

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A007/24
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Report Date: May 10, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A007/24

CITY WARD #:	2
APPLICANT:	Deepak and Leena Chopra
AGENT:	Lasonne Engineering Ltd. (Daniel Falzon)
PROPERTY:	15 Modesto Valley Court, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana, two pavillions (shown as Pavillion A and Pavillion B on the plan submitted with the application) and reduced rear yard soft landscaping requirements.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1(EN), First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.663 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum interior side yard setback of 2.4 metres for the accessory structure (cabana) is required. [4.1.2]	To permit a minimum interior side yard setback of 0.80 metres to the accessory structure (cabana).
2	A minimum rear yard setback of 10 metres from the lands zoned EP, Environmental Protection metres to the accessory structure (cabana), is required. [Exception 14.663]	To permit a minimum rear yard setback of 1.90 metres to the accessory structure (cabana) from the lands zoned EP, Environmental Protection.
3	A maximum height of 3.0 metres from established grade is permitted for the accessory structure (cabana). [4.1.4.1 & Section 3, Definitions, for Height and Established Grade]	To permit a height of 3.14 metres from established grade for an accessory structure (cabana).
4	A minimum interior side yard setback of 2.4 metres to the accessory structure (Pavillion A) is required. [4.1.2]	To permit a minimum interior side yard setback of 0.78 metres to the accessory structure (Pavillion A).
5	A minimum rear yard setback of 10 metres from the lands zoned EP, Environmental Protection to the accessory structure (Pavillion A) is required. [Exception 14.663]	To permit a minimum rear yard setback of 1.2 metres to the accessory structure (Pavillion A) from the lands zoned EP, Environmental Protection.
6	A maximum height of 3.0 metres from established grade is permitted for the accessory structure (Pavillion A). [4.1.4.1 & Section 3, Definitions, for Height and Established Grade]	To permit a height of 3.29 metres from established grade for the accessory structure (Pavillion A).
7	A minimum interior side yard setback of 2.4 metres is required for the accessory structure (Pavillion B). [4.1.2]	To permit a minimum interior side yard setback of 0.52 metres to the accessory structure (Pavillion B).
8	A minimum rear yard setback of 10 metres from the lands zoned EP, Environmental Protection to the accessory structure (Pavillion B), is required. [Exception 14.663]	To permit a minimum rear yard setback of 7.39 metres to the accessory structure (Pavillion B) from the lands zoned EP, Environmental Protection.
9	Any portion of a yard in excess of 135 m ² shall be comprised of 60% soft landscape. [Section 4.19.1.1 and Section 3, Definitions] A minimum	To permit a minimum of 41.05% (118.56 m ²) of the area of the rear yard in excess of 135 m ² to be comprised of soft landscape.

#	Zoning By-law 001-2021	Variance requested
	of 173.26 m2 of spft landscape is required in the rear yard.	

HEARING INFORMATION
DATE OF MEETING: Thursday, May 16, 2024 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 2, 2024
Date Applicant Confirmed Posting of Sign:	April 29, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit a proposed cabana, two pavilions (shown as Pavilion A and Pavilion B on the plan submitted with the application) and reduced rear yard soft landscaping requirements.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Due to the size of the proposed cabana and pavilions A & B on the subject property, which measures a total of 49.88 m², the Owner/Applicant must acquire a Lot Grading Permit from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A007/24, subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

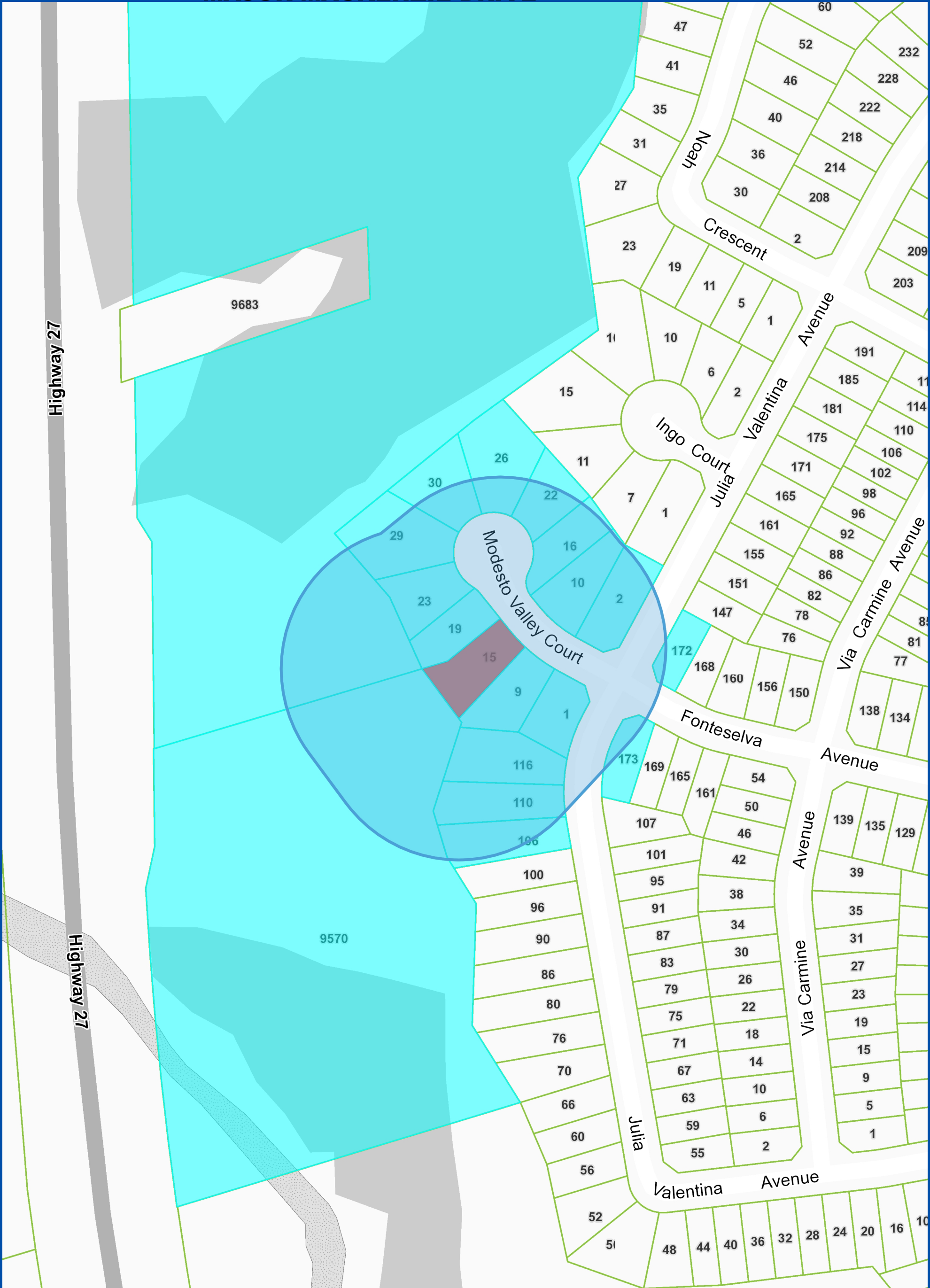
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION

