

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A137/23
-----------	---

Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/31/2023	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A137/23
---	---

CITY WARD #:	5
APPLICANT:	Rafael Lazer
AGENT:	Spotlight Development Inc. (John Buckley) (Aaron Gillard)
PROPERTY:	116 Renaissance Court., Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed swimming pool, accessory structure (fire pit) and reduced rear yard soft landscaping requirements.

The following variances are being requested from the City’s Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1D (EN) First Residential Density Zone (Established Neighbourhood) and subject to the provisions of Exception 14.478 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape. [Section 4.19.11]	To permit a minimum of 53.8% of the rear yard in excess of 135.0 square metres to be soft landscape. *Variance confirmed using Zoning Review Waiver
2	No part of a private swimming pool shall be nearer to the rear lot line than 35.0 metres. [14.478 2. 1. d. Figure E - 853], [4.21]	To permit a swimming pool to have a minimum of 21.76 metres to the rear lot line. *Variance confirmed using Zoning Review Waiver
3	No part of an accessory structure may be nearer to the rear lot line than 35.0 metres [14.478]	To permit an accessory structure (fire pit) a minimum of 11.81 metres to the rear lot line. *Variance confirmed using Zoning Review Waiver

HEARING INFORMATION

DATE OF MEETING: Thursday, May 16, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 25, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The purpose of my application is to permit an existing swimming pool. Please see Permit No. 20 107977 000 00 EP. Zoning Deficiency Letter
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
COMMENTS:	
<p>On April 26, 2024, Development Planning provided the following:</p> <p>Development Planning has now completed our review of the above noted minor variance application. Please clarify the following items:</p> <ol style="list-style-type: none">1. The site plan is showing two (2) pergolas in the rear yard. Based on my site visit, the only existing pergola is the one closest to the dwelling. Is the other pergola a proposed structure? If so, it shall be included on the site plan and elevations drawings will also be required.2. Please revise the site plan to show the current location of the pool equipment pad and show the distance between the pad and the interior lot line, as this will require Zoning review. <p>Staff also provided Urban Design comments.</p> <p>On April 29, 2024, Development Planning provided the following:</p> <p>Further to my last email, due to the materials still required and Urban Design comments to be addressed, Development Planning recommends an adjournment to provide for additional time for work on the application.</p> <p>On April 29, 2024, Committee of Adjustment staff provided the applicant with an opportunity to adjourn the application to address staff review comments.</p> <p>On April 29, 2024, the applicant confirmed that they wanted to proceed to the May 16 Committee of Adjustment hearing.</p> <p>On May 1, 2024, the applicant provided a revised submission, removing label of pergola and adding location of pool equipment and soft landscaping.</p> <p>On May 3, 2024, the applicant provided a Zoning Review Waiver, to confirm required variances for the purposes of issuing public notice.</p> <p>Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the May 16, 2024, Committee of Adjustment hearing, if required.</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)
**See Schedule B for Building Standards (Zoning) Comments

BUILDING STANDARDS (ZONING)		
Building Standards Recommended Conditions of Approval:		None

DEVELOPMENT PLANNING		
**See Schedule B for Development Planning Comments.		
Development Planning Recommended Conditions of Approval:		TBD

DEVELOPMENT ENGINEERING		
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation		
The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.		
Development Engineering Recommended Conditions of Approval:		None

PARKS, FORESTRY & HORTICULTURE (PFH)		
No comments received to date.		
PFH Recommended Conditions of Approval:		None

DEVELOPMENT FINANCE		
No comments received to date.		
Development Finance Recommended Conditions of Approval:		None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:		None

