

ITEM: 6.5	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A045/24
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Parks, Forestry and Horticulture Operations	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			04/12/2024	Planning Justification Report

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A045/24
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CITY WARD #:	3
APPLICANT:	VGI Properties Limited
AGENT:	David McKay and Eric Brathwaite
PROPERTY:	8101 Weston Road., Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use".
RELATED DEVELOPMENT APPLICATIONS:	DA.23.059
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit two 1-storey additions located on the north and east side of the existing commercial building and reduced landscape strip requirements along the lot line abutting a street. Relief is also being requested to facilitate related Site Plan Application DA.23.059.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned **C7 – Service Commercial Zone** and subject to the provisions of **Exception 9(462D) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	The minimum required front yard is 21.0m. Exception 9(462D)	To permit a minimum front yard of 6.5m.
2	The minimum required interior side yard is 6.0m. Schedule A.	To permit a minimum interior side yard of 5.09m.
3	The maximum permitted projection of an eave into the minimum required interior side yard is 0.5m. Section 3.14	To permit a maximum projection of 0.60m into the required interior side yard for an eave.
4	A strip of land not less than 6 metres in width shall be provided along all lot lines which abut a street line. Section 5.1.1 b)	To permit a strip of land not less than 2.68m in width along the lot line which abuts a street line.

HEARING INFORMATION
DATE OF MEETING: Thursday, May 16, 2024 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1 To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION	
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 25, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	A reduction of the front yard setback and interior side yard setback
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None.	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.23.059 be addressed to the satisfaction of the Development Planning Department

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. As the proposed dwelling/ structure/ cabana in the subject property is 226 m2, the Owner/ Applicant needs to obtain a ‘Lot Grading Permit’ from the Development Inspection and Lot Grading Division of the City’s Development Engineering Department. Please note any in-ground structure over 10 m2 requires a ‘Grading Permit’. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
	Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)	
Recommended condition of approval:	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

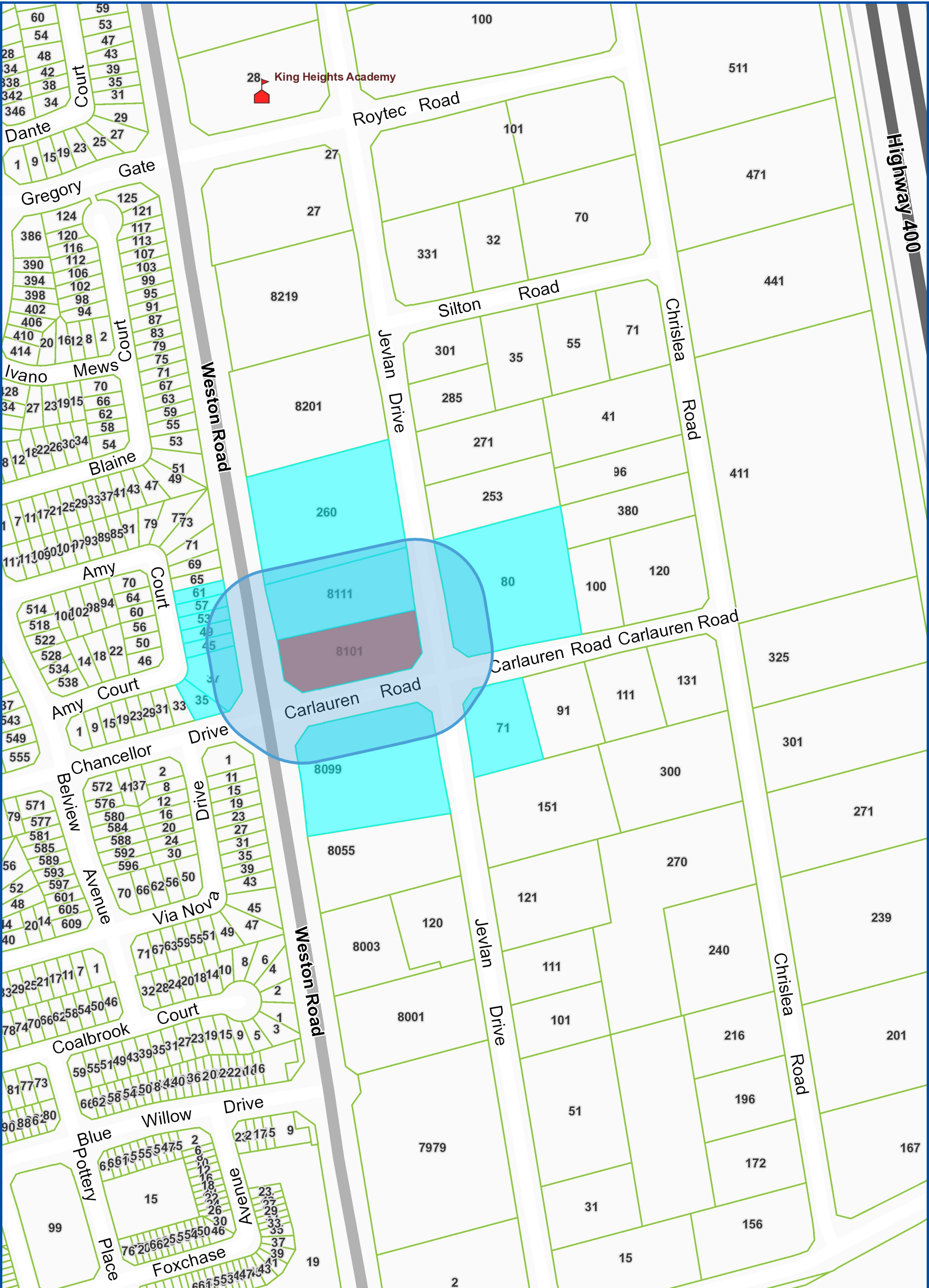
BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

