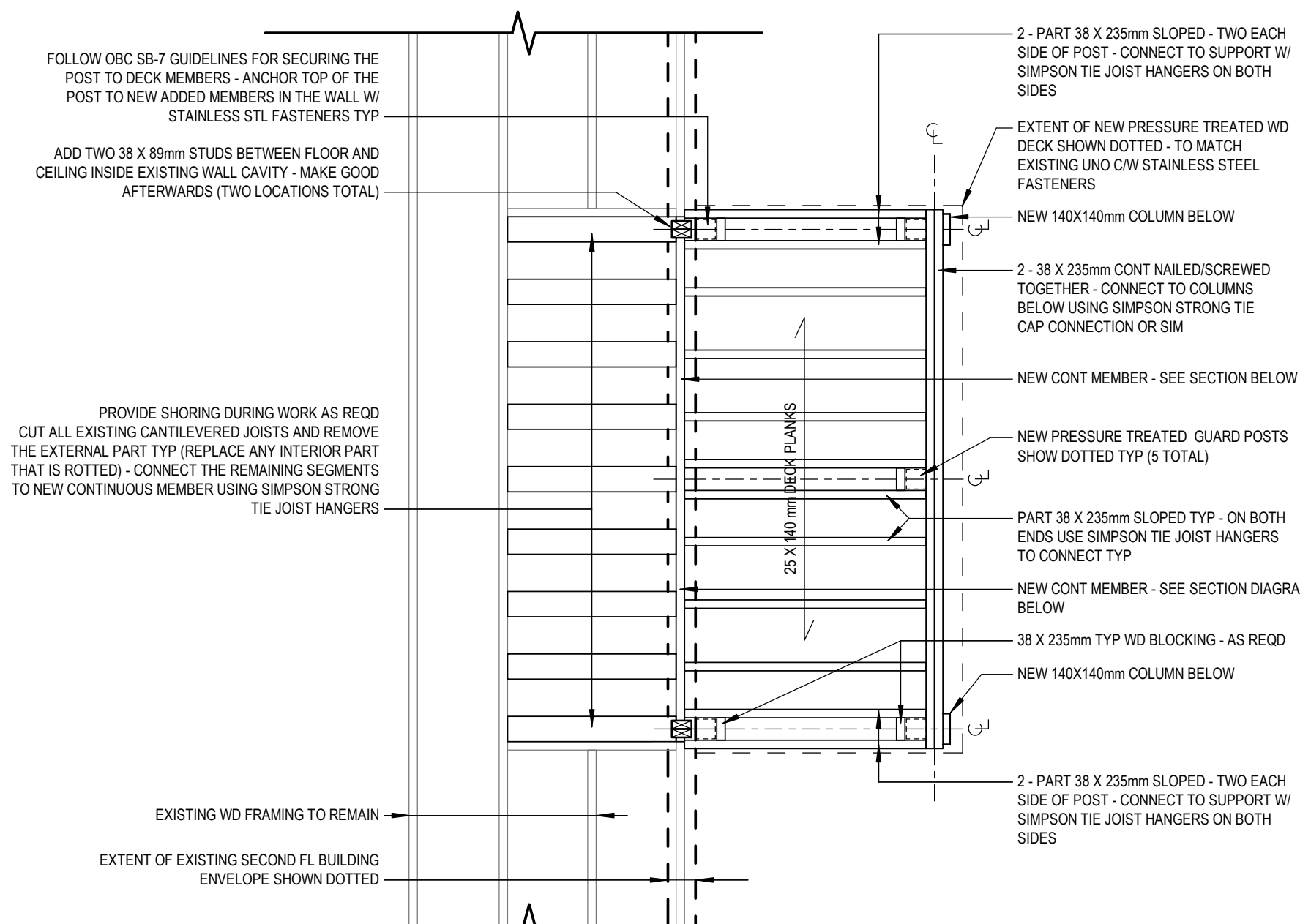
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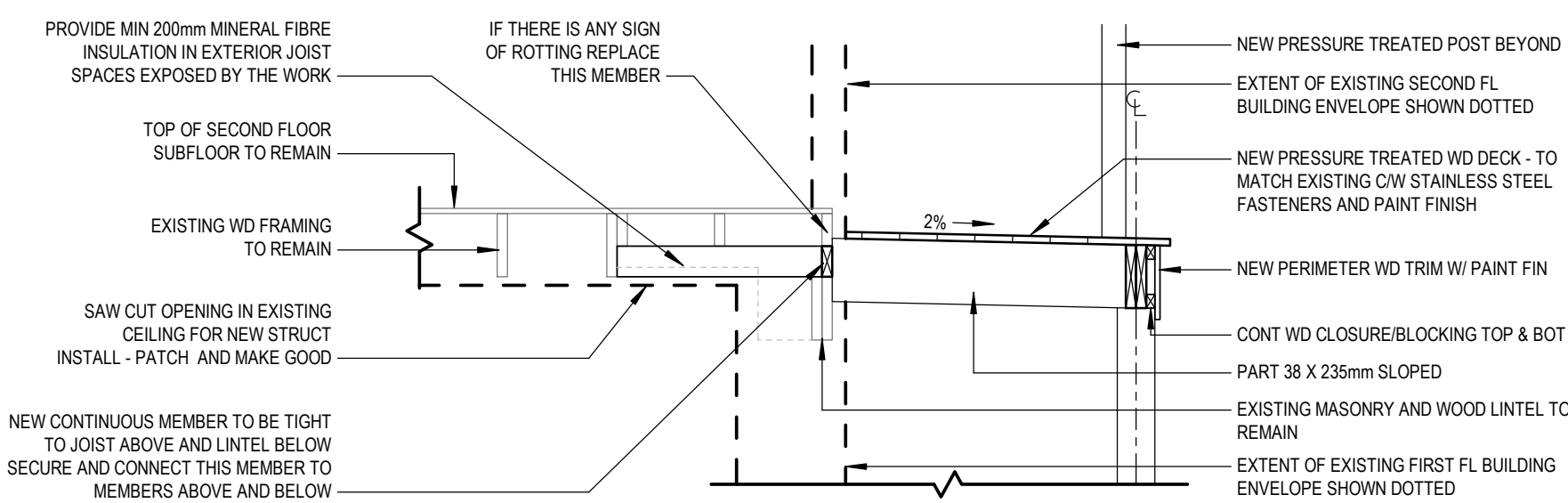
**SECTION DETAIL** 3  
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**NEW A/C CONDENSER PLATFORM** 2  
1:20

