

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A025/24
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Parks, Forestry and Horticulture Operations	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			02/23/2024	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A025/24
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CITY WARD #:	5
APPLICANT:	Hossin Zare Tajabadi & Mersedeh Ghanbarabbasi
AGENT:	Sohrab Ebrahim
PROPERTY:	76 White Blvd, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed addition located at the rear of the existing dwelling and an existing shed and patio in the rear yard.

The following variances are being requested from the City’s Zoning By-law to accommodate the above proposal:

The subject lands are zoned **R4(EN) – Fourth Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.283 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard of 7.5 metres is required [Exception 14.283, Schedule T-23].	To permit a minimum rear yard of 6.32 metres to a dwelling.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line [Section 4.1.2.1.b.]	To permit a residential accessory structure (shed) with a height less than 2.8 metres to be located 0.3 metres to the rear lot line.
3	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres) [Section 4.1.2.1.a.].	To permit a minimum required interior side yard of 0.19 metres for a residential accessory structure (shed).
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3].	To permit a minimum distance of 0.15 metres to the eaves of the shed from the rear lot line.
5	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3].	To permit a minimum distance of 0 metres to the eaves of the shed from the interior side lot line.

HEARING INFORMATION
DATE OF MEETING: Thursday, May 16, 2024 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p>

HEARING INFORMATION
Email: cofa@vaughan.ca
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 23, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Demolishing an existing addition and rebuilding it to same size.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering does not object to Minor Variance A025/24.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)
No comments received to date.

PARKS, FORESTRY & HORTICULTURE (PFH)		
PFH Recommended Conditions of Approval:		None

DEVELOPMENT FINANCE		
No comment no concerns		
Development Finance Recommended Conditions of Approval:		None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:		None

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:		None

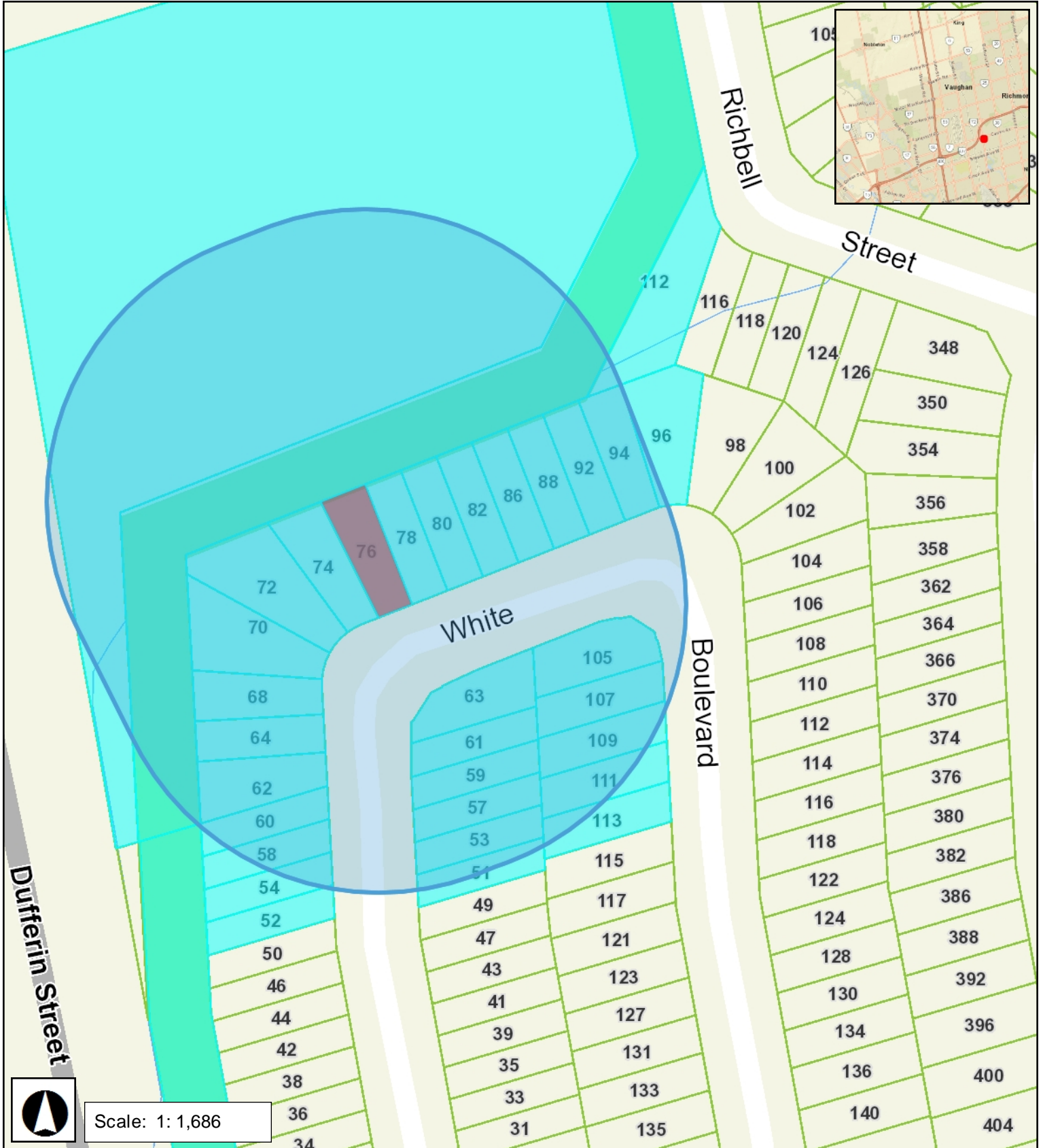
FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:		None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a tree removal and protection permit from the forestry division
2	TRCA Kristen.Regier@trca.ca	1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 41/24.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION		
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		

IMPORTANT INFORMATION	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

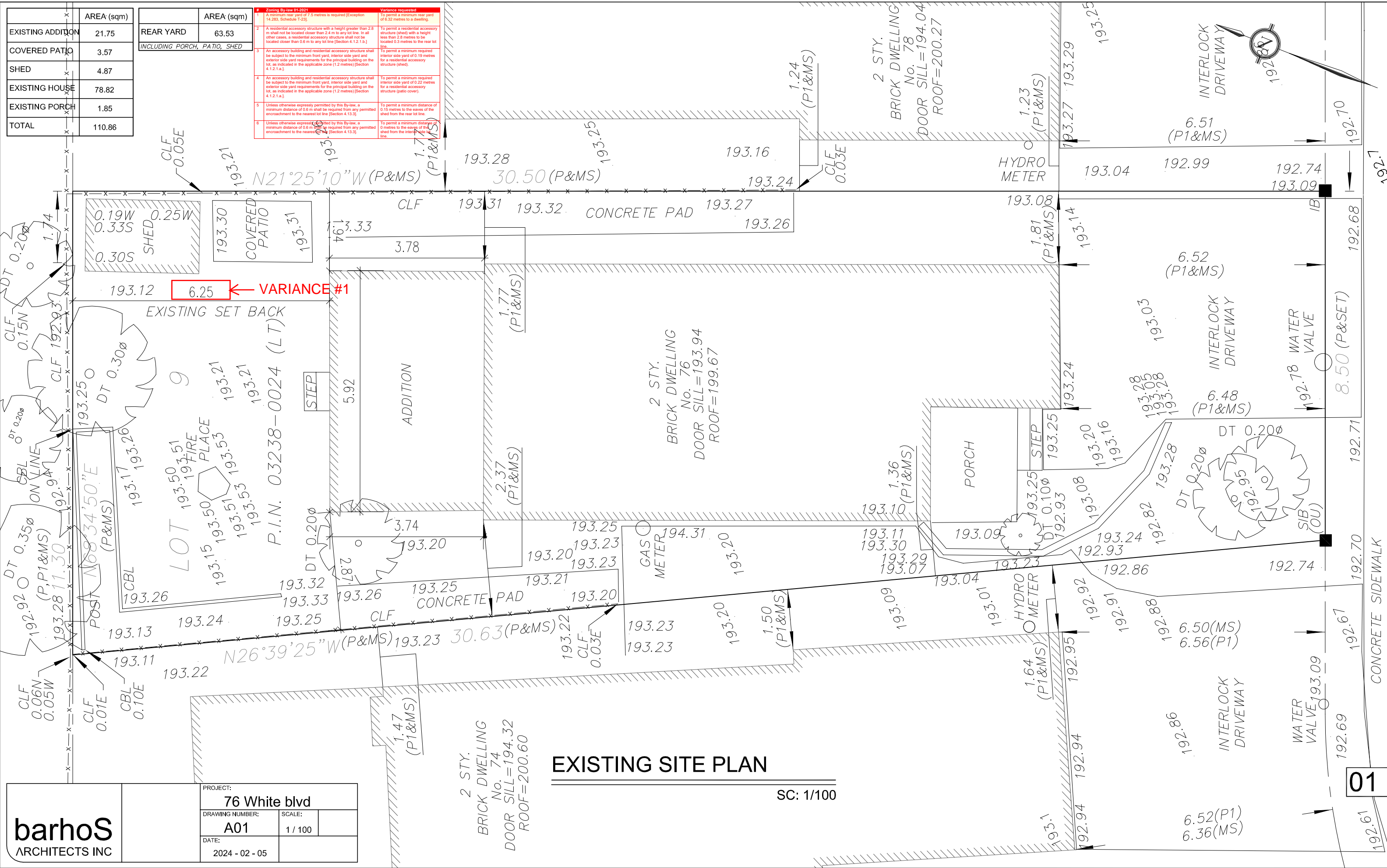
76 White Boulevard, Thornhill



RECEIVED
By RECEIVED at 8:45 am, Apr 10, 2024

PROJECT ADDRESS: 76 White Blvd, Thornhill, Ontario
ARCHITECT : BARHOS ARCHITECTS INC, SOHRAB EBRAHIM , CONTACT: 416 700 9080
DATE: 05 / 02 / 2024