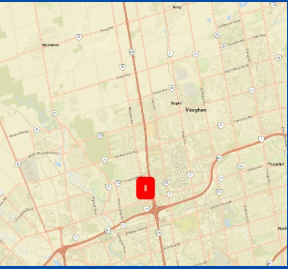
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
2	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
3	Development Planning Nicholas.delprete@vaughan.ca	That all comments on Site Development Application File DA.23.059 be addressed to the satisfaction of the Development Planning Department
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>



Map Information:



Title:

NOTIFICATION MAP - A045/24

8101 Weston Road, Woodbridge

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km

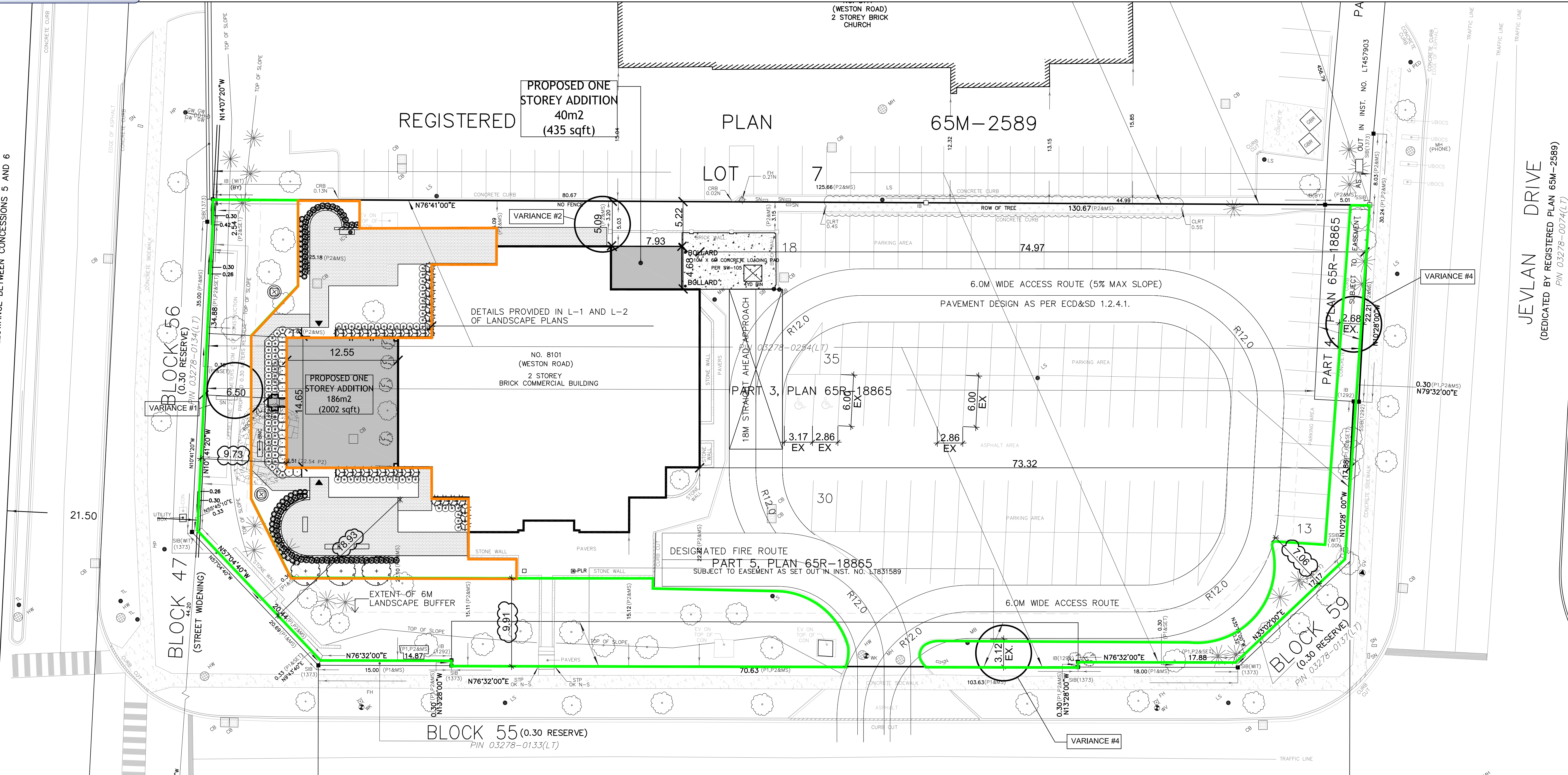


Created By:
Infrastructure Delivery
Department
March 18, 2024 10:16 AM

Projection:
NAD 83
UTM Zone
17N

KNOWN AS WESTON ROAD
ROAD ALLOWANCE BETWEEN CONCESSIONS 5 AND 6

CENTRELINE OF CONSTRUCTION



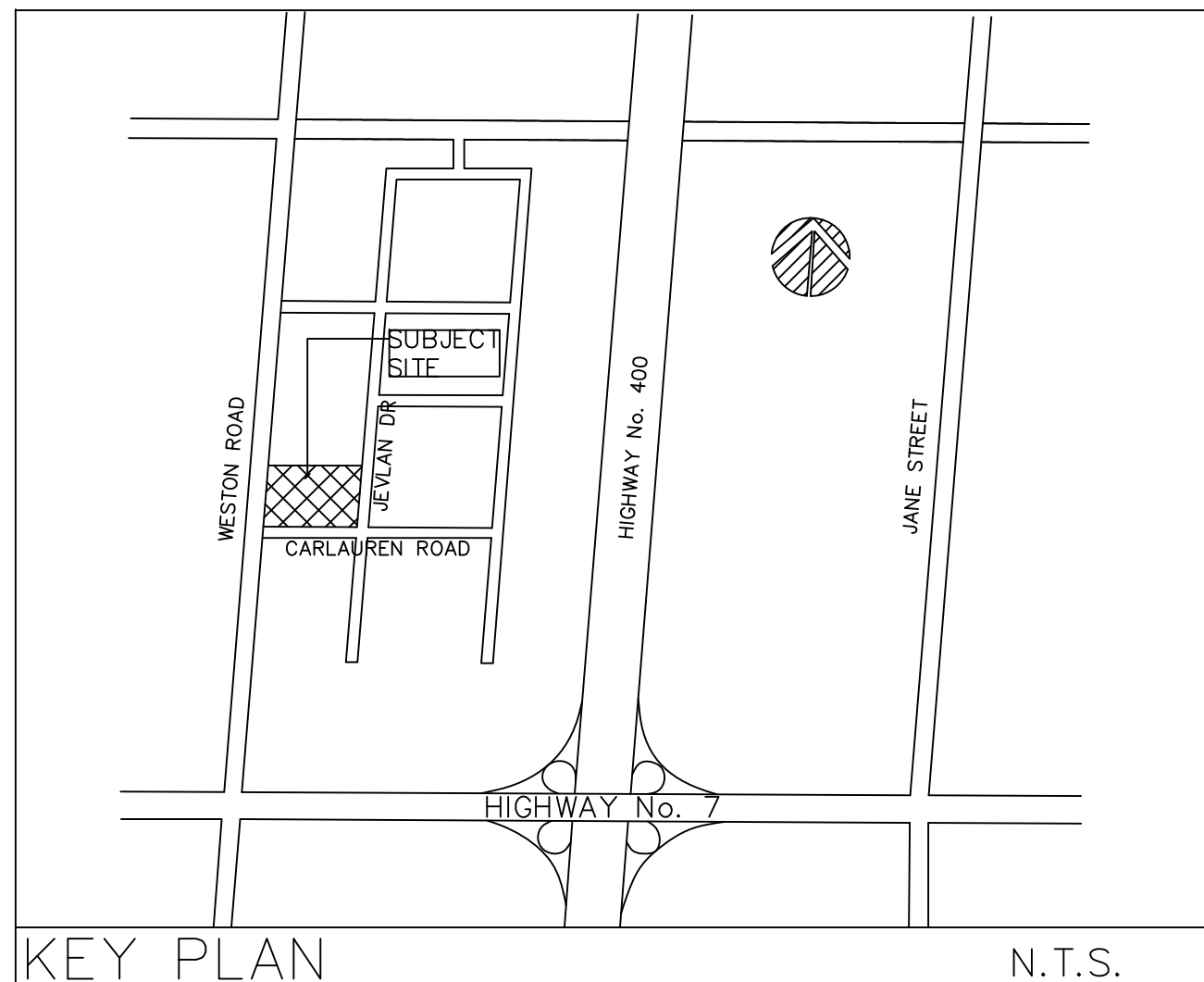
JEVLAN DRIVE
(DEDICATED BY REGISTERED PLAN 65M-2589)
PIN 03278-0074(LT)