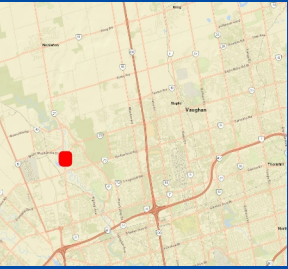
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	TRCA kristen.regier@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.

MAJOR MACKENZIE DRIVE



Map Information:



Title: 15 Modesto Valley Court, Woodbridge

NOTIFICATION BUFFER - A007/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257
0 0.04 km

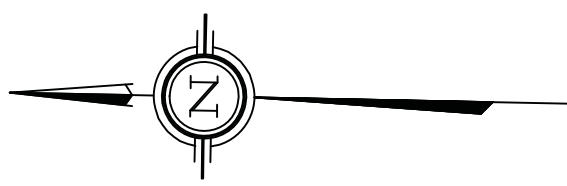


Created By:
Infrastructure Delivery
Department
January 22, 2024 4:37 PM

Projection:
NAD 83
UTM Zone
17N

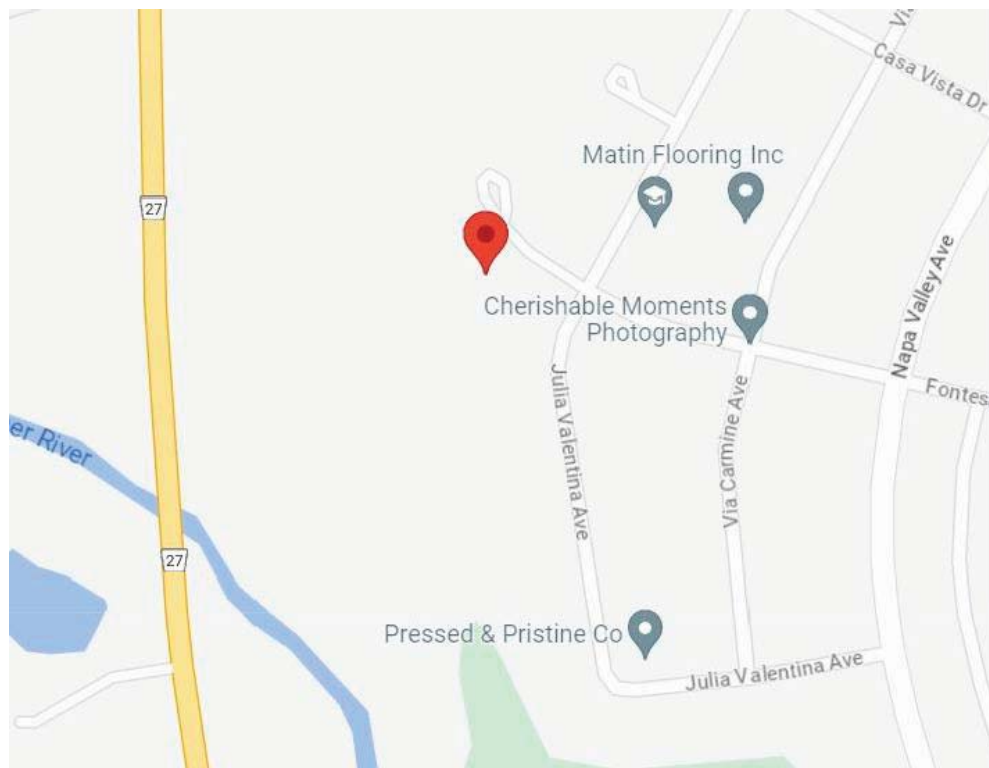
REVIEWED

By Christine Vigneault at 9:56 am, Apr 12, 2024



METRIC

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED



KEYPLAN

SCOPE OF WORK:

REAR YARD LANDSCAPING

LEGEND:

- FFE DENOTES FINISHED FLOOR ELEVATION
GFE DENOTES GARAGE FINISHED ELEVATION
BFE DENOTES BASEMENT FLOOR ELEVATION
UFE DENOTES UNDERSIDE OF FOOTING ELEVATION
TFE DENOTES TOP OF FOUNDATION ELEVATION
HP DENOTES HIGH POINT
123.45 DENOTES EXISTING ELEVATION
123.45 DENOTES SHEET FLOOR DIRECTION
xR DENOTES PROPOSED ELEVATION
xR DENOTES RAINWATER LEADER

NOTE:

1. ALL FOOTING FORMWORK ELEVATIONS AND STEBACKS ARE TO BE CONFIRMED BY A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACEMENT OF ANY CONCRETE.
2. PRIOR TO PROCEEDING WITH ANY SUPERSTRUCTURE WORKS, CONTRACTOR MUST ENSURE THAT THE TOP OF FOUNDATIONS ARE IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE CITY.
3. ALL RAINWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL.
4. EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERMITTER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF-CONTAINED.
5. ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100mm TOPSOIL PLUS SOD.
6. THE APPLICANT SHALL CONTACT THE CITY ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
7. THE APPLICANT SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING AND PUBLIC WORKS DEPARTMENT TO MAKE ARRANGEMENTS FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
8. THE APPLICANT SHALL CONTACT THE CITY'S BUILDING SERVICES DIVISION A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS.
9. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORM TO ALL CITY BY-LAWS.

DOWNSPOUTS ARE TO BE INSTALLED TO
SPLASH TO GRADE, AND WHERE
POSSIBLE, THE DISCHARGE IS TO BE
DIRECTED TOWARDS THE BACK OF THE
PROPERTY

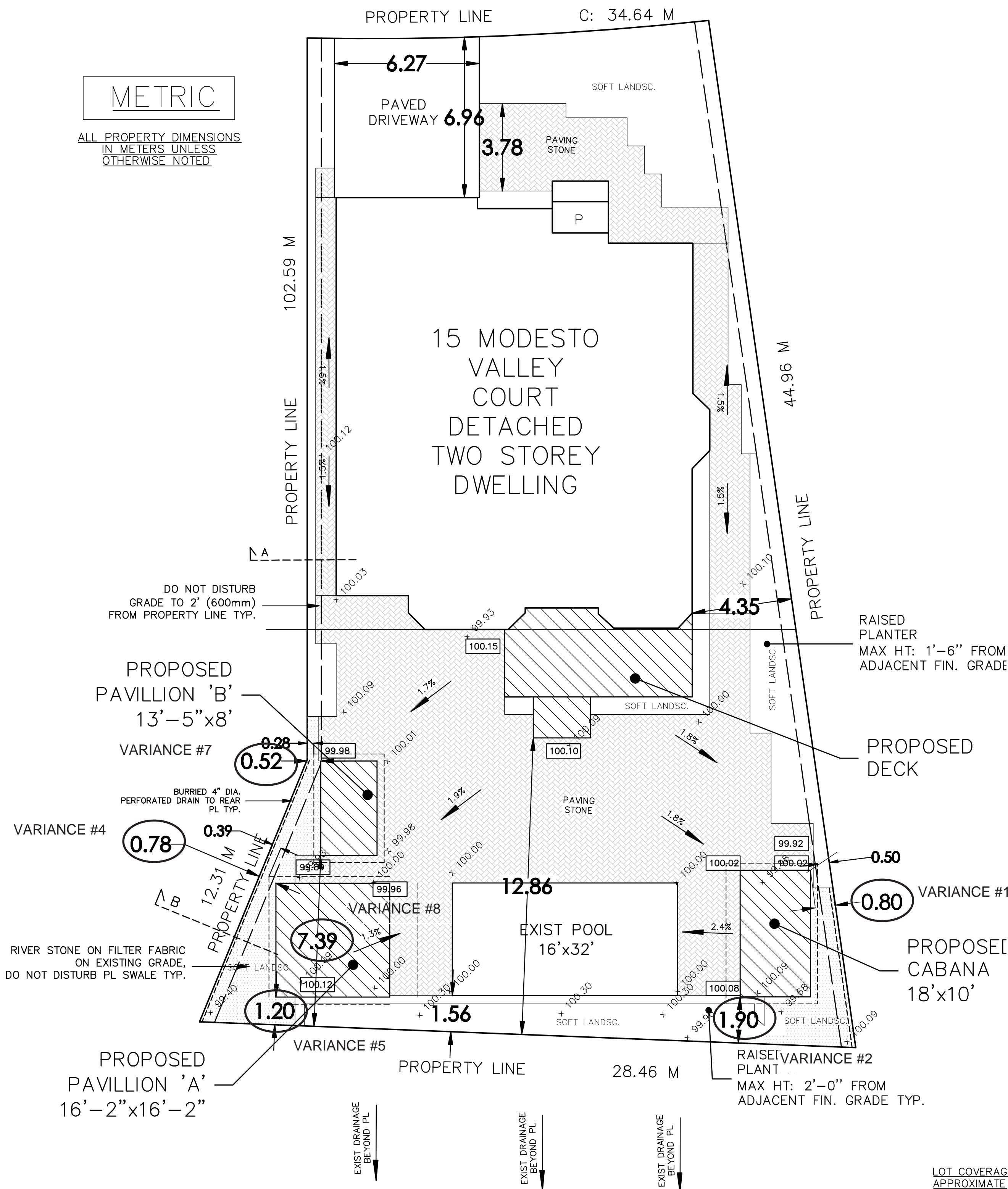
VARIANCE #9

ELEVATIONS ARE ASSUMED

MODESTO VALLEY COURT

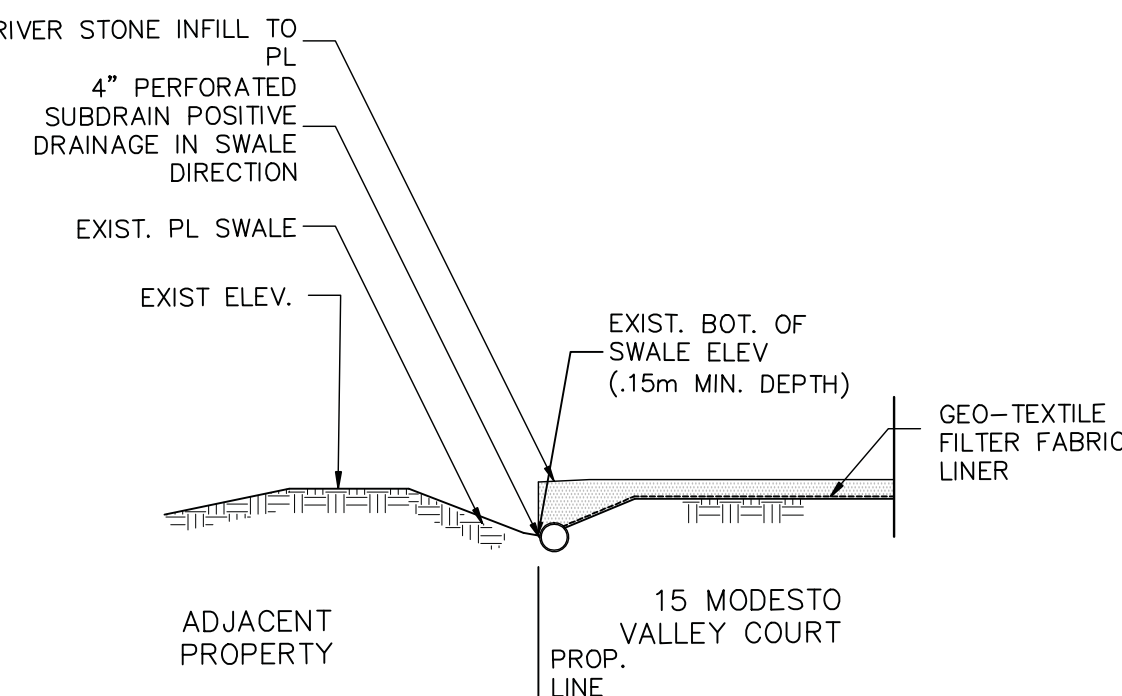
METRIC

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED



SEC. A: SWALE CROSS SECTION

SEC. B: SWALE CROSS SECTION



CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
FIELD. ANY DISCREPANCIES MUST BE REPORTED
BEFORE PROCEEDING WITH THE WORK.

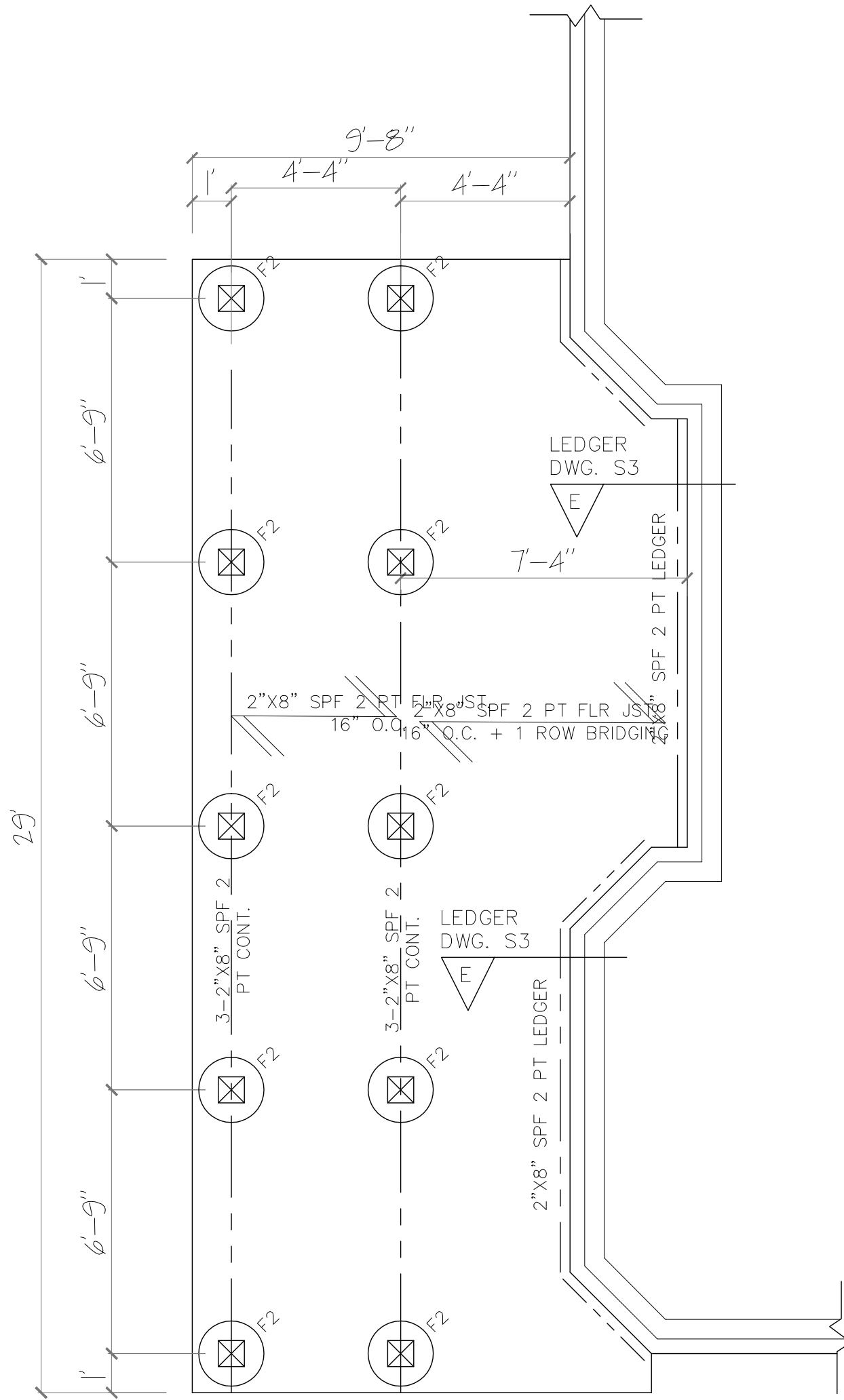
ALL CONSTRUCTION TO ADHERE TO THESE PLANS
AND/OR SPECIFICATIONS AND TO CONFORM TO THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE
CODES AND AUTHORITIES HAVING JURISDICTION. THESE
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS. ONT. REG. 332/12.

