

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A184/24
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Adjournment (require owner authorization)
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A184/23
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CITY WARD #:	1
APPLICANT:	2316 Majormack Corporation
AGENT:	Di Giovanni Group Inc. (Sebastian Di Giovanni / Luca Di Giovanni) Farro Ristorante (Carmine Biasi)
PROPERTY:	2316 Major Mackenzie Drive, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a restaurant patio.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned **C1, Restricted Commercial Zone** and subject to the provisions of **Exception 9(792) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	A minimum of 55 parking spaces are required. [Exception 9(792) ai)]	To permit a minimum of 49 parking spaces.
2	The construction of all buildings or structures shall be restricted to the area shown as "Building Envelope" on Schedule E-872, and such buildings shall have a maximum gross floor area of 1037.0m2. [Exception 9(792) di]	To permit an Outdoor Patio to be located outside of the area shown as "Building Envelope on Schedule E-872".
3	The front yard shall be restricted to landscaping, pedestrian circulation and ingress/egress driveway. [Exception 9(792) bii]	To permit an Outdoor Patio to be permitted in the front yard.
4	The minimum landscaping shall be provided in the areas identified as "Landscaped Area" on Schedule E-872 [Exception 9(792) biii]	To permit an Outdoor Patio to be located in a required landscaped area.
5	The Outdoor Patio shall be completely enclosed by a physical barrier with access only from the interior of the eating establishment with the exception of at least one (1) exit to be used only in cases of emergency and which is not from the interior of the main building [Subsection 5.1.6 h]	To permit an Outdoor Patio not to be completely enclosed by a physical barrier with access only from the interior of the eating establishment with the exception of at least one (1) exit to be used only in cases of emergency and which is not from the interior of the main building.

HEARING INFORMATION
DATE OF MEETING: Thursday, May 16, 2024 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to:

HEARING INFORMATION

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 24, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Addition of exterior restaurant patio.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

On April 19, 2024, Development Engineering provided:

I am writing to you regarding Minor Variance Application A184/23 – 2316 Major Mackenzie Drive. While we have no concerns with the patio addition, we are requesting a GFA breakdown for the other uses within the plaza to ensure their parking requirements are still met with this parking reduction. Please reach out if you have any questions.

On April 30, 2024, Development Planning provided:

Please be advised that there are Cultural Heritage concerns with the above noted application. As such, Development Planning is requesting adjournment of this file.

On April 30, 2024, Committee of Adjustment staff provided the applicant with an opportunity to adjourn the application.

On May 1, 2024, the applicant advised they want to proceed as is to the May 16 Committee of Adjustment hearing.

On May 7, 2024, Committee of Adjustment provided:

The authorization to submit this application is incomplete. We require that the owner print their full name (in brackets include corporate name as listed on title). The form must be signed and dated by the owner and the statement ‘I have the authority to bind the corporation’ must be included. If we do not receive this information our office will be **recommending adjournment** of the application as it has not been properly authorized by the owner.

Development Engineering provided last follow up on April 19 request on May 8 (GFA breakdown not received).

COMMITTEE OF ADJUSTMENT	
Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the May 16, 2024, Committee of Adjustment hearing, if required.	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Application under review.	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

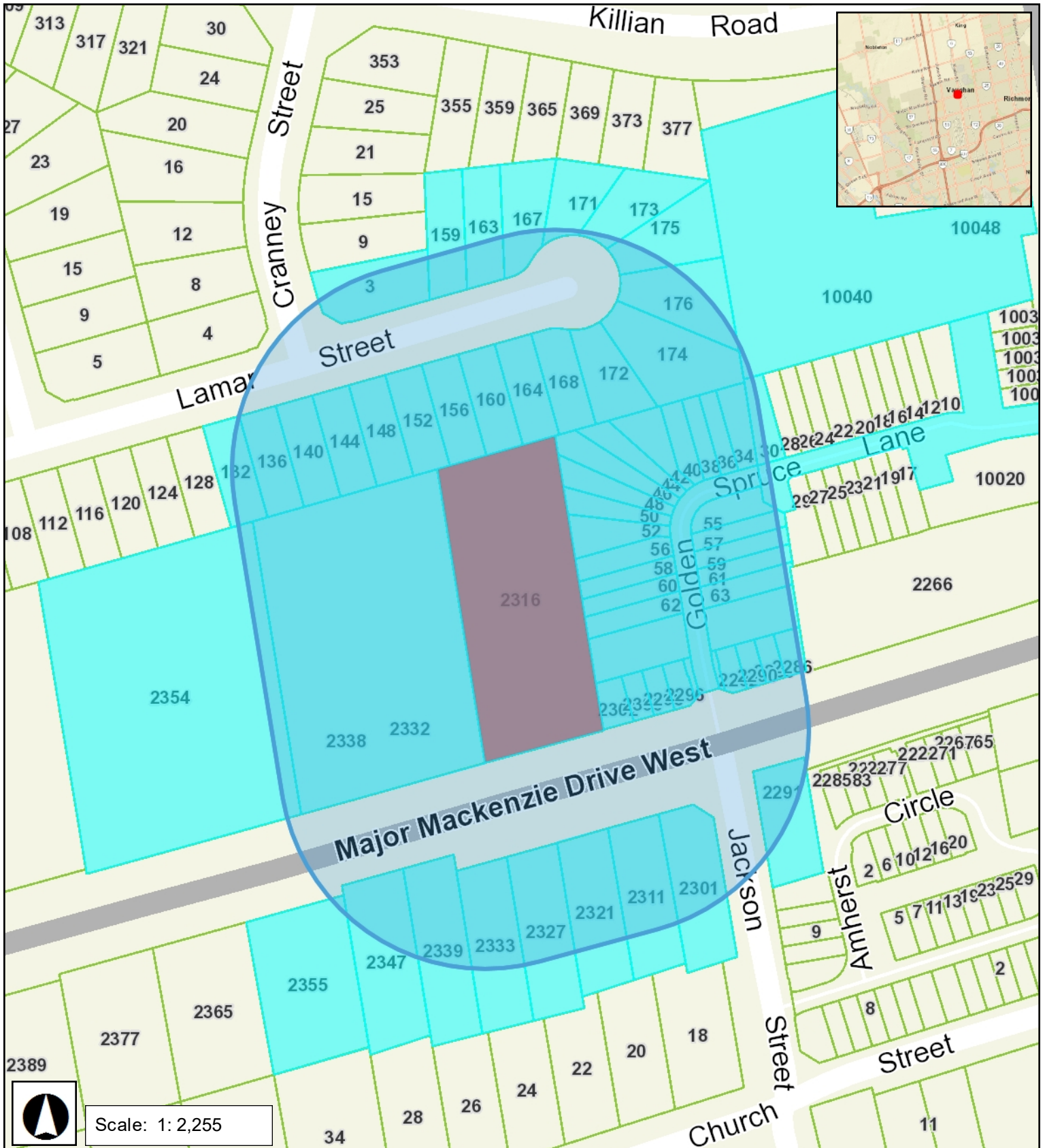
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning alyssa.pangilinan@vaughan.ca	TBD
2	Development Engineering	TBD