PRINT DATE:

No.	DESCRIPTION	DATE
REVISIONS		

8	COMMITTEE OF ADJUSTMENT APPLICATION	18-04-2024
7	COMMITTEE OF ADJUSTMENT APPLICATION	08-04-2024
6	COMMITTEE OF ADJUSTMENT APPLICATION	25-03-2024
5	COMMITTEE OF ADJUSTMENT APPLICATION	18-03-2024
4	COMMITTEE OF ADJUSTMENT APPLICATION	26-02-2024
3	SPA RESUBMISSION	02-02-2024
2	SITE STATISTICS UPDATED	09-11-2023
1	ISSUED FOR REVIEW	16-10-2023

No.	DESCRIPTION	DATE
ISSUED FOR		

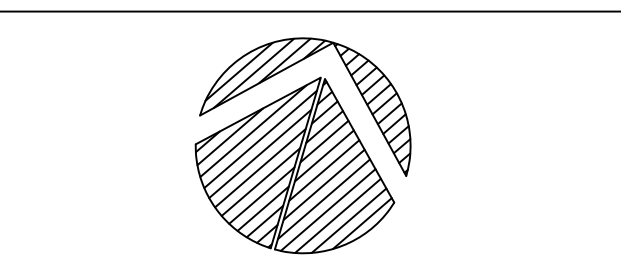


LEGAL DESCRIPTIONS
SITE PLAN INFORMATION TAKEN
FROM PLAN OF SURVEY LOT
7, CONCESSION 5, REGISTERED
PLAN No. 65M-2589
TOWN OF VAUGHAN, REGIONAL
MUNICIPALITY OF YORK
PREPARED BY: BENNETT ^ NORGROVE
LTD. OLS.

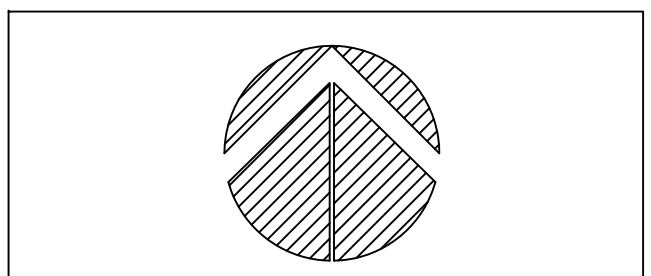
SITE STATISTICS

1. ZONING	C7 SERVICE COMMERCIAL EXCEPTION 462(D) ZONING BYLAW 1-88-2012
2. SITE AREA	6,580.57 m ² (1.63 Acres)
3. BUILDING CLASSIFICATIONS	Building 'A' GROUP A, DIVISION 2
4. LOT COVERAGE	1,122M ² (17 %)
5. EXISTING GROSS FLOOR AREA (ABOVE GRADE)	
GROUND FLOOR	897 m ²
SECOND FLOOR	689 m ²
TOTAL GROSS FLOOR AREA (EXISTING)	1,586 m ²
PROPOSED ADDITIONS	226.00 m ²
TOTAL GROSS FLOOR AREA (PROPOSED)	1,812 m ²
6. PAVED AREA	3,258 m ² (50%)
7. LANDSCAPED AREA	2,199 m ² (33%)
8. PARKING REQUIREMENTS	4 PER 100M ² GFA WITH A MINIMUM OF 15 SPACES 73 spaces
PARKING PROVIDED	96 spaces
HANDICAP SPACES REQUIRED (10-100 SPACES)	1 space
HANDICAP SPACES PROVIDED	2 spaces

