

ITEM: 6.11	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A202/23
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/30/2023	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A058/12	APPROVED; COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A202/23

CITY WARD #:	5
APPLICANT:	1141986 Ontario Limited; Samrin Enterprises Inc.; 1141318 Ontario Limited
AGENT:	Weston Consulting c/o Mathew Halo
PROPERTY:	7117 Bathurst Street, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Mixed-Use".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-Law is being requested to permit an expansion of permitted uses (eating establishment and clinic/personal service uses) onsite and reduced parking requirements.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned GC, General Commercial Zone and subject to the provisions of Exception 14.572 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 106 parking spaces shall be provided on the lot, including 2 barrier free parking spaces for the 2 storey office building with a maximum gross floor area of 2,600.0 m ² . [14.572.3]	To permit a minimum of 103 parking spaces, including 2 Type A barrier free spaces for the 2 storey office building with a maximum gross floor area of 2,600.0 m ² .
2	The second floor shall be used for office uses only, and the basement shall be used for utility and storage space only. [14.572 #1b.]	To permit eating establishments, clinic and personal service uses at the basement and second floors.
3	Eating establishment uses shall be restricted to the ground floor only. The total gross floor area of all the eating establishment uses shall be restricted to 20% of the gross floor area of the ground floor. [14.572 #1a.]	To permit eating establishments with no maximum restriction of the gross floor area.

HEARING INFORMATION

DATE OF MEETING: Thursday, May 16, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION	
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.	
INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	
COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 23, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Expand the existing permitted uses to the basement level of the commercial building and to seek relief from parking.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
<p>On April 11, 2024, Development Engineering provided:</p> <p>I am writing to you regarding Minor Variance A202/23 – 7117 Bathurst Street. Development Engineering has reviewed the Parking Study dated March 2024 conducted by LEA Consulting Ltd for the development. We have the following comments:</p> <p>The minor variance application has been submitted to permit an increase in GFA from 2,600m² to 3,536m² and reduction in parking from 106 to 103 parking spaces.</p> <p>The parking study submitted is in support of the conversion of 295m² basement storage to medical use at the subject location. Currently in the basement, there is a total of 736m² of unpermitted uses consisting of 515m² of unpermitted medical clinic use and 221m² of unpermitted personal service use. Per the parking study, the current existing restaurant GFA exceeds the site-specific zoning requirement (Exception 14.572) which permits 20% of the total gross floor development for eating establishment use. Please provide details of off-site parking agreements permanently registered on title for additional parking supply, if any exist.</p> <p>The proposed medical use conversion would require 14 parking spaces per Comprehensive Zoning By-law 001-2021 (CZBL 001-2021). The current existing unpermitted uses in the basement would require 32 parking spaces per CZBL 001-2021.</p> <p>As per the parking utilization survey, there are 103 existing parking spaces on-site and peak parking demand was observed at 100 parking spaces. Based on the observed peak parking demand, the existing parking supply of 103 parking spaces on site will be insufficient to accommodate the proposed medical uses. The parking study uses a 95th percentile demand for justification, however the City Parking Study Guidelines requires peak parking demand ratio to be used.</p> <p>The study recommends on-street parking on surrounding streets (Crestwood Road and Townsgate Drive) and TDM measures to support the proposed development. An estimate should be performed on the influence the TDM measures will have on reducing parking demand.</p> <p>Development Engineering cannot accept the parking study recommendation to use on-street parking to support the on-site parking demand and will require the details of any existing off-site parking agreements to rescind our request for adjournment.</p>	

COMMITTEE OF ADJUSTMENT	
<p>On April 30, 2024, Development Engineering provided the following:</p> <p>I am just following up on our meeting last Tuesday to see if any progress has been made regarding the documents we requested, specifically the agreement with the adjacent property and confirmation that the allocated parking spaces are sufficient. We do need some time to review this prior to the hearing date otherwise the application will need to be adjourned. Please let me know as soon as possible.</p> <p>On April 30, 2024, Committee of Adjustment office provided the applicant with an opportunity to adjourn the application to address staff comments.</p> <p>On May 1, 2024, the applicant advised that they wanted to proceed to the May 16, 2024, Committee of Adjustment hearing.</p> <p>On May 1, 2024, Development Engineering provided:</p> <p>Our team has reviewed what you have sent, and we have the following comments:</p> <ul style="list-style-type: none">• Parking requirements for 7131 Bathurst should be calculated to the site's applicable zoning by-law (1-88) as well as 001-2021 for comparison as the existing site was approved under 1-88.• We will require parking survey at 7131 Bathurst during the peak to confirm that the excess parking supply is available as there is vacant GFA on site.• Staff appreciate the conservative approach to determining parking required for vacant units using place of worship rates. However, please confirm the permitted uses at 7131 Bathurst, from staff review, it appears there was an existing site-specific zoning exception 14.200.• The shared off-site parking agreement should be registered and provided upon confirming the excess parking supply on site. <p>Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the May 16, 2024, Committee of Adjustment hearing, if required.</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments. Application under review.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Application under Review.	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

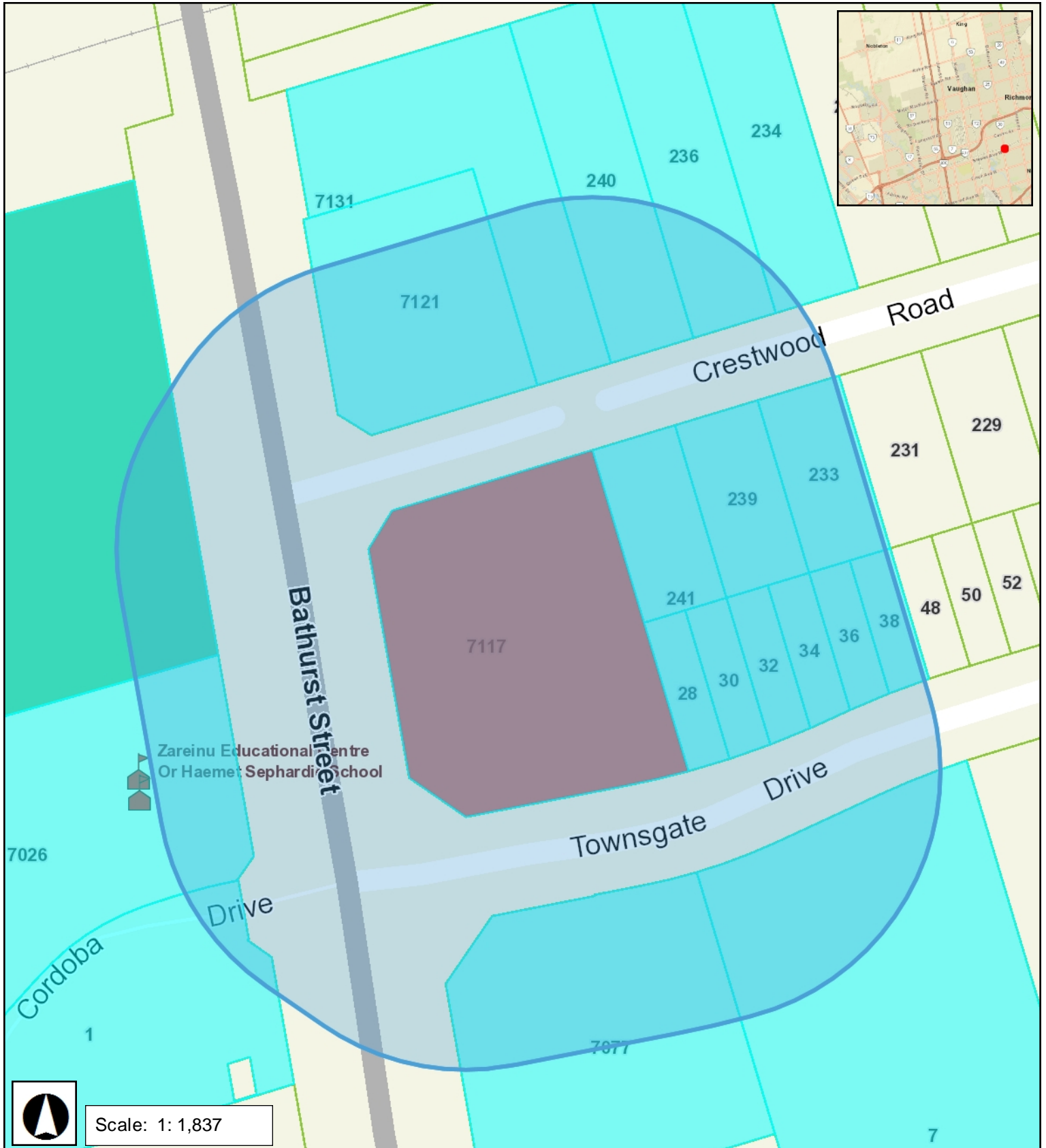
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.Pangilinan@vaughan.ca	TBD
2	Development Engineering Jonal.hall@vaughan.ca	TBD
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

IMPORTANT INFORMATION
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.

