Metric Scale

HERITAGE REVIEW ISSUED FOR COORDINATION ISSUED FOR COORDINATION



Landscape Architect

2024-02-07 2024-04-15 HERITAGE REVIEW R1

EXISTING FEATURS AND CONTEXT PLAN 1

Name of Practice: Baron Nelson Architects Inc. (BNA) 304 – 67 Mowat Ave., Toronto, ON, M6K 3E3 Contact: Jason Nelson 416 662-1601 Name of Project: Vaughan Heritage Home Renos – Devlin House

11151 Keele St, Vaughan, ON, L6A 1S8

DRAWING LIST

EXISTING FLOOR PLANS

BALCONY & MISC DETAILS

SHEET NAME

CONTEXT PLAN AND BUILDING CODE MATRIX

EXISTING & PROPOSED WEST ELEVATION EXISTING & PROPOSED SOUTH ELEVATION

EXISTING & PROPOSED EAST ELEVATION EXISTING & PROPOSED NORTH ELEVATION

SHEET

NUMBER

A2

A5

	P	Ontario Building Code Data Matrix art 11 – Renovation of Existing Building	Building Code Reference ¹
11.00	Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 191/14	
11.01	Project Type:	□ Addition □ Renovation □ Addition and renovation □ Change of use Description: _HERITAGE BUILDING - ENVELOPE REHABILITATION	[A] 1.1.2.
11.02	Major Occupancy Classification:	Occupancy Use D OFFICES	3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	⊠ No □ Yes Description:	3.2.2.7.
11.04	Building Area (m²)	Description: Existing New Total LEVEL 1 167.7 0 0 LEVEL 2 138.9 0 0 0 0 0 0 0 0 Total 306.6 0 0	[A] 1.4.1.2.
11.05	Building Height	2 Storeys above grade8.6 (m) Above grade1 Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/ Firefighter access	1_street(s)	3.2.2.10. & 3.2.5

☐ Medium ☐ Large

T.11.2.1.1.B.-N.

□ > Large

11.08	Existing Building Classification:	Change in Major Occupancy: ☐ Yes ☒ Not Applicable (no change of major occupancy)					11.2.1.1.
		Construction Index:	0				T 11.2.1.1A
		Hazard Index:	0				T 11.2.1.1B to N
		Importance Category :	□ Low □ High	□ Normal□ Post-disast	er		4.2.1.(3), 5.2.2.1.(2)
11.09	Renovation type:		☐ Extensive	Renovation			11.3.3.1. 11.3.3.2.
11.10	Occupant Load	Floor Level/Area	Occupano <u>Type</u>	cy <u>Based O</u>		ipant Load sons)	3.1.17.
		LEVEL 1 / 167.7	_D	OFFICE	<u> </u>	19	
		LEVEL 2 / 138.9	D	OFFICE	<u> </u>	15	
						0	
	Insert additional lines as needed					0	
11.11	Plumbing Fixture Requirements	Ratio: <u>M/F = 1/1</u>	3.7.4.				
		Floor Level/Area	Occupant Load	OBC Reference	<u>Fixtures</u> <u>Required</u>	<u>Fixtures</u> <u>Provided</u>	
		LEVEL 1 / 167.7	19	3.7.4.7.	2	1	
		LEVEL 2 / 138.9	15	3.7.4.7.	2	2	
			0		0	0	
	Insert additional lines as needed		0		0	0	
11.12	Barrier-free Design:	☐ Yes					11.3.3.2.(2)
11.13	Reduction in Performance Level:	Structural:		⊠ No	□ Yes		11.4.2.1.
		By Increase in occupan	t load:	⊠ No	□ Yes		11.4.2.2.
		By change of major occ	cupancy:	⊠ No	□ Yes		11.4.2.3.
	Plumbing:			⊠ No	☐ Yes		11.4.2.4.
		Sewage-systems:		⊠ No	□ Yes		11.4.2.5.
	1	Extension of combustib	_				

11.14	Compensating	⊠ No □ Yes	11.4.3.1,
	Construction:	Structural: No Yes (Describe)	11.4.3.2,
		Increase in occupant load: ☐ No ☐ Yes <u>(Describe)</u>	11.4.3.3,
		Change of major occupancy: ☐ No ☐ Yes <u>(Describe)</u>	11.4.3.4,
		Plumbing: ☐ No ☐ Yes <u>(Describe)</u>	11.4.3.5,
		Sewage systems: ☐ No ☐ Yes <u>(Describe)</u>	11.4.3.6,
		Extension of combustible construction:	11.4.3.7.
11.15	Compliance Alternatives		11.5.1.
	Proposed:	(list numbers and describe)	
		(list numbers and describe)	
11.16	Notes:		11.5.1.
	Insert additional lines as needed		

