

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A004/24
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A018/12	APPROVED BY COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A004/24

CITY WARD #:	5
APPLICANT:	Jason Shron and Sidura Ludwig
AGENT:	Richard Idels and Monika Kucharska
PROPERTY:	28 Janesville Road, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing dwelling (second storey addition above garage and porch) and an existing shed / decorative beams in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R4(EN) – Forth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.294 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum lot coverage permitted is 45%. [Exception 14.294, T-35 Schedule]	To permit a maximum lot coverage of 45.9%.
2	Provided that if a dwelling does not have an attached garage or carport, one of its side yards shall be a minimum 3.0 metres. [Exception 14.294, T-35 Schedule, Note 4]	To permit an interior side yard of 1.28 metres to a dwelling.
3	An accessory building and residential accessory structure shall be subject to the minimum interior side yard requirements for the principal building on the lot, as indicated in the applicable zone. A minimum interior side yard of 3.0 metres is required. [Section 4.1.2, 1. a. & Exception 14.294, T-35 Schedule, Note 4]	To permit an interior side yard of 0.76 metres to an accessory building (shed).
4	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [Section 4.13, 3.]	To permit a minimum distance of 0.51 metres to an ornamental building feature (decorative beams).
5	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [Section 4.13, 3.]	To permit a minimum distance of 0.31 metres to an air conditioner.
6	A maximum encroachment of 0.6 metres is permitted for an air conditioner into the required interior side yard. [Table 4-1]	To permit a maximum encroachment of 0.97 metres for an air conditioner into the required interior side yard.
7	An uncovered platform with a floor height greater than 1.2 metres as measured above grade including access stairs is not a permitted encroachment into the required 4.5 metre front yard. [Table 4-1]	To permit an uncovered platform with a floor height greater than 1.2 metres including access stairs to encroach a maximum of 0.44 metres into the front yard.

HEARING INFORMATION
DATE OF MEETING: Thursday, May 16, 2024 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1 To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting. THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee. Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following: That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 26, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing dwelling (second storey addition above garage and porch) and an existing shed / decorative beams in the rear yard.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING		
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation		
The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.		
Development Engineering Recommended Conditions of Approval:	None	

PARKS, FORESTRY & HORTICULTURE (PFH)		
Recommended condition of approval:		
PFH Recommended Conditions of Approval:	Obtain a Tree Removal and Protection Permit from the Forestry Division	

DEVELOPMENT FINANCE		
No comments received to date.		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:	None	