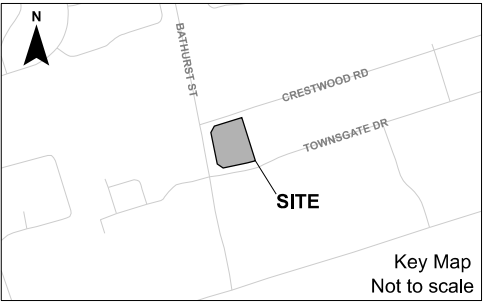
SCHEDULE A: DRAWINGS & PLANS



RECEIVED
By providel at 2:23 pm, Apr 04, 2024

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT

A202/23



LEGEND

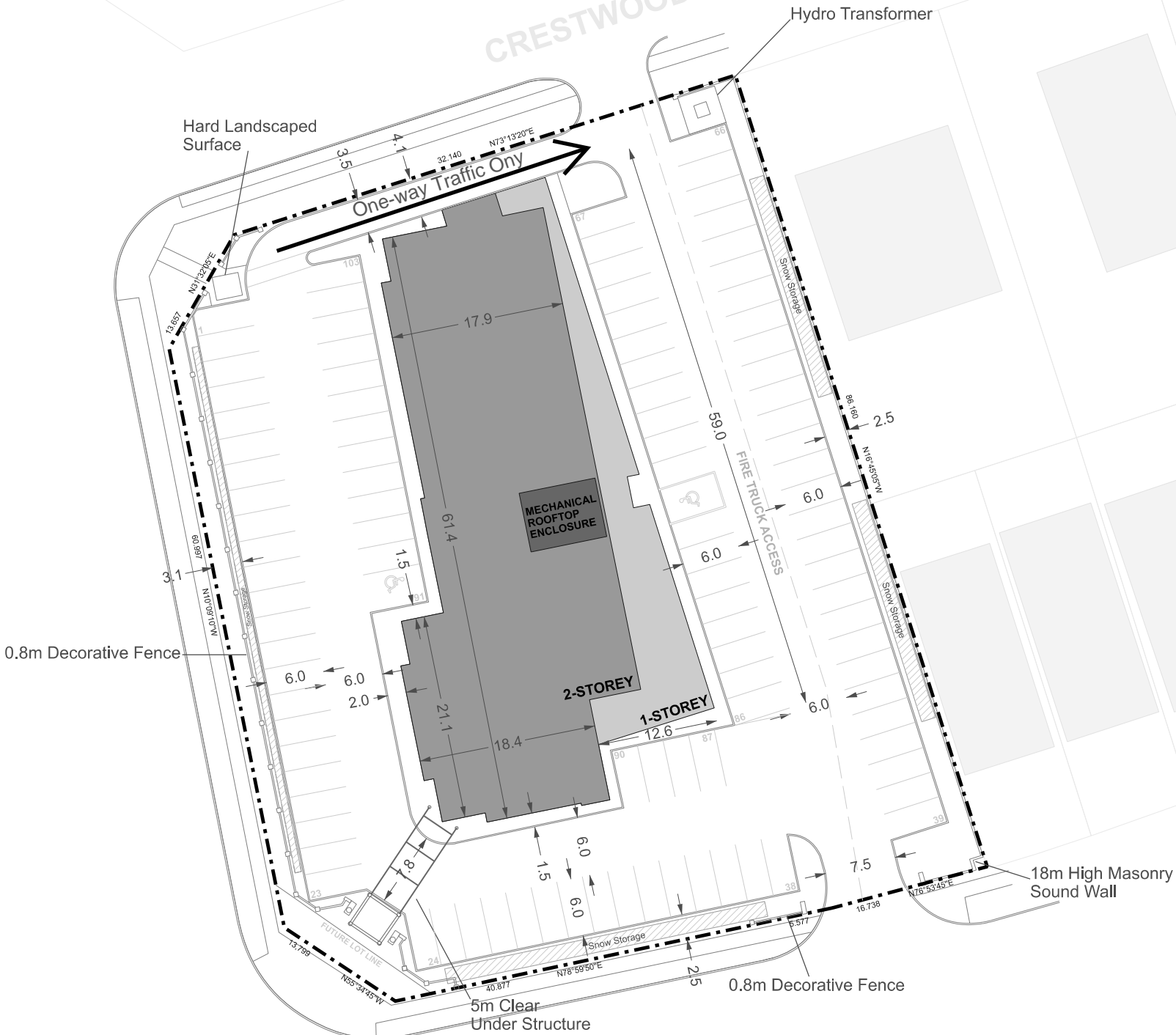
- Subject Lands
- - - Parcel Fabric
- Surrounding Building Footprint
- Ground Floor
- Second Floor
- Mechanical Rooftop
- Snow Storage Area

DEVELOPMENT STATISTICS:

Gross Study Area: 5,581 m²
Total GFA: 2,585 m²
- Office: 1,267 m²
- Retail: 1,048 m²
- Restaurant: 285 m²

FSI (based on gross site area): 0.5

Parking Provided: 103 sp



DRAWN / REVISED	
06 MAR 2024	Issued for Review

EXISTING SITE PLAN
7117 BATHURST STREET
CITY OF VAUGHAN
YORK REGION

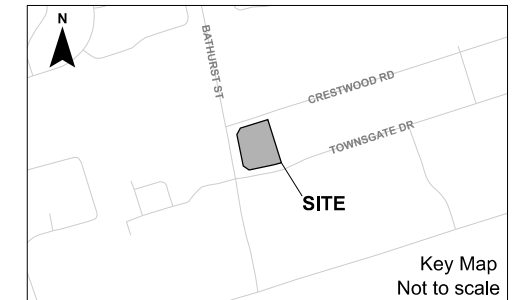
N
SCALE
1:10

WESTON
CONSULTING

File Number: 5852-01
Date: 2024-03-06
Drawn By: ADB
Planner: MH
CAD: 5852-01_7117 Bathurst St_Site Plan_2024-03-06.dgn

Drawing
SP

- Notes:
- Property Boundary is digitized from the survey prepared by Holding and Jones Limited, dated July 19, 1996.
 - Building Footprint is sourced from the Site Plan provided by Claudio Rabaglino Architect Inc.
 - Surrounding Parcel fabric and Surrounding Building Footprint are sourced from the York Region Open Data portal (<https://insights-york.opendata.arcgis.com/>)



— . . Subject Lands

Gross Study Area:	5,581 m ²
Total GFA	2,585 m ²
- Office	1,267 m ²
- Retail	1,048 m ²
- Restaurant	285 m ²

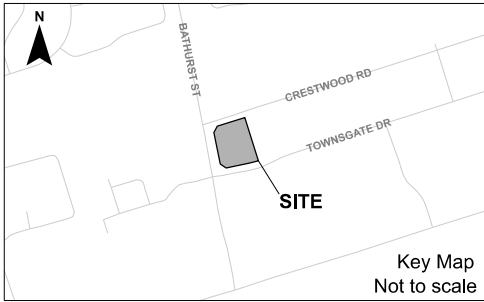
FSI (based on gross site area): **0.5**

Parking Provided: **103 sp**

06 MAR 2024	Issued for Review
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File Number: 5852-01
Date: 2024-03-06
Drawn By: ADB
Planner: MH
CAD: 5852-01_7117 Bathurst St.-GF Plan_2024-03-06.dgn

- Property Boundary is digitized from the survey prepared by Holding and Jones Limited, dated July 19, 1996.
- Basement Floor Plan is provided by Extreme Measures, dated April 4, 2011
- Surrounding Parcel fabric and Surrounding Building Footprint are sourced from the York Region Open Data portal (<https://insights-york.opendata.arcgis.com/>)



LEGEND

--- Subject Lands

DEVELOPMENT STATISTICS:

Gross Study Area:	5,581 m ²
Total GFA	2,585 m ²
- Office	1,267 m ²
- Retail	1,048 m ²
- Restaurant	285 m ²

FSI (based on gross site area): 0.5

Parking Provided: 103 sp

DRAWN / REVISED	
06 MAR 2024	Issued for Review

EXISTING GROUND FLOOR PLAN
7117 BATHURST STREET
CITY OF VAUGHAN
YORK REGION



SCALE
1:10



File Number: 5852-01
Date: 2024-03-06
Drawn By: ADB
Planner: MH
CAD: 5852-01_7117 Bathurst St.-GF Plan_2024-03-06.dgn

Drawing
GF

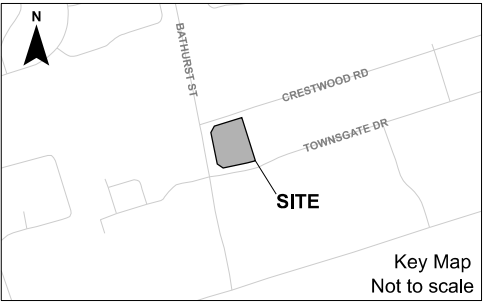
- Notes:
- Property Boundary is digitized from the survey prepared by Holding and Jones Limited, dated July 19, 1996.
 - Ground Floor Plan is provided by Extreme Measures, dated April 4, 2011
 - Surrounding Parcel fabric and Surrounding Building Footprint are sourced from the York Region Open Data portal (<https://insights-york.opendata.arcgis.com/>)

RECEIVED
By providel at 2:23 pm, Apr 04, 2024

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT

VARIANCE #3

A202/23



LEGEND

--- Subject Lands

DEVELOPMENT STATISTICS:

Gross Study Area:	5,581 m ²
Total GFA	2,585 m ²
- Office	1,267 m ²
- Retail	1,048 m ²
- Restaurant	285 m ²

FSI (based on gross site area): 0.5

Parking Provided: 103 sp

DRAWN / REVISED	
06 MAR 2024	Issued for Review

EXISTING SECOND FLOOR
7117 BATHURST STREET
CITY OF VAUGHAN
YORK REGION



SCALE
1:10



File Number: 5852-01
Date: 2024-03-06
Drawn By: ADB
Planner: MH
CAD: 5852-01_7117 Bathurst St.-Second Floor Plan_2024-03-06.dgn

Drawing

SF

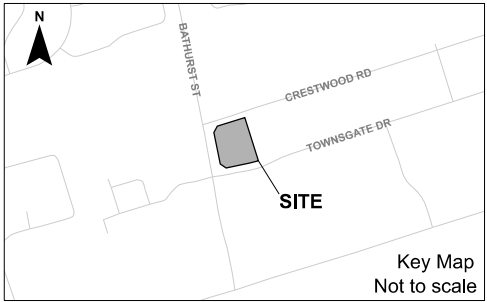
- Notes:
- Property Boundary is digitized from the survey prepared by Holding and Jones Limited, dated July 19, 1996.
 - Second Floor Plan is provided by Extreme Measures, dated April 4, 2011
 - Surrounding Parcel fabric and Surrounding Building Footprint are sourced from the York Region Open Data portal (<https://insights-york.opendata.arcgis.com/>)