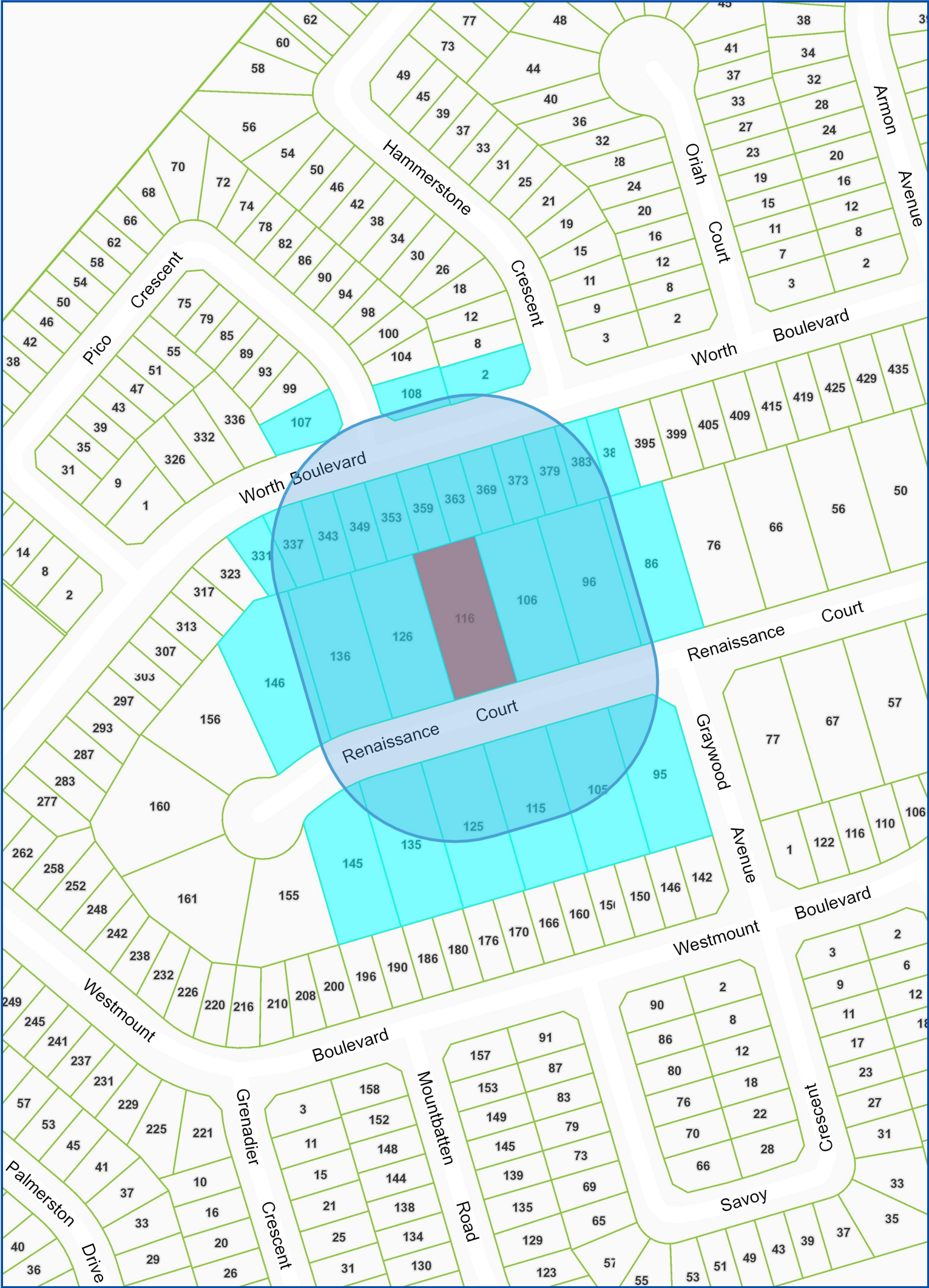
BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:		None

FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:		None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning alyssa.pangilinan@vaughan.ca	TBD
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		

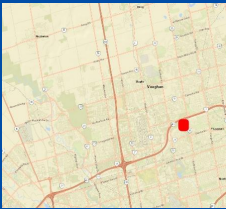
IMPORTANT INFORMATION	
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.</p>	

HIGHWAY #407



BATHURST STREET

Map Information:



Title:

NOTIFICATION MAP - A137/23

116 Renaissance Court, Thornhill

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

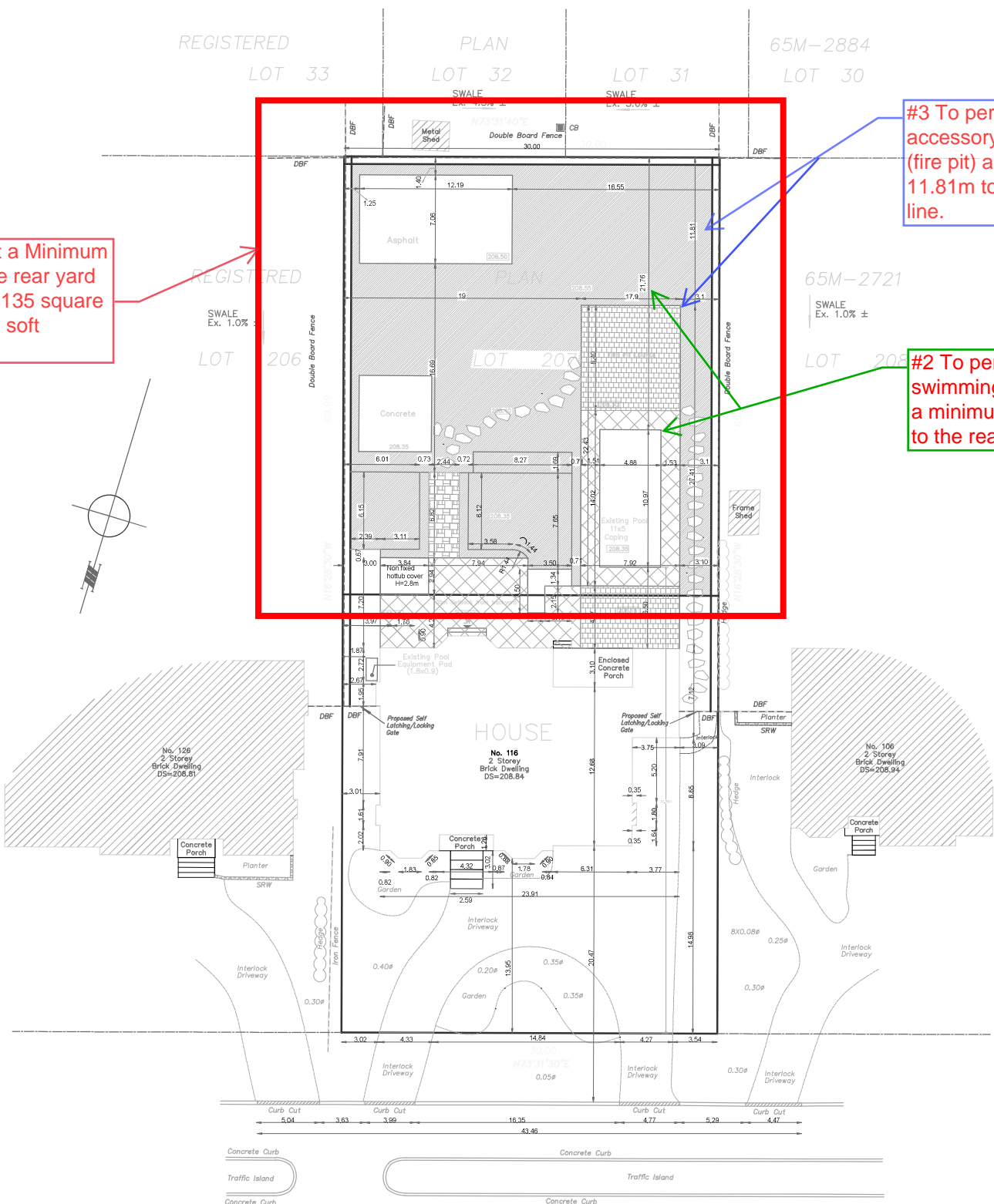
0 0.04 km



Created By:

Infrastructure Delivery
Department
August 31, 2023 2:19 PM

Projection:
NAD 83
UTM Zone
17N



Lot Area = 2100 m² / 22600 ft²
 Lot Frontage = 30 m / 98 ft
 Lot Depth = 70 m / 230 ft
 Total Area of Rear Yard = 1197 m² / 12880 ft²
 Total Rear Hardscape Area = 552 m² / 6258 ft²
 Total Rear Softscape Area = 645 m² / 6630 ft²

Rear Hardscape % = 46.6%
 Rear Softscape % = 53.8%
 Total Area of Front Yard = 538 m² / 5676 ft²
 Total Front Hardscape Area = 260 m² / 2792 ft²
 Total Front Softscape Area = 278 m² / 2884 ft²
 Front Hardscape % = 49.2%
 Front Softscape % = 50.8%

[illegible]

RENAISSANCE COURT
(BY REGISTERED PLAN 65M-2721)

Lot Area = 2100 m² / 22600 ft²
 Lot Frontage = 30 m / 98 ft
 Lot Depth = 70 m / 230 ft
 Total Area of Rear Yard = 1197 m² / 12880 ft²
 Total Rear Hardscape Area = 552 m² / 6258 ft²
 Total Rear Softscape Area = 645 m² / 6630 ft²

Rear Hardscape % = 46.6%
Rear Softscape % = 53.8%
Total Area of Front Yard = 538 m² / 5676 ft²
Total Front Hardscape Area = 260 m² / 2792 ft²
Total Front Softscape Area = 278 m² / 2884 ft²
Front Hardscape % = 49.2%
Front Softscape % = 50.8%

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 18th 2024

Attention: Christine Vigneault

RE:

File No.: A137-23

Related Files:

Applicant Spotlight Development Inc.