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
	Jonal.hall@vaughan.ca	
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

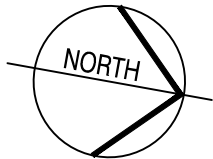
SCHEDULE A: DRAWINGS & PLANS

2316 Major Mackenzie Drive, Vaughan



PLAN 65R-6135
PART 4, INST. NO 343414

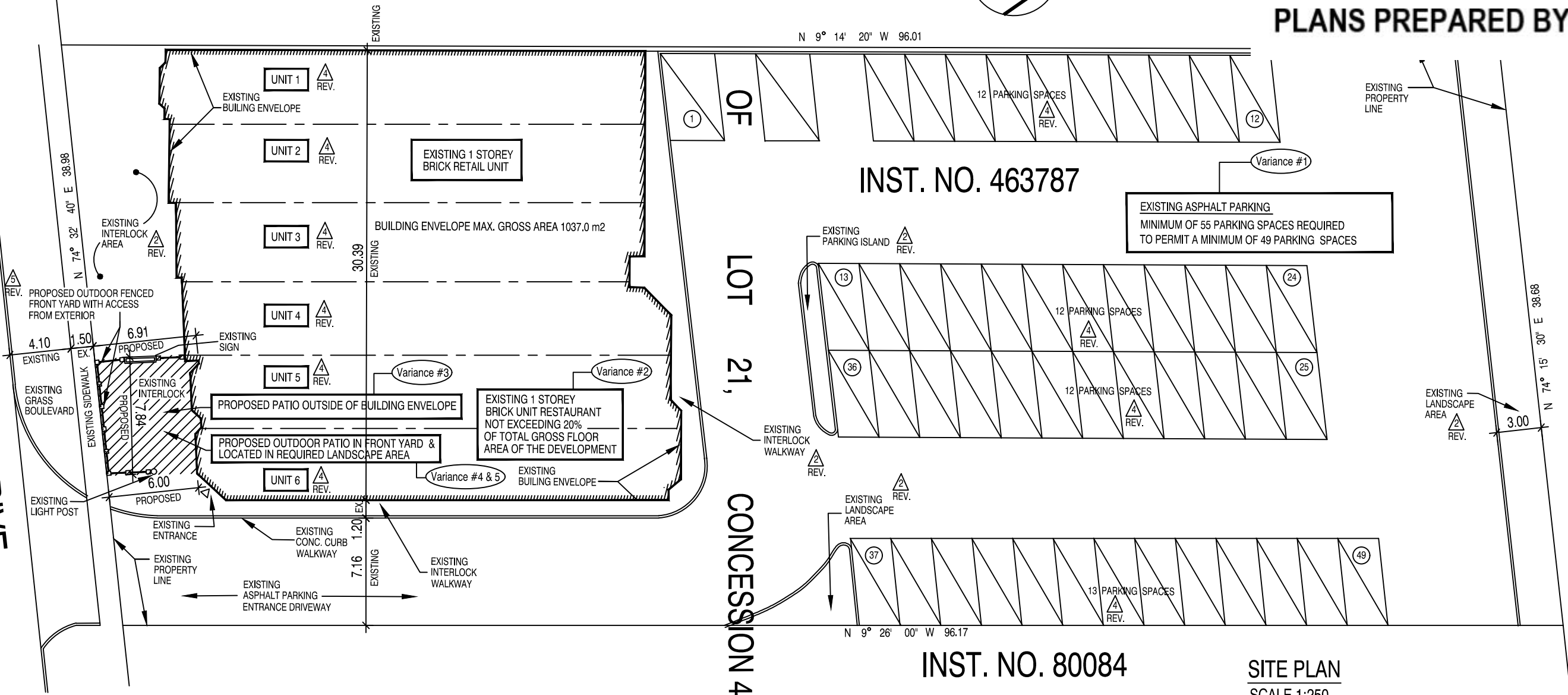
PART



RECEIVED
By attwalap at 11:19 am, Apr 23, 2024

PLANS PREPARED BY APPLICANT

MAJOR MACKENZIE DRIVE



SITE PLAN

SCALE 1:250

PLAN OF SURVEY OF
PART OF LOT 21, CONCESSION 4
REGISTERED PLAN 65M -2086 & 65R-6135
TOWN OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
J. STEL, O.L.S
SEPTEMBER 14, 2088