PROPOSED ALTERATIONS TO 76 WHITE BLVD	
DESCRIPTION	EXISTING: THE REAR ADDITION OF THE HOUSE HAS SUNKED IN THE GROUND MAKING THE SPACE UNSAFE FOR THE OCCUPANTS. PROPOSAL: DEMOLISH THE EXISTING ADDITION AND REBUILD A NEW ONE IN SAME SIZE. REMOVE THE INTERIOR NORTH DINING AREA WALL TO HAVE OPEN LAYOUT. ADD BACKYARD PORCH. REMOVING THE EXISTING COVERED PATIO.
OCCUPANCY	SINGLE FAMILY UNIT
AREA OF WORK	22 sqm



	AREA (sqm)
EXISTING ADDITION	21.75
COVERED PATIO	3.57
SHED	4.87
EXISTING HOUSE	78.82
EXISTING PORCH	1.85
TOTAL	110.86

	AREA (sqm)
REAR YARD	63.53
INCLUDING PORCH, PATIO, SHED	

	Variance requested
1	A minimum rear yard of 7.5 metres is required [Exception 14.283, Schedule T-23]. To permit a minimum rear yard of 6.32 metres to a dwelling.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line [Section 4.1.2.1.b]. To permit a residential accessory structure (shed) with a height less than 2.8 metres to be located 0.3 metres to the rear lot line.
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4	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres) [Section 4.1.2.1.a]. To permit a minimum required interior side yard of 0.22 metres for a residential accessory structure (patio cover).
5	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.1.3.3]. To permit a minimum distance of 0.15 metres to the eaves of the shed from the rear lot line.
6	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.1.3.3]. To permit a minimum distance of 0 metres to the eaves of the shed from the interior side lot line.

barhoS
ARCHITECTS INC

PROJECT:

76 White blvd

DRAWING NUMBER:

A01

DATE:

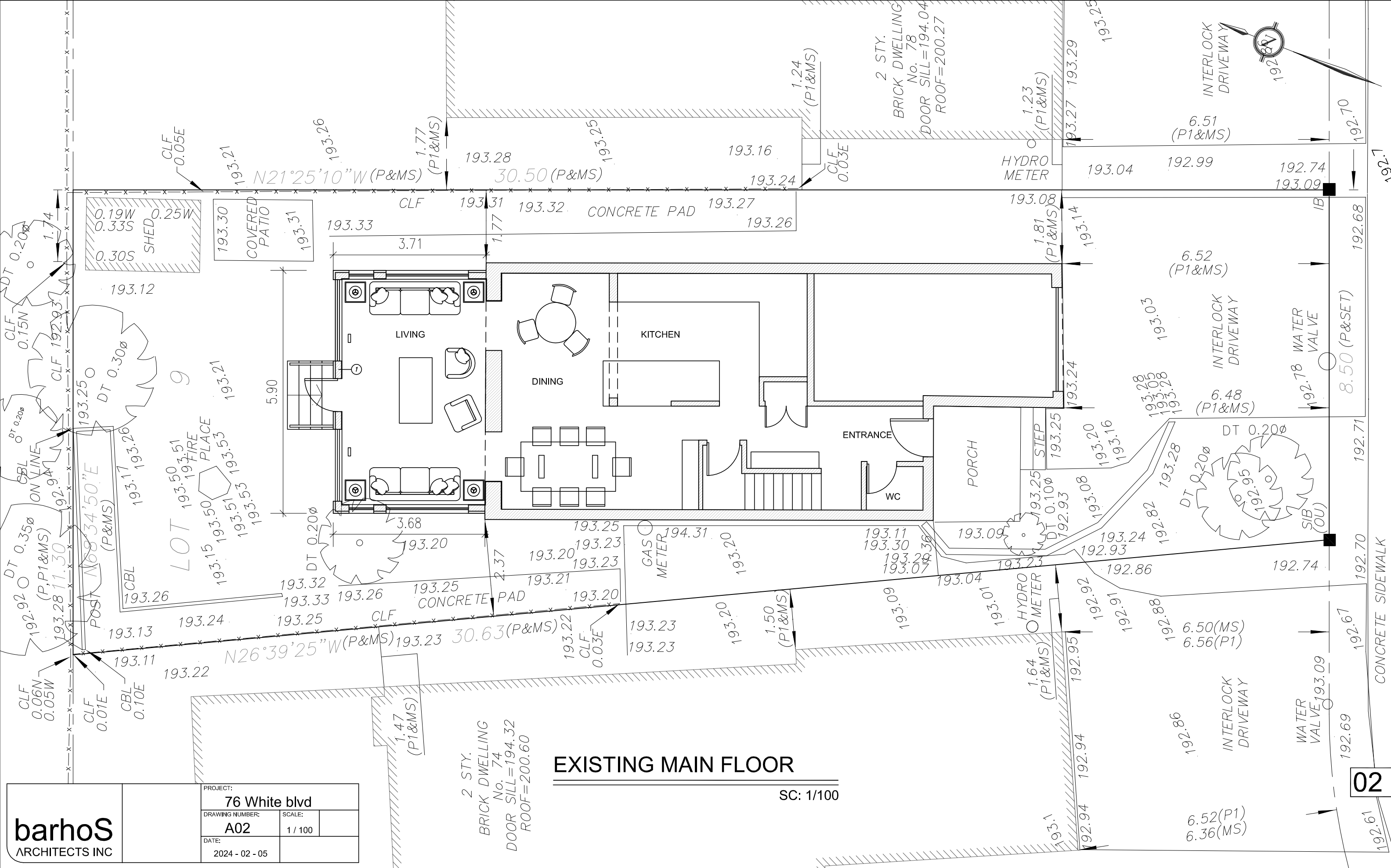
2024 - 02 - 05

SCALE:

1 / 100

EXISTING SITE PLAN

SC: 1/100



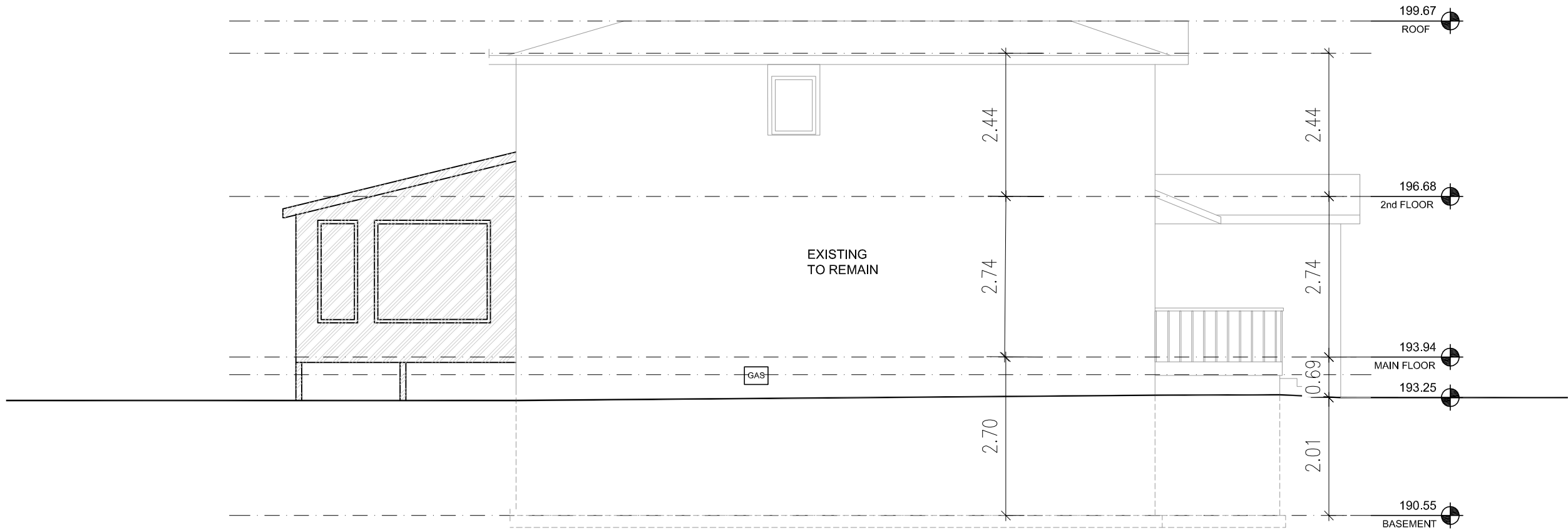
barhoS
ARCHITECTS INC

PROJECT: 76 White blvd		
DRAWING NUMBER: A02	SCALE: 1 / 100	
DATE: 2024 - 02 - 05		