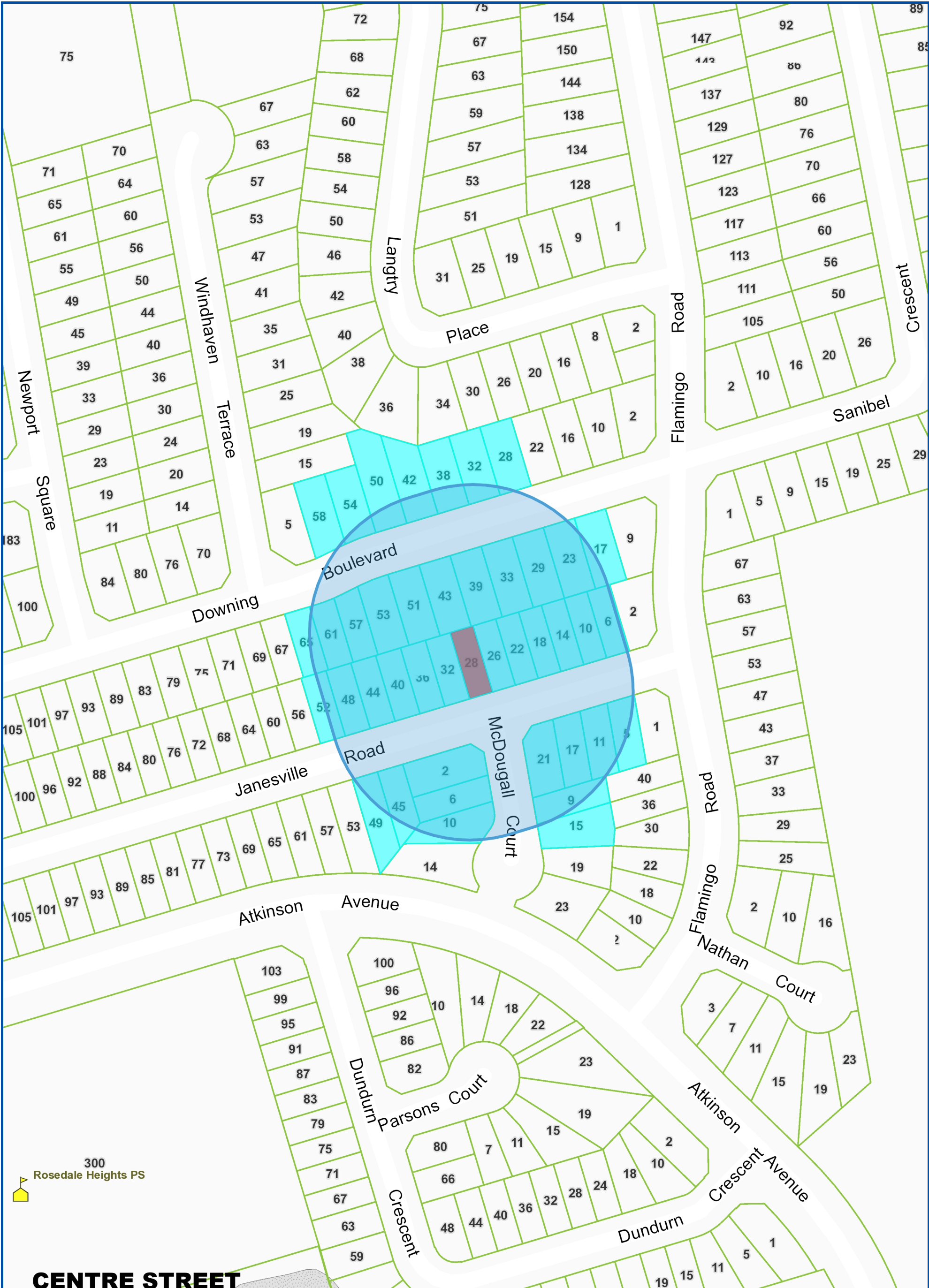
BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:	None	

FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:	None	

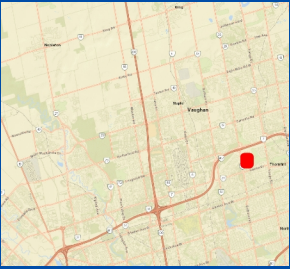
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a Tree Removal and Protection Permit from the Forestry Division
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION		
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		

IMPORTANT INFORMATION	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	



Map Information:



Title:

28 Janesville Road, Thornhill

NOTIFICATION BUFFER - A004/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

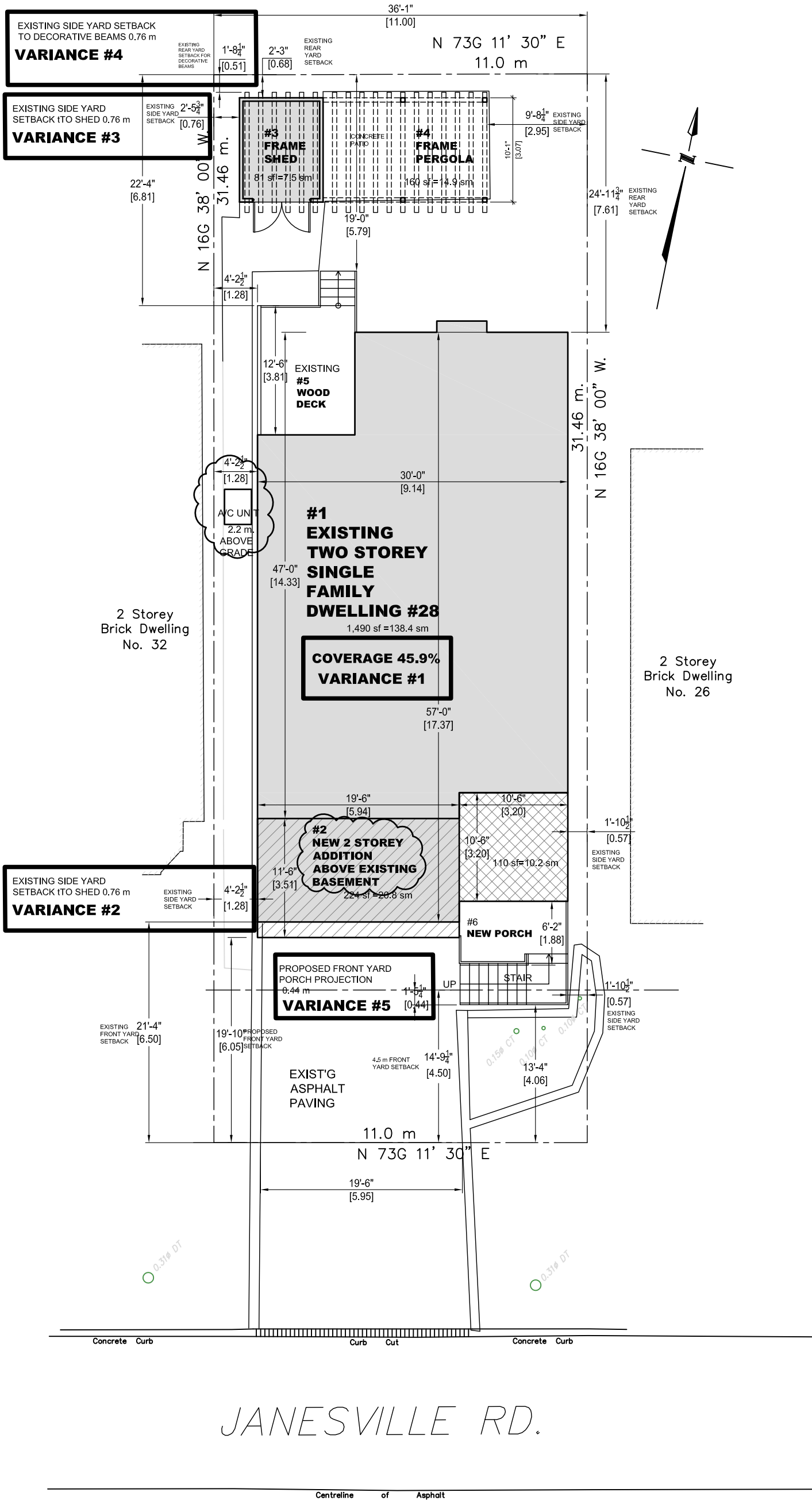
0 0.04 km



Created By:

Infrastructure Delivery
Department
January 22, 2024 12:11 PM

Projection:
NAD 83
UTM Zone
17N



1 SITE PLAN
A1 SC: 3/32" = 1'-0"



80 NORTH MEADOW CRESCENT
THORNHILL, ONTARIO L4J 3B1
tel: (905) 886-0632 fax: (905) 886-7064
email: richard@idelsarchitect.com

PROJECT TITLE:
**SINGLE FAMILY RESIDENCE RENOVATION
and ADDITION**
28 JANESVILLE ROAD, THORNHILL, ON

DRAWING TITLE
SITE PLAN

REVISION / ISSUE

1. ISSUED FOR COA	02/15/2023
2. RE-ISSUED FOR COA	19/01/2024
3. RE-ISSUED FOR COA	06/02/2024
4. RE-ISSUED FOR COA	08/02/2024
5. RE-ISSUED FOR COA	05/03/2024
6. RE-ISSUED FOR COA	09/04/2024
7. RE-ISSUED FOR COA	18/04/2024

DATE:
12/09/2023

SCALE:
AS NOTED

DRAWN:
MK

CHECKED:
R.I.