RECEIVED
By providel at 2:23 pm, Apr 04, 2024

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT

VARIANCE #3

A202/23



LEGEND

- - - Subject Lands

DEVELOPMENT STATISTICS:

Gross Study Area:	5,581 m ²
Total GFA	2,585 m ²
- Office	1,267 m ²
- Retail	1,048 m ²
- Restaurant	285 m ²

FSI (based on gross site area): 0.5

Parking Provided: 103 sp

DRAWN / REVISED	
06 MAR 2024	Issued for Review

EXISTING MECHANICAL
ROOFTOP
7117 BATHURST STREET
CITY OF VAUGHAN
YORK REGION



SCALE
1:10

WESTON
CONSULTING



File Number: 5852-01
Date: 2024-03-06
Drawn By: ADB
Planner: MH
CAD: 5852-01_7117 Bathurst St.-MF Plan_2024-03-06.dgn

Drawing
MR

- Notes:
- Property Boundary is digitized from the survey prepared by Holding and Jones Limited, dated July 19, 1996.
 - Mechanical Rooftop Plan is provided by Extreme Measures, dated April 4, 2011
 - Surrounding Parcel fabric and Surrounding Building Footprint are sourced from the York Region Open Data portal (<https://insights-york.opendata.arcgis.com/>)

REFER TO VINCENT & ASSOCIATES' SITE GRADING AND SERVING PLAN SP-1 FOR THE REMOVAL OF EXISTING ENTRANCES ALONG BATHURST STREET



CITY OF VAUGHAN - BUILDING STANDARDS DEPARTMENT
PART 3 GENERAL NOTES
THE FOLLOWING NOTES APPLY TO THE CONSTRUCTION GOVERNED BY THE REFERENCED PERMIT AND SHALL FORM PART OF THE DRAWINGS ATTACHED HERETO:
ALL CONSTRUCTION TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE BUILDING CODE (OBC), AS AMENDED, MADE UNDER THE BUILDING CODE ACT.
INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH SUBSECTION 2.4.5. OF THE OBC. PLEASE SEE THE BACK OF YOUR PERMIT CARD FOR THE REQUIRED INSPECTION STAGES. PLEASE CALL THE CITY OF VAUGHAN BUILDING STANDARDS DEPARTMENT AT (905) 852-8511 TO ARRANGE FOR THESE INSPECTIONS.

1. OPENINGS IN REQUIRED FIRE SEPARATIONS SHALL BE PROTECTED IN ACCORDANCE WITH SUBSECTION 3.1.8.
2. THE FLAME-SPREAD RATING OF INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH SUBSECTION 3.1.13.
3. A FIRE ALARM SYSTEM IN ACCORDANCE WITH SUBSECTION 3.2.4 IS: ☒ REQUIRED ☐ PROVIDED
4. EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH SUBSECTION 3.2.7.
5. REQUIRED SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 & O.B.C. 3.2.2.12.
6. BARRIER-FREE ACCESS REQUIRED IN ACCORDANCE WITH SECTION 3.17 ☒ YES ☐ NO

FIRE SEPARATION COLOUR CODE LEGEND

	YELLOW - UNRATED FIRE SEPARATION
	PURPLE - 1/2 HOUR FIRE SEPARATION
	BLUE - 1 HOUR FIRE SEPARATION (UNLESS NOTED 3/4 HOUR)
	ORANGE - 1 1/2 HOUR FIRE SEPARATION
	GREEN - 2 HOUR FIRE SEPARATION
	PINK - 3 HOUR FIRE SEPARATION
	RED - FIREWALL _____ HOUR RATING

MINISTRY OF ENVIRONMENT APPROVAL IS REQUIRED FOR THE INSTALLATION OF ALL INDUSTRIAL AND COMMERCIAL PROCESS EXHAUSTS PRIOR TO INSTALLATION

MINISTRY OF LABOUR APPROVAL REQUIRED PRIOR TO OCCUPANCY.

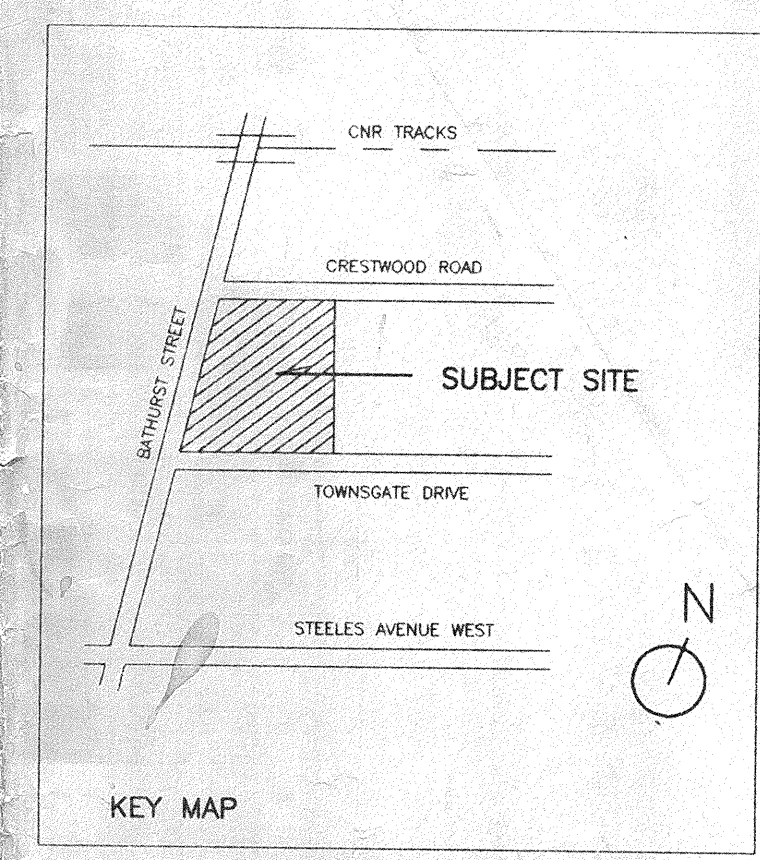
Shell: 95-1977
Major Acc.: 'E' → second floor
Building Area: 1412 m²
Building Ht.: 2 storeys
Building Faces: 1 street
Sprinklered: Yes (unapproved)
Fire Alarm System: Yes.
Construction: O.B.C. 3.2.2. 44. (90 Code)
O.B.C. 3.2.2. 21. (90 Code)
Revision: 95-1977 (R1)
Demising Walls on Ground Floor.

HEATING, VENTILATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SECTION 6.2 OF THE ONTARIO BUILDING CODE.

CITY OF VAUGHAN
FOR BUILDING PERMIT ONLY

SEPARATE BUILDING PERMIT IS REQUIRED FOR TENANT SPACE PRIOR TO OCCUPANCY. DESIGN DRAWINGS TO CLEARLY INDICATE:
1. PROPOSED OCCUPANCY
2. REQUIRED FIRE SEPARATIONS
3. STRUCTURAL DETAILS
4. MECHANICAL SYSTEMS

SECTION 2.3 OF THE ONTARIO BUILDING CODE REQUIRES THAT THE CONSTRUCTION ENLARGEMENT, OR ALTERATION BE DESIGNED AND REVIEWED DURING CONSTRUCTION BY AN ARCHITECT, PROFESSIONAL ENGINEER OR BOTH.



LEGEND:

	L.S. LIGHT STANDARD
	+ 000.00 FINISHED ELEVATION
	+ 000.00 EXISTING SPOT ELEVATION
	○ A.D. AREA DRAIN
	□ C.B. CATCH BASIN
	— PAINTED LINE
	— CONC. CURB/PLANTER
	⊙ FIRE HYDRANT

GENERAL NOTES:

1. FOR CITY OF VAUGHAN, STANDARD NOTES FOR SITEPLAN, REFER TO SITE GRADING AND SERVING PLAN BY VINCENT AND ASSOCIATES
2. REFER TO LANDSCAPE PLAN BY INSITE LANDSCAPE ARCHITECTS FOR LANDSCAPING INFORMATION
3. ALL SURVEY INFORMATION FOR THIS DRAWING IS TAKEN FROM A SURVEYORS CERTIFICATE BY VLADIMIR HROCH LTD., OAS PART OF LOT 45, REGISTERED PLAN 3205, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, DATED NOV. 13, 1995.

SITE / DEVELOPMENT STATISTICS

(UNITS: METRES)

SITE AREA	5 581			
GFA				
	OFFICE	RETAIL	RESTAURANT	TOTAL
GROUND	94.0	1 048	285	1 412
SECOND	1 173	0		1 173
TOTAL	1 267	1 048	285	2 585

F.S.I. 2 585 (GFA) / 5 581 (SITE AREA) = 0.5

COVERAGE 1 412 (GRN. FLR. AREA) / 5 581 (SITE AREA) = 25%
FOR OFFICE USE ONLY

CITY OF VAUGHAN
BUILDING STANDARDS DEPARTMENT
PROVIDED PLANS EXAMINATION

RECEIVED	DATE REVIEWED	INITIAL
	8-20-96	P
ZONING	Sept 12, 96	gm
GRADING		
BUILDING CODE	Sept 14, 96	DC
MECHANICAL		

THE BUILDING PERMIT IS ISSUED ON THE EXPRESS CONDITION THAT THE WORKS SHALL BE COMPLETED IN ACCORDANCE WITH THE PLANS AS REVIEWED INCLUDING NOTES AS MARKED, WHICH ARE FILED WITH THE CITY OF VAUGHAN BUILDING STANDARDS DEPARTMENT.

RECEIVED BY

95-1977 (R2)

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THE SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE ARCHITECT'S WRITTEN AUTHORITY.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY ARCHITECT.