2 STY.
BRICK DWELLING
No. 74
DOOR SILL=194.32
ROOF=200.60

EXISTING MAIN FLOOR

SC: 1/100



EXTG WEST ELEVATION

SC: 1/100

barhoS

ARCHITECTS INC

ONTARIO ASSOCIATION
of
ARCHITECTS

SOHRAB EBRAHIM
LICENCE
8819

DESIGNED BY:

PROJECT:
76 White blvd

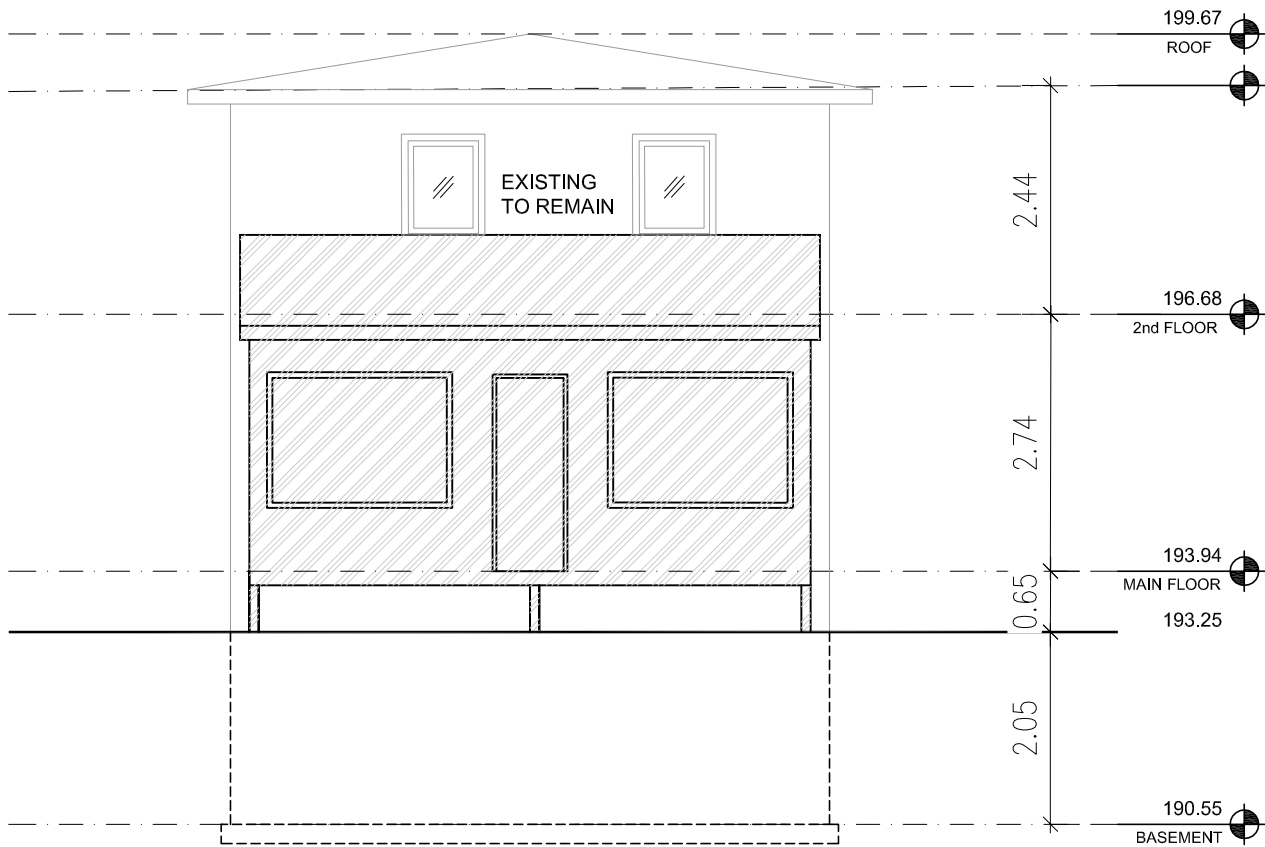
DRAWING NUMBER:
A03

DATE:
2024 - 02 - 05

SCALE:
1 / 100

REV:
01

DEMO. AREAS:



EXTG NORTH ELEVATION

SC: 1/100

barhoS

ARCHITECTS INC

ONTARIO ASSOCIATION
of
ARCHITECTS

SOHRAB EBRAHIM
LICENCE
8819

DESIGNED BY:

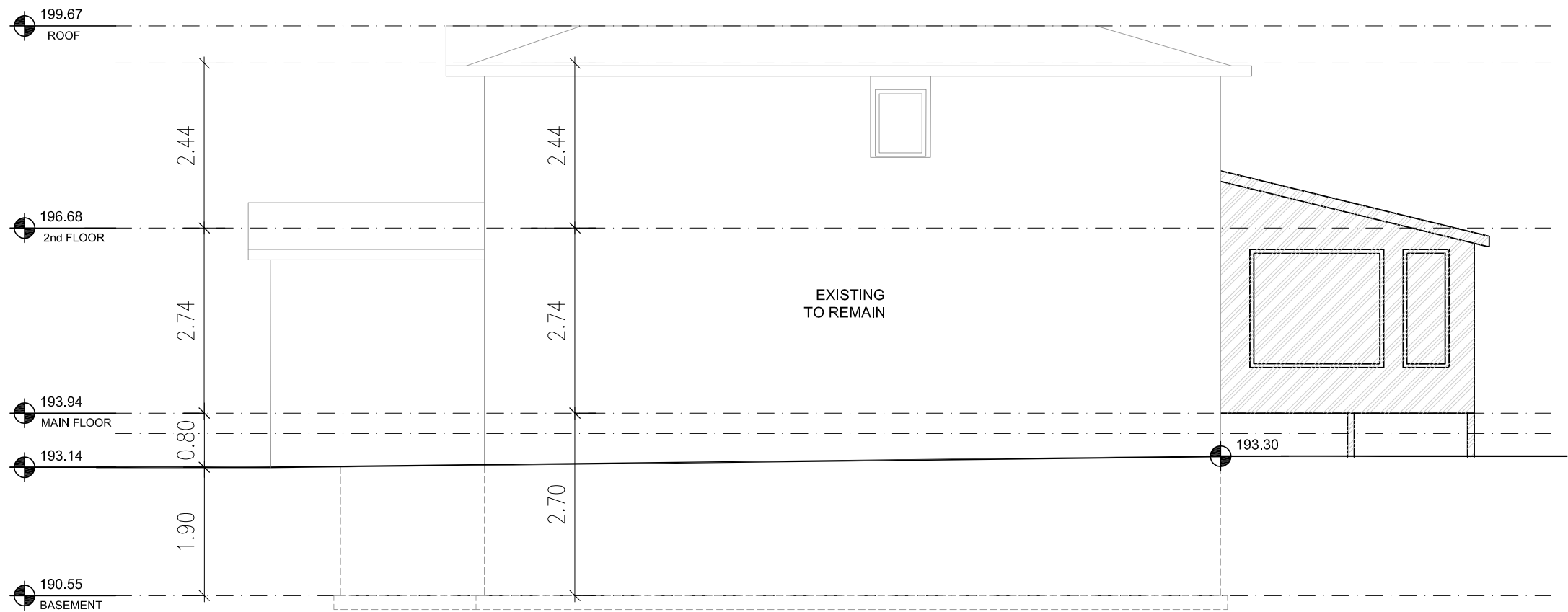
PROJECT:
76 White blvd

DRAWING NUMBER:
A04

SCALE:
1 / 100

DATE:
2024 - 02 - 05

DEMO. AREAS:



EXTG EAST ELEVATION

SC: 1/100

	PROJECT: 76 White blvd		
	DRAWING NUMBER:	SCALE:	
	A05	1 / 100	
	DATE:	2024 - 02 - 05	



DEMO. AREAS:

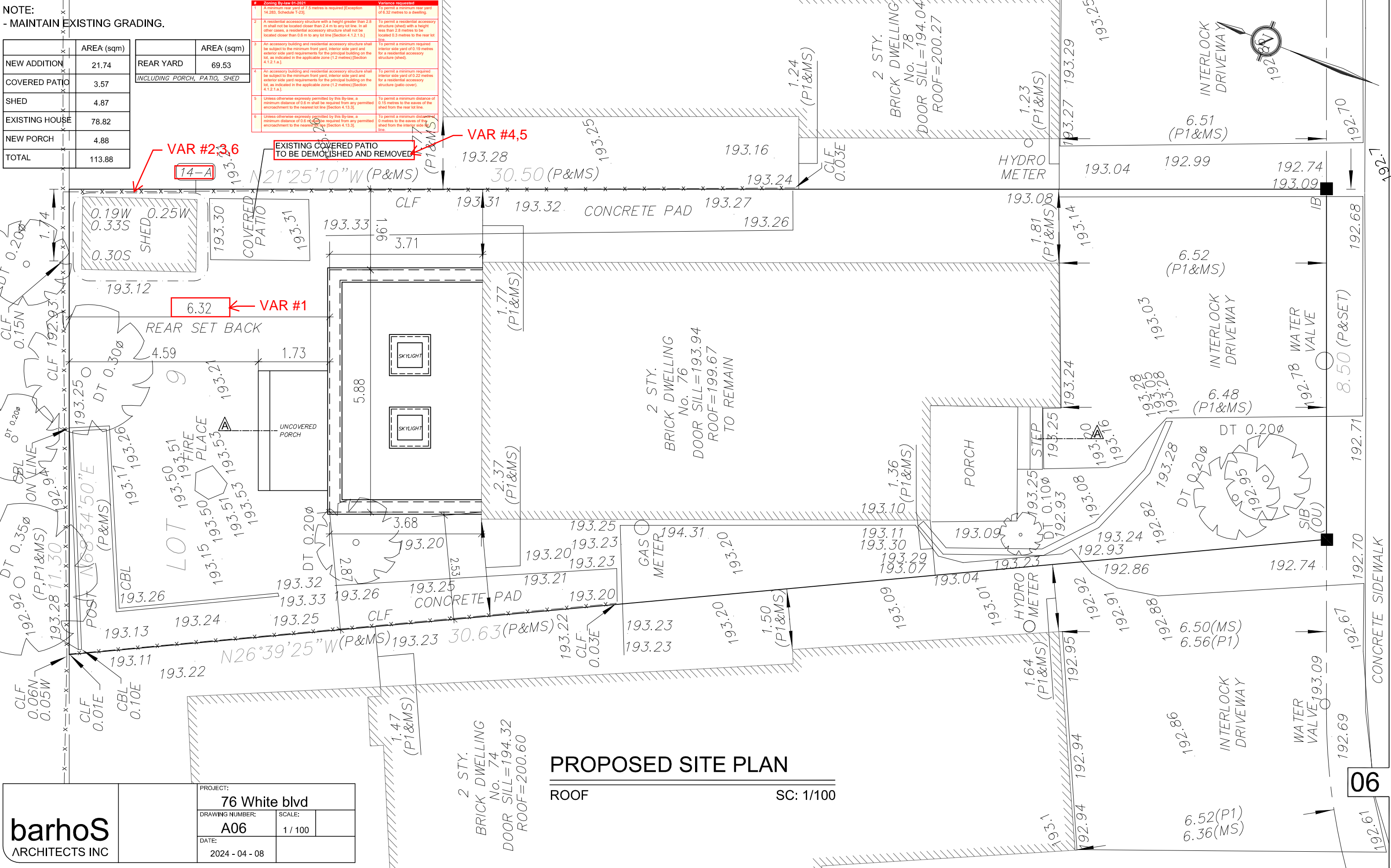
05

NOTE:
- MAINTAIN EXISTING GRADING.

	AREA (sqm)
NEW ADDITION	21.74
COVERED PATIO	3.57
SHED	4.87
EXISTING HOUSE	78.82
NEW PORCH	4.88
TOTAL	113.88

	AREA (sqm)
REAR YARD	69.53
INCLUDING PORCH, PATIO, SHED	

	Zoning Bylaw 01-2021	Variance requested
1	A minimum rear yard of 7.5 metres is required [Exception 14.203, Schedule 1-20].	To permit a minimum rear yard of 6.32 metres to a dwelling.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line [Section 4.1.2.1.b].	To permit a residential accessory structure (shed) with a height less than 2.8 metres to be located 0.3 metres to the rear lot line.
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4	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres) [Section 4.1.2.1.a].	To permit a minimum required interior side yard of 0.22 metres for a residential accessory structure (patio cover).
5	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3].	To permit a minimum distance of 0.15 metres to the eaves of the shed from the rear lot line.
6	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3].	To permit a minimum distance of 0 metres to the eaves of the shed from the interior side line.



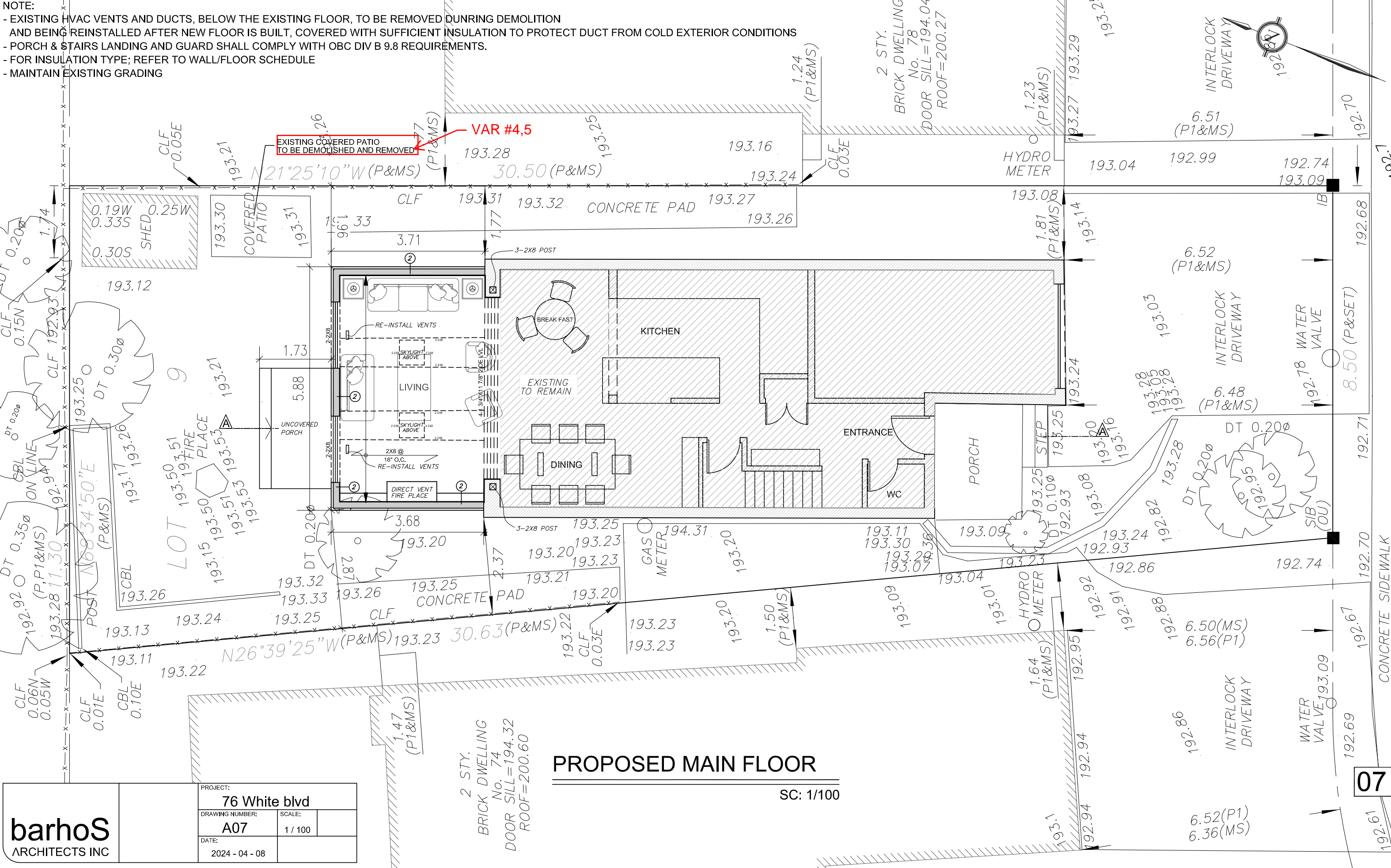
barhoS ARCHITECTS INC	PROJECT:		
	76 White blvd		
	DRAWING NUMBER:	SCALE:	
	A06	1 / 100	
DATE:			
2024 - 04 - 08			

