

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A033/24
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Parks, Forestry and Horticulture Operations	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Property Owner	50 Tansley Road	04/30/2024	Letter of Support
Public	Property Owner	48 Tansley Road	05/06/2024	Letter of Support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A033/24
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CITY WARD #:	5
APPLICANT:	Maria Vaira
AGENT:	Vizion Media Inc. (Raymond McCarthy)
PROPERTY:	50 Tansley Road, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit proposed access stairs and a walkway located in the southerly side yard to facilitate access to a secondary suite in the basement.

The following variances are being requested from the City’s Zoning By-law to accommodate the above proposal:

The subject lands are zoned R3(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.273 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment for access stairs into the required interior side yard is 0.30m. Section 4.13 Table 4-1 and 14.273 T-13	To permit a maximum encroachment of 0.64m for the access stairs into the required interior side yard. <i>*Variance confirmed using Zoning Review Waiver. Zoning confirmed variance.</i>
2	The maximum permitted encroachment for an uncovered platform with a floor height of 1.2m or less into the required rear yard is 2.4m. Section 4.13 Table 4-1 and 14.273 T-13	To permit a maximum encroachment of 2.93m for the uncovered platform into the required rear yard. <i>*Variance confirmed using Zoning Review Waiver. Zoning confirmed variance.</i>

HEARING INFORMATION
DATE OF MEETING: Thursday, May 16, 2024 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p>

<div>HEARING INFORMATION</div> <div>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</div>

<div>INTRODUCTION</div> <div><p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p><p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p><p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p><p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p></div>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 20, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Walkout path from corner of garage/property line not wide enough
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
COMMENTS:	
<p>On April 25, 2024, Development Planning provided:</p> <p>Development Planning has now completed our review of the above noted minor variance application. Based on aerial photography and the photos submitted with the application, it appears that there may be existing sheds in the rear yard that were not illustrated on the site plan. Please note that all structures are required to be shown on the drawing and will be subject to Zoning review. Kindly update the site plan sketch to accurately reflect all structures on the property.</p> <p>Urban Design staff has also reviewed the application and provided the attached comments. Please note that supplementary comments from the Forestry department are forthcoming.</p> <p>On April 25, 2024, Development Planning provided:</p> <p>Further to my last email, due to the materials still required and Urban Design comments to be addressed, Development Planning recommends an adjournment to provide for additional time for work on the application.</p> <p>On May 2, 2024, the application submitted revised plans and a Zoning Review Waiver to proceed to the May 16 Committee of Adjustment hearing.</p> <p>On May 6, 2024, Zoning completed review of revised plans, confirming variances identified in the public notice were correct.</p> <p>On May 8, 2024, Development Planning provided:</p> <p>There is one more shed in the rear yard that should be included on the Site Plan drawing, see image attached. As per Zoning, all structures must be shown on the Site Plan, however given the size of this shed, it will not require a permit but is still subject to Zoning By-law requirements.</p> <p>Please provide us with an updated sketch as soon as possible to allow for Zoning to complete their review.</p> <p>On May 8, 2024, the application submitted revised plans to include addition of shed.</p> <p>Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the May 16, 2024, Committee of Adjustment hearing, if required.</p>	

COMMITTEE OF ADJUSTMENT		
Committee of Adjustment Recommended Conditions of Approval:		None

BUILDING STANDARDS (ZONING)		
**See Schedule B for Building Standards (Zoning) Comments		
Building Standards Recommended Conditions of Approval:		None

DEVELOPMENT PLANNING		
**See Schedule B for Development Planning Comments.		
Development Planning Recommended Conditions of Approval:		None

DEVELOPMENT ENGINEERING		
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation		
The Owner/Applicant has received a grading permit from The Development Engineering (DE) Department. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.		
Development Engineering Recommended Conditions of Approval:		None

PARKS, FORESTRY & HORTICULTURE (PFH)		
Recommended conditions of approval:		
PFH Recommended Conditions of Approval:		Obtain a tree removal permit through the Forestry division

DEVELOPMENT FINANCE		
No comment no concerns		
Development Finance Recommended Conditions of Approval:		None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:		None