LOT COVERAGE STATISTICS
APPROXIMATE

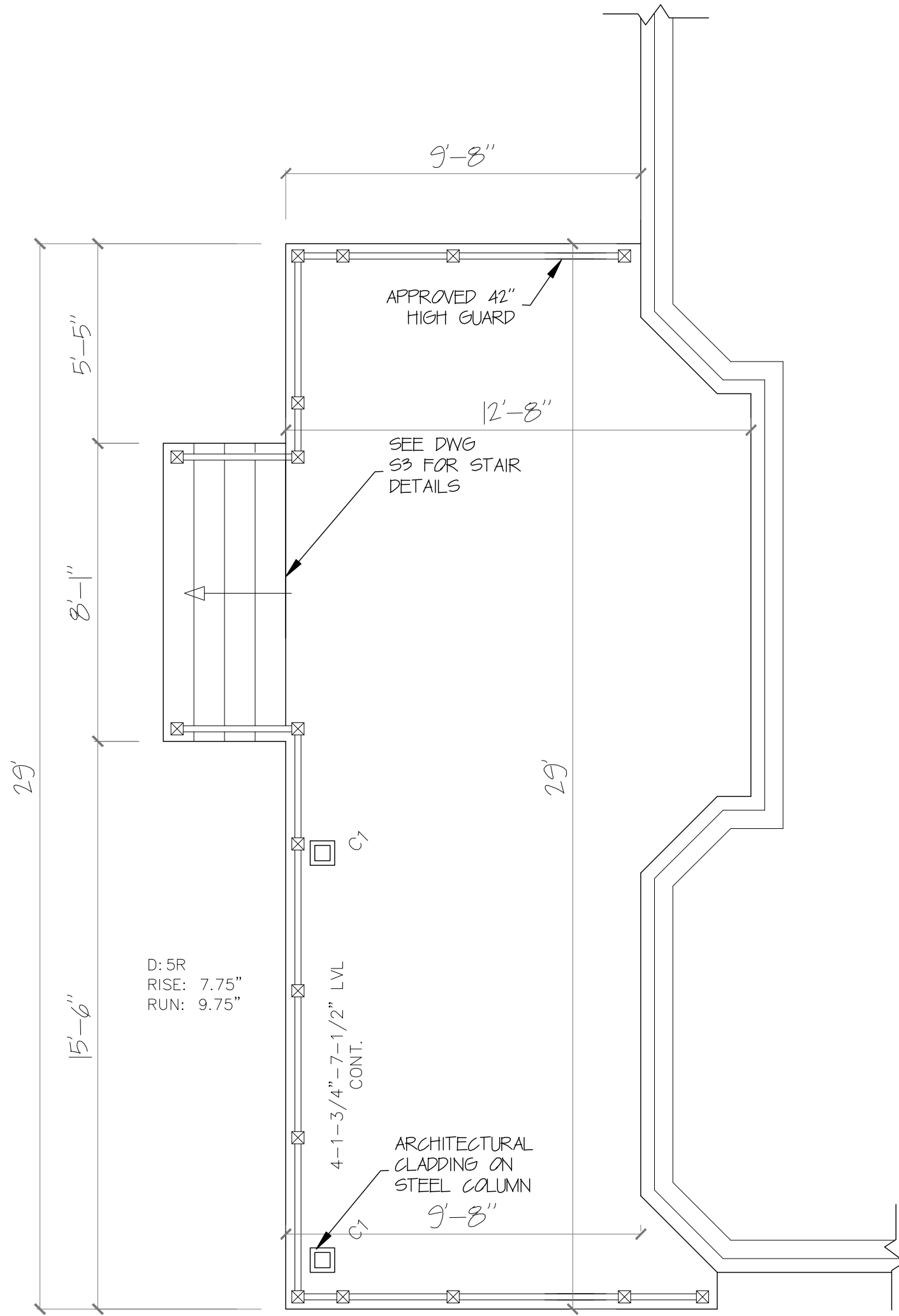
SITE AREA:	921.07 SM
DWELLING	296.62 SM
DRIVEWAY	44.48 SM
FRONT PORCH	5.46 SM
REAR PAVING	201.41 SM
REAR DECK	32.00 SM
CABANA	16.97 SM
PAVILLION 'A'	22.94 SM
PAVILLION 'B'	9.97 SM
SIDE YD. PAVING	41.24 SM
FRONT YD. PAVING	34.33 SM