PROPOSED SITE PLAN

ROOF

SC: 1/100

- NOTE:
- EXISTING HVAC VENTS AND DUCTS, BELOW THE EXISTING FLOOR, TO BE REMOVED DUNRING DEMOLITION AND BEING REINSTALLED AFTER NEW FLOOR IS BUILT, COVERED WITH SUFFICIENT INSULATION TO PROTECT DUCT FROM COLD EXTERIOR CONDITIONS
 - PORCH & STAIRS LANDING AND GUARD SHALL COMPLY WITH OBC DIV B 9.8 REQUIREMENTS.
 - FOR INSULATION TYPE; REFER TO WALL/FLOOR SCHEDULE
 - MAINTAIN EXISTING GRADING



barhoS
ARCHITECTS INC

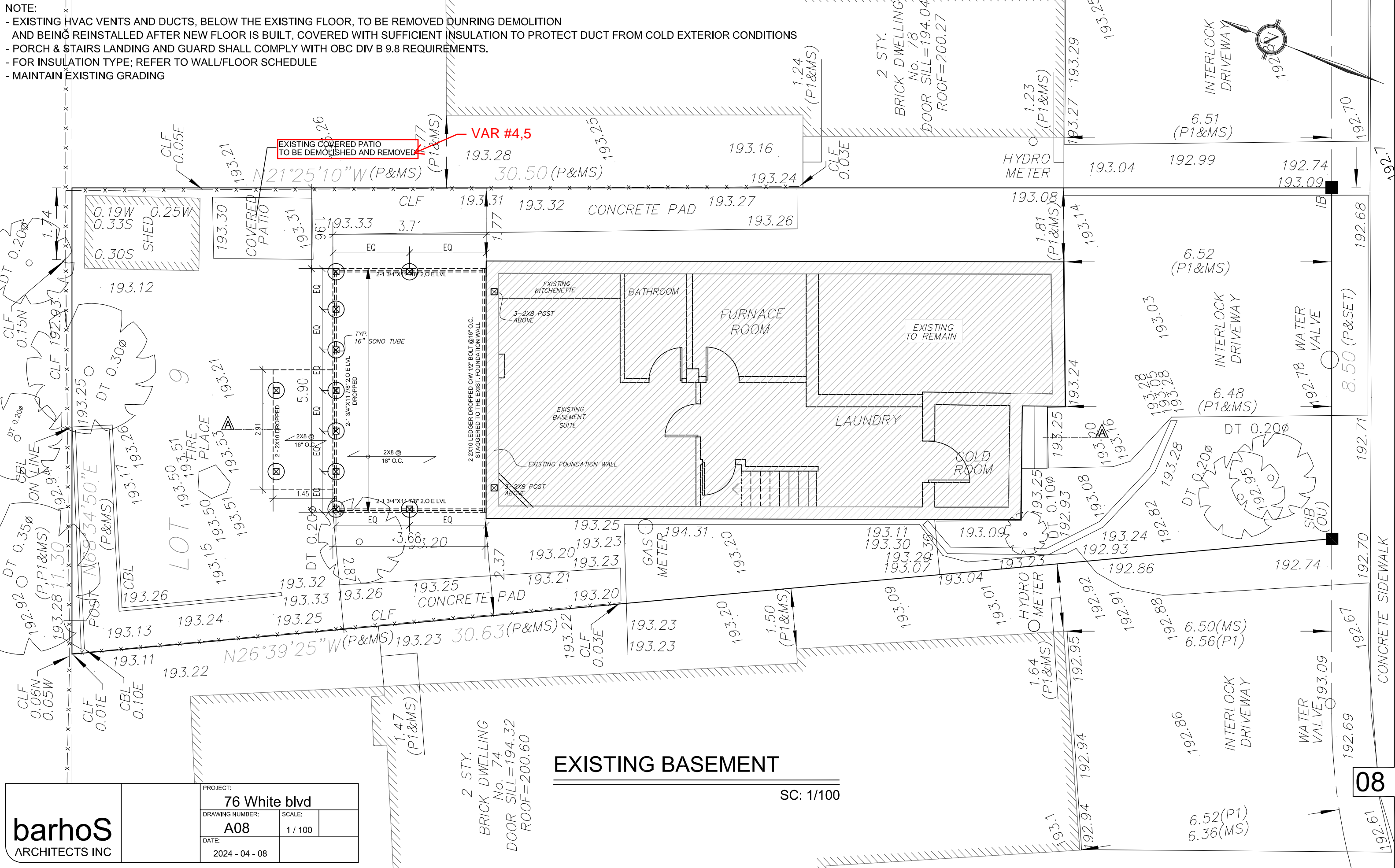
PROJECT: 76 White blvd		
DRAWING NUMBER: A07	SCALE: 1 / 100	
DATE: 2024 - 04 - 08		

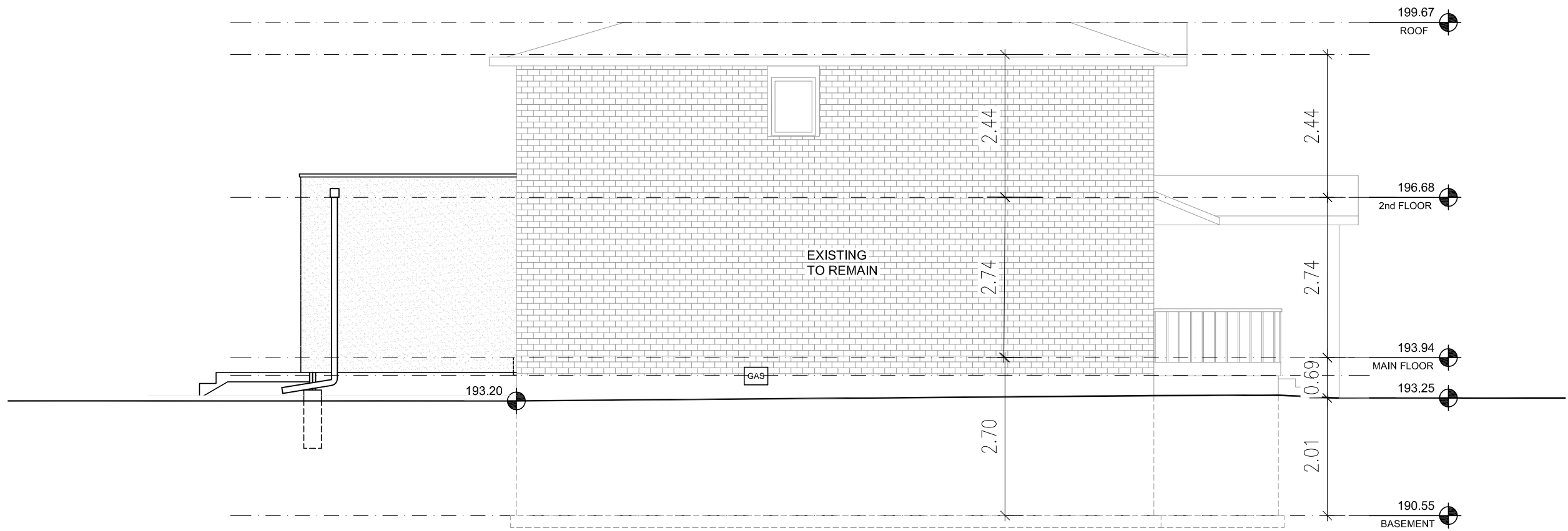
2 STY.
BRICK DWELLING
No. 74
DOOR SILL=194.32
ROOF=200.60

PROPOSED MAIN FLOOR

SC: 1/100

- EXISTING HVAC VENTS AND DUCTS, BELOW THE EXISTING FLOOR, TO BE REMOVED DURING DEMOLITION AND BEING REINSTALLED AFTER NEW FLOOR IS BUILT, COVERED WITH SUFFICIENT INSULATION TO PROTECT DUCT FROM COLD EXTERIOR CONDITIONS
- PORCH & STAIRS LANDING AND GUARD SHALL COMPLY WITH OBC DIV B 9.8 REQUIREMENTS.
- FOR INSULATION TYPE; REFER TO WALL/FLOOR SCHEDULE
- MAINTAIN EXISTING GRADING