Last Issued For

11151 KEELE ST, VAUGHAN, ON L6A 1S8

CITY OF VAUGHAN

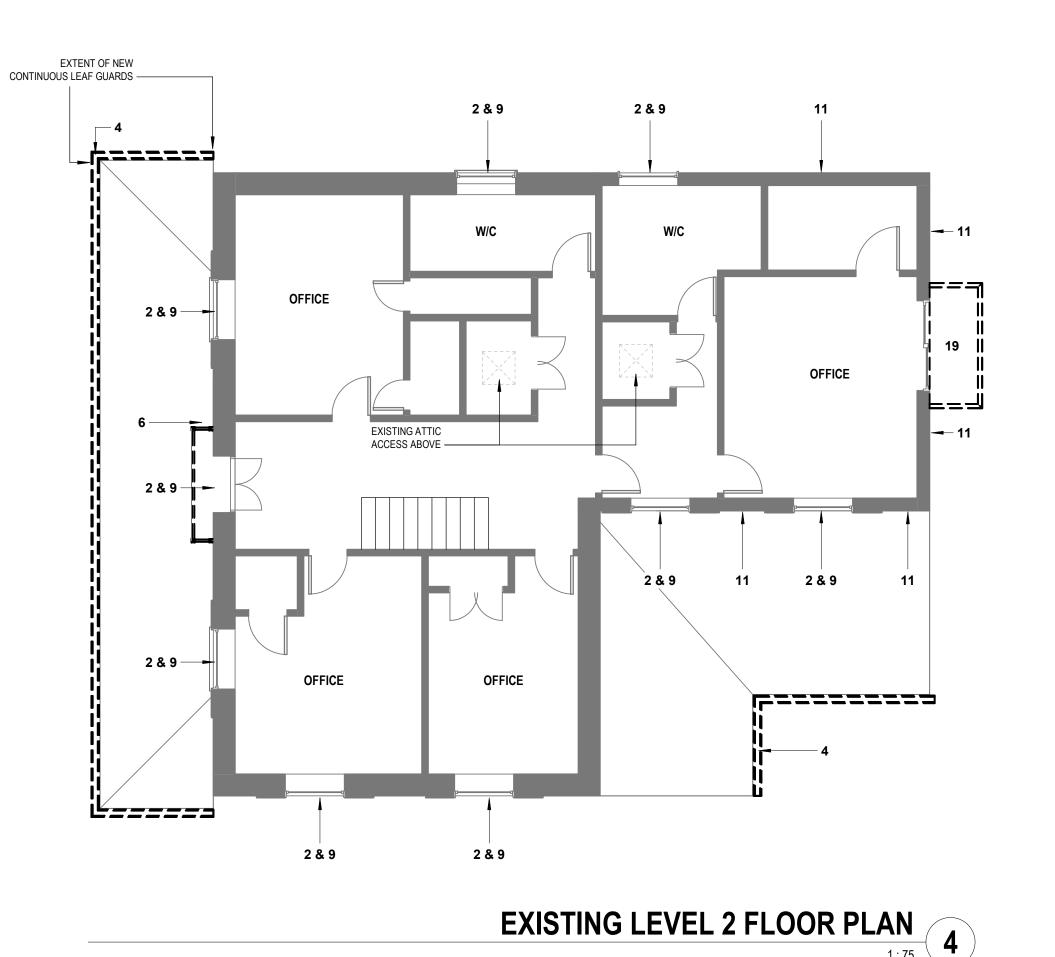
CONTEXT PLAN AND BUILDING CODE MATRIX

HERITAGE REVIEW R1 2024-04-19

VAUGHAN HERITAGE HOME

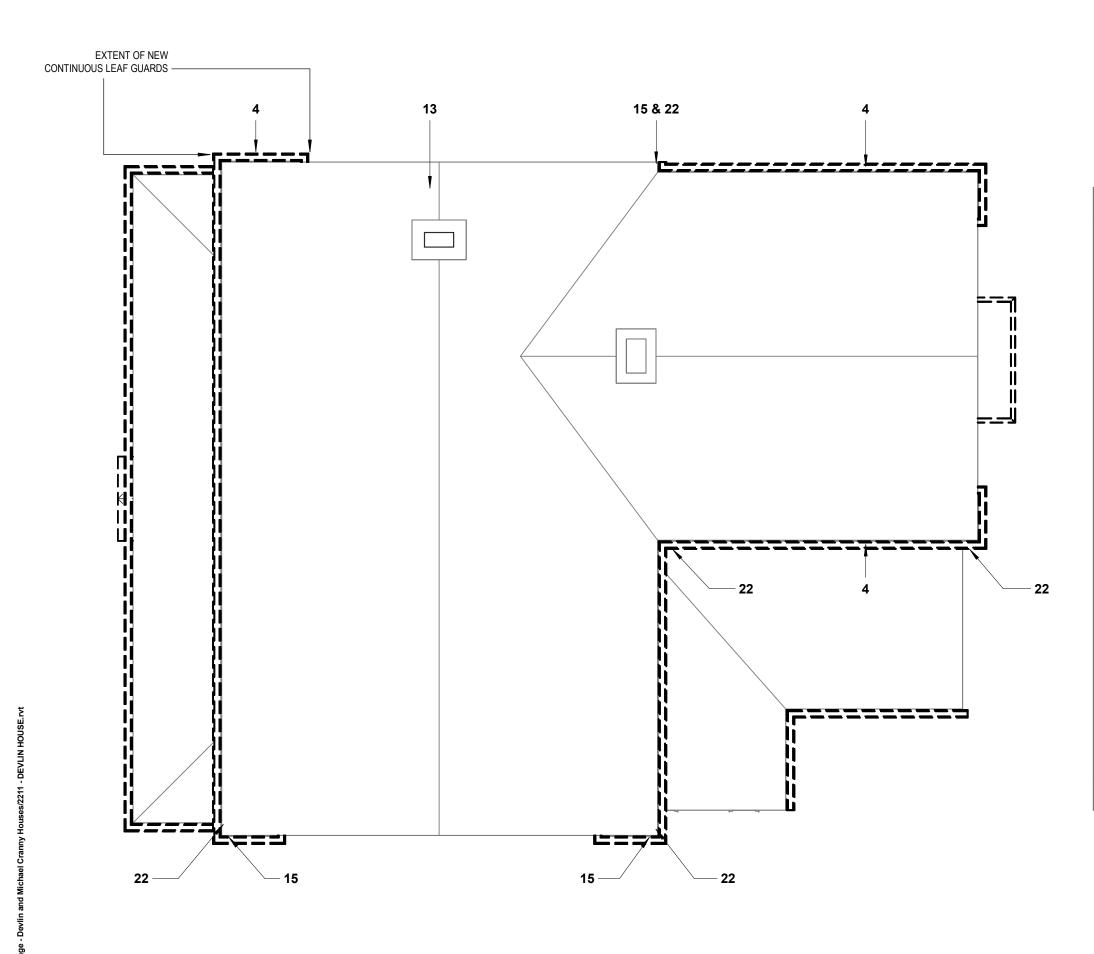
RENOS - DEVLIN HOUSE

Checker Author Reviewed By 1:250 Date

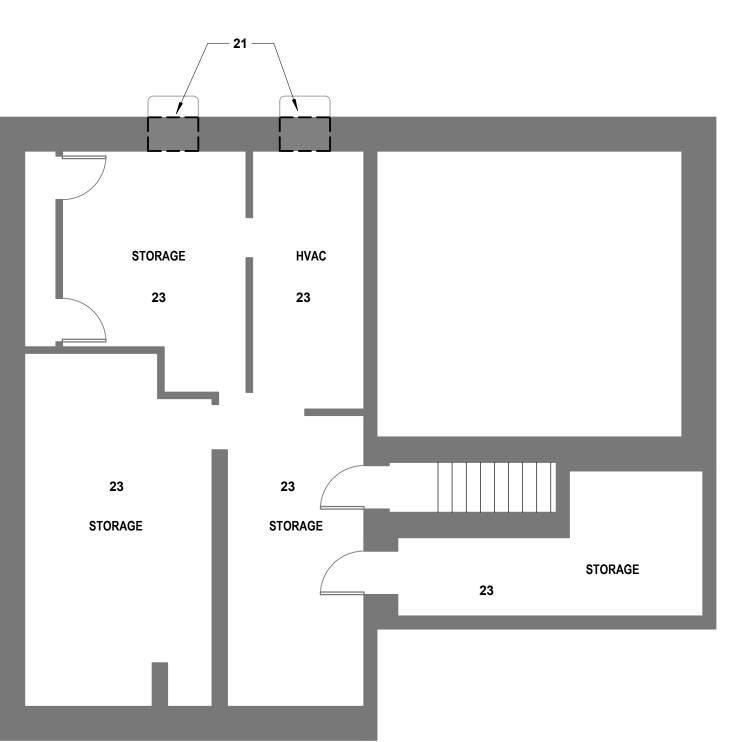


2 & 9 STRUCTURAL REVIEW NOTE: TEMPORARILY REMOVE WOOD DECKING AND EXPOSE VERANDAH FOUNDATION FOR STRUCTURAL REVIEW AND ANALYSIS - MAKE GOOD AFTERWARDS -OFFICE 2 & 9 **-MEETING ROOM —8**— VERANDAH 2 & 9 -Ш KITCHENETTE OFFICE OFFICE 2 & 9 -----2 & 9 MUDROOM 2 & 9 2 & 9 2 & 9

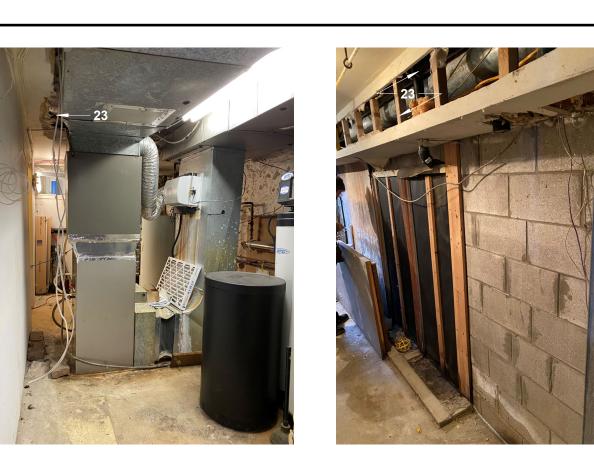
LEGEND **EXISTING TO REMAIN** TO BE DEMOLISHED