Location 116 Renaissance Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

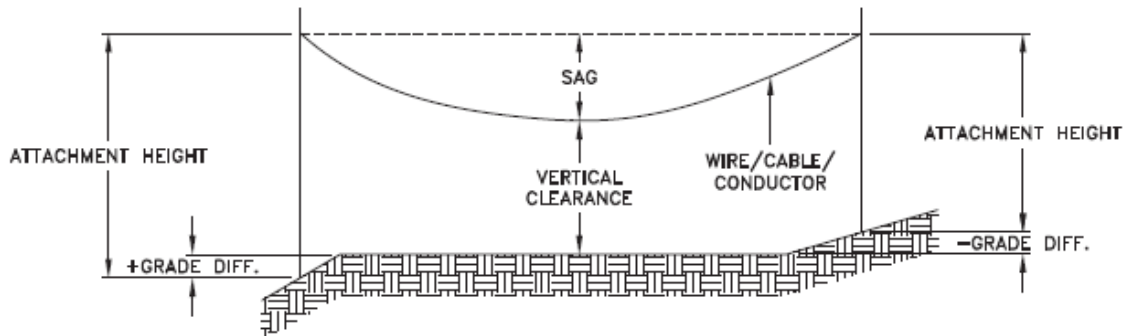
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

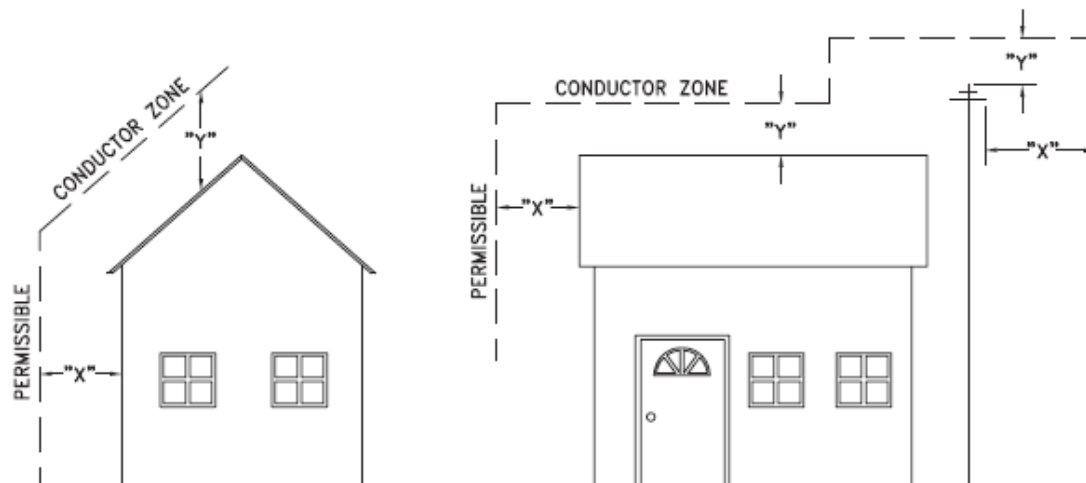
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: April 04, 2024
Applicant: Spotlight Development Inc.
Location: 116 Renaissance Court
PLAN 65M2721 Lot 207

File No.(s): A137/23

Zoning Classification:

The subject lands are zoned R1D (EN) First Residential Density Zone (Established Neighbourhood) and subject to the provisions of Exception 14.478 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape. [Section 4.19.11]	To permit a minimum of 53.8% of the rear yard in excess of 135.0 square metres to be soft landscape.
2	No part of a private swimming pool shall be nearer to the rear to line than 35.0 metres. [14.478 2. 1. d. Figure E - 853], [4.21]	To permit a swimming pool to have a minimum of 21.76 metres to the rear lot line.
3	No part of an accessory structure may be nearer to the rear lot line than 35.0 metres [14.478]	To permit an accessory structure (fire pit) a minimum of 11.81 metres to the rear lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

General Comments	
1	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

ZONING REVIEW WAIVER

I,

Name of authorized owner or agent

Agree to proceed with an application(s) to the Committee of Adjustment without the benefit of having my revised submission reviewed by a Zoning Examiner within the City of Vaughan Building Standards Department, for the purposes of confirming the variances required to facilitate my proposal.

I assume full responsibility for identifying, correctly and completely, all variances associated with my proposal/application.

I also recognize and acknowledge that any errors may result in:

- a) a potential delay in the processing of my application(s);
- b) an inability to obtain a building permit;
- c) the need for additional application(s) to the Committee of Adjustment; and
- d) additional fees (adjournment/recirculation).