NO.	ISSUED	DATE	BY
1	ISSUED TO CITY OF VAUGHAN FOR GFA	MAR 21/95	
2	ISSUED FOR BUILDING PERMIT	OCT 16/95	
3	ISSUED FOR CONSTRUCTION	MAY 7/96	CR
4	REV. BRO. PERMIT	MAY 16/96	

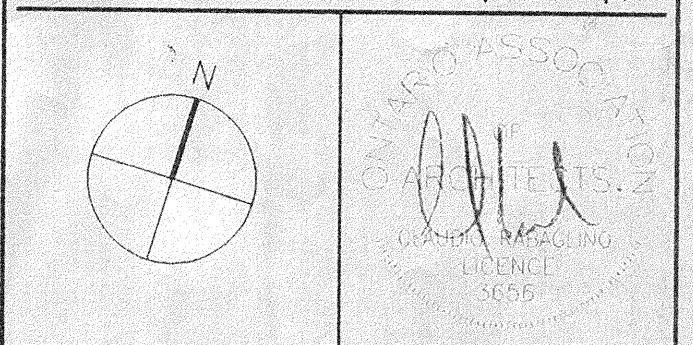
WORK DESCRIPTION
Type of building, nature of construction, etc. **DEMISING WALLS & STAIRS TO BASEMENT.**

- This Revision Building Permit is for the following items only:
(1). construction of demising walls in basement and four stairs from ground floor to basement floor;
(2). revising floor assembly over basement to 24R fire separation.

- shall be read in conjunction with Building Permit Drawings 95-1977 & 95-1977 (R1) for other Notes & Comments.

- Separate Building Permits for Interior Alteration prior to occupancy are required.

NO.	REVISIONS	DATE	BY
5	REV. NOTICE # ATTACHED	JULY 23/96	
4	REV. NOTICE # ATTACHED	MAY 7/96	
3	REV. NOTICE # ATTACHED	JAN 05/96	
2	SURVEY INFO REVISED, FIRE TRUCK ACCESS	DEC 19/95	
1	ADDED PROPOSED 15M PERSONAL EASEMENT AND REVISED SITE LINE AT SOUTH WEST CORNER	OCT 16/95	



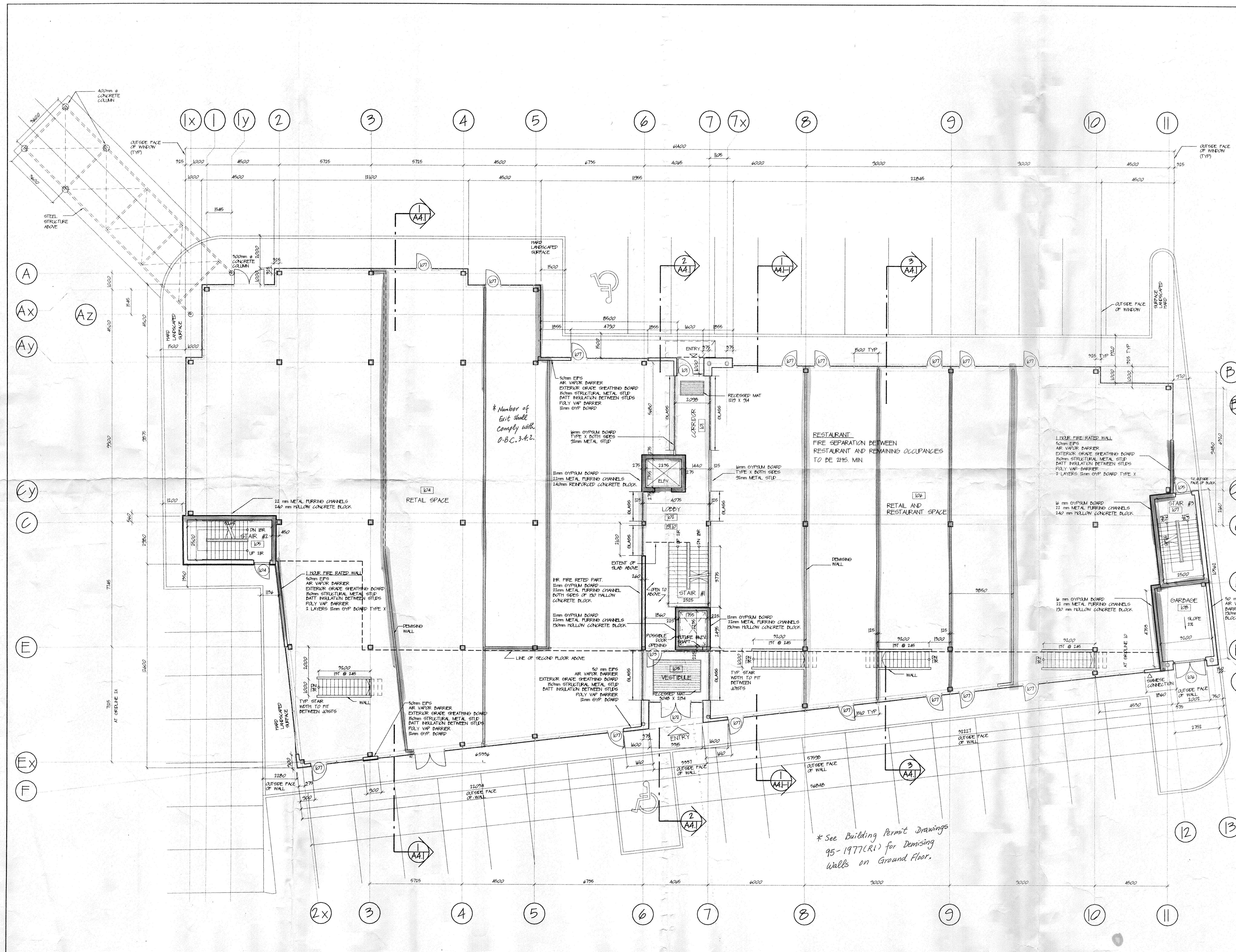
CRA/ Claudio Rabaglio Architect Inc.
455 COCHRANE DR.
SUITE 22
MARKHAM, ONT.
L3R 9R3
TEL (905) 474 0752
FAX (905) 474 0391

7117 BATHURST STREET
COMMERCIAL BUILDING
RIDA DEVELOPMENTS INC.
683693 ONTARIO LTD.

PROJECT NAME

SITE PLAN

SHEET TITLE	
COMPUTER FILE NAME	1794-A1
DRAWN BY	CR
CREATED BY	AI
DATE	8/20/96
PROJECT NO.	
DWG. NO.	



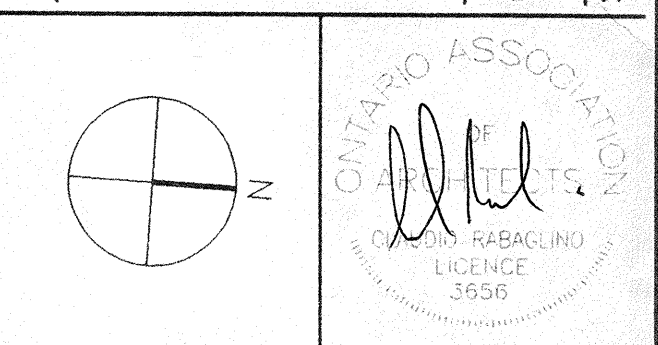
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THE SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE ARCHITECT'S WRITTEN AUTHORITY.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY ARCHITECT.

NO.	ISSUED	DATE	BY
1	ISSUED FOR BUILDING PERMIT	OCT. 8/95	
2	100% - S.D. PERMIT.	APR. 20/96	Ch

2	REV. NOTICE #1 ATTACHED	APRIL 22/96	CR
1	REV. NOTICE #1 ATTACHED	JUN. 05/96	CR
NO.	REVISIONS	DATE	BY



CRAI/ Claudio Rabaglio Architect Inc.
455 COCHRANE DR.
SUITE 22
MARKHAM, ONT.
L3R 9R3
TEL (905) 474 0752
FAX (905) 474 0381

7117 BATHURST STREET
COMMERCIAL BUILDING
RIDA DEVELOPMENTS INC.
683693 ONTARIO LTD.

PROJECT NAME
GROUND FLOOR PLAN

SHEET TITLE	1734-A2-2
COMPUTER FILE NAME	CR
DRAWN BY	CR
SCALE	1/20
DATE	08/19/95
PROJECT NO.	1734
DWG. NO.	A2.2

SCALE 1 : 200

0 5 10 METRES


NOTES

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF PART 1, AS SHOWN ON PLAN 65R-18190, HAVING A BEARING OF N 10° 09' 10" W.

#	DENOTES	SURVEY MONUMENT FOUND
1	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
CC	DENOTES	CUT CROSS
WT	DENOTES	WITNESS
921	DENOTES	PETER SALHA, D.L.S.
1370	DENOTES	WILSON KEMAR LTD., D.L.S.
MTD	DENOTES	MINISTRY OF TRANSPORTATION OF ONTARIO
PI	DENOTES	PLAN 65R-18190

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON JULY 18, 1996.