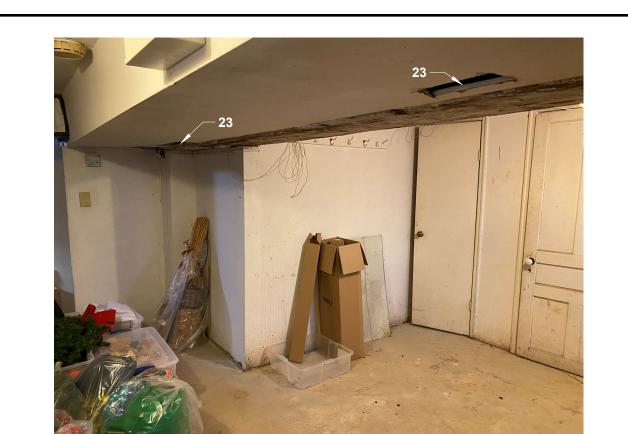
EXISTING ROOF PLAN
1:75
3



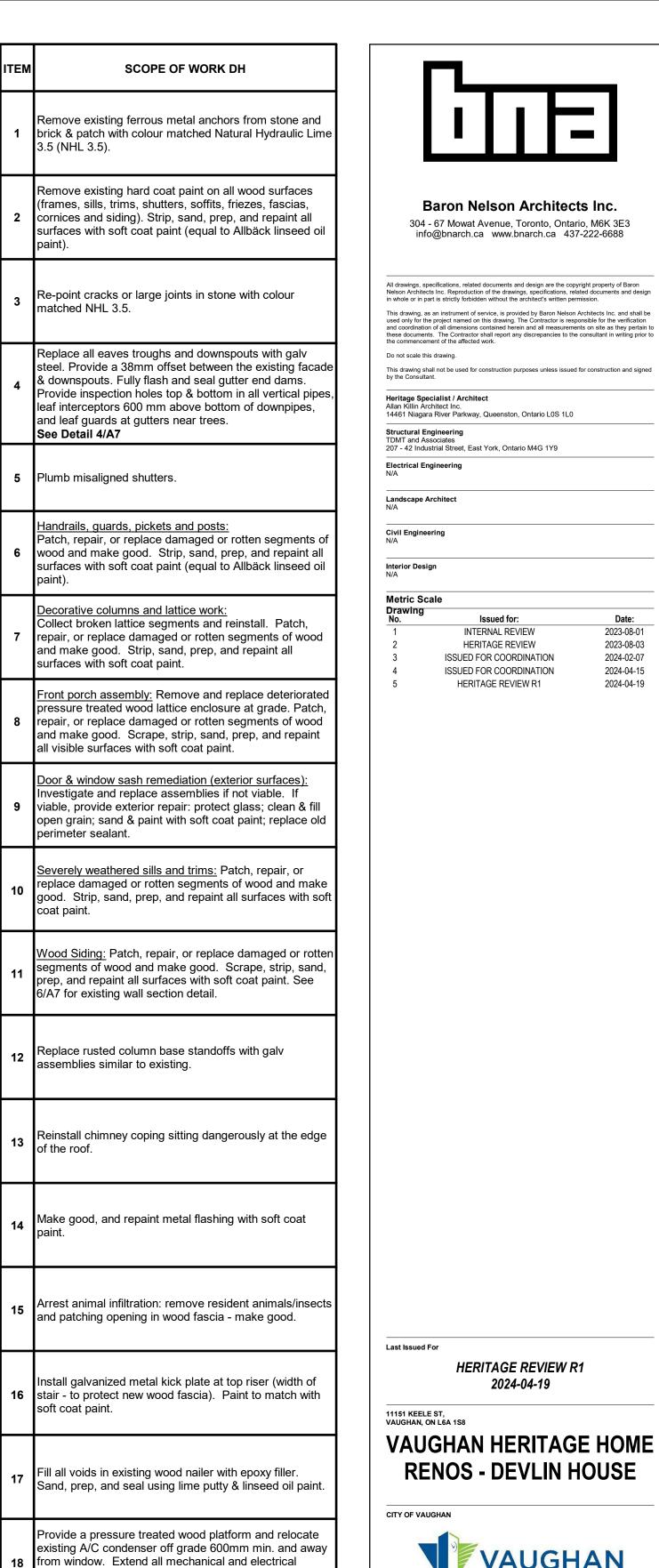
EXISTING BASEMENT PLAN



EXISTING LEVEL 1 FLOOR PLAN
1:75
2







Last Issued For **HERITAGE REVIEW R1** 2024-04-19

INTERNAL REVIEW

HERITAGE REVIEW

ISSUED FOR COORDINATION

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HERITAGE REVIEW R1

2023-08-01

2023-08-03

2024-02-07

2024-04-15

2024-04-19

RENOS - DEVLIN HOUSE

Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. See A7 for additional information

connections as reqd and make good.

See Detail 2/A7

At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom

Remove gravel, debris, and redundant equipment from pasement window well. Remove existing spray foam and wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage;

replace gravel; make good. Patch, repair and make good damaged segments of wood cornice, fascia, and soffit. Fill gaps between exterior wall and wood cornice with mineral wool and stainless steel mesh to deter animal and insect

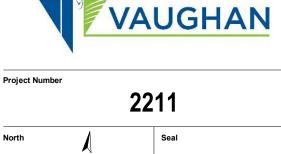
Basement Work - Not in Contract (NIC) Source and arrest leaks, replace damaged gypsum wall board, and restore fire separation. The City of Vaughan s pursuing a separate contract for this work.