TRUE NORTH



PROJECT NORTH



SYMBOL LEGEND

MAN DOOR LOCATIONS	
LOADING DOCK LOCATIONS	
DRIVE-IN OVERHEAD DOOR	
HYDRANT VALVE	
CATCH BASIN	
DOUBLE CATCH BASIN	
STORM SEWER MANHOLE	
SANITARY SEWER MANHOLE	
TOP OF CURB	
TOP OF WALL	
DIRECTION OF TRAFFIC FLOW	
EXISTING ELEVATION	
PROPOSED ELEVATION	
DIRECTION OF DRAINAGE FLOR	
PROPOSED DOOR LOCATIONS	
AREA OF EXISTING LANDSCAPE	
AREA OF PROPOSED LANDSCAPE	
REQUIRED 6.0M LANDSCAPE BUFFER	



1:10C

02

A20



1:10C

01

A20

The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

REVISIONS

No.	DESCRIPTION	DATE
ISSUED FOR		



PROJECT:

**VESCIO FUNERAL HOME
EXTENSION**

8101 WESTON ROAD
WOODBIDGE, ONTARIO

DRAWING TITLE:

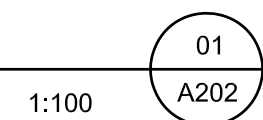
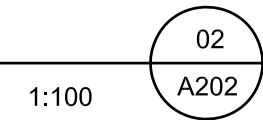
EAST AND WEST ELEVATION

SCALE: 1:100	DRAWING No.:
PROJ. NO.:	A201

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify DANIEL L. CUSIMANO, ARCHITECT, of any variations from the supplied information.

The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

[illegible]

No.	DESCRIPTION	DATE
ISSUED FOR		



DRAWING TITLE:

NORTH AND SOUTH ELEVATION

SCALE: 1:100	DRAWING No.:
PROJ. NO.:	A202

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 18th 2024

Attention: **Christine Vigneault**

RE:

File No.: **A045-24**

Related Files:

Applicant VGI Properties LTD

Location 8101 Weston Road

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

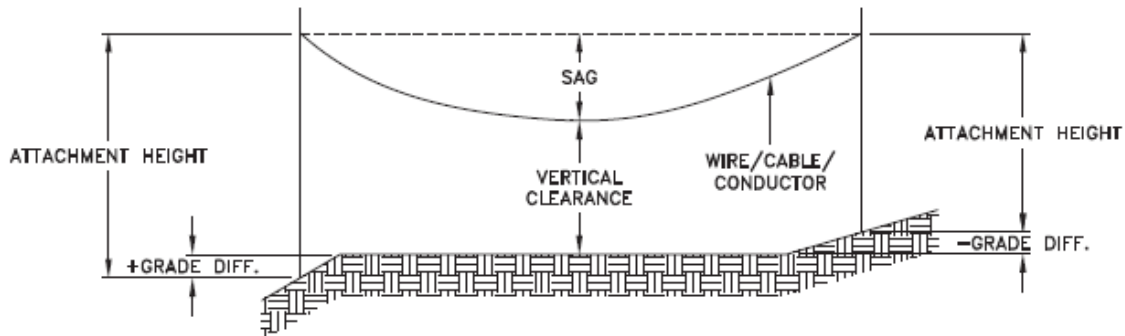
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

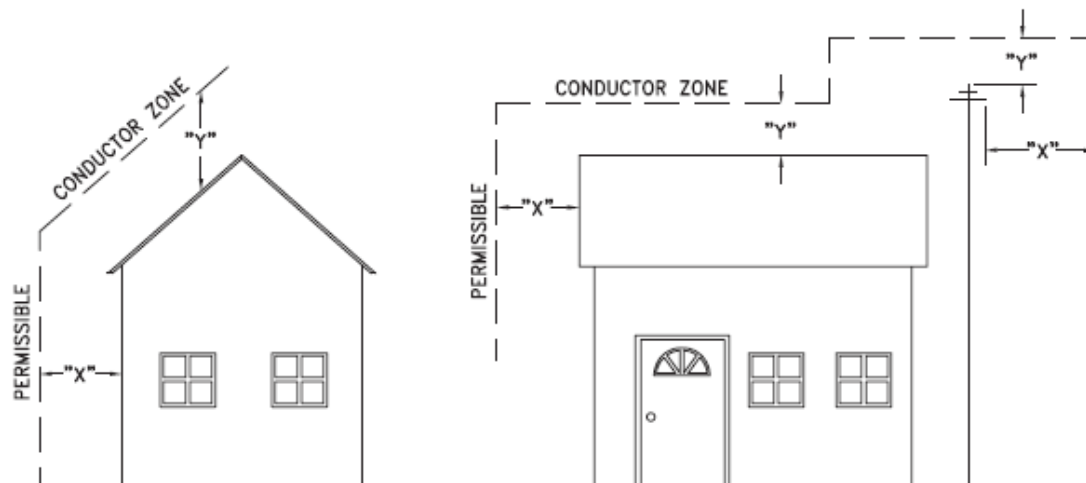
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: Apr 29, 2024
Applicant: MHBC Planning
Location: 8101 Weston Road
PLAN 65M2589 Lot 7
File No.(s): A045/24