R. W. R. JONES
ONTARIO LAND SURVEYOR

HOLDING & JONES LIMITED ONTARIO LAND SURVEYORS 2205 VICTORIA PARK AVENUE - SCARBOROUGH, ONT. M1R 1V8 416-445-350D			
DRAWN BY: V.R.	CHKD. BY: G.V.	SCALE: 1:200	JOB NO: 96-749 -- TITLE

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 2nd 2024

Attention: Christine Vigneault

RE:

File No.: A202-23

Related Files:

Applicant Weston Consulting c/o Mathew Halo

Location 7117 Bathurst Street

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

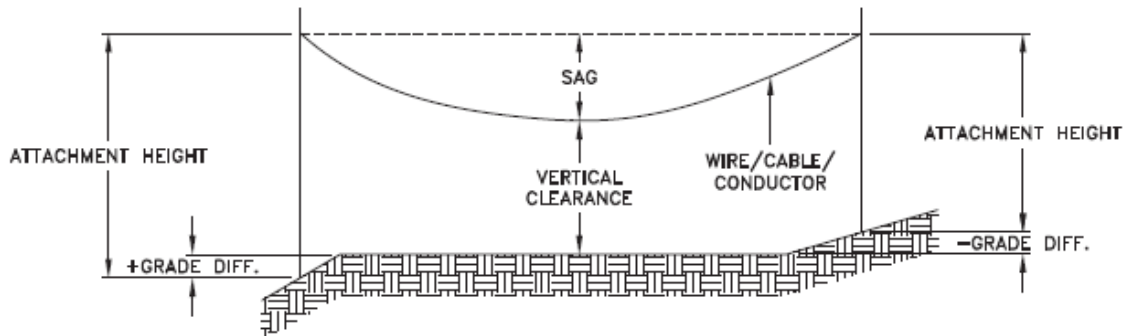
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

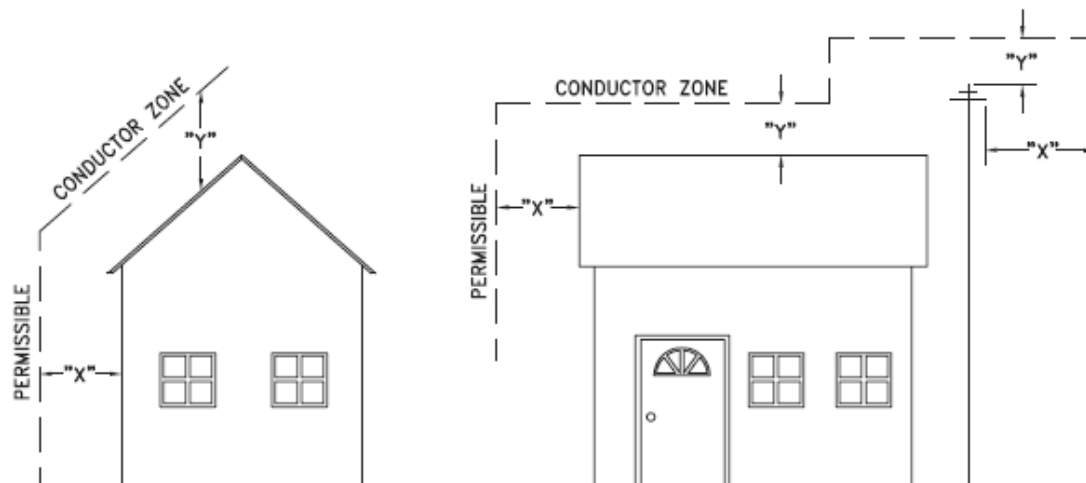
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date

P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Sean Fitzpatrick, Building Standards Department

Date: April 04, 2024

Applicant: Weston Consulting c/o Mathew Halo

Location: 7117 Bathurst Street
PLAN RP3205 Part of Lot 45

File No.(s): A202/23

Zoning Classification:

The subject lands are zoned GC, General Commercial Zone and subject to the provisions of Exception 14.572 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 106 parking spaces shall be provided on the lot, including 2 barrier free parking spaces for the 2 storey office building with a maximum gross floor area of 2,600.0 m ² . [14.572.3]	To permit a minimum of 103 parking spaces, including 2 Type A barrier free spaces for the 2 storey office building with a maximum gross floor area of 2,600.0 m ² .
2	The second floor shall be used for office uses only, and the basement shall be used for utility and storage space only. [14.572 #1b.]	To permit eating establishments, clinic and personal service uses at the basement and second floors.
4	Eating establishment uses shall be restricted to the ground floor only. The total gross floor area of all the eating establishment uses shall be restricted to 20% of the gross floor area of the ground floor. [14.572 #1a.]	To permit eating establishments with no maximum restriction of the gross floor area.

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Subject: [External] RE: A202/23 - 7117 Bathurst Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, March 25, 2024 9:00:32 AM
Attachments: [image003.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 7117 Bathurst Street, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Lenore Providence

Subject: FW: [External] RE: A202/23 - 7117 Bathurst Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: Tuesday, March 26, 2024 3:07 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A202/23 - 7117 Bathurst Street - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon Lenore,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Thank you

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Services, Planning and Economic Development Branch |
The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			09/30/2023	Application Cover Letter

Vaughan Committee of Adjustment
Vaughan City Hall
2141 Major Mackenzie Dr
Vaughan, ON
L6A 1T1

November 30, 2023
File 5852-1

**Re: Planning Rationale
Minor Variance Application
7117 Bathurst Street and 245 Crestwood Drive
City of Vaughan**

1. INTRODUCTION

Weston Consulting has been retained by The Torgan Group (“**Torgan**”) the registered owner of the lands, municipally known as 7117 Bathurst Street and 245 Crestwood Road, in the City of Vaughan (the “**Subject Property**”). The Subject Property is located on the northeast corner of the Bathurst Street and Townsgate Drive intersection, directly north of Steeles Avenue. We have prepared this Application for a Minor Variance, and provide this planning rationale and enclosed materials, in support of an application to seek relief from Zoning By-law 001-2021.

The purpose of this Application for a Minor Variance is to seek permission to expand the permitted uses in the basement of the existing commercial building, increase the maximum GFA for a two-storey building and reduce the minimum required parking spaces for existing and proposed uses. We formally request that the planning rationale contained in this letter be considered in determining Staff’s recommendation for the proposed variances to the Zoning By-law on the Subject Property.

The Owners have pre-consulted with City Staff via email and Staff have advised that a Minor Variance Application is appropriate to modify the applicable zoning regulation(s).

2. SITE DESCRIPTION AND CONTEXT

This section of the letter provides an overview of the Subject Property.

2.1. Description of Subject Property

The Subject Property is in a mixed-use community with a range of uses on the northeast corner of the Bathurst Street and Townsgate Drive intersection, directly north of Steeles Avenue. It is comprised of two parcels (7117 Bathurst Street and 245 Crestwood Drive) and is operated as one site with a land area of approximately 0.35 hectares (3,500 square metres) and an approximate frontage of 60 metres along Bathurst Street.

Historically, the Subject Property was utilized as an automotive repair and service station and a residential dwelling between 1970 and 1978. The current use on the Subject Property was erected in 1999. Additional information on the Subject Property’s previous uses and determination of absence of contamination on the Subject Property can be reviewed in the Phase One and Two ESAs prepared by McIntosh Perry.

The Subject Property is currently occupied by a two-storey 2,585 square metre (inclusive of the ground and second levels and exclusive of the basement level) mixed-use commercial building with a private lane that wraps around the building and provides two vehicular accesses along Crestwood Road and Townsgate Drive. It affords surface parking with 103 parking spaces (4 accessible spaces) along its Bathurst Street, Crestwood Road and Townsgate Drive frontages as well as abutting the low-rise residential lots along Crestwood Road and Townsgate Drive, to the east. It also affords pedestrian access to the public ROW and sidewalk network on its three street frontages.

The Subject Property currently includes a range of commercial uses, which includes retail, eating establishments, offices, personal services, and medical clinics. The existing uses on the Subject Property are not expected to change.

The Subject Property is legally described as:

- 7117 Bathurst Street: PT LT 45 PL 3205 VAUGHAN PT 1, 65R18190, EXCEPT PTS 1 & 2, 65R18652; S/T INTEREST IN PL 3205; VAUGHAN
- 245 Crestwood Road: PT LT 45 PL 3205 VAUGHAN PT 2, 65R18190; S/T INTEREST IN PL 3205; VAUGHAN

2.2. Surrounding Land Use Context

Land uses in the vicinity of the Subject Property include:

North: To the north of the Subject Property along Bathurst Street are low-rise commercial buildings and surface parking lots.

East: East of the Subject Property is a residential neighbourhood comprised of detached dwellings. To the southeast is a greater diversity of residential uses, including high-rise buildings, and low-rise townhomes.

South: South of the Subject Property are low-rise commercial buildings and surface parking lots, as well as high-rise residential buildings.

West: West of the Subject Property on the opposite side of Bathurst Street is a large park, synagogue, and a mid-rise residential building.

2.3. Transit and Transportation

The Subject Property is situated in an area that is accessible to major transportation routes. Bathurst Street, as well as Steeles Avenue to the south are both major arterials, which provide connection to Highways 400, 401, and 407. The 400-series highways are provincial freeways intended to serve large volumes of interregional and long-distance traffic.

Regarding public transit service, York Region Transit (“YRT”) Bus Route 88 runs along Bathurst Street, as does Toronto Transit Commission (“TTC”) Bus Route 160. YRT Bus Route 88 provided service between Finch GO

Bus

Terminal and TTC Subway Station in the City of Toronto, and Seneca College – King Campus within King City. TTC Bus Route 160 provides service between Wilson TTC Subway Station in the City of Toronto and the area of Centre Street and New Westminster Drive in the City of Vaughan.

3. DESCRIPTION OF PROPOSAL

The proposal is to expand certain permitted land uses afforded to the ground and second levels of the existing two-storey commercial building through the site-specific zoning regulations in Zoning By-law 1-88 and By-law 001-2021 to the basement level of the building.

The existing two-storey commercial building on the Subject Property currently contains commercial uses on the ground and second levels, and the expansion of the permitted uses to the basement level would support the commercial amenities and services available to the local mixed-use community and would provide additional space for employment and services within the *Community Area*.

4. BACKGROUND

Weston Consulting has had several discussions and email exchanges with City Planning Staff regarding the correct approach to satisfy the landowner's requirements. City Planning Staff in an email dated December 8, 2022, confirmed that the correct approach would be to submit a minor variance application seeking relief from the Zoning By-law to expand the uses permitted on the ground and second floor of the building to the basement to permit commercial uses operating in the basement level of the building.

4.1. Previous Minor Variance Applications

Minor Variances Applications have been submitted over the years to add uses and GFA in the basement level of the existing building, and to expand the maximum threshold of the Eating Establishment from 20% of the GFA of the ground floor to 40% of the ground floor. Research indicates that Minor Variance Applications were approved in 1997, 1998, 2004 and 2012.

5. PLANNING POLICY FRAMEWORK

This section provides an overview of the applicable provincial and municipal planning policies and evaluates the proposed development in the context of the existing statutory policy framework. The following policy documents have been considered: City of Vaughan Official Plan 2010 (the "**VOP**") and City of Vaughan Zoning By-law No. 001-2021.