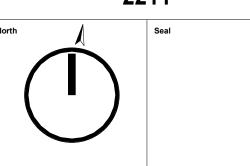
infiltration. See Detail 3/A7

11151 KEELE ST, VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME

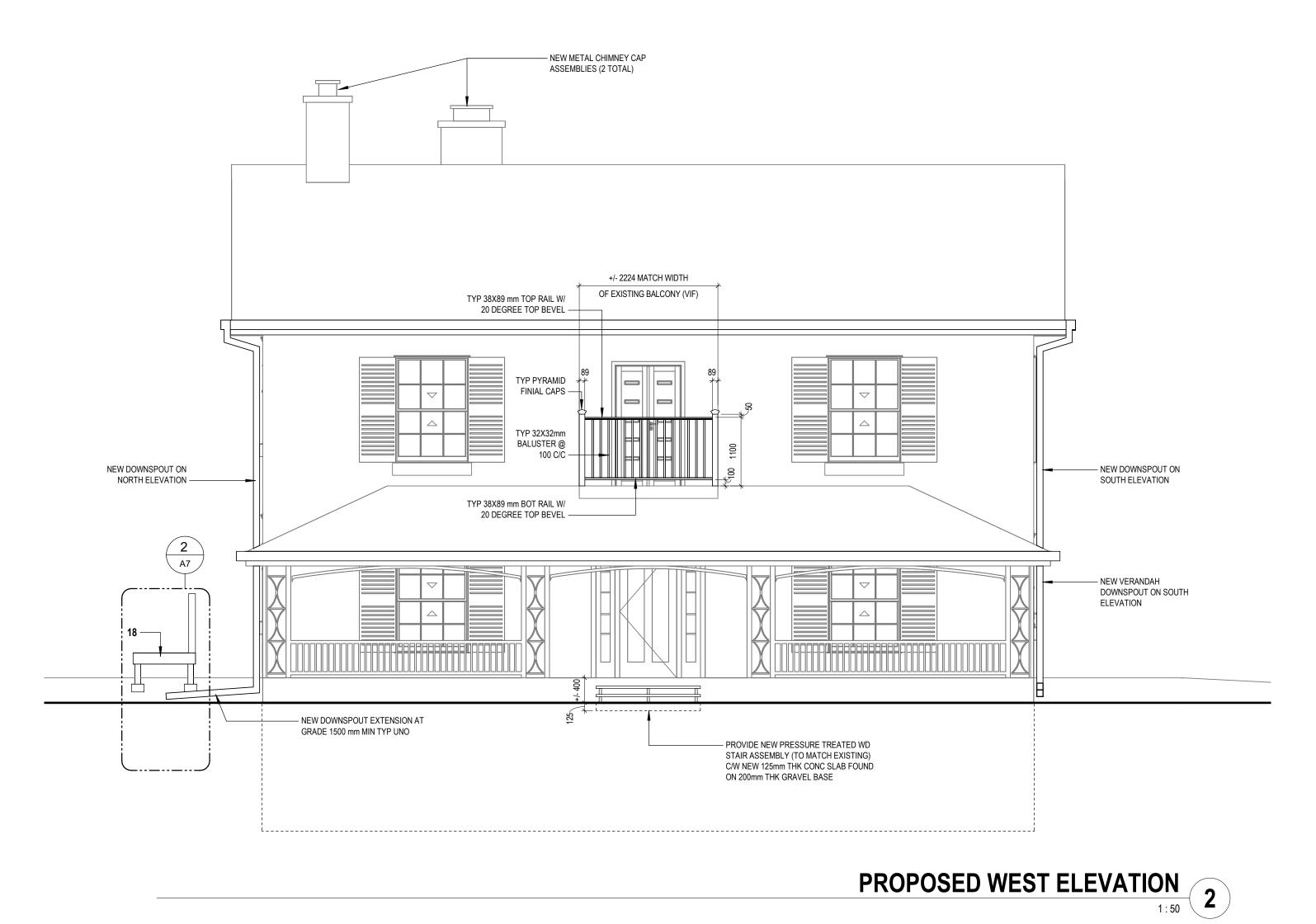
CITY OF VAUGHAN

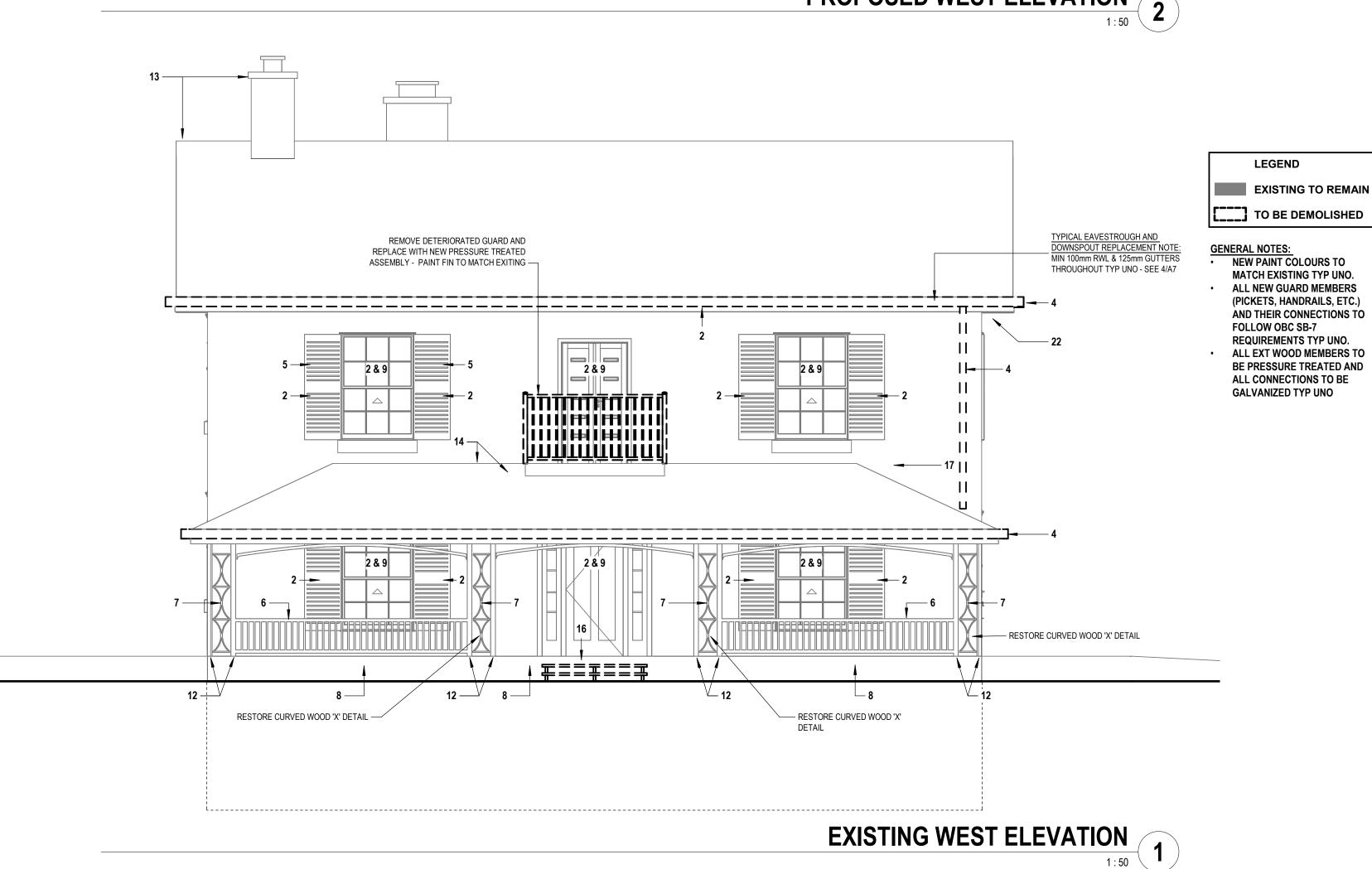


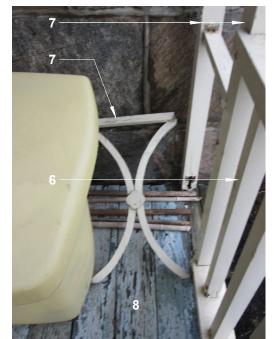


EXISTING FLOOR PLANS

Drawn By Author Reviewed By Checker As indicated Date

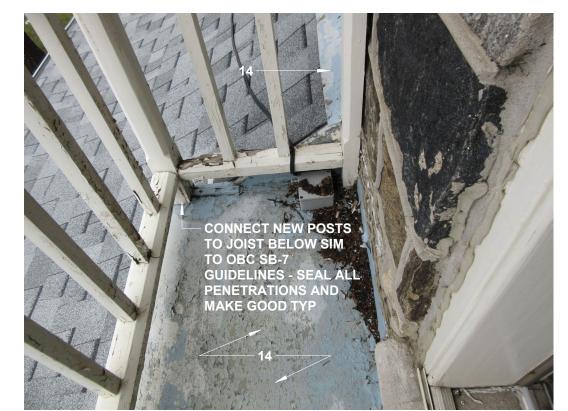
















EM	SCOPE OF WORK DH
1	Remove existing ferrous metal anchors from stone and brick & patch with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5).
	Demove existing hand east point on all wood surfaces

Remove existing hard coat paint on all wood surfaces (frames, sills, trims, shutters, soffits, friezes, fascias, 2 cornices and siding). Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

Re-point cracks or large joints in stone with colour matched NHL 3.5.

Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. See Detail 4/A7

5 Plumb misaligned shutters.

Handrails, guards, pickets and posts:

Patch, repair, or replace damaged or rotten segments of 6 wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

Decorative columns and lattice work: Collect broken lattice segments and reinstall. Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.

Front porch assembly: Remove and replace deteriorated pressure treated wood lattice enclosure at grade. Patch, 8 repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all visible surfaces with soft coat paint.

Door & window sash remediation (exterior surfaces): Investigate and replace assemblies if not viable. If **9** viable, provide exterior repair: protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old perimeter sealant.

Severely weathered sills and trims: Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.

Wood Siding: Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all surfaces with soft coat paint. See 6/A7 for existing wall section detail.

Replace rusted column base standoffs with galv semblies similar to existing.

Reinstall chimney coping sitting dangerously at the edge of the roof.

Make good, and repaint metal flashing with soft coat

Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.

Install galvanized metal kick plate at top riser (width of stair - to protect new wood fascia). Paint to match with soft coat paint.

Fill all voids in existing wood nailer with epoxy filler. Sand, prep, and seal using lime putty & linseed oil paint.

Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away 18 from window. Extend all mechanical and electrical connections as reqd and make good.

Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. See A7 for additional information

See Detail 2/A7

At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom

emove gravel, debris, and redundant equipment from pasement window well. Remove existing spray foam and 21 wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage; replace gravel; make good.

Patch, repair and make good damaged segments of wood cornice, fascia, and soffit. Fill gaps between exterior wall and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. See Detail 3/A7

Basement Work - Not in Contract (NIC) Source and arrest leaks, replace damaged gypsum wall board, and restore fire separation. The City of Vaughan pursuing a separate contract for this work.



Baron Nelson Architects Inc. 304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3 info@bnarch.ca www.bnarch.ca 437-222-6688

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Heritage Specialist / Architect Allan Killin Architect Inc. 14461 Niagara River Parkway, Queenston, Ontario L0S 1L0

Structural Engineering TDMT and Associates 207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering

Landscape Architect

Civil Engineering

Interior Design

Metric Scale

Drawing INTERNAL REVIEW

HERITAGE REVIEW 2023-08-03 ISSUED FOR COORDINATION 2024-04-15 HERITAGE REVIEW R1 2024-04-19

2023-08-01

Last Issued For **HERITAGE REVIEW R1**

11151 KEELE ST, VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME RENOS - DEVLIN HOUSE

2024-04-19

CITY OF VAUGHAN

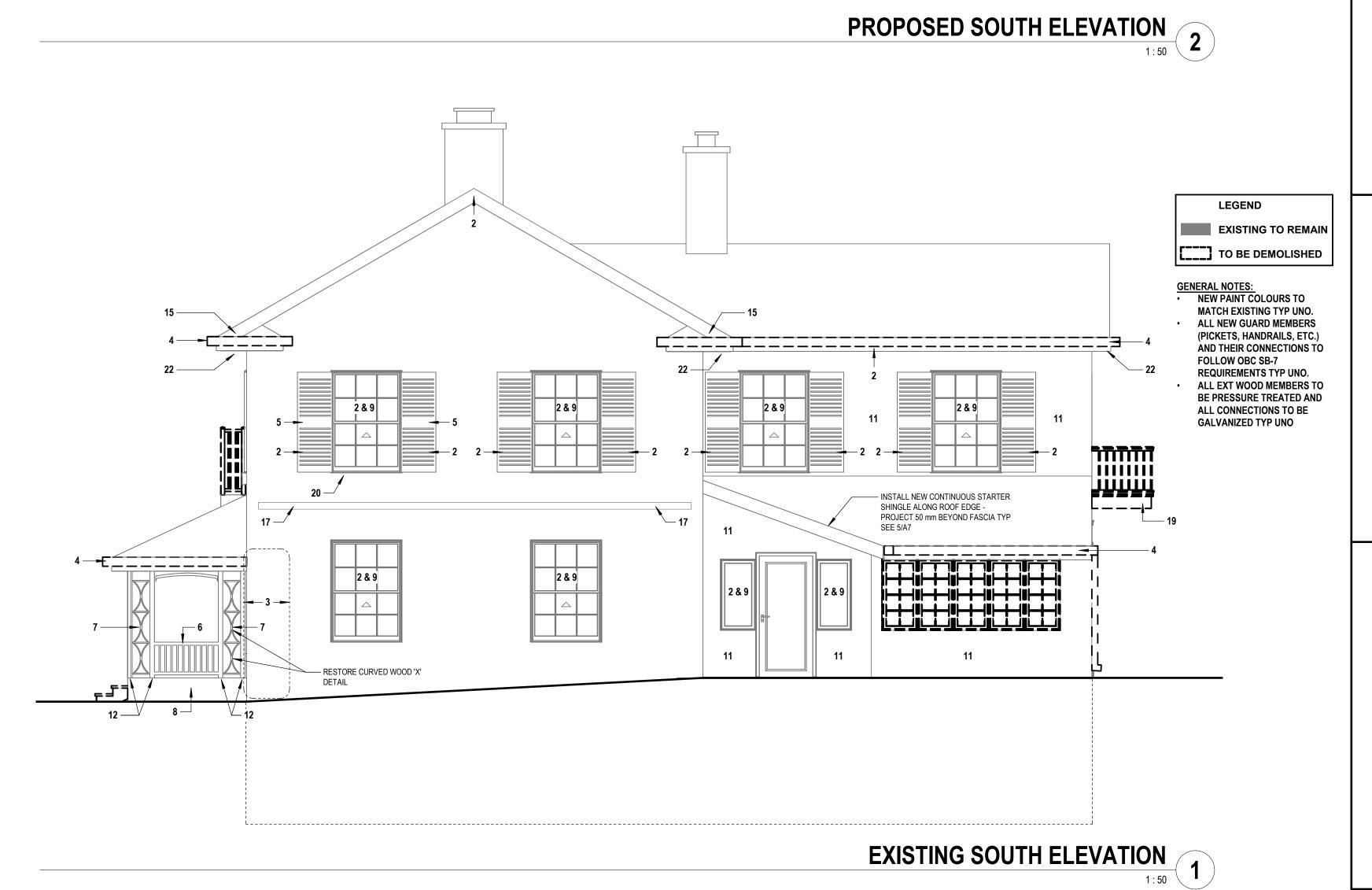
VAUGHAN

Project Number

2211

EXISTING & PROPOSED WEST ELEVATION

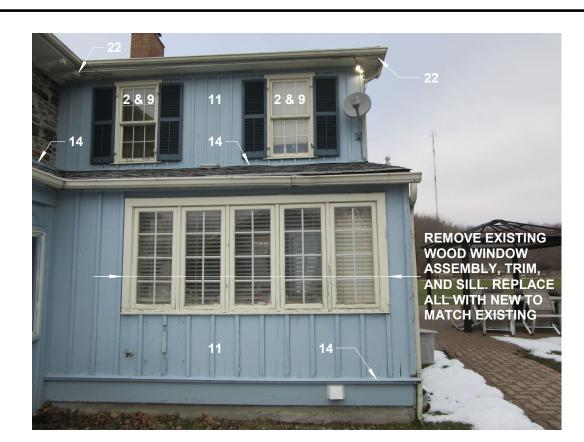
Checker Author Reviewed By As indicated Date













M	SCOPE OF WORK DH
	Remove existing ferrous metal anchors from stone and brick & patch with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5).
	Remove existing hard coat paint on all wood surfaces

(frames, sills, trims, shutters, soffits, friezes, fascias,

surfaces with soft coat paint (equal to Allbäck linseed oil

Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes

leaf interceptors 600 mm above bottom of downpipes,

6 wood and make good. Strip, sand, prep, and repaint all

Collect broken lattice segments and reinstall. Patch,

and make good. Strip, sand, prep, and repaint all

repair, or replace damaged or rotten segments of wood

Front porch assembly: Remove and replace deteriorated pressure treated wood lattice enclosure at grade. Patch, repair, or replace damaged or rotten segments of wood

and make good. Scrape, strip, sand, prep, and repaint

Door & window sash remediation (exterior surfaces):

nvestigate and replace assemblies if not viable. If

Severely weathered sills and trims: Patch, repair, or

Wood Siding: Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand,

6/A7 for existing wall section detail.

Replace rusted column base standoffs with galv

Reinstall chimney coping sitting dangerously at the edge of the roof.

Make good, and repaint metal flashing with soft coat

Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.

Install galvanized metal kick plate at top riser (width of

16 stair - to protect new wood fascia). Paint to match with

Fill all voids in existing wood nailer with epoxy filler.
Sand, prep, and seal using lime putty & linseed oil paint.

from window. Extend all mechanical and electrical

connections as reqd and make good.

See A7 for additional information

Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away

Replace entire balcony with a new column supported,

pressure treated, wood assembly. Paint all to match

At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom

soft coat paint.

See Detail 2/A7

existing white trim.

prep, and repaint all surfaces with soft coat paint. See

replace damaged or rotten segments of wood and make

good. Strip, sand, prep, and repaint all surfaces with soft

9 viable, provide exterior repair: protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old

surfaces with soft coat paint (equal to Allbäck linseed oil

and leaf guards at gutters near trees.

Handrails, guards, pickets and posts:

Decorative columns and lattice work:

all visible surfaces with soft coat paint.

surfaces with soft coat paint.

perimeter sealant.

2 cornices and siding). Strip, sand, prep, and repaint all

Re-point cracks or large joints in stone with colour

matched NHL 3.5.

See Detail 4/A7

5 Plumb misaligned shutters.

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Heritage Specialist / Architect

Allan Killin Architect Inc. 14461 Niagara River Parkway, Queenston, Ontario L0S 1L0 Structural Engineering TDMT and Associates 207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering Landscape Architect N/A

Patch, repair, or replace damaged or rotten segments of

Civil Engineering N/A

Interior Design N/A

Metric Scale Drawing No.

INTERNAL REVIEW HERITAGE REVIEW ISSUED FOR COORDINATION ISSUED FOR COORDINATION

HERITAGE REVIEW R1

2023-08-01 2023-08-03 2024-02-07 2024-04-15 2024-04-19

Last Issued For

11151 KEELE ST, VAUGHAN, ON L6A 1S8

HERITAGE REVIEW R1

2024-04-19

VAUGHAN HERITAGE HOME RENOS - DEVLIN HOUSE

CITY OF VAUGHAN

VAUGHAN

Project Number 2211

emove gravel, debris, and redundant equipment from pasement window well. Remove existing spray foam and

wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage; replace gravel; make good. Patch, repair and make good damaged segments of wood cornice, fascia, and soffit. Fill gaps between

infiltration. See Detail 3/A7 Basement Work - Not in Contract (NIC) Source and arrest leaks, replace damaged gypsum wall board, and restore fire separation. The City of Vaughan