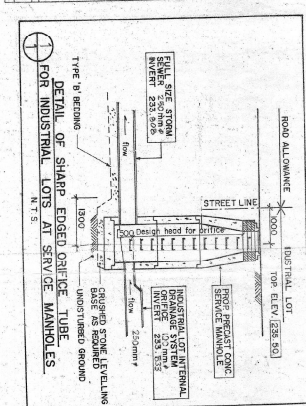
PROPOSED PATIO

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED PRIOR TO COMMENCEMENT OF WORK.

7		
6		
5	APR. 22, 2024	CITY COMMENTS REMOVED VARIANCE #6
4	APR. 1, 2024	CITY COMMENTS ADDED FENCED FRONT YARD, UNIT # & PARKING AREAS
3	JAN. 28, 2024	ADDED VARIANCES REQUESTED
2	DEC. 11, 2023	CITY COMMENTS ADDED EXISTING LANDSCAPE & INTERLOCK AREA
1	SEPT. 7, 2023	ISSUED TO CITY
No: DATE:		WORK DESCRIPTION:

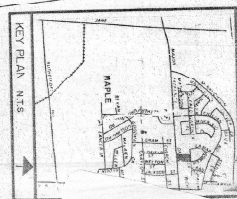
DI GIOVANNI GROUP INC.
TEL: (647) 651-9097

SITE PLAN		
2316 MAJOR MACKENZIE DRIVE VAUGHAN		
	TYPE	AREA
	SCALE:	1:300
PROJ. No.	DWG. No.	
23-2316M	1S	



By Christine Vigneault at 10:41 am, May 08, 2024

*Plan provided to include GFA, not reviewed by zoning



COLLECT NEW SIDEWALK TO EXISTING
SIDEWALK AND RESTORE TO ORIGINAL
CONDITION.

COULD AT 7.5% RATIO TO BE PROVIDED
BY THE OWNERS WHEN THE UNDERLYING
TO THE EKSOT IS CONVERTED TO THE REGION

HEAVY DUTY ASPHALT
(SEE ENTRANCE NOTE)

235-6

APPROVED AS
FOR SITE PLAY
TOWN OF VAUGHAN

DEVELOPMENT ENGINEERING DEPT.
B. S. P. / 1970

PER WORKS	DATE
11/09	

VALUES ARE NOT TO BE SCALED.