5.1. City of Vaughan Official Plan 2010 (2020 Office Consolidation)

The VOP provides goals, principles, objectives, and policies to guide land use planning and development in Vaughan to the year of 2031. It is the VOP's objective to nurture complete and mixed-use communities and to support the City's retail sector. The Subject Property is located within the *Community Areas* per Schedule 1 – Urban Structure of the VOP and is designated as *Low-Rise Mixed Use* with a maximum height of 4-storeys and maximum density of 1.5 times the lot area, in the VOP, according to *Schedule 13 – Land Use*. The following policies in the VOP are relevant to the Subject Property and the Minor Variance Application.

Section 2.2.3 of the VOP identifies that retail that is intended to serve the local community is encouraged in *Community Areas* to *reduce the need of residents to drive to mixed-use centres to meet their regular daily needs for amenities and services*. Policy 2.2.3.1 identifies that *Community Areas* are diverse and that *local servicing commercial uses* are vital to the creation of complete communities, and encourage walking, cycling and transit use.

Section 5.2.3 of the VOP identifies that:

- *Vaughan committed to supporting the retail sector and ensuring that there is an appropriate amount of retail activities in suitable locations [and plans for] well-designed and appropriately located retail uses [that] allow residents and employees to purchase goods and services by walking, cycling, or taking public transit.*
- *The existing retail sector is large and an important component of the overall Urban Structure and local economy [and] creating a sustainable City will require the leveraging of Vaughan's strong retail sector to help and strengthen mixed-use communities throughout Vaughan.*

Policy 5.2.3.1 states that it is the policy of Council *to support the continued development of a diverse retail sector that provides:*

- a. *a broad range of shopping opportunities for local residents and employees;*
- c. *a range of opportunities for employment and entrepreneurship;*

Further in Section 5.2.3, Policy 5.2.3.5 states it is the policy of Council:

- *To support retail uses, at appropriate locations, within Community Areas. These retail uses must be designed to support walking, cycling and transit use. They must be sensitive to and compatible with the character and form of the surrounding context.*

Section 9.2.2.2 of the Official Plan provides the following policies applicable to the Subject Property:

- a. **Low-Rise Mixed-Use** *areas are generally located on arterial or collector streets. They will allow for an integrated mix of residential, community and small scale retail uses intended to serve the local population. These areas will be carefully designed with a high standard of architecture and public realm, and well-integrated with adjacent areas.*
- b. *The following uses shall be permitted in areas designated as Low-Rise Mixed Use, in addition to those uses permitted through policy 9.2.1.9:*
 - i. *Residential units;*
 - ii. *Home occupations;*
 - iii. *Small scale hotels;*
 - iv. *Retail uses subject to the policies of subsection 5.2.3; and*
 - v. *Office uses.*

- c. *In areas designated as Low-Rise Mixed-Use and located in Intensification Areas identified on Schedule 1, the ground floor frontage of buildings facing arterial and collector streets shall predominantly consist of retail uses or other active uses that animate the street.*

5.2. City of Vaughan Zoning By-laws

The former City of Vaughan By-law 1-88 is repealed, and the Comprehensive Zoning By-law 001-2021 is in effect as of October 20, 2021, except for lands, areas, and sections of the Comprehensive Zoning By-law (CZBL) that remain under appeal, as identified in the OLT Order. The sections of the CZBL applicable to the Subject Property are not under appeal at the OLT; therefore, only the CZBL applies and for purposes of this Minor Variance Application only relief to By-law 001-2021 will be sought. Notwithstanding this, reference to both Zoning By-laws will be made.

5.2.1. City of Vaughan Zoning By-law 1-88

The City of Vaughan Zoning By-law 1-88 zones the Subject Property as *C1 – Commercial* and contains site-specific zoning provisions that specify specific permitted uses, lot and building requirements and parking regulations applicable to the Subject Property (*Schedule E 966 and D 883*). These site-specific zoning regulations have also been carried over into the CZBL as Exception 572 under Section 14.572 of the CZBL are the basis of the Minor Variance Application for the Subject Property.

5.2.2. City of Vaughan Comprehensive Zoning By-law 001-2021 (CZBL)

As identified in Section 5.2.1 of this letter, CZBL 001-2021 was endorsed by Council on October 20, 2021, to update the development standards in the city in conformity to the policies of the VOP; however, sections of the By-law applicable to the Subject Property is under appeal at the OLT. Notwithstanding the appeal at the OLT, the site-specific zoning regulations applicable to the Subject Property in By-law 1-88 were carried over to By-law 001-2021 through Exception 572 under Section 14.572 of the CZBL. As identified above, for purposes of this Minor Variance Application, we will only be seeking relief from the CZBL as By-law 1-88 as been repealed except for in cases of site-specific appeals to the OLT.

The CZBL zones the Subject Property as *General Commercial Zone – GC* with a site-specific zoning exception 572. Exception 572 under Section 14.572 of the CZBL contains site-specific provisions applicable to the Subject Property and the existing commercial building on the property. The following bullet-points provide an overview of the regulations and exceptions applicable to the Minor Variance Application:

- Provision 14.572.1.1 permits a two-storey office building with a maximum gross floor area of 2,600 sq.m. and a range of commercial uses including, *bank or financial institution, clinic, eating establishments, health care centre, laboratory, office, pharmacy, retail*, and other uses.
- Provision 14.572.1.2 also permits a 3-storey (11.0 metres) office building excluding the parapet wall, with a maximum gross floor area (GFA) of 3,700 sq.m., and the same range of commercial uses as in Provision 14.572.1.1.

- Provision 14.572.2.1.b. identifies that *the second floor shall be used for office uses only, and the basement shall be used for utility and storage space only.*
- Provision 14.572.3.1 identifies that *a minimum of 106 parking spaces shall be provided on the lot, including two spaces provided for the exclusive use of the physically challenged for the 2 storey office building with a maximum gross floor area of 2,600 square metres.*

In addition to the above-noted regulations, Chapter 3.0 – Definitions in the CZBL defines *Gross Floor Area* as *[Meaning] the aggregate of the floor areas of all storeys of a building measured from the outside of the exterior walls, but excluding any basement, attic, mechanical room, electrical room, elevator shaft, refuse chute, escalators, vehicle, and bicycle parking areas, loading areas located above or below grade.*

The GFA of the existing building is 2,585 square metres, exclusive of the basement level. As indicated in Chapter 3.0 of the CZBL, *Gross Floor Area* does not include a basement level.

6. DESCRIPTION OF PROPOSED USES AND VARIANCES

The owners of the Subject Property are proposing to seek relief from Regulation 14.572.1 in Zoning By-law 001-2021. The proposed modifications relate to, a) expanding the permitted use limitations from utility and storage in the basement level of the existing building to include the other permitted site-specific uses; and b) modifying the minimum required parking spaces on the Subject Property, associated with the gross floor area (GFA).

The following variances are required to permit the proposed uses within the basement floor of the existing commercial building:

1. Whereas Regulation 14.572.2.1.b states that the second floor shall be used for office uses only, and the basement shall be used for the utility and storage space only, the basement shall be used for permitted uses identified in Regulation 14.572.1.1
2. Whereas Regulation 14.572.3.1 states that a minimum of 106 parking spaces associated with 2,600 square metres of gross floor area, a total of 103 parking spaces shall be required associated with 3,536 square metres of floor area. The total gross floor area excluding the basement shall be 2,585 square metres.

7. Supporting Materials

7.1 Phase 2 Environmental Site Assessment, McIntosh Perry Consulting Engineers Ltd., August 2023

As part of the ESA, McIntosh Perry drilled ten boreholes across the interior and exterior of the subject property. Samples collected from the boreholes were analyzed. The ESA concludes that “All concentrations of analyzed parameters within the soil and groundwater samples submitted for laboratory analysis were below the Table 3 Standards”. The Report also concludes that soil vapour intrusions into current and future building are not considered to be a concern, as volatile concentrations were not identified in concentrations exceeding Table 3 Standards.

7.2 Air Quality Assessment, Corrin Environmental Consulting, August 2023

Corrin Environmental Consulting prepared an Indoor Air Quality Assessment (IAQA) and undertake indoor air sampling over an 8-hour period, as a result of previous contaminated soil and underground storage tanks associated with a historic fuel use on the Subject Property. Based on the results of the IAQA, there are no measured concentrations of any of the air samples that exceed the Ontario Ministry of the Environment, Conservation and Parks (MECP) health based indoor air criteria (HBIACs) for commercial / industrial buildings. In the absence of HBIACs, analytical data was compared to the MECP's ambient air quality criteria (AAQCs). Based on the results of the IAQA and the ESAs, which identified that there were no exceedances of HBIACs or AAQCs, in the absence of HBIACs, there were no concerns of Contaminants of Concern (COCs) identified in the soil and ground water, Corrin Environmental Consulting concludes that vapour intrusion from a subsurface source of contamination and subsequent migration to indoor air is not occurring at levels that would pose unacceptable risk to building occupants and thus, no further sampling is considered necessary.

7.3 Parking Study, LEA Consulting, November 2023

LEA Consulting prepared a Parking Study, dated November 2023 to support the Minor Variance Application. As part of the Study, LEA Consulting conducted a parking demand and utilization survey conducted at the Subject Property over four days, and reviewed other historical surveys that informed the anticipated parking demand for the property.

The parking utilization survey observed parking demand and observed that during periods of peak operating hours, that the parking demand was 3.08 spaces per 100 square metres and the ninth percentile demand was 94 parking spaces or 2.9 spaces per 100 square metres. Based on the 95th percentile of parking demand, the fully occupied building (3,536 square metres, inclusive of the basement), would require 103 parking spaces, which is currently provided on the Subject Property. It should be noted that notwithstanding the exclusion of basement levels from GFA calculations, the Study LEA Consulting has taken into consideration the parking demand for the commercial uses anticipated in the basement level to represent full operation and occupancy of the existing building on the Subject Property.

Based on historical parking utilization surveys at 10 Unionville Gate, 7475 McCowan Road and 10815 Bathurst Street within York Region, it was observed that these commercial sites had a parking demand between 1.94 and 3.43 spaces per 100 square metres, a parking demand similar to the utilization survey results for the Subject Property.