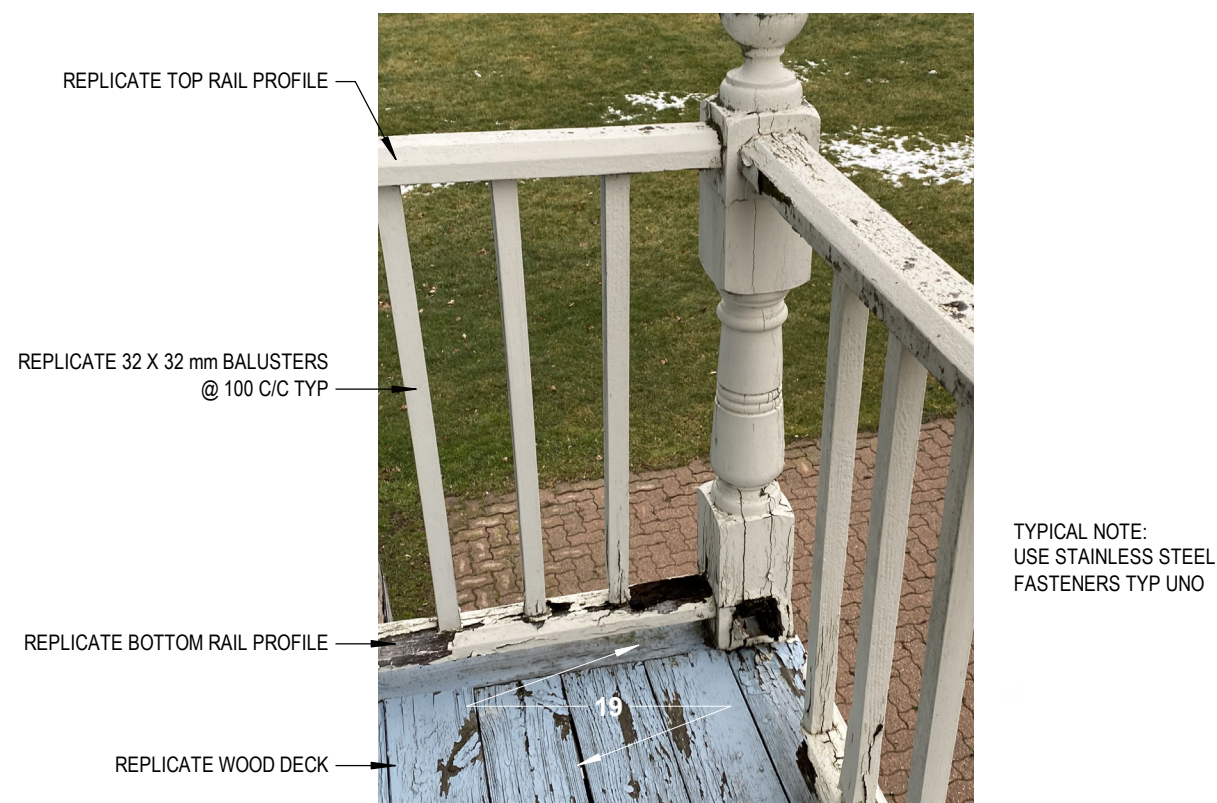


**PARTIAL SECOND FLOOR FRAMING DIAGRAM - PLAN VIEW**



**PARTIAL SECOND FLOOR FRAMING DIAGRAM - SECTION VIEW**

**NEW BALCONY FRAMING DIAGRAMS** 1  
1:25



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Project Number

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**BALCONY & MISC DETAILS**

Drawn By	Author	Reviewed By	Checker
Scale	As Indicated	Date	07/06/23

Number

**A7**