Zoning Classification:

The subject lands are zoned C7 – Service Commercial Zone and subject to the provisions of Exception 9(462D) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The minimum required front yard is 21.0m. Exception 9(462D)	To permit a minimum front yard of 6.5m.
2	The minimum required interior side yard is 6.0m. Schedule A.	To permit a minimum interior side yard of 5.09m.
3	The maximum permitted projection of an eave into the minimum required interior side yard is 0.5m. Section 3.14	To permit a maximum projection of 0.60m into the required interior side yard for an eave.
4	A strip of land not less than 6 metres in width shall be provided along all lot lines which abut a street line. Section 5.1.1 b)	To permit a strip of land not less than 2.68m in width along the lot line which abuts a street line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This property is subject to transition clause 1.6.2 6. The requirements of Bylaw 001-2021 do not apply to a lot where an amendment to Zoning By-law 1-88 was finally approved and in effect on or after January 1, 2010, and such amendment has not been included in Section 14 herein.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 8, 2024

Name of Owner: Carlo Varone – Vigi Properties Limited

Location: 8265 Islington Avenue

File No.(s): A045/24

Proposed Variances (By-law 1-88):

1. To permit a minimum front yard of **6.5 m**.
2. To permit a minimum interior side yard of **5.09 m**.
3. To permit a maximum projection of **0.60 m** into the required interior side yard for an eave.
4. To permit a strip of land not less than **2.68 m** in width along the lot line which abuts a street line.

By-Law Requirements (By-law 1-88):

1. The minimum required front yard is **21.0 m**.
2. The minimum required interior side yard is **6.0 m**.
3. The maximum permitted projection of an eave into the minimum required interior side yard is **0.5 m**.
4. A strip of land not less than **6.0 m** in width shall be provided along all lot lines which abut a street line.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use"

Comments:Application History:

The Owner has submitted a Minor Site Development Application, file DA.23.059, to facilitate two (2) proposed 1-storey additions to the existing funeral home on the Subject Lands. One addition ('north addition') containing 40 m² of floor area is proposed on the north side and the second ('chapel addition') with 186 m² of floor area is proposed on the west side. The additions will increase the total Gross Floor Area (GFA) of the funeral home building from 1,586 m² to 1,812 m². Both soft and hard landscaping in the north, south and west yards of the building is proposed. Access to the site will remain along Carlauren Road.

Minor Variance Application, file A045/24 facilitates the additions by seeking relief for a reduced front and interior side yard, an increased maximum eave projection into the required interior side yard to facilitate the currently proposed Site Plan design. There is an additional variance to recognize an existing reduced landscape strip abutting the street line (portion of Carlauren Road and Jevlan Drive).

Analysis

Development Planning Department Staff ("Development Planning Staff") have no objection to Variance 1 to permit a minimum front yard of 6.5 metres. The full extent of the relief is only being utilized by a small portion of the proposed extension at the front (west side) of the existing funeral home. The west addition is for a chapel ('chapel addition'). The 6.5 metre front yard setback is measured to the chapel's bell tower, a narrow bump-out centred on the western wall. The western wall maintains a setback of at least 9.73 metres. While the Zoning By-law requires a 6.0 metre landscape buffer along a street, the space between the chapel addition and Weston Road will be fully landscaped, exceeding the Zoning By-law's requirements. In this area, the Employment Commercial Mixed uses along the east side of Weston Road are set further back from the road and are separated from the road by parking lots. The chapel addition will bring

built form closer to the road and, in combination with the existing and proposed landscaping/trees, will assist in enhancing the streetscape. Therefore, the chapel addition is not anticipated to adversely impact the existing streetscape along Weston Road. As such, Development Planning Staff are of the opinion that the requested encroachment into the required front yard for the chapel addition will not adversely impact the existing streetscape or neighbouring properties.