EXISTING BRICK



NON COMBUSTIBLE STUCCO

WEST ELEVATION

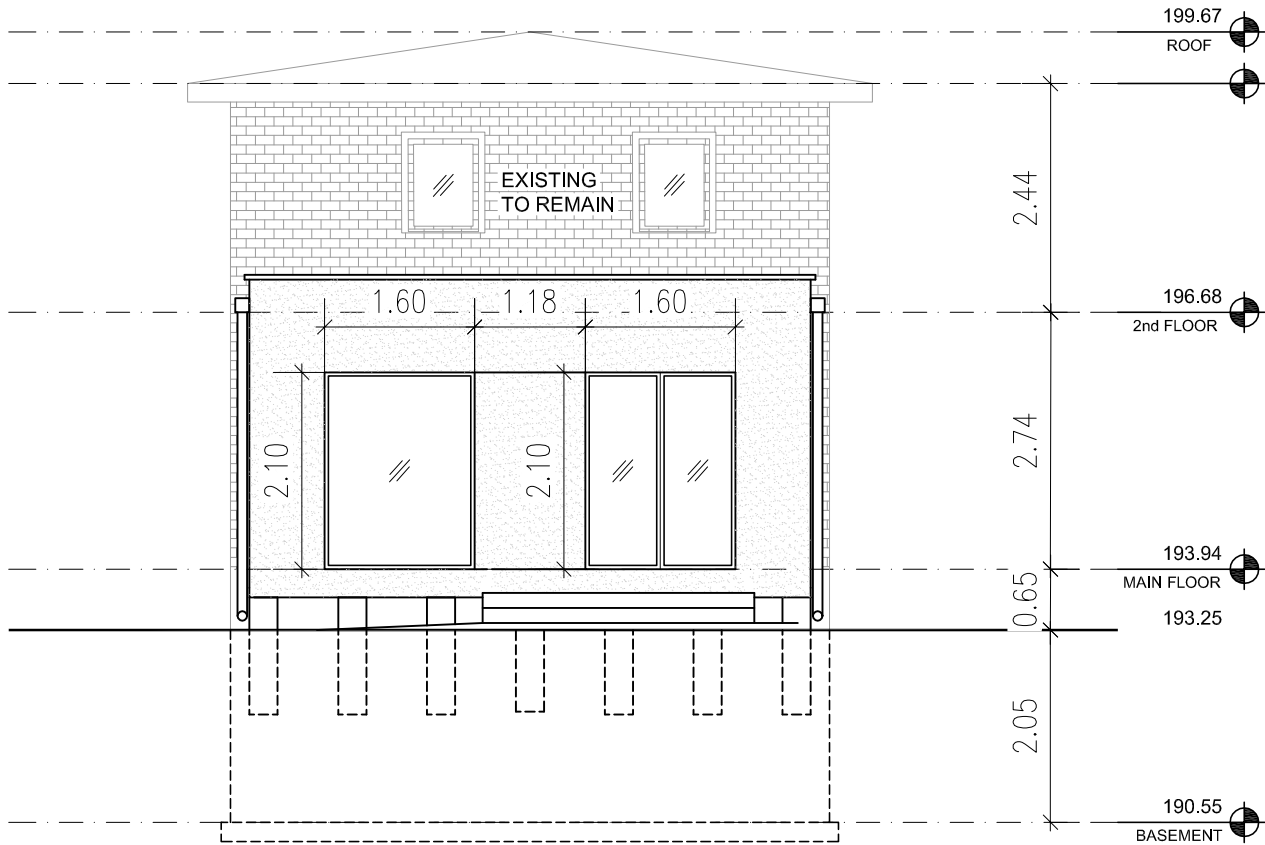
NEW ADDITION

SC: 1/100

barhoS
ARCHITECTS INC



PROJECT: 76 White blvd		
DRAWING NUMBER: A09	SCALE: 1 / 100	
DATE: 2024 - 02 - 05		



EXISTING BRICK



NON COMBUSTIBLE STUCCO

NORTH ELEVATION

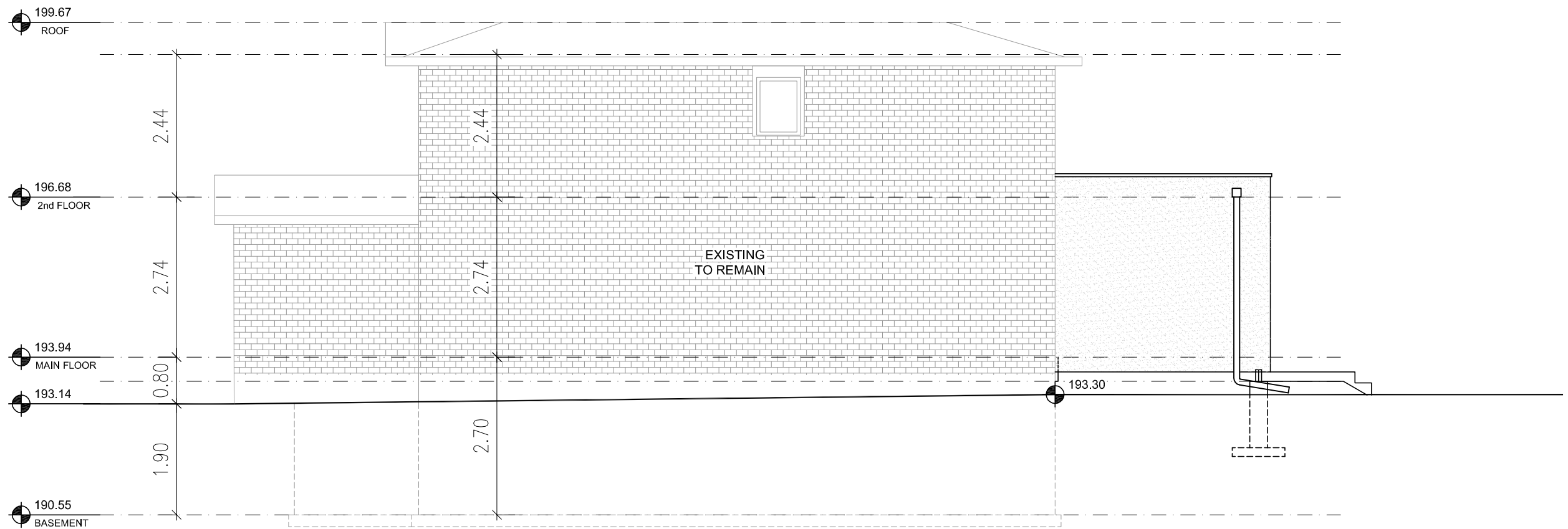
NEW ADDITION

SC: 1/100

barhoS
ARCHITECTS INC



PROJECT: 76 White blvd		
DRAWING NUMBER: A10	SCALE: 1 / 100	
DATE: 2024 - 02 - 05		



EXISTING BRICK



NON COMBUSTIBLE STUCCO

EAST ELEVATION

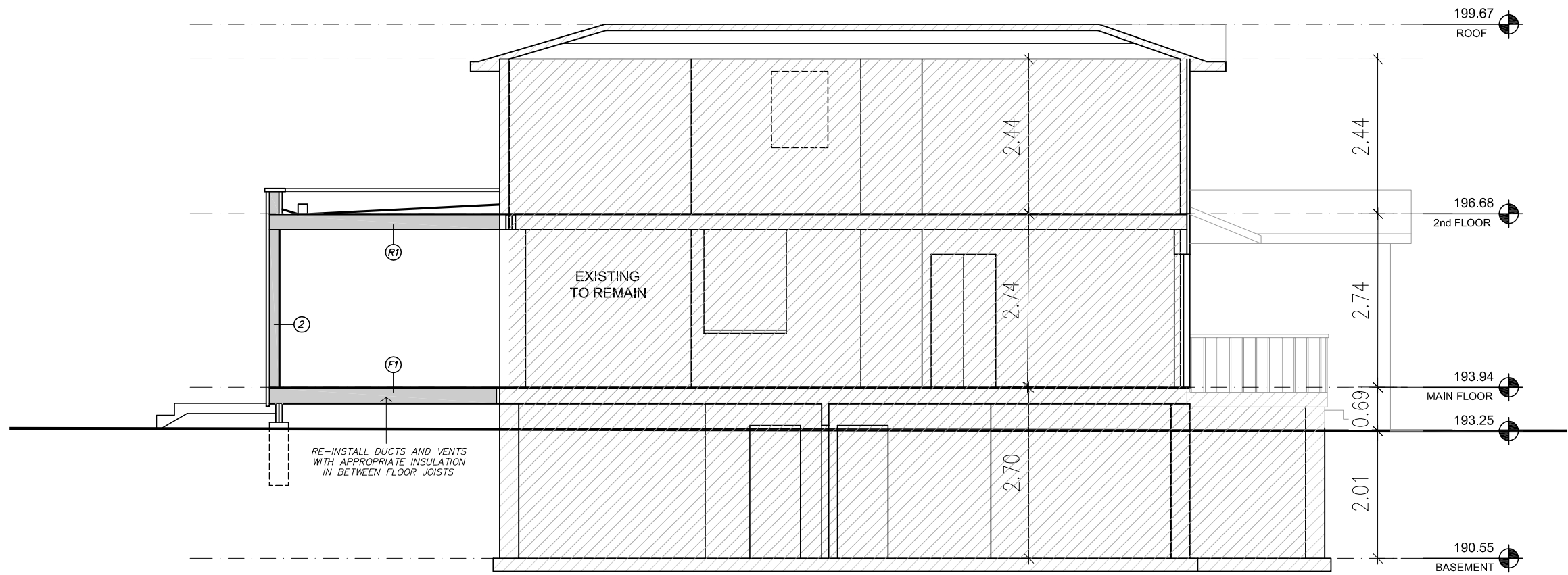
NEW ADDITION

SC: 1/100

barhoS
ARCHITECTS INC



PROJECT: 76 White blvd		
DRAWING NUMBER: A11	SCALE: 1 / 100	
DATE: 2024 - 02 - 05		



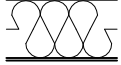
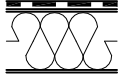


SECTION A-A

SC: 1/100

	PROJECT: 76 White blvd		
	DRAWING NUMBER:	SCALE:	
	A12	1 / 100	
	DATE:	2024 - 02 - 05	



WALL TYPE-1	(EXT)  (INT)	1/2" GWB, 2x6 WOOD STUDS VINYL SIDING (NO INSULATION)
WALL TYPE-2	(EXT)  (INT)	1/2" GWB, 2x6 WOOD STUDS R22 BATT INSULATION 5/8" PLYWOOD 2" STYROFOAM WITH STUCCO
F-1 FLOOR		5/8" PLYWOOD STRUCTURAL LUMBER (REFER TO DWGS) R22 ROCK-WOOL INSULATION OR SPREY FOAM 1/2" PLYWOOD - OR - SIMILAR
R-1 ROOF		WATERPROOFING 5/8" PLYWOOD STRUCTURAL LUMBER (REFER TO DWGS) R22 ROCK-WOOL INSULATION OR SPREY FOAM 1/2" DRYWALL