JOSEPH DAMLIAN BATTAGLIA
ARCHITECT

0-4 HANLAN ROAD
WYCKD BRIDGE, ONTARIO
TEL. (416) 861-8240

POSED RETAIL
MERCIAL BUILDING
6, 4a Jor Mackenzie Dr.
Oakville

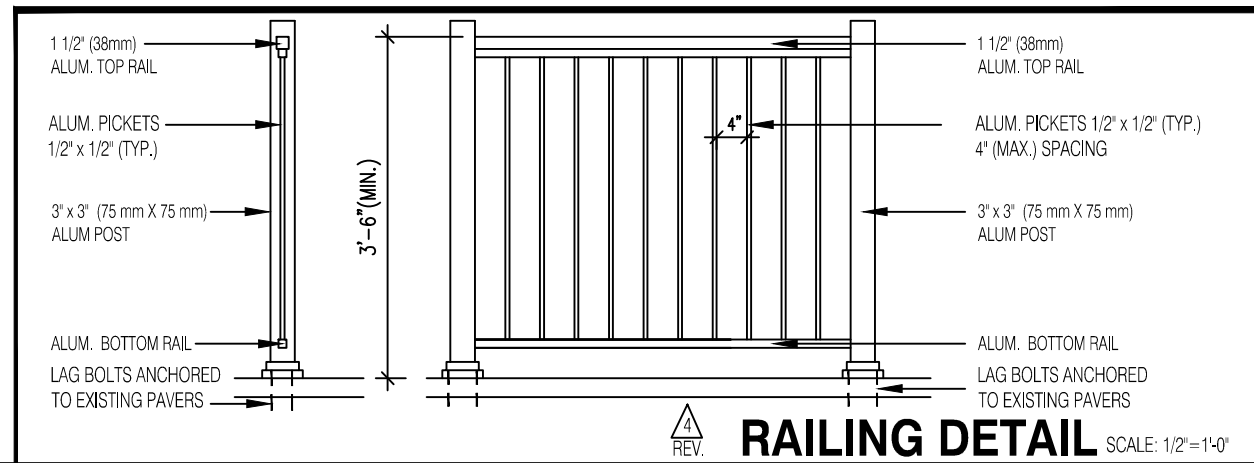
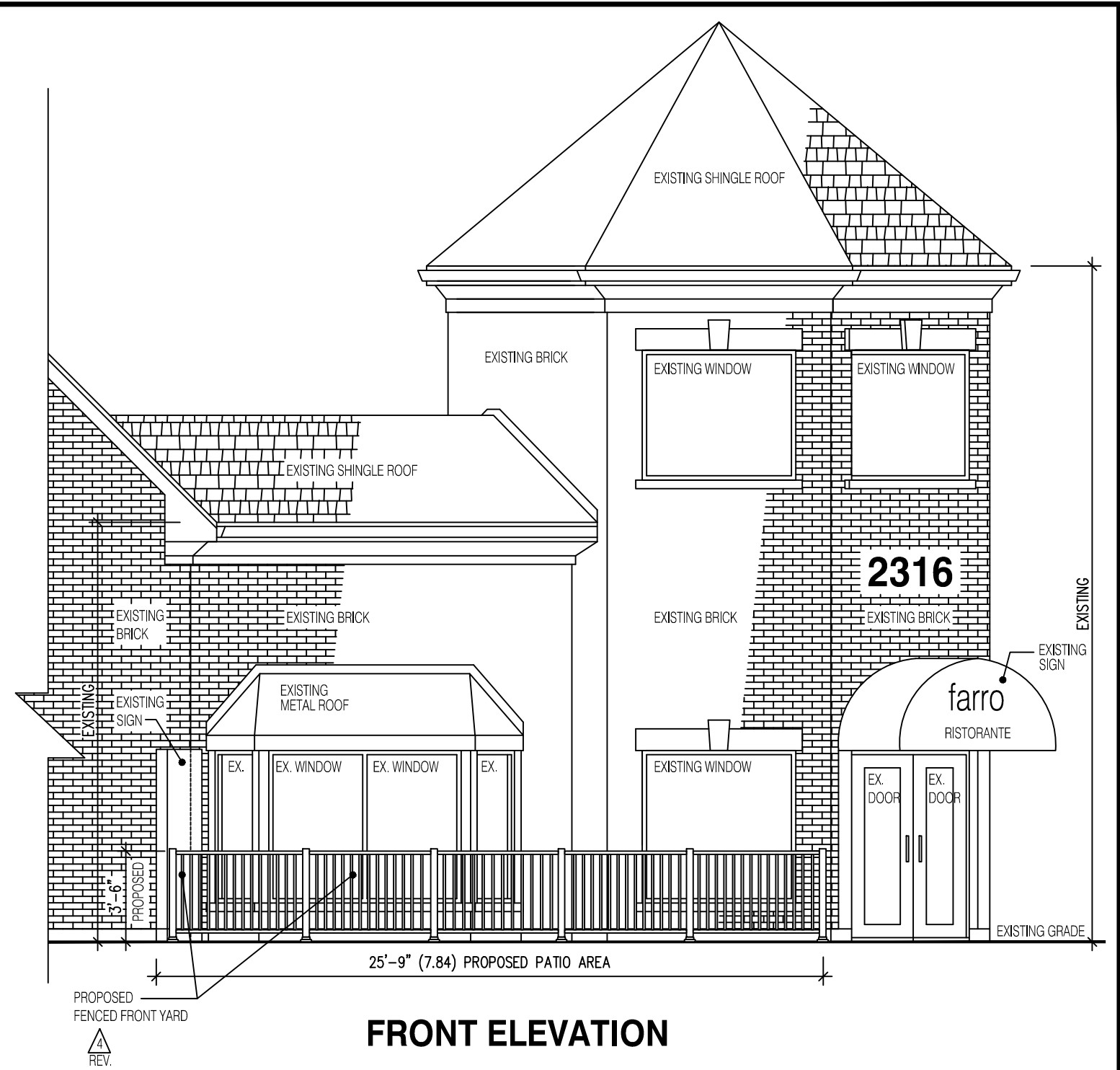
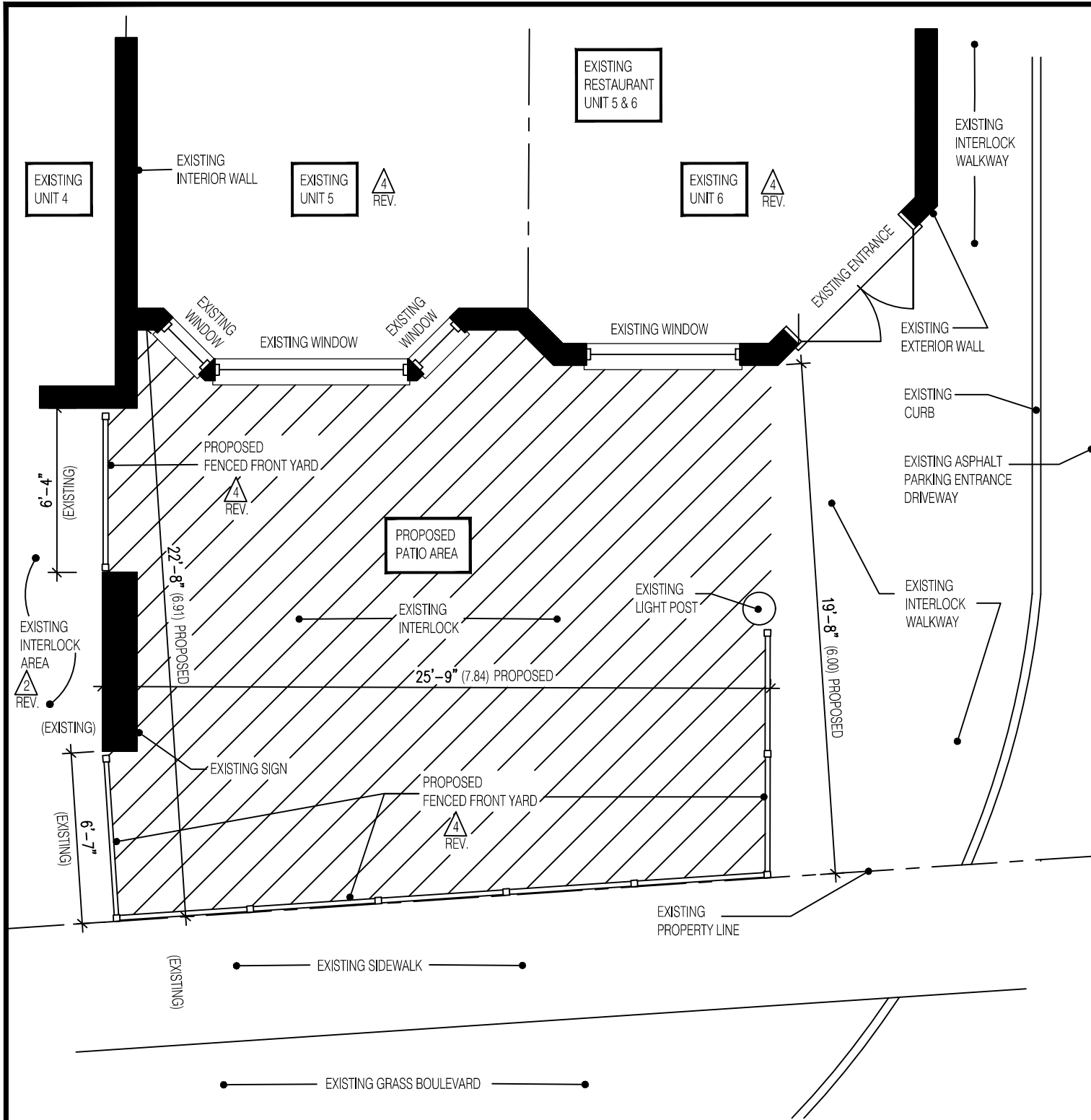
WILKINS Construction Co.