Development Planning Staff have no objection to Variance 2 to permit a maximum encroachment of 0.91 metres into the required interior side yard for the northern addition. The existing 2-storey building steps down to 1 storey closer to the north lot line. The northern addition, which is also 1 storey, would be in-line with and a continuation of building's 1 storey portion. The northern addition would square off the northeastern corner of the building. As the relief is an extension of an existing condition, the 0.91 metre encroachment is negligible from a visual perspective and the extension is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the north (8111 Weston Road).

Development Planning Staff have no objection to Variance 3 to permit a maximum eave projection of 0.60 metres. The relief is sought for the proposed one-storey addition on the north side of the existing building. The eaves of the existing building are already 0.6 m deep. The 0.10 metre increase will allow the addition to match the roof design of the existing 1 storey portion of the building. As the new construction will match the building's existing design, the increase is not perceptible and therefore, is not perceived to impact the neighbouring property to the north (8111 Weston Road).

Development Planning Staff have no objection to Variance 4 for the reduced landscape strip (2.68 metres). Most of the property that abuts a street (over half of the southern lot line abutting Carlauren Road and the entire west lot line which abuts Weston Road) maintains and/or exceeds the 6.0 metre landscape strip requirement which provides an adequate buffer between the building and the street line. This relief is requested to recognize the distance between the parking lot on the east side of the building and Carlauren Road and Jevlan Drive. The landscape strip condition has existed since the original development of the subject lands. The full extent of the requested relief is utilized where the parking spaces at the rear of the parking lot face the eastern lot line (abutting Jevlan Drive). This landscape buffer expands up to 3.12 metres along Carlauren Road to accommodate a drive aisle for the parking lot. Visually, the landscape strip appears to comply with the depth requirement due to the distance between the lot lines and the traveled portions of Carlauren Road and Jevlan Drive. Therefore, the variance is not perceived to adversely impact the existing streetscape. The Urban Design Division of the Development Planning Department has also reviewed the minor variance application and has no objection.

Accordingly, Development Planning Department Staff can support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application with the following condition of approval:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.23.059 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Thursday, April 18, 2024 11:22 AM
To: Committee of Adjustment
Subject: [External] RE: A045/24 (8101 Weston Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 8101 Weston Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A045/24 (8101 Weston Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, April 30, 2024 10:22:54 AM
Attachments: [image003.png](#)
[image005.png](#)
[image006.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A045/24 (8101 Weston Road) and has no comment. Please note comments and conditions are being provided through the related Site Plan (SP.23.V.0231 - DA.23.059).

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			04/12/2024	Planning Justification Report



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

March 12th, 2024

Development Planning Department
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON, L6A 1T1

**RE: PLANNING JUSTIFICATION – MINOR VARIANCE APPLICATION
8101 WESTON ROAD, VAUGHAN
OUR FILE: 1555B**

On behalf of our client, VGI Properties LTD, we are pleased to submit this letter and the attached materials to support the submission of a Minor Variance Application for two proposed 1-storey additions to the existing funeral home, on the lands municipally addressed as 8101 Weston Road (hereinafter the "Subject Lands") in the City of Vaughan. In support of this request, please find enclosed:

- Parcel Abstract
- Tree Inventory, prepared by MHBC, dated February 5, 2024;
- Arborist Report, prepared by MHBC, dated February 5, 2024;
- Landscape Plan and Landscape Details, prepared by MHBC, dated February 5 2024;
- Landscape Cost Estimate, prepared by MHBC, dated February 5, 2024;
- Site Plan, prepared by Cusimano Architects, February 27, 2024;
- Architectural Drawing Set, prepared by Cusimano Architects, February 2, 2024;
- Architectural Concept Rendering, prepared by Cusimano Architects, February 2, 2024;
- High Quality Images of Building Materials;
- Survey Plan, prepared by Guido Papa Surveying, April 2021;
- Site Servicing and Grading Plan, prepared by Fabian Papa & Partners, July 2023;
- Memorandum from the City of Vaughan Building Standards Department – File DA.23.059, February 20th 2024

PROPOSED VARIANCE – DESCRIPTION & PURPOSE

The Owner is proposing to further develop the Subject Lands by adding two 1-storey additions on the north (40m²) and east (186m²) sides of the building, to increase the ground floor area of the building by a total of 206 m² to. In addition to the additions, the Owner is proposing both soft and hard landscaping to the north and south exteriors of the building. The proposed landscaping will provide improved access to both the existing building, and the proposed entrance.