In addition to the above-noted results and conclusions, LEA Consulting has recommended Transportation Demand Management (TDM) measures to support non-auto modes of transportation through physical improvements, which include adding marked crosswalks and adding bicycle parking.

LEA Consulting has concluded that the existing parking supply (103 parking spaces) can accommodate the current parking demand and can accommodate anticipated peak parking demand for the Subject Property when the building is at full occupancy.

8. PLANNING ANALYSIS AND JUSTIFICATION

Section 41 (1) of the *Planning Act* provides municipal-appointed Committee of Adjustment members authorization to approve minor variances to any land, building or structure affected by any by-law passed under Section 34 or 38 of the *Act*. An applicant before the Committee of Adjustment is required to provide that the following conditions are met under Section 45 (1) of the *Act*:

- The variance requested maintains the general intent and purpose of the Official Plan;
- The variance requested maintains the general intent and purpose of the Zoning By-law;
- The variance is desirable for the appropriate use of the land; and,
- The variance is minor in nature.

The following provides an assessment of how the proposed expansion to the permitted land uses to the basement level of the existing two-storey building has regard to the prescribed criteria for minor variances as outlined by the *Planning Act*.

8.1 Maintains the General Intent and Purpose of the Official Plan

The subject property is subject to the City of Vaughan Official Plan (2020) and is designated as *Community Areas* and *Low-Rise Mixed-Use*. The existing commercial building is a permitted use within these land use designations and along a *Major Arterial Road* (Bathurst Street).

The expansion of the permitted commercial uses to the basement level meets the intent of the Official Plan as the proposed uses are intended to provide additional local servicing commercial uses and support the cultivation of complete communities by reducing the need for residents within the *Community Areas* to drive to mixed-use centre to meet their regular daily needs for amenities and services.

It is anticipated that the expansion of these uses to the basement level of the existing commercial building will not create a negative impact on the surrounding community, that the traffic impact generated by the expansion of the uses will be minimal and that the parking demand produced by these uses can be accommodated through the existing on site parking supply. No building modifications or site modifications are proposed.

Thus, the expansion of the permitted uses to the basement of the building maintains the intent of the City Official Plan (VOP 2010).

8.2 Maintains the General Intent and Purpose of the Zoning By-law

The City of Vaughan Comprehensive Zoning By-law 001-2021 zones the Subject Property as *General Commercial Zone – GC* with site-specific Exception 572. The GC zone under Exception 572 permits a range of commercial uses, including *clinic, club, eating establishment(s), financial institution, health care centre, laboratory, office, personal service, pharmacy, retail and service or repair shop*, and stipulates minimum parking requirements for two- and three-storey buildings with maximum permitted gross floor areas (GFAs). Provision 14.572.2.1.b under Exception 572 limits the type of use permitted in the basement level to utility and storage space only. Further, Provision 14.572.3.1 states that a minimum of 106 parking spaces, including 2 accessible spaces shall be provided for a 2-storey (office) building with a maximum gross floor area of 2,600 square metres.

The proposed variances are contextually appropriate and compatible with the commercial lands and *Community Area*.

The extension of the permitted uses to the basement level does not compromise the intended function of the commercial plaza and adjacent properties and businesses within the mixed-use area. Based on LEA Consulting's Parking Study, which utilizes a larger GFA threshold (inclusive of the basement level), despite the slight reduction in the minimum required 106 parking spaces for a two-storey building, the existing parking supply of 103 spaces (inclusive of 4 accessible spaces) is adequate and sufficient to accommodate the building and anticipated uses (within the basement level) at its full operation and occupancy during hours of peak operation and parking demand. It is anticipated that the traffic impact will be minimized and that additional TDM Measures can be introduced to encourage alternative modes of transportation and transit.

Furthermore, the intent of the exception that limits the basement level to utility and storage uses due to potential previous environmental concerns has since been proven to not be a concern by the Stage 2 Environmental Site Assessment completed in August 2023.

Thus, the proposed variances maintain the general intent and purpose of the Zoning By-law.

8.3 Desirable and Appropriate Use of the Land

A desirable and appropriate variance to a Zoning By-law can be addressed by assessing the compatibility of uses within the context of the surrounding area and on the Subject Property.

The proposed expansion of the uses already permitted on the Subject Property is consistent with the function and intensity of uses permitted in the VOP 2010, Zoning By-law 1-88 and Zoning By-law 001-2021. The proposed expansion and application of the permitted uses on the ground and second floor of the existing building to the basement level is in keeping with the character and mix of uses in the immediate area, the classification of the Subject Property along a *Major Arterial Road* in the *Community Areas* designation. The proposal is reasonable and compatible for the Subject Property and provides an opportunity to augment the profile of services and amenities provided within the existing building and to service the local community.

The Subject Property contains a wide range of stable commercial uses within the existing two-storey commercial building. Expanding permission for uses already permitted within the ground and second levels of the building to the basement level can be categorized as an extension of uses, and a request that is anticipated to not produce a net negative impact on Subject Property, as it would not generate a tremendous increase in traffic volumes, will not impact existing commercial operations on site and surrounding property within the *Community Area*. The proposed expansion of permitted uses to the basement level will provide additional service and amenities to the existing community and will expand entrepreneurial opportunities.

Thus, the proposed variances are desirable and appropriate use of the lands and will support the existing *Community Area* and services and amenities provided to the local community.

8.4 Minor in Nature

The proposed extension of existing permitted uses to the basement level of the existing building does not
resulting

in adverse impacts on the surrounding area, on the function of the existing uses and on the function of the existing building on the Subject Property. The proposed use and requested variances will not materially alter the character of the area and commercial operations of the existing building within the *Community Areas* designation. The surrounding community is comprised of a mix of uses, which include commercial uses in single- and multi-tenanted buildings along Bathurst Street and Steeles Avenue and the low-rise residential communities serviced by the Subject Property and other commercial operations along Bathurst Street and Steeles Avenue. The Parking Study demonstrates that the additional parking and GFA can be supported by the existing parking supply.

Thus, the proposed variances are minor in nature as the proposed variances have no unacceptable impact on the existing uses on the Subject Property and surrounding lands and uses.

9. CONCLUSION

Having regard to Section 45 (1) of the *Planning Act*, it is my professional planning opinion that the requested variances are representative of good planning, both individually and collectively, based on the following considerations:

- The proposed variances maintain the general intent and purpose of the Official Plan;
- The proposed variances maintain the general intent and purpose of the Zoning By-law;
- The proposed use is desirable for the use of the land, building and area; and,
- The proposed variances are minor in nature.

10. SUBMISSION MATERIALS

In support of the Minor Variance Application, please find enclosed:

1. Authorization Form
2. Authorizing Statements
3. Setback Chart
4. Size Chart
5. Sworn Declaration Form
6. Tree Declaration form
7. Variance Chart
8. Plan of Survey, prepared by Holding & Jones Ontario Land Surveyors, dated July 18, 1996
9. Architectural Drawing Set, which includes, Site Plan, Ground Floor Plan and Basement Plan, prepared Claudio Rabaglino Architect Inc., dated July 29, 1996
10. Phase One Environmental Site Assessment, prepared by McIntosh Perry Consulting Engineers Ltd., dated May 1, 2023
11. Phase Two Environmental Site Assessment, prepared by McIntosh Perry Consulting Engineers Ltd., dated August 8, 2023
12. Soil Vapour Survey (included in Phase Two ESA), prepared by McIntosh Perry Consulting Engineers Ltd., dated August 8, 2023
13. Indoor Air Quality Assessment, prepared by Corrin Environmental Consulting, dated August 2023
14. Parking Study, prepared by LEA Consulting, dated November 2023
15. Existing Tenants List, prepared by Torgan Group, dated November 2023

16. Email Correspondence from City of Vaughan Staff re: Minor Variance Application Submission Requirements, dated December 8, 2022

We request that the enclosed materials be received and circulated for review and comment, so that the application can proceed to the earliest available Committee of Adjustment meeting. Should you have any questions or require additional materials, please contact the undersigned at ext. 241 or Mathew Halo at ext. 282.

Yours truly,

Weston Consulting

Per:



Ryan Guetter, BES , MCIP RPP
Executive Vice Present

- c. John MacIntyre, Torgan Group
Heather Goodall, Torgan Group
David Harding, City of Vaughan

SCHEDULE D: BACKGROUND	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A058/12	APPROVED; COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A058/12

APPLICANT: 1141318 ONTARIO LTD., 1141896 ONTARIO LTD. & SAMRIN ENTERPRISES INC.

PROPERTY: Part of Lot 26, Concession 1, (Part of Lot 45, Registered Plan No. 3205, municipally known as 7117 Bathurst Street, Thornhill).

ZONING: The subject lands are zoned C1, Restricted Commercial, under By-law 1-88 subject to Exception 9(883) as amended.

PURPOSE: To maintain an existing two-storey commercial building.

PROPOSAL: The total gross floor area of all the Eating Establishment uses shall be restricted to 40% of the gross floor area of the ground floor.

BY-LAW REQUIREMENT: The total gross floor area of all the Eating Establishment uses shall be restricted to 20% of the gross floor area of the ground floor.

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:
Minor Variance Application
A111/04 **APPROVED** – April 15, 2004 – permit portion of basement to be used for dentist office and business or professional office.
A348/98 **APPROVED** – November 12, 1998 – basement floor to be used for a cardiology testing clinic, for a 2 year term only..(previously used as a karate school)
A269/98 **REFUSED** – September 17, 1998 – basement floor to be used for cardiology testing clinic (previously used as a karate school)
A96/98 **APPROVED** – April 23, 1998 – basement floor to be used for medical laboratory and stomach treatment centre/clinic.
A14/97 **APPROVED** – February 20, 1997 – basement floor to be used for a karate school.

Sketches are attached illustrating the request.