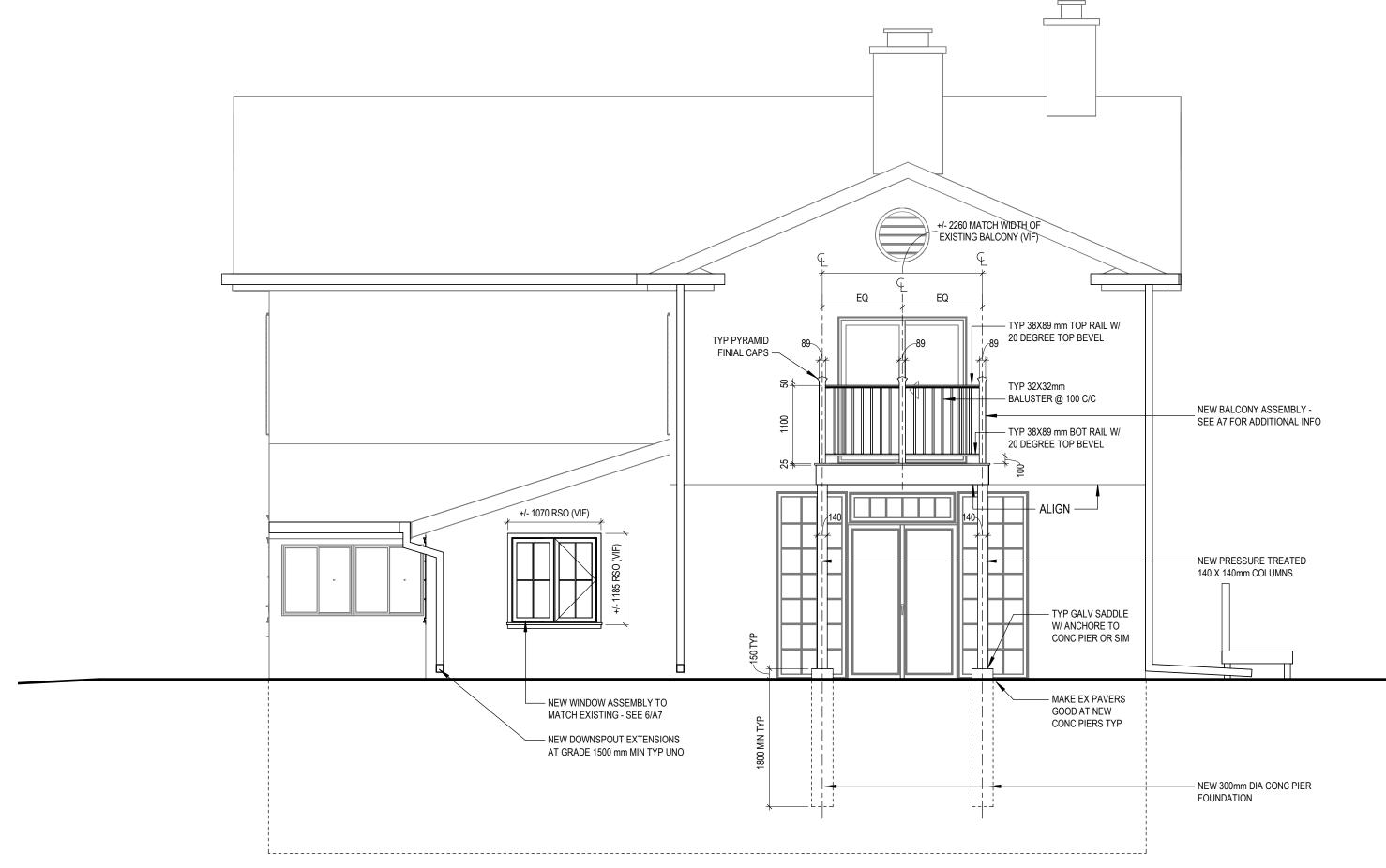
exterior wall and wood cornice with mineral wool and

s pursuing a separate contract for this work.

stainless steel mesh to deter animal and insect

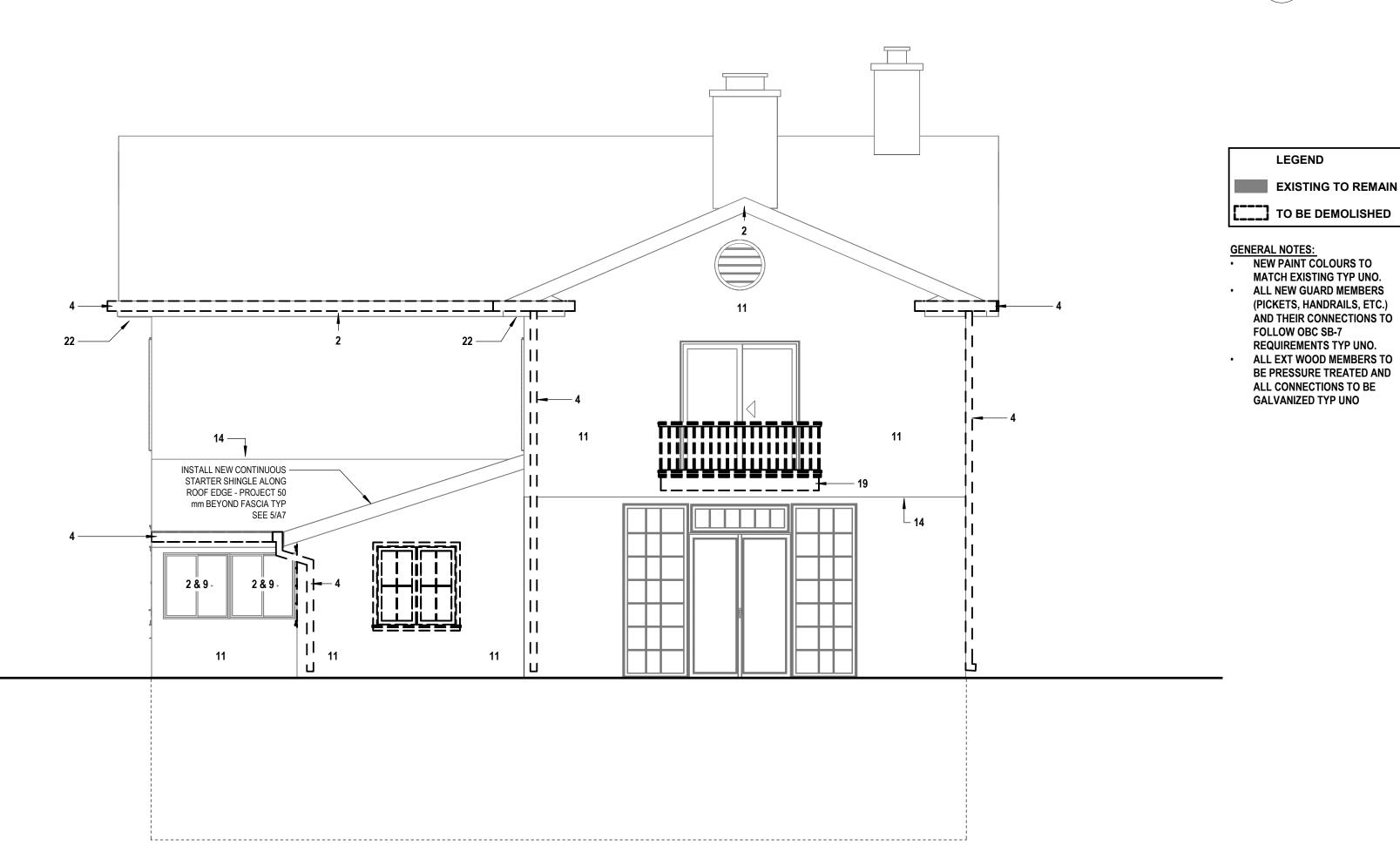
EXISTING & PROPOSED SOUTH ELEVATION

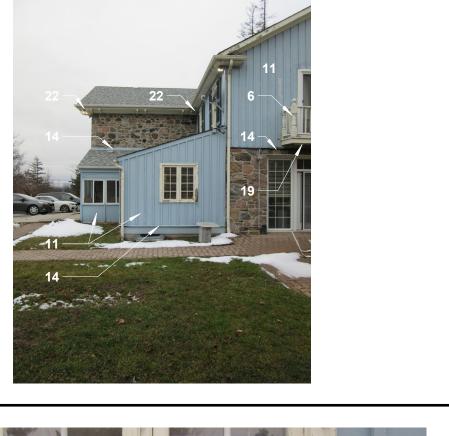
Checker Author Reviewed By As indicated Date





LEGEND













ГЕМ	SCOPE OF WORK DH
1	Remove existing ferrous metal anchors from stone and brick & patch with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5).

Remove existing hard coat paint on all wood surfaces (frames, sills, trims, shutters, soffits, friezes, fascias, 2 cornices and siding). Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

Re-point cracks or large joints in stone with colour matched NHL 3.5.

Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. See Detail 4/A7

5 Plumb misaligned shutters.

Handrails, guards, pickets and posts: Patch, repair, or replace damaged or rotten segments of 6 wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

Decorative columns and lattice work: Collect broken lattice segments and reinstall. Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.

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<u>Door & window sash remediation (exterior surfaces):</u>

Front porch assembly: Remove and replace deteriorated

Investigate and replace assemblies if not viable. If **9** viable, provide exterior repair: protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old perimeter sealant.

replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint.

Severely weathered sills and trims: Patch, repair, or

Wood Siding: Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all surfaces with soft coat paint. See

Replace rusted column base standoffs with galv

6/A7 for existing wall section detail.

Reinstall chimney coping sitting dangerously at the edge of the roof.

Make good, and repaint metal flashing with soft coat

Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.

Install galvanized metal kick plate at top riser (width of stair - to protect new wood fascia). Paint to match with soft coat paint.

17 Fill all voids in existing wood nailer with epoxy filler. Sand, prep, and seal using lime putty & linseed oil paint.

Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away 18 from window. Extend all mechanical and electrical connections as reqd and make good. See Detail 2/A7

Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. See A7 for additional information

At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom

Remove gravel, debris, and redundant equipment from basement window well. Remove existing spray foam and 21 wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage; replace gravel; make good.