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:		None

FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:		None

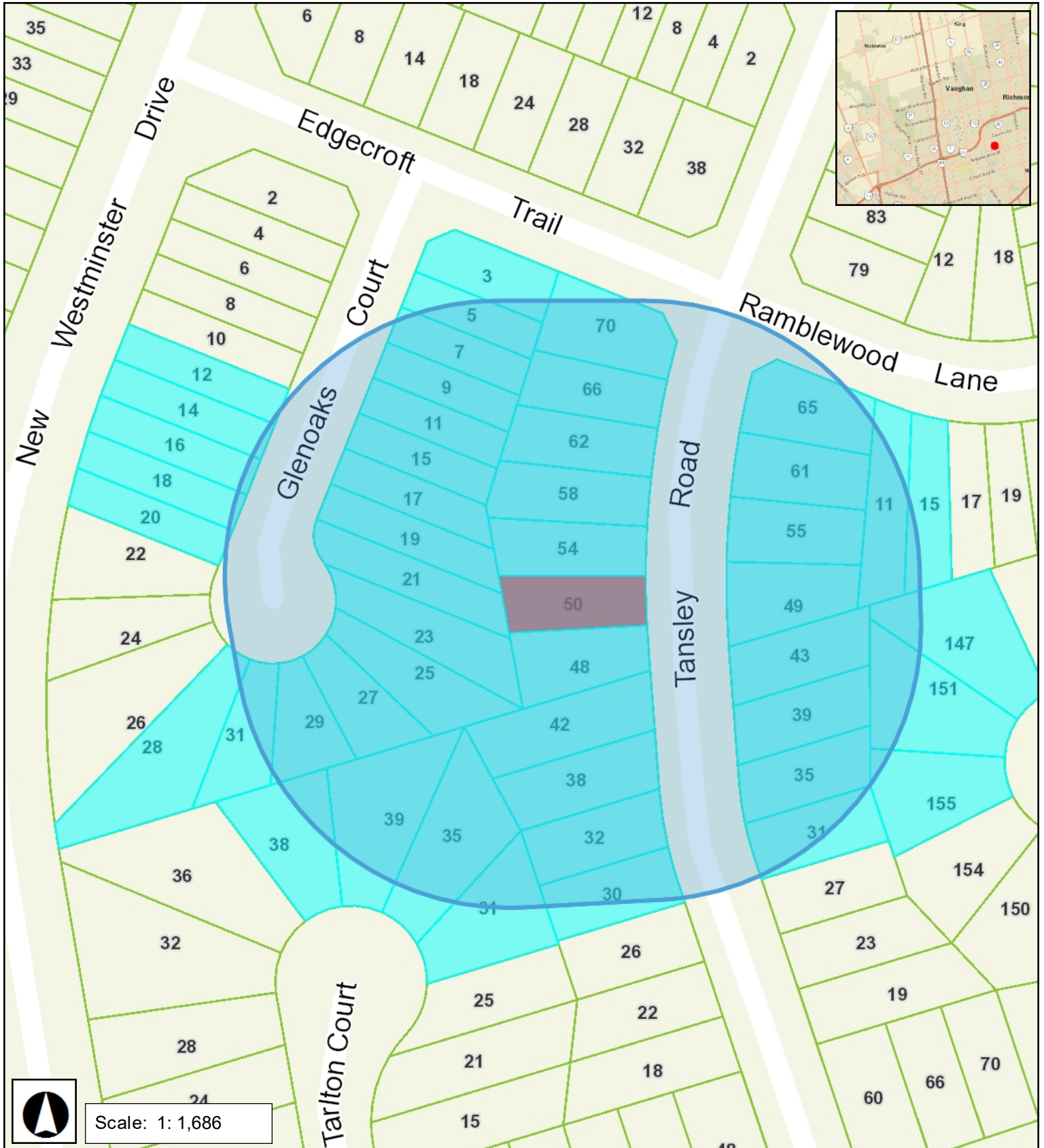
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a tree removal permit through the Forestry division