COVERAGE TOTAL 705.42 SM

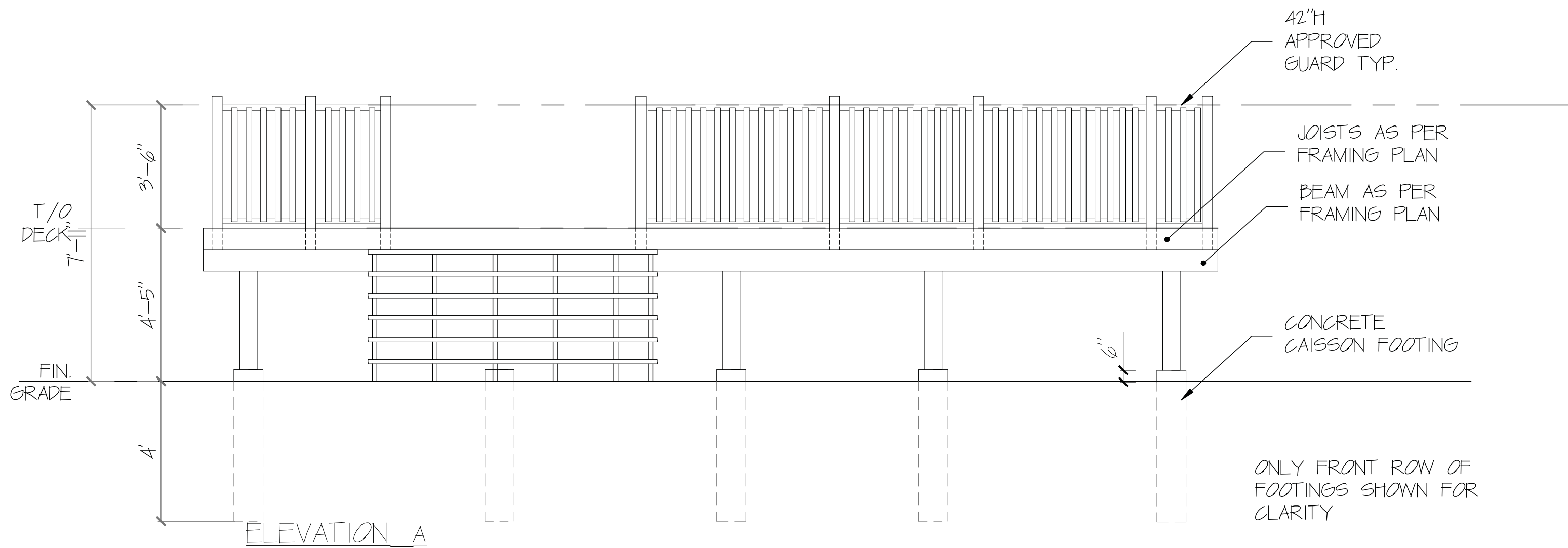
REAR YD. AREA 423.76 SM
REAR YD. SOFT LANDSC. 102.30 SM



FOUNDATIONS
PARTIAL PLAN



MAIN FLOOR
PARTIAL PLAN



ELEVATION A

C1 DENOTES HSS 127x127x6.4 COL. W/ 200x200x12.5mm BASEPLATE AND 6.4MM TOP SADDLE WELDED TO SUIT. ADD SIDE MOUNTED SADDLE FOR DECK BEAM BEARING.

PROVIDE 3" BEARING AT EA. SADDLE

BOLT TO FOUND W/ 4-12.5mm THREADED RODS 450mm EMBEDMENT.

2-12.5mm THROUGH BOLTS AT EA. SADDLE

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LG. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. CALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.

- LEGEND
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
 - CARBON MONOXIDE DETECTOR
 - CEILING MOUNTED SMOKE ALARM (WATER-CONNECTED)
 - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES)
 - SOLID WOOD BEARING TO MATCH FROM ABOVE
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - LVL LAMINATED VENEER LUMBER
 - PT PRESSURE TREATED LUMBER
 - GT GIRDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	34"W X 8'0"	THR
D2	28"W X 6'8"	WOOD
D3	30"W X 6'8"	WOOD
D4	32"W X 6'8"	WOOD

SB3 - 3-2"x6" SOLID BEARING
SB4 - 4-2"x6" SOLID BEARING
SB5 - 5-2"x6" SOLID BEARING
SB6 - 5-2"x8" SOLID BEARING
ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

- LEGEND
- REMOVALS
 - REMOVALS (APPURTENANCES)