BUILDING ASSEMBLIES

FOR EXTERIOR FINISHES REFER TO EXTERIOR ELEVATION SHEETS

	EXISTING	PROPOSED
NORTH (BACKYARD)	6.25	6.32
EAST	1.77	1.77
WEST	2.37	2.37
SOUTH (FRONTYARD)	6.52	6.52

SETBACK CHART

	EXISTING	PROPOSED
NORTH (BACKYARD)	5.92	5.90
EAST	3.78	3.71
WEST	3.74	3.68
SOUTH (FRONTYARD)	---	---

SIZE OF STRUCTURE

ASSEMBLIES / DETAILS

SC: 1/100

barhoS

ARCHITECTS INC

ONTARIO ASSOCIATION
of
ARCHITECTS

SOHRAB EBRAHIM

LICENCE
8819

DESIGNED BY:

PROJECT:

76 White blvd

DRAWING NUMBER:

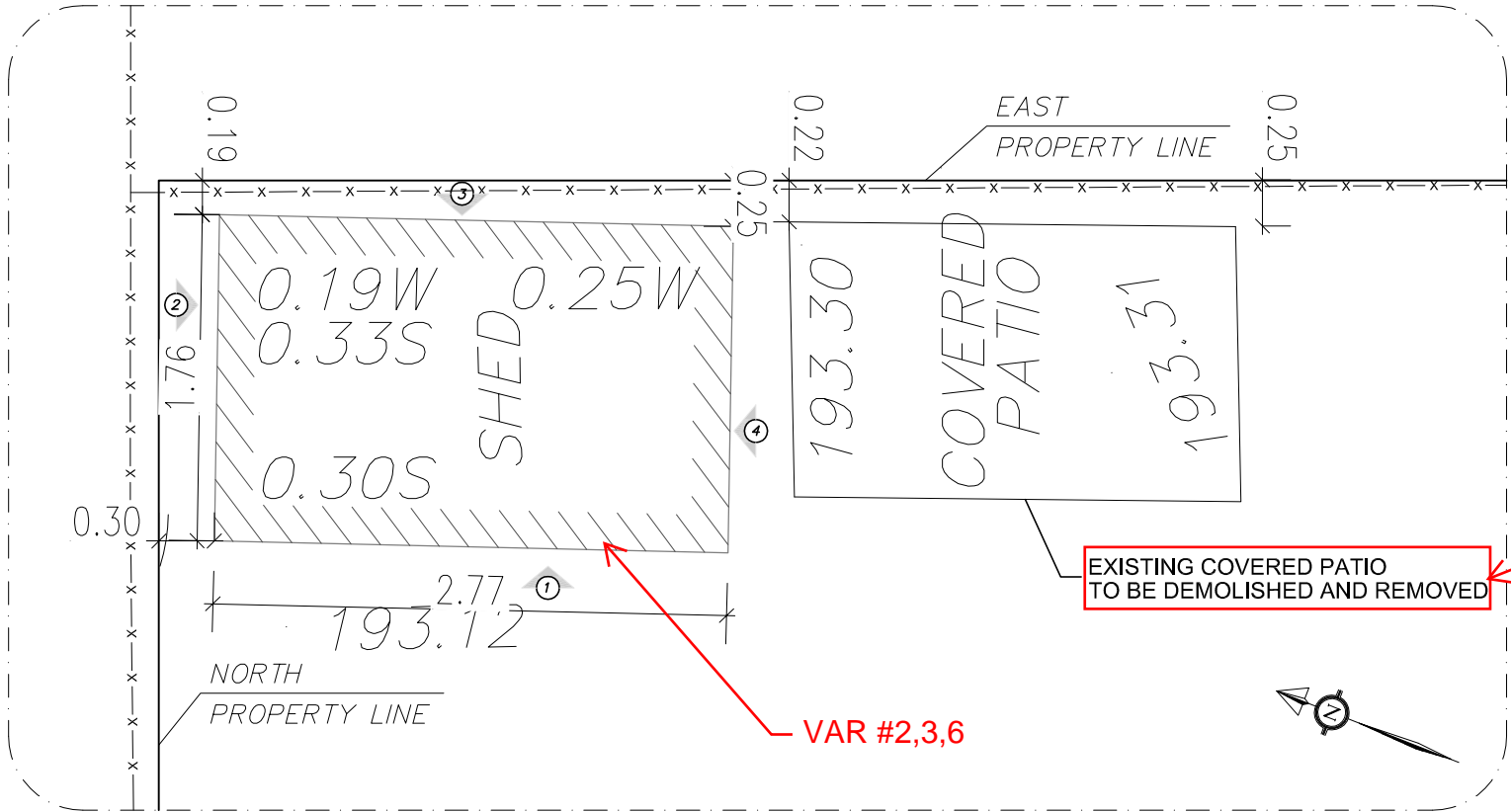
A13

SCALE:

1 / 100

DATE:

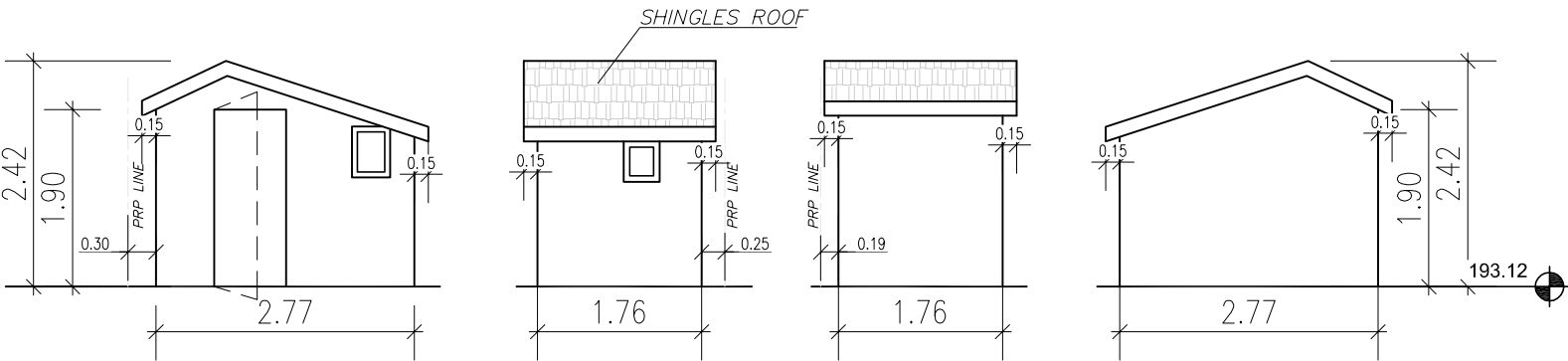
2024 - 02 - 05



#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard of 7.5 metres is required [Exception 14.263, Schedule 1-29]	To permit a minimum rear yard of 6.32 metres to a dwelling.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line [Section 4.1.2.1.a.]	To permit a residential accessory structure (shed) with a height less than 2.8 metres to be located 0.3 metres to the rear lot line.
3	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres) [Section 4.1.2.1.a.]	To permit a minimum required interior side yard of 0.19 metres for a residential accessory structure (shed).
4	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres) [Section 4.1.2.1.a.]	To permit a minimum required interior side yard of 0.22 metres for a residential accessory structure (patio cover).
5	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3]	To permit a minimum distance of 0.15 metres to the eaves of the shed from the rear lot line.
6	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3]	To permit a minimum distance of 0 metres to the eaves of the shed from the interior side lot line.

A ENLARGED PLAN

SC: 1/50



ELEVATION;1

ELEVATION;2

ELEVATION;3

ELEVATION;4

EXISTING SHED

SC: 1/100

EXISTING STRUCTURES

SC: 1/100

barhoS
ARCHITECTS INC



PROJECT: 76 White blvd		
DRAWING NUMBER: A14	SCALE: 1 / 100	
DATE: 2024 - 04 - 08		

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: March 21st 2024

Attention: Christine Vigneault

RE:

File No.: A025-24

Related Files:

Applicant Barhos Architects Inc.