ITE PLAN

J. Z.	Checked	J. B.
MAR / 99	scale	1:150

8804

ARCHITECTS Z
JACOB D. BATTALIA
UCINO
304
A1



THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED PRIOR TO COMMENCEMENT OF WORK.

7		
6		
5		
4	APR. 1, 2024	CITY COMMENTS ADDED FENCED FRONT YARD, UNIT NUMBERS
3		
2	DEC. 11, 2023	CITY COMMENTS ADDED EXISTING INTERLOCK AREA
1	SEPT. 7, 2023	ISSUED TO CITY
No.	DATE:	WORK DESCRIPTION:

DRAWN BY: — DRAWING NAME: —

PROPOSED PATIO

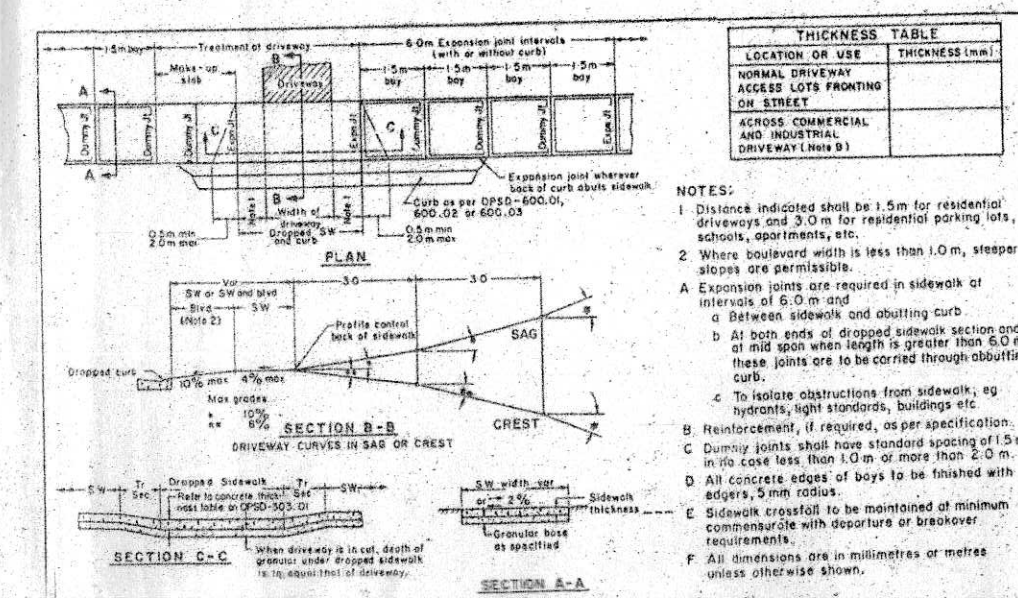
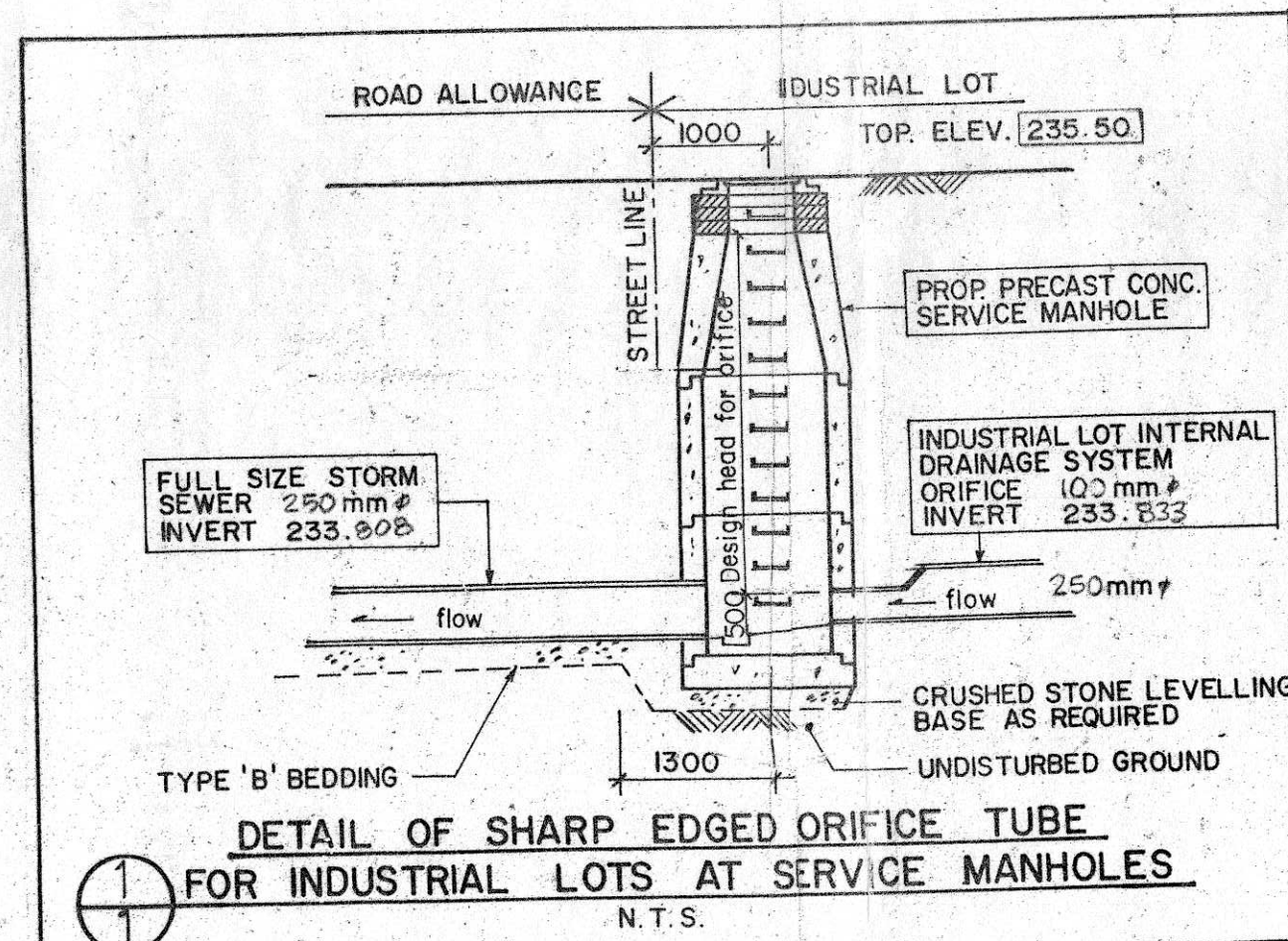
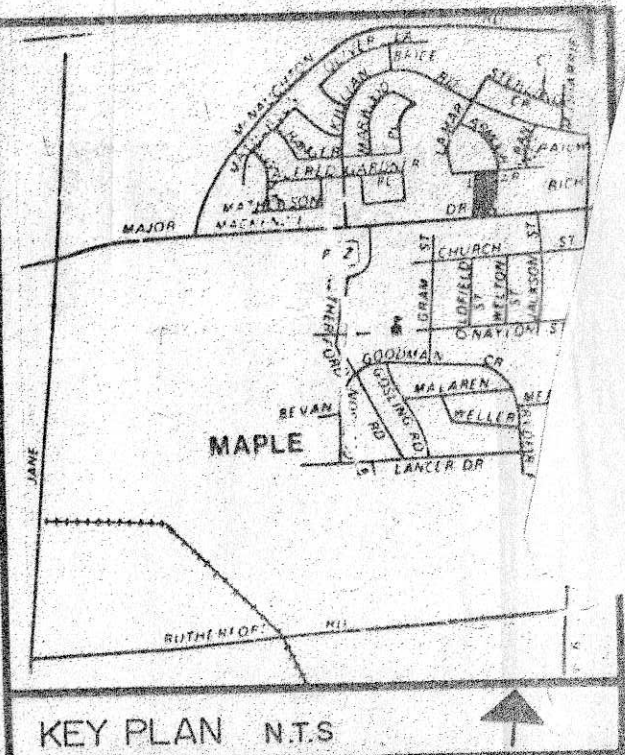
DI GIOVANNI GROUP INC.
TEL: (647) 615-9097

PLAN & ELEVATION

2316 MAJOR MACKENZIE DR.
VAUGHAN

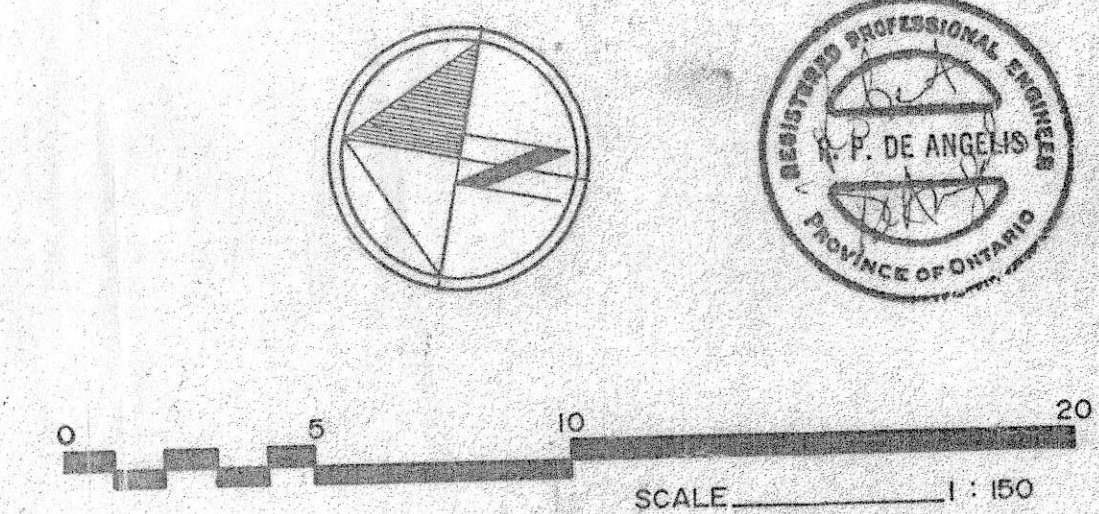
TYPE	AREA
SCALE:	3/16"=1'-0"
PROJ. No.	DWG. No.
23-2316M	A1