General Notes



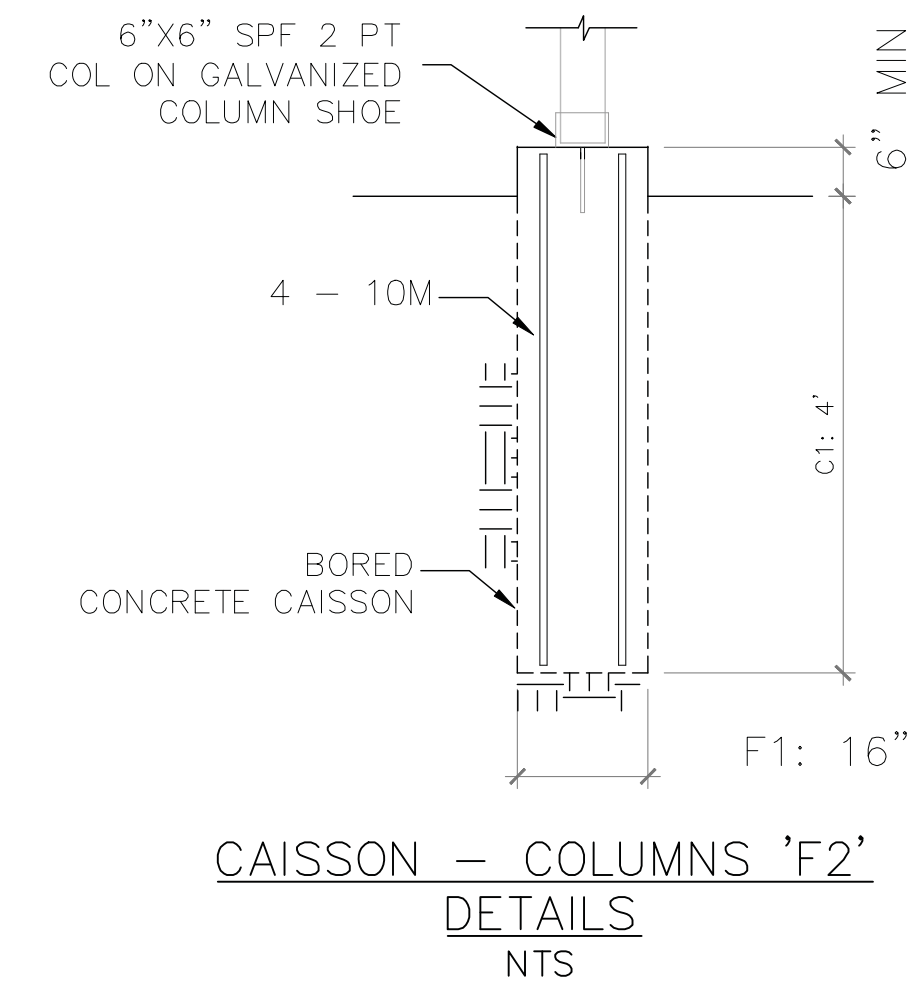
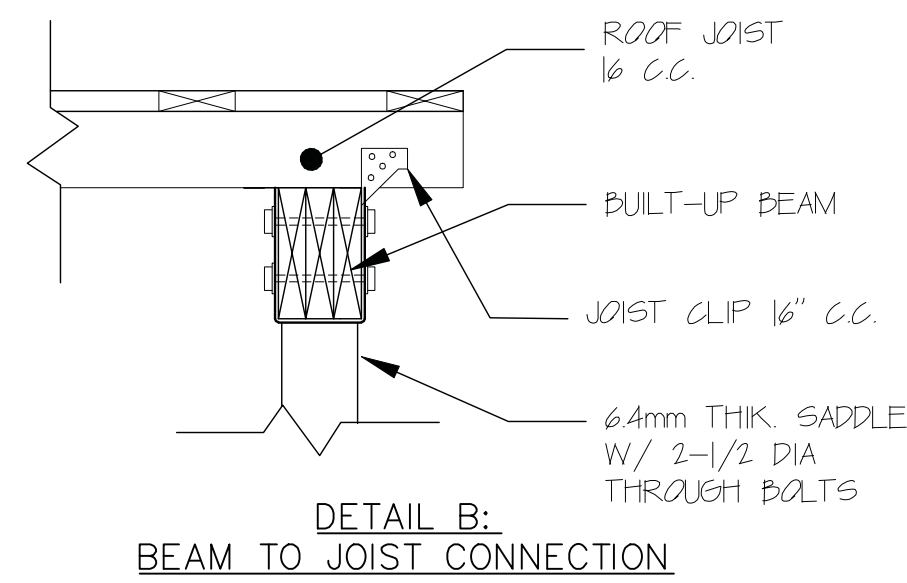
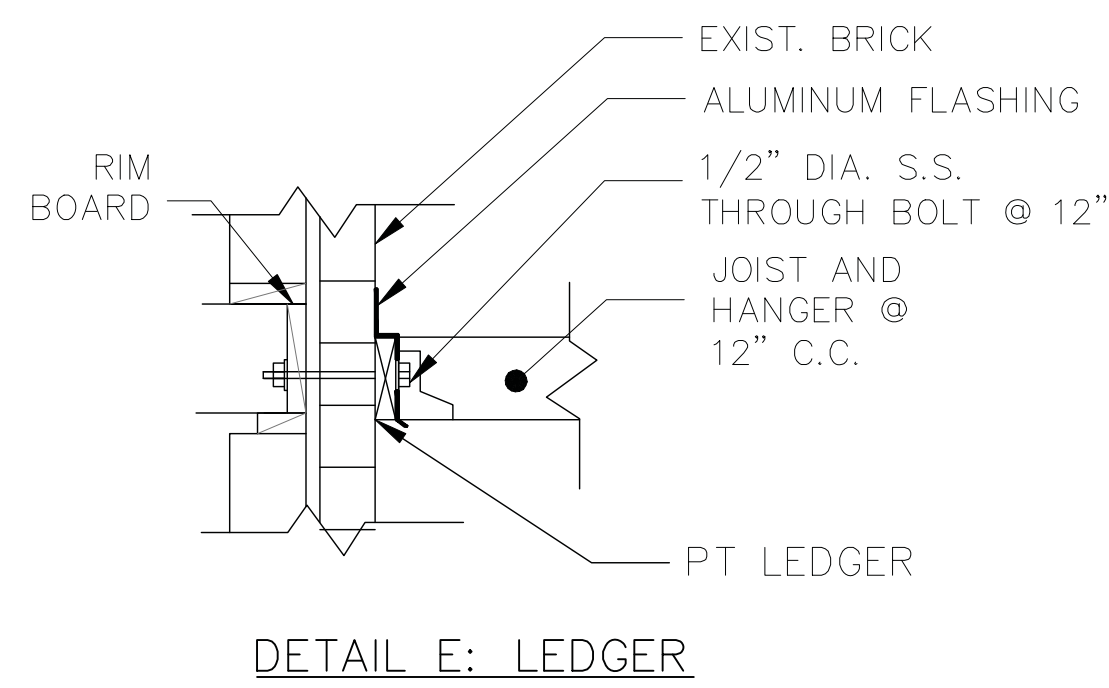
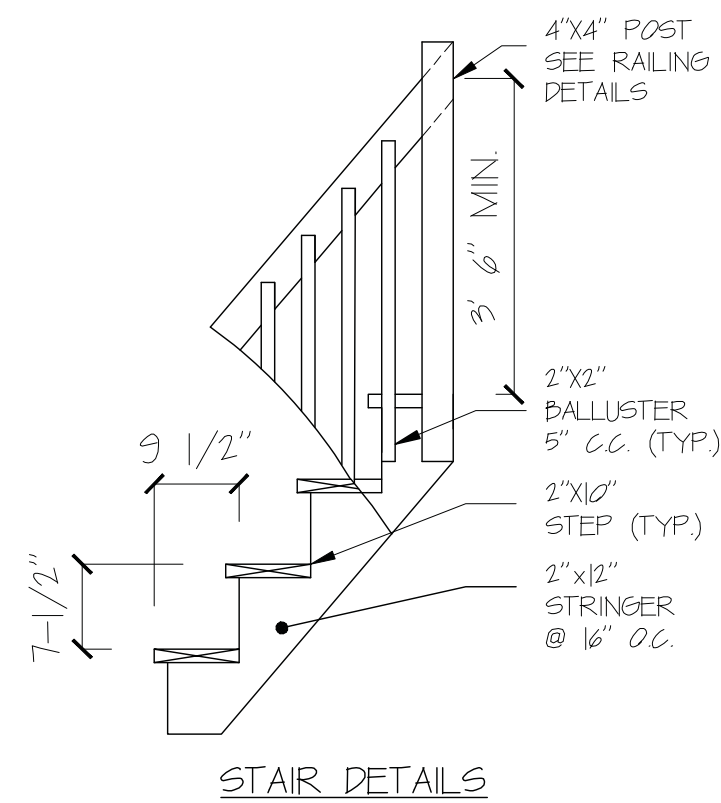
**LASONNE
ENGINEERING LTD.**
KLEINBURG 416.662.2673