Location 76 White Blvd

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

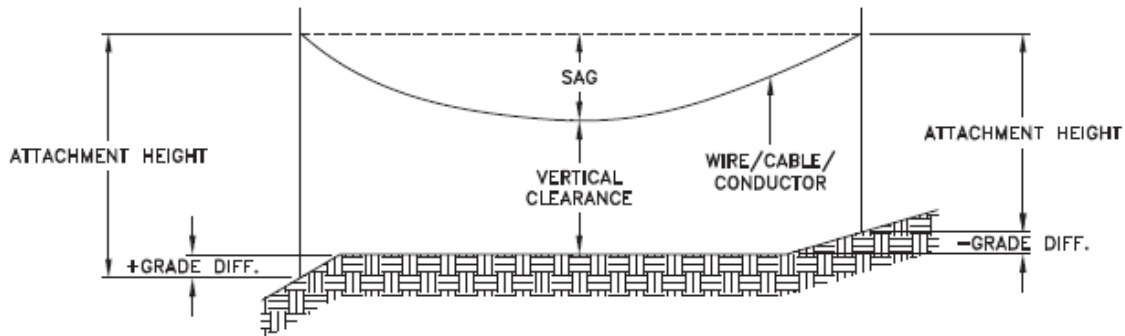
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alecrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

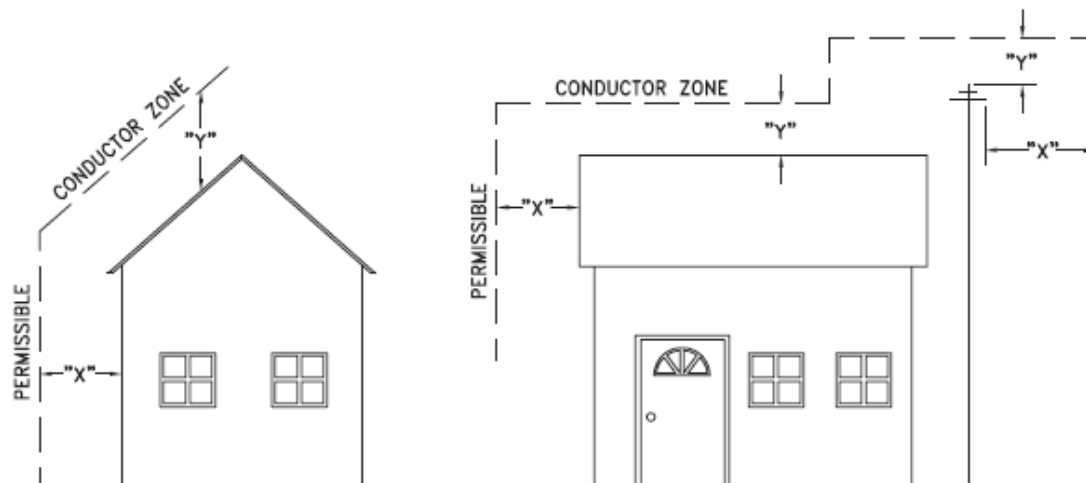
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Lindsay Haviland, Building Standards Department

Date: April 10, 2024

Applicant: BARHOS ARCHITECTS INC

Location: 76 White Boulevard
PLAN 65M2218 Lot 9

File No.(s): A025/24

Zoning Classification:

The subject lands are zoned R4(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.283 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard of 7.5 metres is required [Exception 14.283, Schedule T-23].	To permit a minimum rear yard of 6.32 metres to a dwelling.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line [Section 4.1.2.1.b.]	To permit a residential accessory structure (shed) with a height less than 2.8 metres to be located 0.3 metres to the rear lot line.
3	An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres) [Section 4.1.2.1.a.].	To permit a minimum required interior side yard of 0.19 metres for a residential accessory structure (shed).
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3].	To permit a minimum distance of 0.15 metres to the eaves of the shed from the rear lot line.
5	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line [Section 4.13.3].	To permit a minimum distance of 0 metres to the eaves of the shed from the interior side lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 7, 2024

Name of Owners: Hossin Zare Tajabadi and Mersedeh Ghanbar Abbasi

Location: 76 White Boulevard

File No.(s): A025/24

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard of 6.32 m to a dwelling.
2. To permit a residential accessory structure (shed) with a height less than 2.8 m to be located 0.3 m to the rear lot line.
3. To permit a minimum required interior side yard of 0.19 m for a residential accessory structure (shed).
4. To permit a minimum distance of 0.15 m to the eaves of the shed from the rear lot line.
5. To permit a minimum distance of 0 m to the eaves of the shed from the interior side lot line.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard of 7.5 metres is required.
2. A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4 m to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 m to any lot line.
3. An accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres).
4. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
5. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a proposed one-storey addition and to permit an existing shed, with the above noted variances.

Development Planning Department Staff has no objection to Variance 1 as it relates to the proposed one-storey addition to the rear of the single-detached dwelling. The existing addition on the property is proposed to be demolished and replaced with a new addition that is very similar in footprint. The subject property also abuts an open field to the rear. The proposed reduction of 1.8 m to the rear yard setback is not anticipated to pose adverse impacts to neighbouring properties. An Arborist Report prepared by Christina Pilz, dated April 19, 2024, was submitted in support of the application. The report inventoried a total of eight (8) trees and identified six (6) trees requiring protection through the installation of hoarding prior to the start of construction. Urban Design Staff has reviewed the Arborist Report and have no objections.

Development Planning Department Staff have no objections to Variances 2, 3, 4, and 5 in relation to the existing shed in the rear yard. There is currently an existing covered patio adjacent to the shed. However, upon consultation with the Owners, they have agreed to demolish the existing covered patio area. Removal of the covered patio reduces the overall massing in the northern corner of the rear yard as the covered patio was close to both the shed and addition. The shed itself is modest in size and complies with the height provisions of the Zoning By-law. The Development Engineering Department has also reviewed the proposal and has no objection.

Accordingly, Development Planning Department Staff can support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner I
David Harding, Senior Planner

April 4, 2024

CFN 70450.09

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A025/24
Plan 65M2218 Lot 9
76 White Boulevard
City of Vaughan, Region of York
Applicant: Barhos Architects Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on March 20, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum rear yard of 6.32 metres to a dwelling, whereas a minimum rear yard of 7.5 metres is required.
- To permit a residential accessory structure (shed) with a height less than 2.8 metres to be located 0.3 metres to the rear lot line, whereas a residential accessory structure with a height greater than 2.7 metres shall not be located closer than 2.8 metres to any lot line. In all other cases, a residential accessory structure shall not be located closer than 0.6 metres to any lot line.
- To permit a minimum required interior side yard of 0.19 metres for a residential accessory structure (shed), whereas an accessory building and residential accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres).
- To permit a minimum required interior side yard of 0.22 metres for a residential accessory structure (patio cover), whereas an accessory building and residential

accessory structure shall be subject to the minimum front yard, interior side yard and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone (1.2 metres).

- To permit a minimum distance of 0.15 metres to the eaves of the shed from the rear lot line, whereas unless otherwise expressly permitted by this by-law, a minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.
- To permit a minimum distance of 0 metres to the eaves of the shed from the interior side lot line, whereas unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.

The noted variances are being requested to facilitate the construction of a one-storey replacement addition and to recognize the existing accessory structures in the rear of an existing dwelling.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area because the entire property is located within the Regional Storm flood plain associated with Fisherville Creek. TRCA must ensure that where a proposal is within an area regulated under Ontario Regulation 41/24, that the proposal conforms with the appropriate policies for the implementation of the regulation (Section of 8 of TRCA's Living City Policies (LCP), which evaluate a proposal's ability to meet the tests of the regulation.

Application-Specific Comments

The subject property at 76 White Boulevard is currently developed with a two-storey single detached dwelling, with a one storey addition at the rear of the dwelling and two accessory structures in the rear of the site. Based on TRCA's engineered flood plain mapping and modelling, the Regional Storm flood plain (i.e. flood hazard) on the subject property reaches an elevation of 192.36 metres above sea level (masl). The depth of flooding during a Regional Storm is approximately 0.36 metres, with an associated velocity of 0.53 m/s.

TRCA policy requires all development to be located outside of the hydraulic floodway. Based on a review of the plans submitted with this application, the proposed replacement addition is located within the footprint of the existing addition and all structures are located outside of the hydraulic floodway. As such, TRCA has no concerns with the proposed variances.

A permit pursuant to Ontario Regulation 41/24 is required for the proposed works. As a part of the permit process, the proponent will need to demonstrate that the works meet TRCA's flood proofing requirements (e.g., all openings into the addition are set above the Regional Storm flood plain plus a 0.3 metre freeboard, confirmation from a structural engineer that the addition can withstand the depths and velocities of the predicted flood waters). Details related to TRCA's permit requirements have already been provided to the proponent through a previous consultation process.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A025/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 41/24.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2347 or at kristen.regier@trca.ca.

Sincerely,

A handwritten signature in black ink, appearing to read 'KRegier', with a stylized, cursive script.

Kristen Regier, MA
Planner

Development Planning and Permits | Development and Engineering Services
kristen.regier@trca.ca, 437-880-2129

Pravina Attwala

Subject: FW: [External] RE: A025/24 (76 WHITE BLVD - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: Wednesday, March 20, 2024 6:47 PM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A025/24 (76 WHITE BLVD - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A025/24 (76 White Blvd.) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			02/23/2024	Application Cover Letter

To: Vaughan Development and planning department/ CoA

Re: 76 White Blvd

Good day;

Early last year we were approached by our client to verify the status and stability of the existing addition at subject address. We noticed the existing addition is sinking and has the front main beam bent showing major concerns about the structure.

We propose replacing the existing addition with a new-same size structure with considering TRCA floodplain concerns and providing improved living qualities including significant improvements to aesthetics and remove the remaining middle wall to achieve a large open concept layout.

We are marked all sonotubes “new” in our drawings but the contractor would verify the existing sonotubes conditions which are near backyard trees in order to use them or replacing them with new sonos if needed.

We believe the proposal is vital for the owners and considering its current condition, it would be beneficial for the community.

We would eagerly cooperate with CoA regarding any possible concerns.

Best Regards

Sohrab Ebrahim

Director, **Barhos Architects Inc**

SCHEDULE D: BACKGROUND

None