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>

IMPORTANT INFORMATION
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

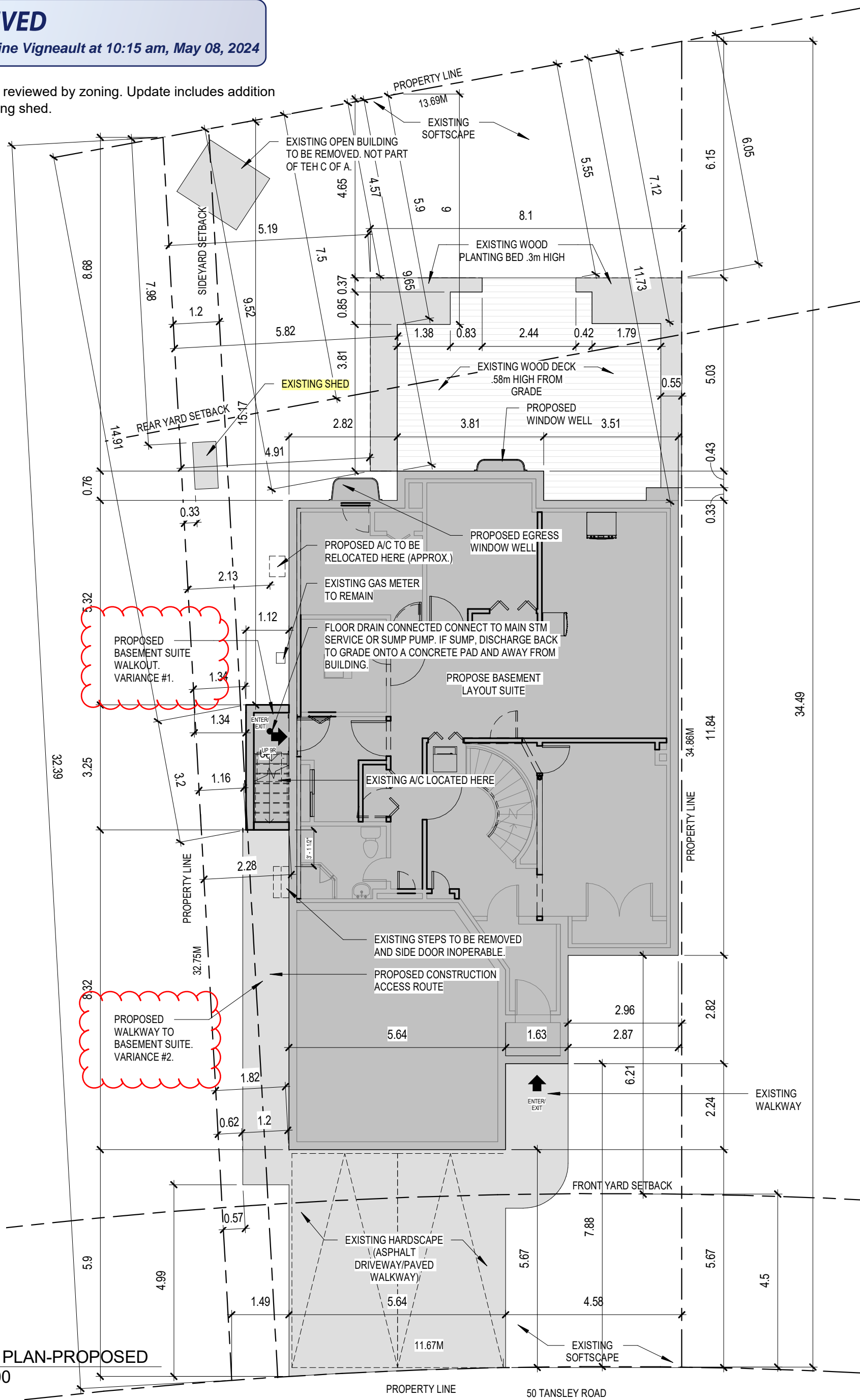
SCHEDULE A: DRAWINGS & PLANS

50 TANSLEY ROAD




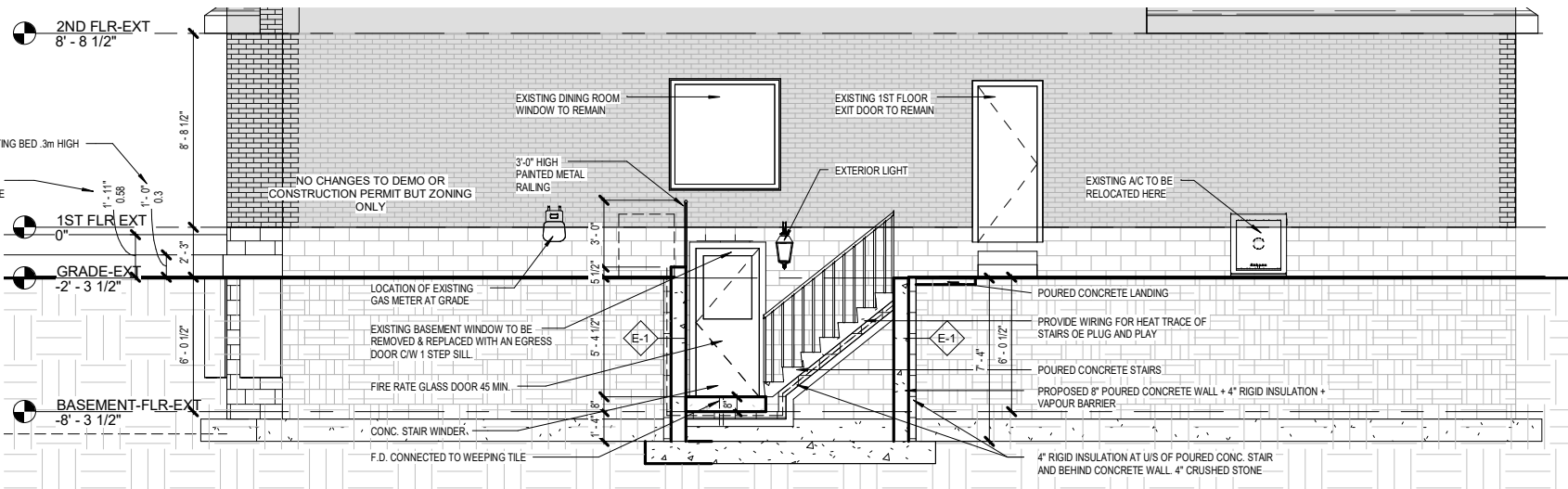
By Christine Vigneault at 10:15 am, May 08, 2024

** Plan not reviewed by zoning. Update includes addition of an existing shed.



1 SITE PLAN-PROPOSED
1 : 100

<div></div> <div>TRUE NORTH</div>	<div>Drawing Name :</div> <div>SITE PLAN</div>		<div>vizion media inc.</div> <div>Architectural Consulting</div> <div>11 Bateman Court, Whitby L1P1 E5</div>						<div>Project :</div> <div>LEGAL BASEMENT APARTMENT</div>	
									<div>50 TANSLEY ROAD, THORNHILL, ON L4J 3H6</div>	
	<div>Proj no. :</div> <div>VMI-376</div>	<div>Checked by :</div> <div>RM</div>	6		2024-02-26	ISSUED FOR C of A	RM	<div>Drawing No :</div> <div>A100</div>		
	<div>Drawn by :</div> <div>RM</div>	<div>Scale :</div> <div>1 : 100</div>	2		2023-08-03	ISSUED FOR CLARIFICATION	RM			
			1		2023-04-17	ISSUED FOR PERMIT	RM			
Issue:			Rev:	Date:	Issue / Revision:	By				



1 ELEVATION-PROPOSED-01
1/8" = 1'-0"

Drawing Name :	Drawing Name :		<div>vizion media inc.</div> <div>Architectural Consulting</div> <div>11 Bateman Court, Whitby L1P1 E5</div>						Project :			
	ELEVATION								LEGAL BASEMENT APARTMENT			
	Proj no. : VMI-376		Checked by : RM								50 TANSLEY ROAD, THORNHILL, ON L4J 3H6	
	Drawn by : RM		Scale : 1/8" = 1'-0"								Drawing No :	
TRUE NORTH				6		2024-02-26	ISSUED FOR C of A		RM	A400		
				Issue:	Rev:	Date:	Issue / Revision:		By			







SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 10th 2024

Attention: Christine Vigneault

RE:

File No.: A033-24

Related Files:

Applicant Vizion Media Inc. Architectural Consulting

Location 50 Tansley Road

COMMENTS:

- ☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

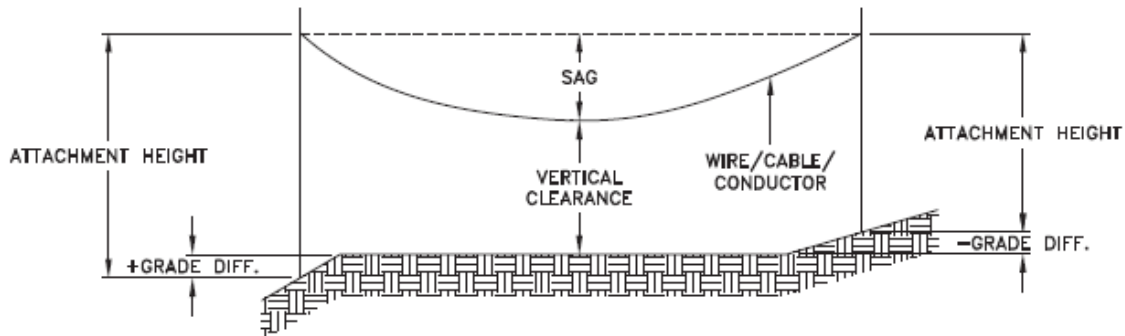
Mr. Stephen Cranley, C.E.T
 Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
 Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

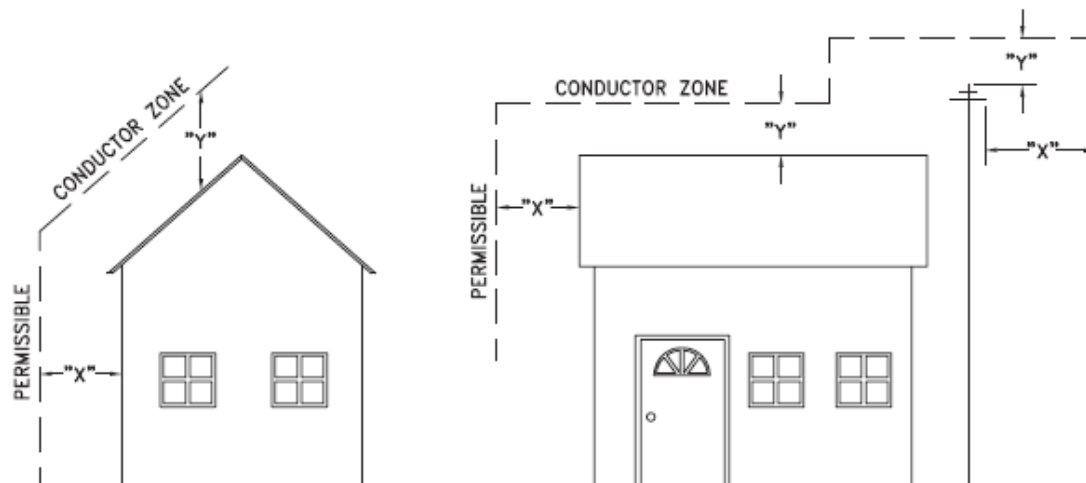
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: May 6, 2024

Applicant: Vizion Media Inc. Architectural Consulting

Location: 50 Tansley Road
PLAN 65M2206 Lot 2

File No.(s): A033/24

Zoning Classification:

The subject lands are zoned R3(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.273 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment for access stairs into the required interior side yard is 0.30m. Section 4.13 Table 4-1 and 14.273 T-13	To permit a maximum encroachment of 0.64m for the access stairs into the required interior side yard.
2	The maximum permitted encroachment for an uncovered platform with a floor height of 1.2m or less into the required rear yard is 2.4m. Section 4.13 Table 4-1 and 14.273 T-13	To permit a maximum encroachment of 2.93m for the uncovered platform into the required rear yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 8, 2024

Name of Owners: Maria and Giuseppe Vaira

Location: 50 Tansley Road

File No.(s): A033/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum encroachment of 0.64 m for the access stairs into the required interior side yard.
2. To permit a maximum encroachment of 2.93 m for the uncovered platform into the required rear yard.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum permitted encroachment for access stairs into the required interior side yard is 0.30 m.
2. The maximum permitted encroachment for an uncovered platform with a floor height of 1.2 m or less into the required rear yard is 2.4 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of below-grade access stairs to a basement secondary suite and recognize an existing uncovered platform (deck) within the rear yard with the above noted variances.