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This drawing shall not be used for construction purposes unless issued for construction and signed by the Consultant.

Heritage Specialist / Architect Allan Killin Architect Inc. 14461 Niagara River Parkway, Queenston, Ontario L0S 1L0

Structural Engineering TDMT and Associates 207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering

Landscape Architect

Civil Engineering N/A

Interior Design N/A

Metric Scale Drawing No.

INTERNAL REVIEW 2023-08-01 HERITAGE REVIEW 2023-08-03 ISSUED FOR COORDINATION 2024-02-07

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HERITAGE REVIEW R1 2024-04-19

11151 KEELE ST, VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME RENOS - DEVLIN HOUSE

CITY OF VAUGHAN

VAUGHAN

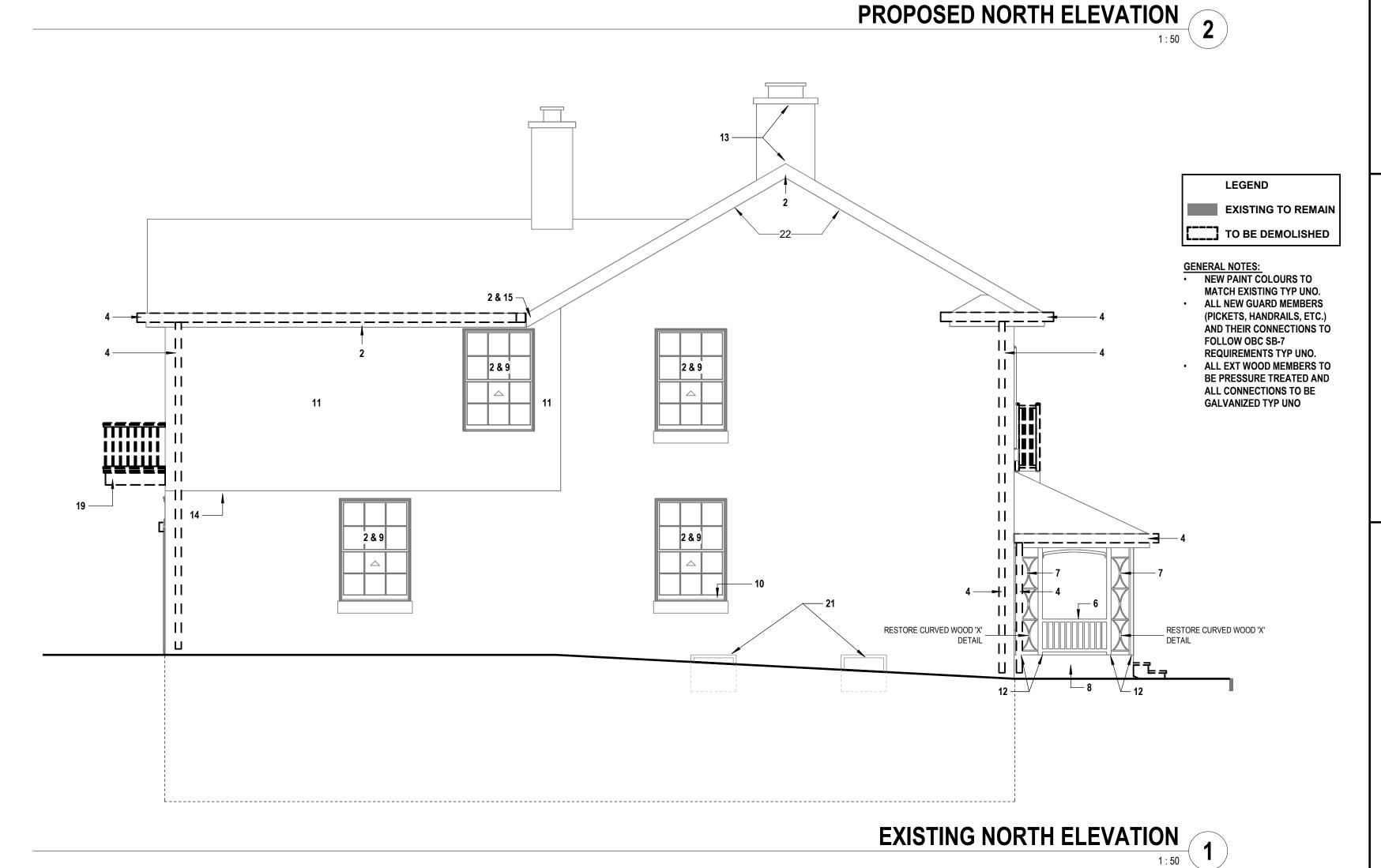
Project Number

2211

EXISTING & PROPOSED EAST ELEVATION

Author Reviewed By As indicated Date

EXISTING EAST ELEVATION
1:50
1















SCOPE OF WORK DH	
emove existing ferrous metal anchors from stone and ick & patch with colour matched Natural Hydraulic Lime 5 (NHL 3.5).	

Remove existing hard coat paint on all wood surfaces (frames, sills, trims, shutters, soffits, friezes, fascias,

surfaces with soft coat paint (equal to Allbäck linseed oil

Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes leaf interceptors 600 mm above bottom of downpipes,

cornices and siding). Strip, sand, prep, and repaint all

Re-point cracks or large joints in stone with colour

and leaf guards at gutters near trees.

See Detail 4/A7

Handrails, guards, pickets and posts:

surfaces with soft coat paint.

perimeter sealant.

matched NHL 3.5.

5 Plumb misaligned shutters.

Electrical Engineering

Landscape Architect

Patch, repair, or replace damaged or rotten segments of 6 wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

Decorative columns and lattice work: Collect broken lattice segments and reinstall. Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all

Front porch assembly: Remove and replace deteriorated pressure treated wood lattice enclosure at grade. Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint

Door & window sash remediation (exterior surfaces): Investigate and replace assemblies if not viable. If **9** viable, provide exterior repair: protect glass; clean & fill open grain; sand & paint with soft coat paint; replace old

all visible surfaces with soft coat paint.

Severely weathered sills and trims: Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft

Wood Siding: Patch, repair, or replace damaged or rotten segments of wood and make good. Scrape, strip, sand, prep, and repaint all surfaces with soft coat paint. See 6/A7 for existing wall section detail.

Replace rusted column base standoffs with galv emblies similar to existing.

Reinstall chimney coping sitting dangerously at the edge of the roof.

Make good, and repaint metal flashing with soft coat

Arrest animal infiltration: remove resident animals/insects and patching opening in wood fascia - make good.

Install galvanized metal kick plate at top riser (width of **16** stair - to protect new wood fascia). Paint to match with

17 | Fill all voids in existing wood nailer with epoxy filler. Sand, prep, and seal using lime putty & linseed oil paint.

Provide a pressure treated wood platform and relocate existing A/C condenser off grade 600mm min. and away 18 from window. Extend all mechanical and electrical connections as reqd and make good. See Detail 2/A7

Replace entire balcony with a new column supported, pressure treated, wood assembly. Paint all to match existing white trim. See A7 for additional information

At deteriorated wood sill, cut and fit wood dutchman and make good or replace with new - c/w continuous drip at underside. Seal perimeter at top & sides; point bottom

emove gravel, debris, and redundant equipment from pasement window well. Remove existing spray foam and 21 wire mesh at window jambs. Fill joints with mineral wool, backer rod, and exterior sealant. Restore drainage; replace gravel; make good.

Patch, repair and make good damaged segments of wood cornice, fascia, and soffit. Fill gaps between exterior wall and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. See Detail 3/A7

Basement Work - Not in Contract (NIC) Source and arrest leaks, replace damaged gypsum wall poard, and restore fire separation. The City of Vaughan s pursuing a separate contract for this work.