SHEET NO.:

A1

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 29th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A004-24**

Related Files:

Applicant Idels Architect Inc.

Location 28 Janesville Road

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

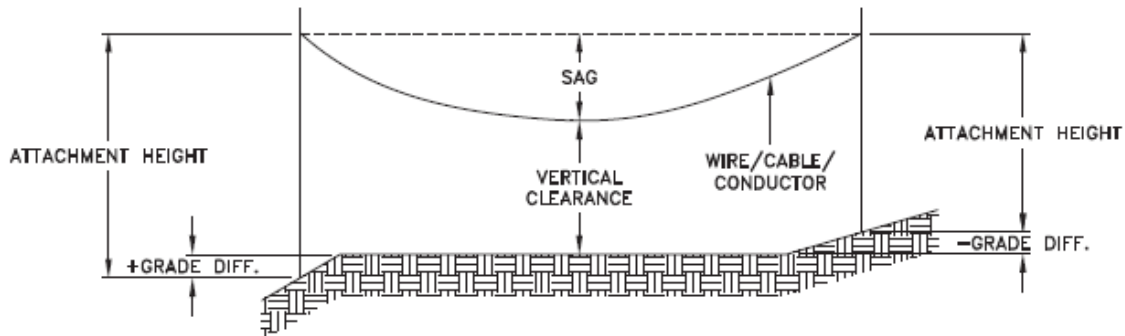
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

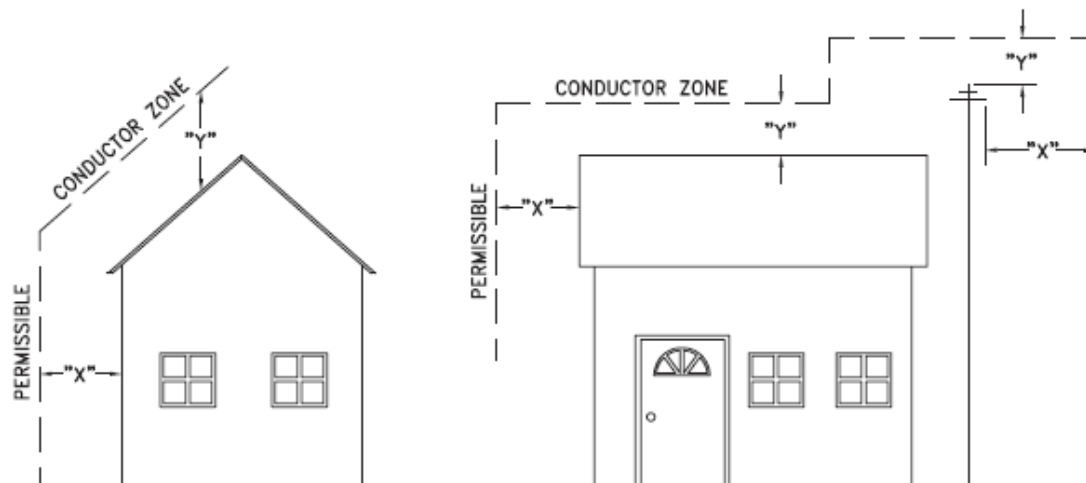
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: April 19, 2024

Applicant: Idels Architect Inc

Location: 28 Janesville Road
PLAN 65M2394 Lot 142

File No.(s): A004/24

Zoning Classification:

The subject lands are zoned R4(EN) – Forth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.294 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum lot coverage permitted is 45%. [Exception 14.294, T-35 Schedule]	To permit a maximum lot coverage of 45.9%.
2	Provided that if a dwelling does not have an attached garage or carport, one of its side yards shall be a minimum 3.0 metres. [Exception 14.294, T-35 Schedule, Note 4]	To permit an interior side yard of 1.28 metres to a dwelling.
3	An accessory building and residential accessory structure shall be subject to the minimum interior side yard requirements for the principal building on the lot, as indicated in the applicable zone. A minimum interior side yard of 3.0 metres is required. [Section 4.1.2, 1. a. & Exception 14.294, T-35 Schedule, Note 4]	To permit an interior side yard of 0.76 metres to an accessory building (shed).
4	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [Section 4.13, 3.]	To permit a minimum distance of 0.51 metres to an ornamental building feature (decorative beams).
5	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. [Section 4.13, 3.]	To permit a minimum distance of 0.31 metres to an air conditioner.
6	A maximum encroachment of 0.6 metres is permitted for an air conditioner into the required interior side yard. [Table 4-1]	To permit a maximum encroachment of 0.97 metres for an air conditioner into the required interior side yard.
7	An uncovered platform with a floor height greater than 1.2 metres as measured above grade including access stairs is not a permitted encroachment into the required 4.5 metre front yard. [Table 4-1]	To permit an uncovered platform with a floor height greater than 1.2 metres including access stairs to encroach a maximum of 0.44 metres into the front yard.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 7, 2024

Name of Owner: Sidura Ludwig and Jason Shron

Location: 28 Janesville Road

File No.(s): A004/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 45.9%.
2. To permit an interior side yard of 1.28 metres to a dwelling.
3. To permit an interior side yard of 0.76 metres to an accessory building (shed).
4. To permit a minimum distance of 0.51 metres to an ornamental building feature (decorative beams).
5. To permit a minimum distance of 0.31 metres to an air conditioner.
6. To permit a maximum encroachment of 0.97 metres for an air conditioner into the required interior side yard.
7. To permit an uncovered platform with a floor height greater than 1.2 metres including access stairs to encroach a maximum of 0.44 metres into the front yard.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum lot coverage permitted is 45%.
2. Provided that if a dwelling does not have an attached garage or carport, one of its side yards shall be a minimum 3.0 metres.
3. An accessory building and residential accessory structure shall be subject to the minimum interior side yard requirements for the principal building on the lot, as indicated in the applicable zone. A minimum interior side yard of 3.0 metres is required.
4. A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.
5. A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.
6. A maximum encroachment of 0.6 metres is permitted for an air conditioner into the required interior side yard.
7. An uncovered platform with a floor height greater than 1.2 metres as measured above grade including access stairs is not a permitted encroachment into the required 4.5 metre front yard.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Application History:

On January 26, 2012, Minor Variance Application, File A018/12 was approved by the Committee of Adjustment to permit the construction of a model railroad room in the garage of the single family dwelling and also permitted an interior side yard setback of 1.3 meters.

Comments:

The Owners are requesting relief to permit a proposed two-storey addition with uncovered porch and stairs to the front of the dwelling, an existing shed with attached decorative beams (pergola) in the rear yard, and an existing elevated wall-mounted air conditioner in the interior side yard.

Development Planning Department Staff has no objection to Variance 1 as the total increase of 0.9% lot coverage is minimal, is not anticipated to be perceptible as the majority of the footprint is proposed over top of the existing uncovered front porch and stairs, and the proposal would pose no adverse impact to the surrounding properties.

Development Planning Department Staff has no objection to Variance 2. The proposed addition will be constructed to be in-line with the dwelling's existing west wall. As such,

there is no change to the function of the side yard. The existing interior side yard of 1.28 metres maintains an appropriate distance for maintenance access and allows passage between the front and rear yards.

Development Planning Department Staff has no objections to Variances 3 and 4 with respect to the existing shed and pergola in the rear yard. The 0.76 metre interior side yard setback from the shed provides an appropriate amount of spatial separation for maintenance access. The shed and pergola complies with the height provisions of the Zoning By-law. The pergola's decorative beams are spaced apart and project minimally towards the rear lot line and hence pose little in the form of adverse massing impacts to the neighbouring property to the rear. As such, Development Planning Department Staff has no concerns with the existing shed and decorative beams.