Development Planning Department Staff has no objection to Variance 1 for the proposed below-grade access stairs in the south interior side yard. The stairs will maintain a setback of 1.16 m to the south interior side lot line. The encroachment will have minimal presence above ground and are not anticipated pose adverse massing or privacy impacts to the neighbouring property. There is enough distance in the south interior side yard to allow access between the front and rear yards. Urban Design Staff reviewed an Arborist Report that was prepared by Central Tree Care Ltd., dated April 30, 2024, which inventoried a total of four (4) trees and have no objection to the proposal. Three (3) of the trees are fully protected and will require hoarding before the start of construction. The fourth tree identified in the report is a Honey Locust tree located in the neighboring property's front yard (48 Tansley Road), anticipated to be injured due to the installation of the proposed secondary suite walkway. The report requires hoarding for protection and a permit to injure which shall be obtained through the Forestry Department's tree permitting process. The neighbouring property Owner (48 Tansley) has provided a written letter stating no objection to the proposal and consent to the injury of Tree 4 on their property.

Development Planning Department Staff have no objection to Variance 2. The existing deck in the rear yard maintains sufficient space for access and drainage. At less than 0.6 m high, it is of minimal height, and it also maintains a sizeable distance from the south interior side and rear lot lines and is further away from the north interior side lot line than the house. Therefore, the deck due to its placement and height is not anticipated to have adverse use or massing impacts on the neighbouring properties.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application, subject to the following conditions:

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner I
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, April 3, 2024 1:16 PM
To: Committee of Adjustment
Cc: Christine Vigneault
Subject: [External] FW: A033/24 (50 Tansley Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Please see below.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: Kristen Regier
Sent: Wednesday, April 3, 2024 1:16 PM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Subject: RE: A033/24 (50 Tansley Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 50 Tansley Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)

Pravina Attwala

Subject: FW: [External] RE: A033/24 (50 Tansley Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>

Sent: Friday, April 12, 2024 4:49 PM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A033/24 (50 Tansley Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A033/24 (50 Tansley Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Property Owner	50 Tansley Road	04/30/2024	Letter of Support
Public	Property Owner	48 Tansley Road	05/06/2024	Letter of Support

May 3, 2024

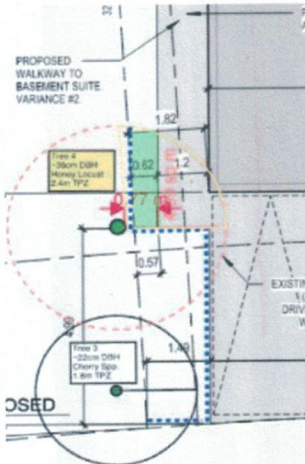
Parks, Forestry and Horticulture Operations
Joint Operations Centre
2800 Rutherford Road,
Vaughan, Ontario L4K 2N9
T: (905) 832-2281
E: treepermits@vaughan.ca

Maria Vaira
% Vizion media inc. Architectural Consulting
50 Tansley Rd.
Vaughan, Ontario L4J 3H6

Re: 50 Tansley Rd (Ward 5)

Non-Objection to Tree Injury Letter

I/we Igor Gelfman am/are the registered owner(s) of **48 Tansley Rd (Ward 5)**, and have reviewed the proposed site plan for construction of the proposed side walkway to the basement suite at **50 Tansley Rd**. I/We understand the potential extent of injury associated with this proposal. I/we hereby consent to the injury of the tree in question, **Tree #4 ~38 cm DBH Honey Locust (Gleditsia triacanthos) located in the front yard of my/our property**. This is with the understanding that, should this action result in damage to my/our property, the responsibility will be assumed by the parties carrying out the work at 50 Tansley Rd, that being the contracting company hired by the owner of said property and the owner. Once construction starts, the contractor will take full responsibility, as this will be on their construction insurance coverage.



Full
Signature of Neighbour(s) (residing at 48 Tansley Rd)

2024 05 06
Date

Daytime Telephone Number

Email

48 Tansley Rd, Vaughan ON L4J 3H6

Maria Leonarda Vaira
Signature of Owner (residing at 50 Tansley Rd)

May 6, 2024
Date

Owner's Daytime Telephone Number

Email

50 Tansley Rd, Vaughan ON L4J 3H6

SCHEDULE D: BACKGROUND

None