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ISSUED FOR COORDINATION

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HERITAGE REVIEW R1

2024-02-07

2024-04-15

2024-04-19

Last Issued For **HERITAGE REVIEW R1** 2024-04-19

11151 KEELE ST, VAUGHAN, ON L6A 1S8

VAUGHAN HERITAGE HOME RENOS - DEVLIN HOUSE

CITY OF VAUGHAN

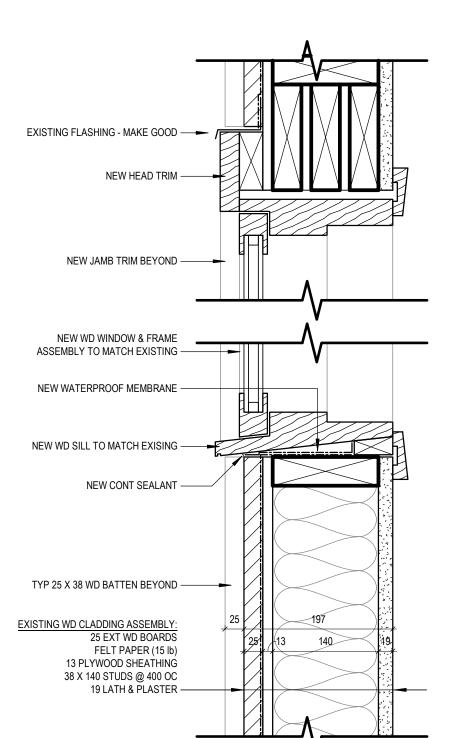
VAUGHAN

Project Number 2211

EXISTING & PROPOSED NORTH ELEVATION

Checker Author Reviewed By As indicated Date

A6



TYP WIN & WD CLADDING SECTION DET

DOWNSPOUT REPLACEMENT NOTE

NEW CONT CEDAR TRIM AT

NEW EAVESTROUGHS C/W

EXISTING TRIM TO REMAIN —

STAINLESS STEEL

FASTENERS TYP -

/IIN 100mm RWL & 125mm GUTTERS

THROUGHOUT TYP UNO

—— LAP NEW SHINGLE STARTER UNDER

NEW RAW GALVANIZED CONTINUOUS

STARTER SHINGLE ALONG ROOF

GOOD TYP

EDGE

TYP PERFORATED MTL LEAF GUARD WHERE INDICATED - SEE ROOF PLAN

STAINLESS STEEL PLATE

SECTION DETAIL

BRACKETS

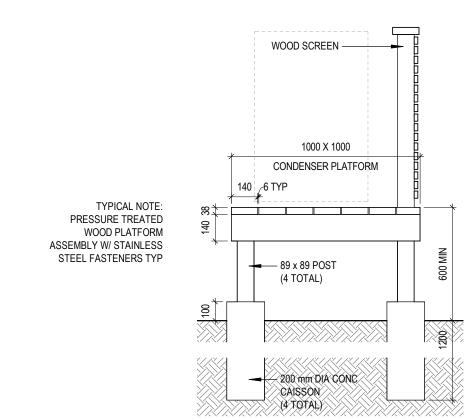
- LAP NEW FLASHING UNDER EXISTING ROOF ASSEMBLY

AND MAKE GOOD TYP

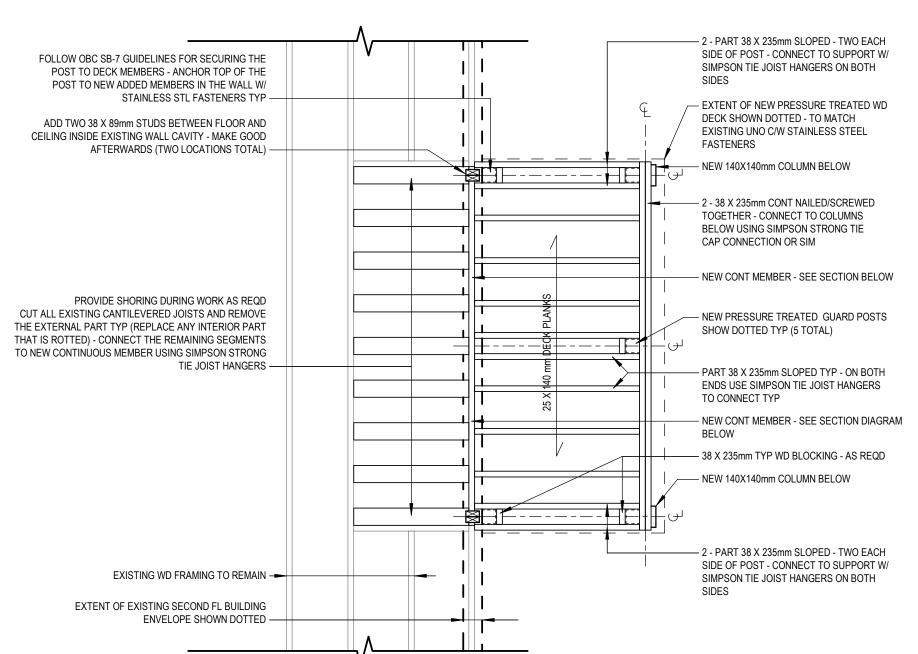
EXISTING ROOF ASSEMBLY AND MAKE

SECTION DETAIL

SECTION DETAIL 1:5 3



NEW A/C CONDENSER PLATFORM 1:20 2



LEGEND EXISTING TO REMAIN TO BE DEMOLISHED

 NEW PAINT COLOURS TO MATCH EXISTING TYP UNO.

ALL NEW GUARD MEMBERS (PICKETS, HANDRAILS, ETC.) AND THEIR CONNECTIONS TO FOLLOW OBC SB-7 REQUIREMENTS TYP UNO. ALL EXT WOOD MEMBERS TO BE PRESSURE TREATED AND ALL CONNECTIONS TO BE

GALVANIZED TYP UNO

- NEW PRESSURE TREATED POST BEYOND OF ROTTING REPLACE INSULATION IN EXTERIOR JOIST SPACES EXPOSED BY THE WORK -THIS MEMBER -- EXTENT OF EXISTING SECOND FL BUILDING ENVELOPE SHOWN DOTTED TOP OF SECOND FLOOR SUBFLOOR TO REMAIN -- NEW PRESSURE TREATED WD DECK - TO MATCH EXISTING C/W STAINLESS STEEL FASTENERS AND PAINT FINISH EXISTING WD FRAMING 2% — TO REMAIN — NEW PERIMETER WD TRIM W/ PAINT FIN SAW CUT OPENING IN EXISTING CEILING FOR NEW STRUCT - CONT WD CLOSURE/BLOCKING TOP & BOT INSTALL - PATCH AND MAKE GOOD - PART 38 X 235mm SLOPED - EXISTING MASONRY AND WOOD LINTEL TO NEW CONTINUOUS MEMBER TO BE TIGHT

PARTIAL SECOND FLOOR FRAMING DIAGRAM - SECTION VIEW

PARTIAL SECOND FLOOR FRAMING DIAGRAM - PLAN VIEW

IF THERE IS ANY SIGN

PROVIDE MIN 200mm MINERAL FIBRE

TO JOIST ABOVE AND LINTEL BELOW

MEMBERS ABOVE AND BELOW

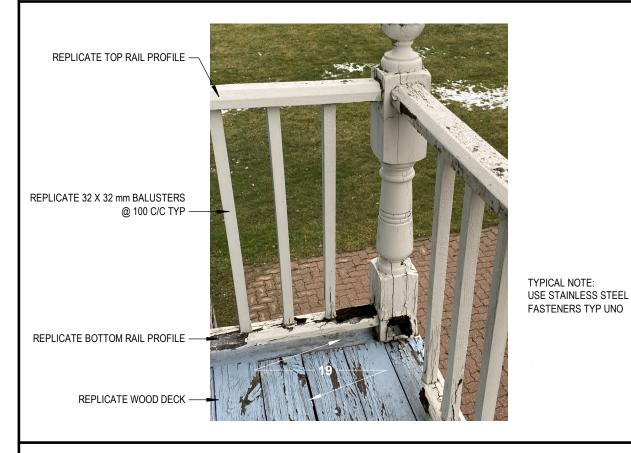
SECURE AND CONNECT THIS MEMBER TO





- EXTENT OF EXISTING FIRST FL BUILDING











SCOPE OF WORK DH Remove existing ferrous metal anchors from stone and brick & patch with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5). Remove existing hard coat paint on all wood surfaces

(frames, sills, trims, shutters, soffits, friezes, fascias, cornices and siding). Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

Re-point cracks or large joints in stone with colour matched NHL 3.5.

Replace all eaves troughs and downspouts with galv steel. Provide a 38mm offset between the existing facade & downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. See Detail 4/A7

5 Plumb misaligned shutters.

Handrails, guards, pickets and posts: Patch, repair, or replace damaged or rotten segments of wood and make good. Strip, sand, prep, and repaint all surfaces with soft coat paint (equal to Allbäck linseed oil

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leritage Specialist / Architect 14461 Niagara River Parkway, Queenston, Ontario L0S 1L0

Structural Engineering TDMT and Associates 207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering

Landscape Architect

Civil Engineering N/A

Interior Design N/A

Metric Scale

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VAUGHAN

Project Number 2211

BALCONY & MISC DETAILS

Author Reviewed By Checker As indicated Date