Date:

Signature:

IMPORTANT

By completing this Zoning Review Waiver, you are conducting a zoning review of your revised submission and assuming responsibility for identifying **all** variances required to facilitate your proposed development. If you would like zoning staff to conduct this review your file will require adjournment to a future hearing date.

Helpful Tips:

Review your original zoning report provided by your file manager. This report may be used as a tool to complete your review on the next page.

You may want to consider copying and pasting the variances, confirmed in your zoning report, into the charts on the next page as a starting point and update as required.

If new variances are required, you will need to review the applicable By-law to determine requirements. If you are submitting a Zoning Review Waiver Form, staff cannot assist you with completing your review.

Ensure that **all** variances are included in the charts below, even variances that are not changing from the zoning report must be included. The omission of a variance may result in delays in processing, inability to obtain a building permit after approval, requirement of additional applications and fees.

See next page to complete your review.

REVISED SUBMISSION - ZONING REVIEW (WAIVER SUBMITTED)

Completed By:

Date:

File No.(s):

Property:

In the chart below, identify all variances required under Zoning By-law 001-2021:

ZONING BY-LAW 001-2021		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

In the chart below, identify all variances required under Zoning By-law 1-88:

ZONING BY-LAW 1-88		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Zoning Review Waivers can only be submitted if your application has received an initial zoning review. Staff cannot be consulted to complete your Zoning Review Waiver. The owner/ agent can obtain a zoning review of their revised application, through the Committee of Adjustment submission process in accordance with the Committee of Adjustment internal deadlines. Should an applicant/agent/representative wish to proceed to a hearing without a revised submission being reviewed by a zoning examiner they must complete this waiver to assume full responsibility for identifying required variances.

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Thursday, April 18, 2024 11:21 AM
To: Committee of Adjustment
Cc: Prabhdeep Kaur
Subject: [External] RE: A137/23 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 116 Renaissance Court, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A137/23 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: Thursday, April 18, 2024 9:46 AM
To: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A137/23 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A137/23 (116 Renaissance Court) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			08/31/2023	Application Cover Letter

SPOTLIGHT

DEVELOPMENT

City of Vaughan
Committee of Adjustment / Building Standards Department
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attn: Committee of Adjustment
Mr. Andrew Lommano, Zoning Plans Examiner

RE: Application for Minor Variance for 116 Renaissance Court, City of Vaughan.

Dear Committee Members & Mr. Lommano,

In response to the Zoning Review Notice provided regarding Permit No. 20 107977 000 00 EP, Plan 65M2721 Lot 207, 116 Renaissance Court on July 21, 2023, we are submitting a request for a Minor Variance to address the identified Zoning Deficiencies.

As discussed via email correspondence, in order to bring the existing property into compliance with the Zoning By-Law we respectfully request two items of relief. Please see detailed chart below detailing responses to the Zoning Deficiency letter provided July 21st 2023. An updated Site Plan indicating the requested variances, setback and area measurement details has been included with this application for reference.

Zoning Deficiency - Zoning By-law 001-2021				
#	Item	Required	Provided	Relief Requested
1.A	No building within 35m from rear lot line (swimming pool). Rear yard setback (swimming pool)	35m	21.76m	13.5m
1.B	Interior yard setback (swimming pool)	3m	4.63m	None
2.A	Pool Equipment Pad – Rear yard setback	35m	37.78m	None
2.B	Pool Equipment Pad – Interior yard setback	1.5m	3.97m	None
3.	The minimum rear yard soft landscaping requirement has not been met. Any portion of a yard in excess of 135 m ² shall be	Total Rear Yard Area = 1197m ² 60% = 718m ²	645m ² (53.8%)	73m ² (7%)

SPOTLIGHT

DEVELOPMENT

comprised of 60% soft landscape. [Section 4.19.1.1 and Section 3, Definitions, Zoning By-law 001-2021, as amended]			
---	--	--	--

Spotlight Development is submitting this request on behalf of the current homeowner who purchased the property in 2021 with an existing non-compliant swimming pool. We respectfully request approval of this minor variance application to address the requested reliefs as listed above to bring the existing yard into compliance with the City of Vaughan's Zoning By-Law.

Thank you for your time and consideration with this matter.

Respectfully,



John Buckley, BA, BURPI | *Director of Development*
Spotlight Development Inc.

550 Queen St E, Suite 200, Toronto, ON, M5A 1V2

 905.695.9025 |  john@spotlightdevelopment.com

www.spotlightdevelopment.com

cc: cofa@vaughan.ca
Andrew.Lommano@vaughan.ca

SCHEDULE D: BACKGROUND

None