As a result of the submission and review of a Minor Site Development Application, File DA.23.059, City staff advised that the Subject Lands are subject to the City of Vaughan Zoning By-law 1-88 and zoned Service Commercial (C7) subject to Exception 9 (462D). The proposed development intends to

expand the existing permitted funeral home use on the Subject Lands, and will require a minor variance due to non-conformity with Zoning By-law 1-88. The required minor variances to facilitate the development are outlined in **Table 1** below:

Zoning Conformity Table (1-88)			
Zoning Standard	By-law 1-88 Requirement	Proposed Variance	Difference
Front Setback	21.0 m	6.5 m	-14.5 m
Interior Side Setback	6.0 m	5.0 m	-1.0 m

Table 1: Zoning Conformity Table Zoning By-law 1-88

MINOR VARIANCE

The following is a review of the proposed minor variance application against the four tests for minor variance applications, as set out in Section 45(1) of the *Planning Act*. The proposed application is seeking the relief from Schedule A of The City of Vaughan Zoning By-law 1-88, requiring a 21.00 m front yard and 6.0 interior side yard setback, and proposing a front yard setback of 7.00 m and interior side yard setback of 4.50 m.

Section 45(1) of the Planning Act outlines that: “authorize such minor variance from the provisions of the by-law, in respect of the land, building or structure or the use thereof, as in its opinion is desirable for the appropriate development or use of the land, building or structure, if in the opinion of the committee the general intent and purpose of the by-law and of the official plan, if any, are maintained”.

1. Intent and Purpose of the Official Plan

The Subject Lands are designated as Employment in the City of Vaughan Official Plan (VOP) as per *Schedule 1*, and are more specifically designated as Employment Commercial Mixed Use as per *Schedule 13 – Land Use*. A funeral home is a permitted use within the Employment Commercial Mixed Use designation.

The proposed setbacks conform to the general urban design principles contained within 9.1.2.10 of the VOP, by achieving the following guidelines:

- provide safe and direct access to buildings to accommodate a wide range of employment uses as permitted through section 9.2;
- maximize the placement of buildings along the frontage of lots facing public streets and have regard for appropriate landscaping;
- limit surface parking between the front face of a building and the public street or sidewalk;
- Provide safe and direct pedestrian walkways from the public street and parking areas to main building entrances.

The existing building is a permitted employment building type within an Employment Area, and the requested variances meet the development criteria outlined in 9.2.3.7 of the VOP. The approval of

the requested variance will continue to maintain the low rise form of the building and provide direct and safe pedestrian access to the building.

It is our opinion that the proposed variance meets the intent of the VOP.

2. Intent and Purpose of the Zoning By-law

The purpose and intent of the front yard setback is to provide adequate separation of the built environment from the street, in order to provide safety to pedestrians and drivers interacting with the site. The proposed variance to permit a front yard setback of 6.5 m is appropriate as it maintains an adequate distance from the building and the roadway for pedestrians. Sightlines are not a concern with the proposed reduction, due to vehicle access being provided by Carlauren Road as opposed to Weston Road, where the reduced setback is being requested.

The purpose and intent of the interior yard setback is to provide adequate separation of buildings to property lines to service and provide maintenance to the proposed building. A proposed setback of 5.0 m maintains the ability to service the building and maintains the existing built form.

It is our opinion that the proposed variance maintains the intent of the Zoning By-law.

3. Desirable for the Appropriate Use of the Land, Building or Structure

The proposed additions do not change the use of the land, building or structure, and will enable the established funeral home to continue operations at a higher capacity. As previously mentioned, a funeral home is a permitted use in both the Official Plan and Zoning By-law, and adheres to the urban design guidelines outlined in the Official Plan.

It is our opinion that the proposed variance is a desirable and appropriate use of the land and building.

4. Minor in Nature

The determination of a variance being minor in nature is not a numerical calculation, but is instead deemed minor based on the impact to the surrounding area. The proposed relief from the front yard setback and interior yard setback, will not adversely effect sightlines or the ability to service the building on the Subject Lands.

It is our opinion that the proposed variance is minor in nature and will not have an impact on surrounding land owners, due to the proposed setbacks providing adequate separations for vehicular traffic and building maintenance. Furthermore, the proposed setbacks align with City's planned zoning standards for the surrounding area.

SUMMARY

It is our planning opinion, the proposed minor variance application appropriately addresses the tests and meets the requirements of 45(1) of the Planning Act, and is deemed minor in nature, an

appropriate use of the land and buildings, meets the intent of both the Zoning By-law and Official Plan.

Yours truly,

MHBC



David A. McKay, MSc, MLAI, MCIP, RPP
Vice President & Partner



Eric Brathwaite, BA, CPT
Intermediate Planner

cc. Carlo Varone, VGI Properties Limited

SCHEDULE D: BACKGROUND

None