Development Planning Department Staff has no objections to Variances 5 and 6 with regards to the wall-mounted air conditioner located in the west interior side yard. The air conditioner unit is mounted 2.3 metres above grade, so it does not obstruct the pathway below leading between the front and rear yards.

Development Planning Department Staff has no objection to Variance 7 for the proposed porch and access stairs at the front of the dwelling. The new porch and access stairs will utilize the existing footprint of the current porch, access stairs and walkway area of the house. The dwellings along this portion of Janesville Road have a walk-up design to the front entry. Therefore, more prominent stair designs are not uncommon, though this one will be closer to the road. To mitigate the impacts of the front yard encroachment, the Owners have agreed to maintain the 4 existing cedar trees within the front yard, and replant them with trees of similar mature growth, spread and height, in the event they are injured or do not survive after the completed works. The trees will provide screening of the proposed porch and access stairs from the streetscape. Urban Design Staff are satisfied with the Owners' response and have no other concerns.

Accordingly, Development Planning Department Staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner I
David Harding, Senior Planner

From: [Joshua Lacaria](#)
To: [Committee of Adjustment](#)
Cc: [Prabhdeep Kaur](#); [Joshua Lacaria](#); [Kristen Regier](#)
Subject: [External] RE: A019/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: February-29-24 3:53:12 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Joshua Lacaria, MES (PI)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(437\) 880 2347](tel:4378802347)

E: joshua.lacaria@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Prabhdeep Kaur

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: Monday, March 11, 2024 11:08 AM
To: Lenore Providence
Cc: Committee of Adjustment
Subject: [External] RE: A004/24 (28 Janesville Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning Lenore,
The Regional Municipality of York has completed its review of minor variance A004/24 and has no comment.
Thank you

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Services, Planning and Economic Development Branch |
The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A018/12	APPROVED BY COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A018/12

APPLICANT: JASON SHRON

PROPERTY: Part of Lot 32, Concession 1, (Lot 142, Registered Plan 65M-2394, municipally known as 28 Janesville Road, Thornhill).

ZONING: The subject lands are zoned *R4, Residential Zone 4* and subject to the provisions of *Exception 9(494)* under By-law 1-88 as amended.

PURPOSE: To **permit the construction of a model railroad room in the garage** related to a single family dwelling, as follows:

PROPOSAL:

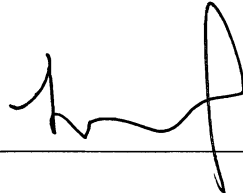
1. To permit an interior side yard setback of 1.5 metres to the dwelling.
2. To permit an interior side yard setback of 1.3 metres to the deck.

BY-LAW REQUIREMENTS:

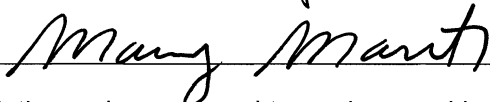
1. A minimum interior side yard setback of 3.0 metres is required to the dwelling.
2. A minimum interior side yard setback of 3.0 metres is required to the deck.

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A018/12- JASON SHRON, be APPROVED**, in accordance with the sketch attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: _____

Signed by all members present who concur in this decision:

J. Cesario,
ChairA. Perrella,
Vice ChairL. Fluxgold,
MemberM. Mauti,
MemberH. Zheng,
Member**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles

Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: JANUARY 26, 2012**Last Date of Appeal: FEBRUARY 15, 2012****APPEALS**