By Prabhdeep Kaur at 2:01 pm, Nov 27, 2023



INFORMATION FROM THIS SITE WAS TAKEN FROM
PLAN OF SUBDIVISION OF PART OF LOT 21,
CONCESSION 4, TOWN OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
PREPARED BY: E.W. PETZOLD LTD. O.L.S.

TOTAL LOT AREA	= 3711.076 sq. ft. (39 547 sq. ft.)
TOTAL GROUND FLOOR AREA	= 946.297 sq. ft. (10 186 sq. ft.)
LOT COVERAGE	= 25.5 %
LANDSCAPED AREA	= 338.998 sq. ft. (3 649 sq. ft.)
LANDSCAPE COVERAGE	= 9.14 %
PAVED AREA (ASPHALT & SIDEWALK)	= 2425.781 sq. ft. (26 112 sq. ft.)
PAVED COVERAGE	= 65.37 %
<u>PARKING REQUIREMENTS</u>	
TOTAL PARKING REQUIRED	= 55.18 SPACES
PARKING PROVIDED	= 60.0 SPACES
HANDICAPPED	= 1.0 SPACES
TOTAL PARKING PROVIDED	= 61.0 SPACES
LOADING AREA PROVIDED	= 1.0 SPACES



EXISTING GROUND ELEVATION _____ 369.6
PROPOSED ELEVATION _____ 367.70
PROPOSED DRAINAGE ROUTE OF SURFACE RUNOFF _____
PROPOSED CATCHBASIN _____
PROPOSED MANHOLE _____
PROPOSED GATE VALVE AND BOX _____
PROPOSED MAN DOORS _____
PROPOSED LOADING DOORS _____
EXISTING WOODEN POLE _____

EX. W.P.

LIGHTWEIGHT
ASPHALT AREA

- 3cm HL6 ASPHALT
- 10cm GRANULAR A
TYPE 4
- 15cm GRANULAR B
TYPE 2

HEAVY DUTY
ASPHALT AREA

- 3cm HL3A ASPHALT
- 5cm HL8 ASPHALT
- 15cm GRANULAR A
TYPE 4

HEAVY DUTY ASPHALT
(ENTRANCE AREA)

- 5 CM HL 3 ASPHALT
- 7.5 CM HL 8 ASPHALT
- 15 CM 2 CM DIA. CRUSHER
RUN LIMESTONE
- 30 CM 5 CM DIA. CRUSHER
RUN LIMESTONE

88-238

1	REVISED AS PER WORKS DEPT COMMENTS	MAY 9/85
NO.	REVISIONS	DATE
MARK VOID ALL COPIES PREVIOUS TO FINAL DATE		
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THIS WORK.		
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE RE-SEALED.		

PROJECT
PROPOSED RETAIL
COMMERCIAL BUILDING
2316 Major Mackenzie Dr.
Maple Ontario
For Villata Construction Co.

DWG
SITE PLAN

drawn J. Z.	checked J. B.
date MAR /88	scale 1:150

ONTARIO ASSOCIATION
OF
ARCHITECTS
JOSEPH D. BATTAGLIA
LICENCE
3694

PARKING REQUIREMENTS

TOTAL PARKING REQUIRED = 55.18 SPACES

PARKING PROVIDED = 60.0 SPACES

HANDICAPPED = 1.0 SPACES

TOTAL PARKING PROVIDED = 61.0 SPACES

LOADING AREA PROVIDED = 1.0 SPACES

SITE ANALYSIS

TOTAL LOT AREA	= 3711.076 sq.m. (39 947 sq.ft.)
TOTAL GROUND FLOOR AREA	= 946.297 sq.m. (10 186 sq.ft.)
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PAVED AREA (ASPHALT & SIDEWALK)	= 2425.781 sq.m. (26 112 sq.ft.)
PAVED COVERAGE	= 65.37 %

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: January 18th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A184-23**

Related Files:

Applicant Sebastian Di Giovanni

Location 2316 Major Mackenzie Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

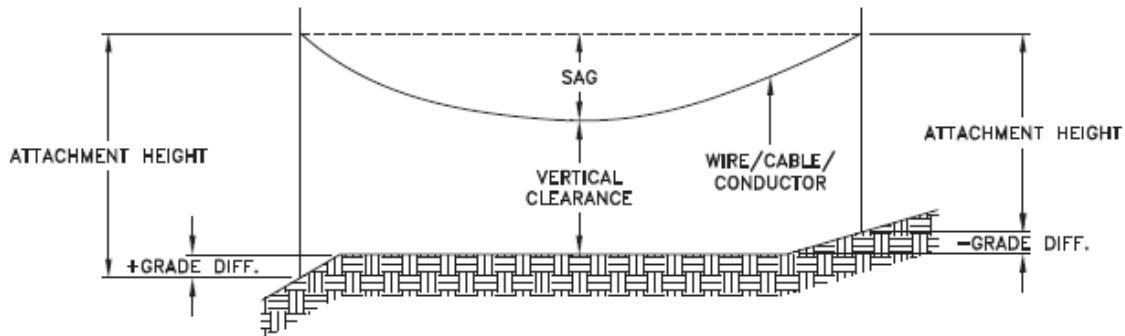
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