MOVED BY:

SECONDED BY:

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A058/12, 1141318 ONTARIO LTD., 1141896 ONTARIO LTD. & SAMRIN ENTERPRISES INC.**, be **APPROVED**, in accordance with the sketches attached, subject to the following conditions of approval:

1. Based on the information provided in the study report, we have no objection regarding off-site parking arrangement as recommended in the report. However, a permanent off-site parking agreement between the owners of 7117 & 7131 is require to the satisfaction of the Development/Transportation Engineering Department, if required.

2. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. (PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

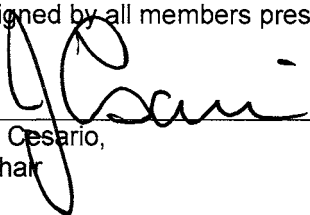
FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.


THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

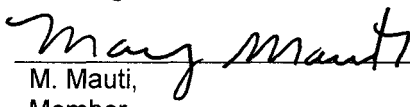
CHAIR: 


Signed by all members present who concur in this decision:


J. Cesario,
Chair


A. Perrella,
Vice Chair


L. Fluxgold,
Member

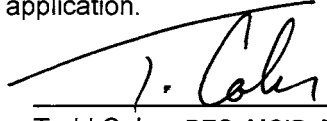

M. Mauti,
Member


H. Zheng,
Member

ABSENT

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: MAY 17, 2012

Last Date of Appeal: JUNE 6, 2012

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

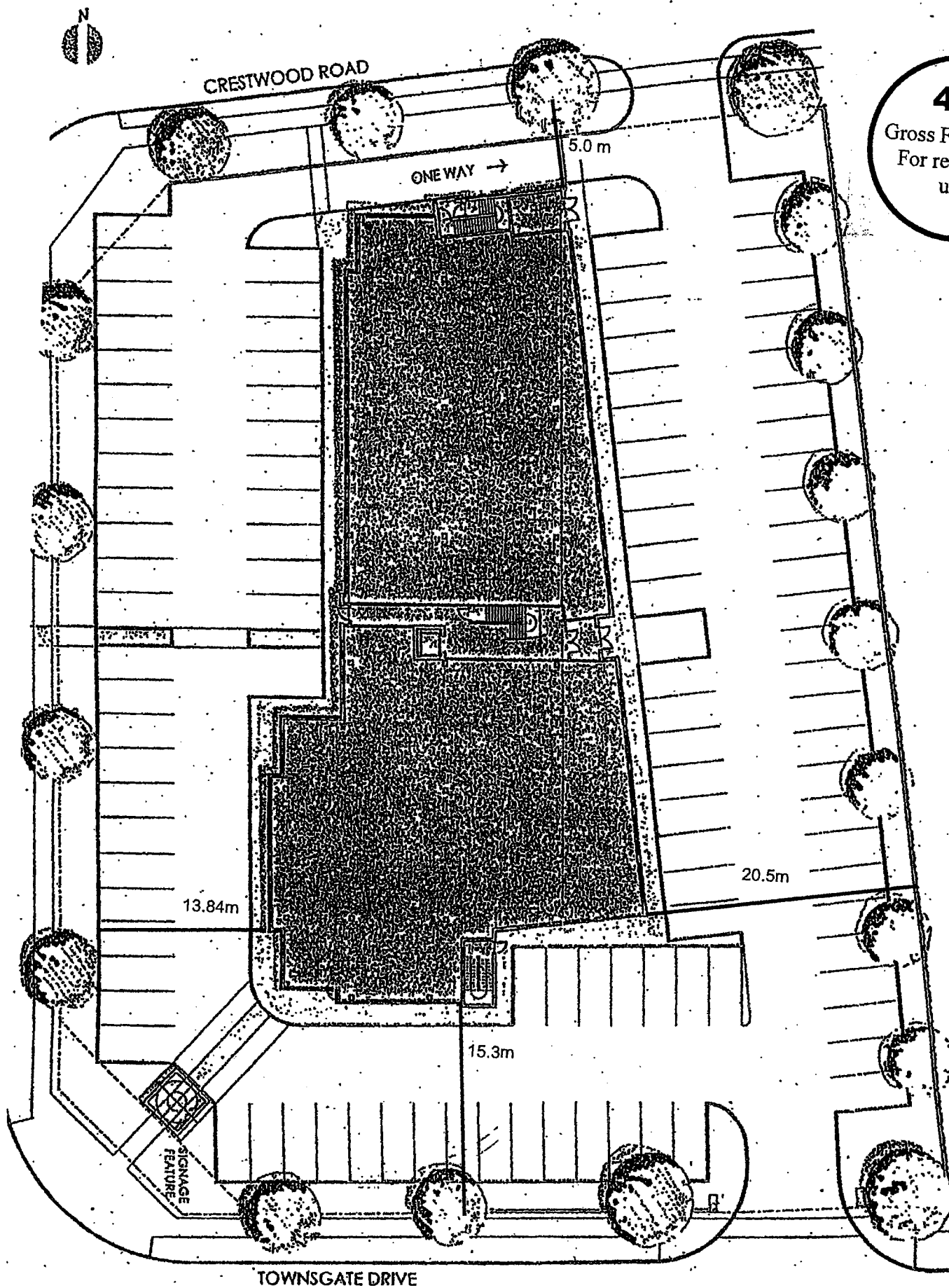
NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
JUNE 6, 2013

REVISED MAR. 9/12

A058/12



40%
Gross Floor Area
For restaurant
use.

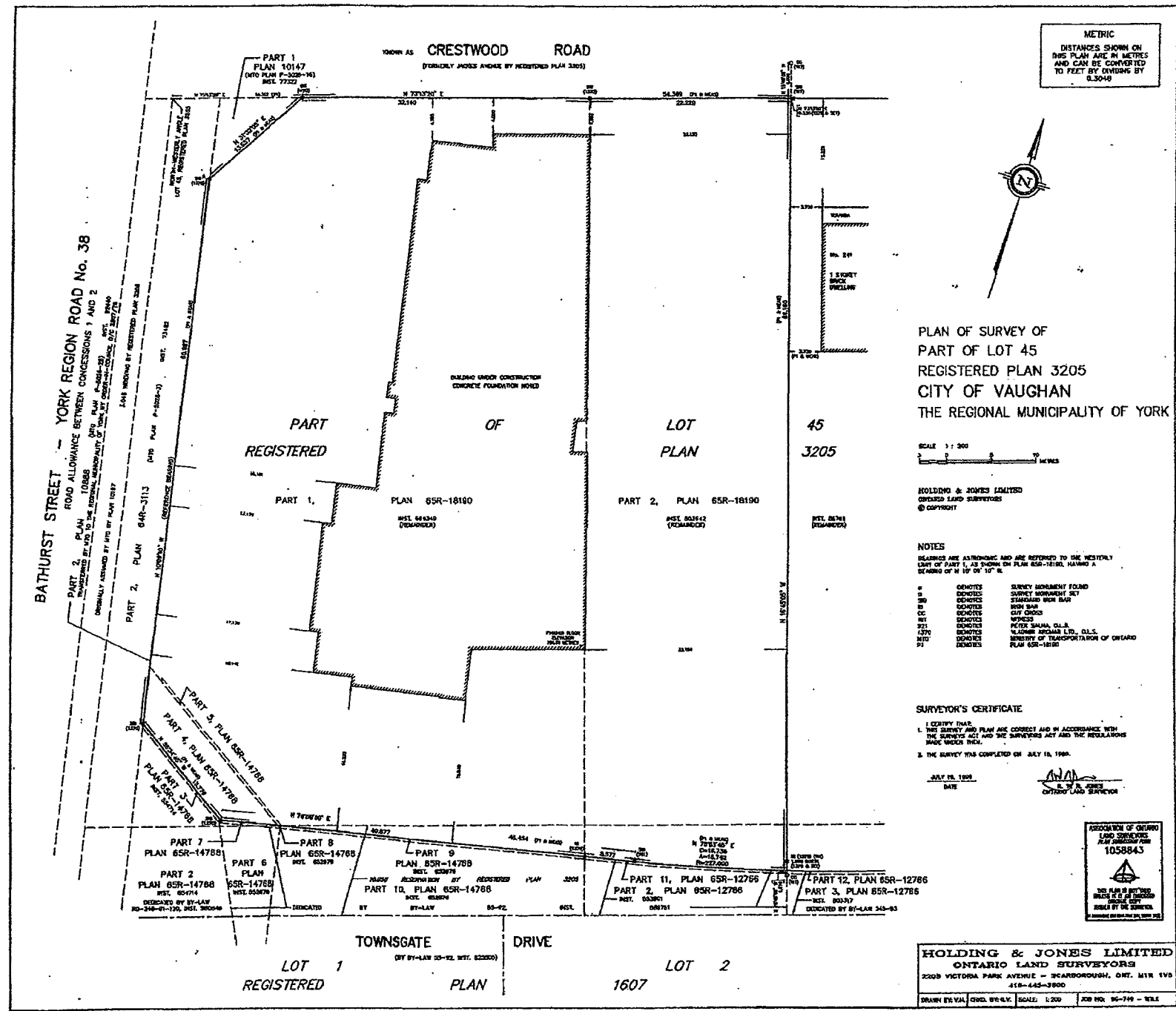
SITE PLAN

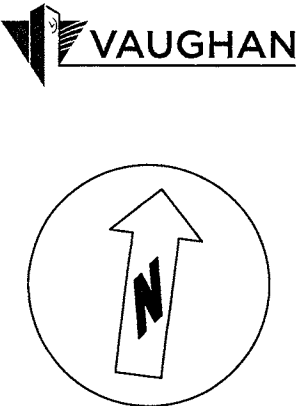
7117 BATHURST
THE JORGAN GROUP

REVISED MAR. 9/12

A058/12

40%
Gross Floor Area
For restaurant
use.





COMMITTEE OF ADJUSTMENT

File No.:	A058/12
Applicants:	1141318 ONTARIO LTD., 1141896 ONTARIO LTD. & SAMRIN ENTERPRISES INC.



SUBJECT LANDS:
7117 BATHURST STREET, THORNHILL