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

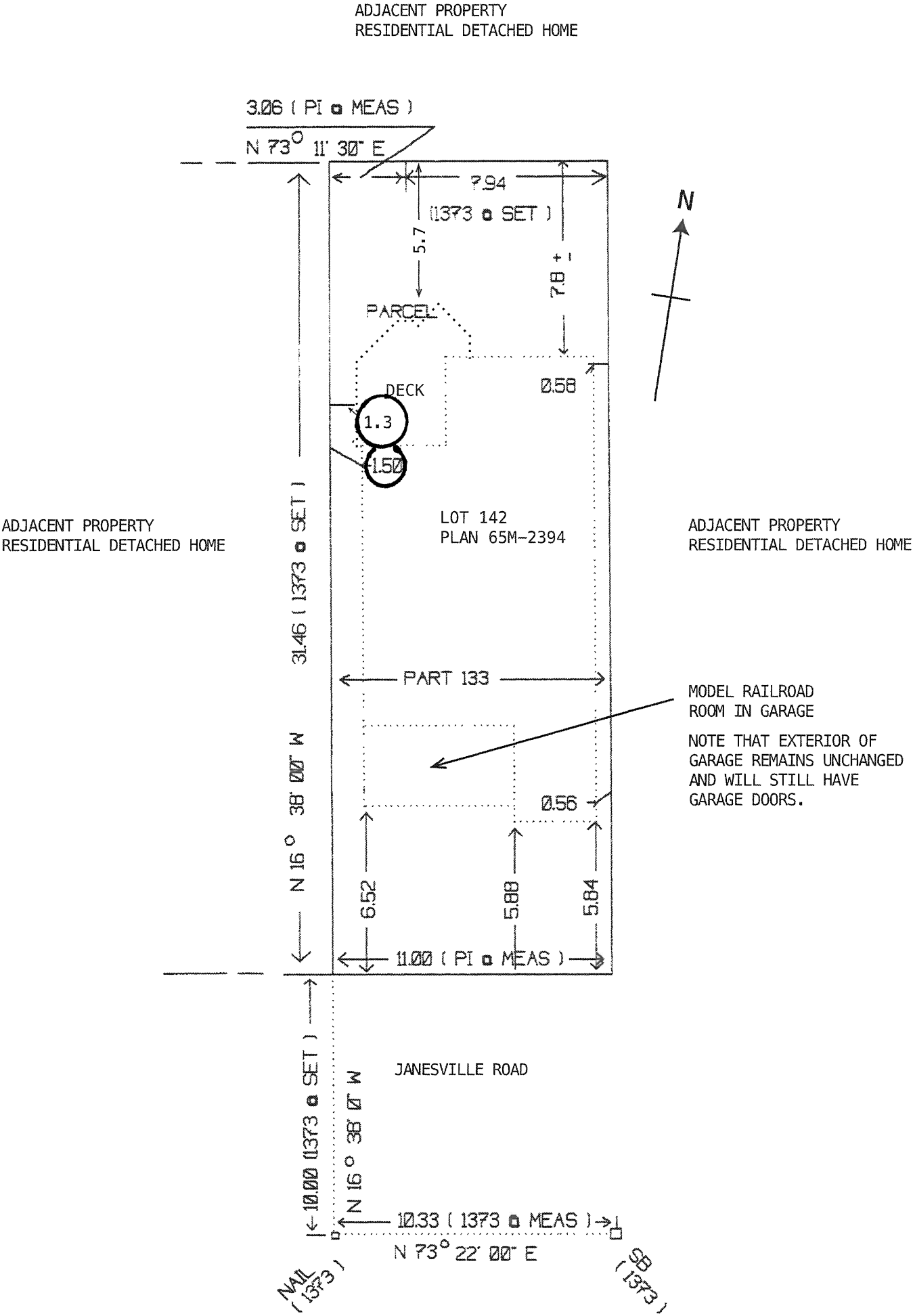
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the **\$650.00** processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of **\$125.00** for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