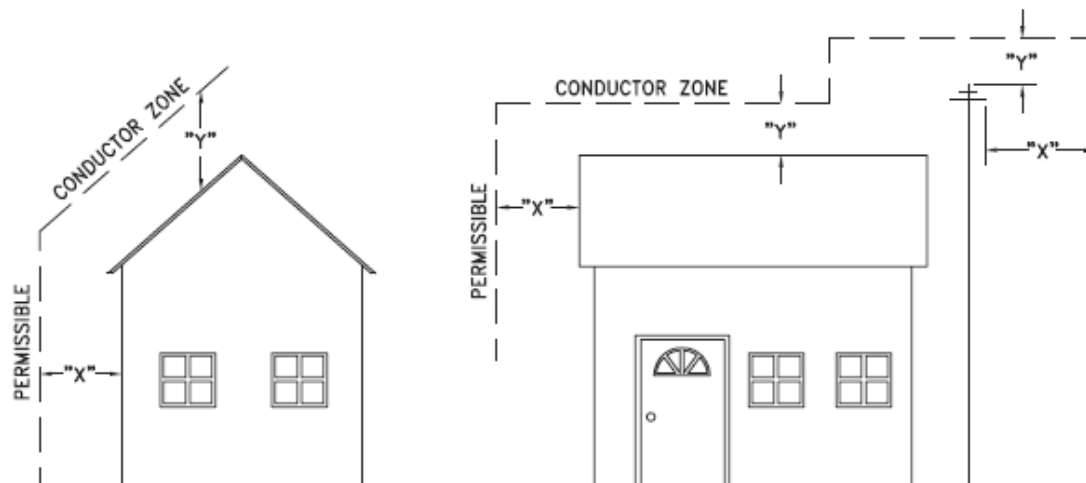
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: April 4, 2024

Applicant: Sebastian Di Giovanni

Location: 2316 Major Mackenzie Drive
Concession 4, Part of Lot 21

File No.(s): A184/23

Zoning Classification:

The subject lands are zoned C1, Restricted Commercial Zone and subject to the provisions of Exception 9(792) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum of 55 parking spaces are required. [Exception 9(792) ai)]	To permit a minimum of 49 parking spaces.
2	The construction of all buildings or structures shall be restricted to the area shown as "Building Envelope" on Schedule E-872, and such buildings shall have a maximum gross floor area of 1037.0 m2. [Exception 9(792) di]	To permit an Outdoor Patio to be located outside of the area shown as "Building Envelope on Schedule E-872".
3	The front yard shall be restricted to landscaping, pedestrian circulation and ingress/egress driveway. [Exception 9(792) bii]	To permit an Outdoor Patio to be permitted in the front yard.
4	The minimum landscaping shall be provided in the areas identified as "Landscaped Area" on Schedule E-872 [Exception 9(792) biii]	To permit an Outdoor Patio to be located in a required landscaped area.
5	The Outdoor Patio shall be completely enclosed by a physical barrier with access only from the interior of the eating establishment with the exception of at least one (1) exit to be used only in cases of emergency and which is not from the interior of the main building [Subsection 5.1.6 h]	To permit an Outdoor Patio not to be completely enclosed by a physical barrier with access only from the interior of the eating establishment with the exception of at least one (1) exit to be used only in cases of emergency and which is not from the interior of the main building.

Staff Comments:

Other Comments:

General Comments	
1	This application has been determined to be transitioned with respect to the Primary Use of Restaurant and the specified Accessory Use of an Outdoor Patio in accordance with Subsection 1.6.2.6 of Zoning Bylaw 001-2021 and therefore is subject to Zoning By-law 1-88, as amended, only.
2	In an email dated December 13, 2023, the Applicant confirms compliance with Subsection 5.2 of the bylaw, which requires that the gross floor area of any or all Eating Establishment uses shall not exceed twenty percent (20%) of the total gross floor area of the development. [Subsection 5.2, Zoning Bylaw 1-88]
3	Based on a review of the statistics provided, the addition of the outdoor patio does not exceed the maximum permitted gross floor area of 1037.0 m2 for all buildings and structures, as prescribed in Exception 9(792) di.

4	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
5	The subject lands are currently being reviewed under Development Planning Application No. DA.23.040.
6	Drawings submitted for Minor Variance, Building Permit and Development Application shall match. Any discrepancies may require further relief from the bylaw.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Thursday, January 18, 2024 11:28 AM
To: Committee of Adjustment
Cc: Pravina Attwala
Subject: [External] RE: A184/23 (2316 MAJOR MACKENZIE DRIVE) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 2316 Major Mackenzie Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A184/23 (2316 MAJOR MACKENZIE DRIVE) - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: Friday, February 9, 2024 5:41 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A184/23 (2316 MAJOR MACKENZIE DRIVE) - REQUEST FOR COMMENTS

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A184/23 (2316 Major Mackenzie Drive) and has no comment.

Please note that comments and conditions continue to apply for the related Site Plan SP.23.V.0175 (DA.23.040).

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None