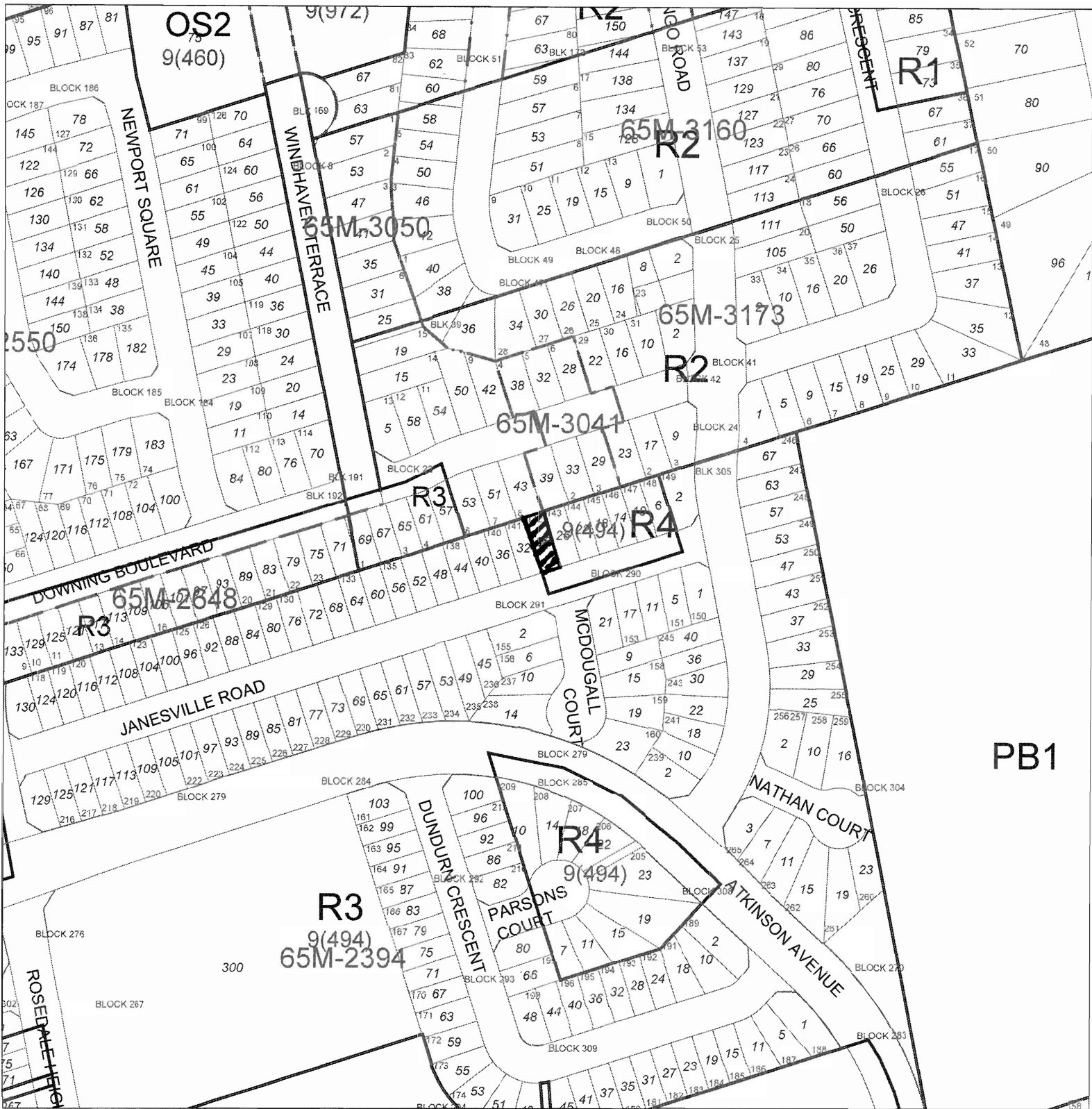
CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

FEBRUARY 15, 2013



PROPOSED MODEL RAILROAD ROOM	DATE 7 DECEMBER 2011
28 JANESVILLE ROAD	JASON SHRON
SCALE 1 CM = 2M	ALL DIMENSIONS IN METRES



COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A018/12
	APPLICANT:	JASON SHRON
		Subject Area Municipally known as 28 Janesville Road, Thornhill