No.	Revision/Issue	Date

ELEVATION AND
PLANS

15 MODESTO VALLEY COURT
REAR YARD ACCESSORIES
Vaughan, Ontario

Project	2035	Sheet	S2
Date	JUNE '20		
Scale	1/4" = 1'-0"		



General Notes



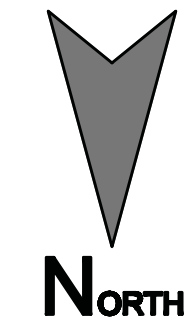
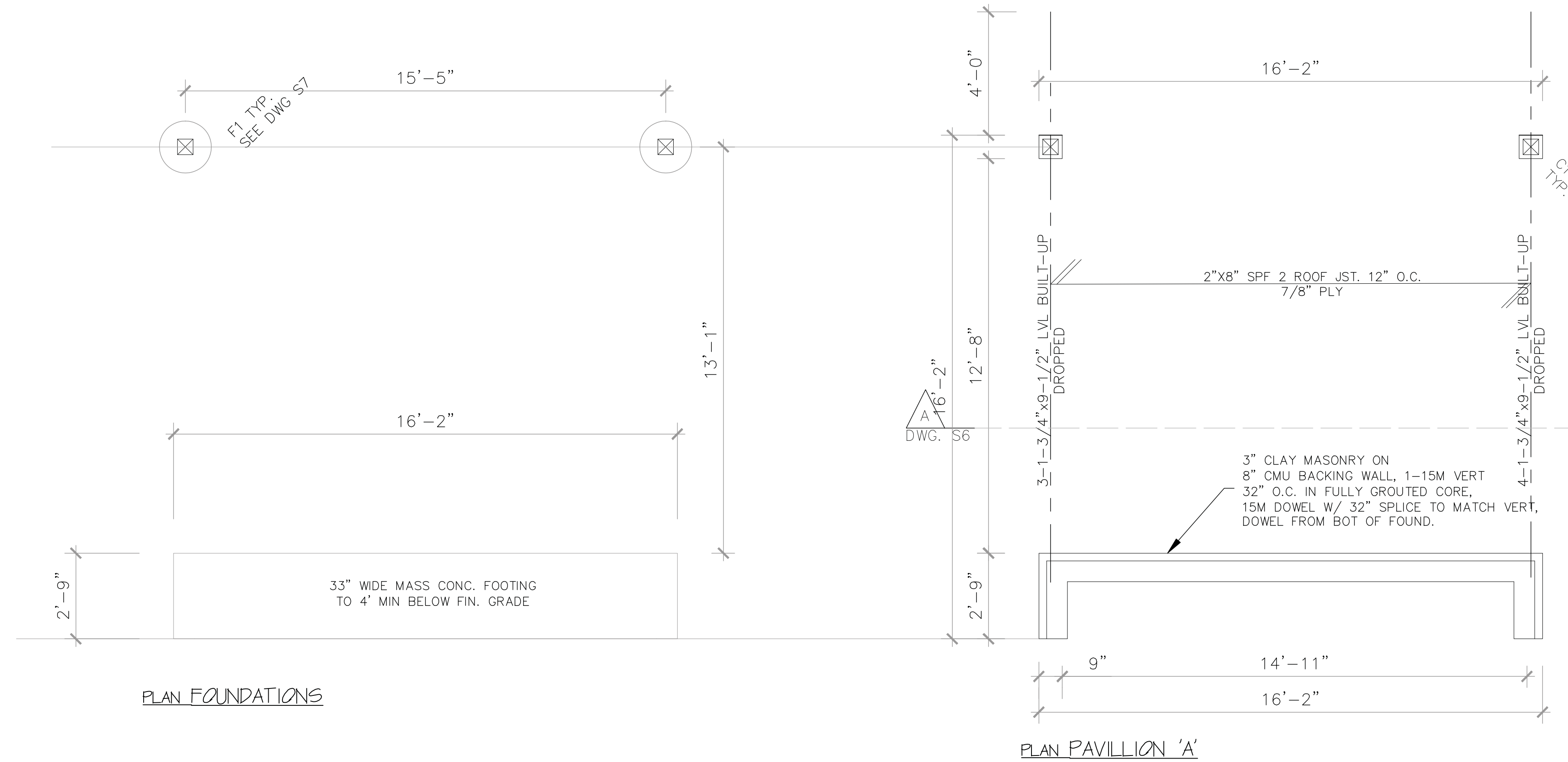
**LASONNE
ENGINEERING LTD.**
KLEINBURG 416.662.2673

No.	Revision/Issue	Date

DETAILS

**15 MODESTO VALLEY COURT
REAR YARD ACCESSORIES
Vaughan, Ontario**

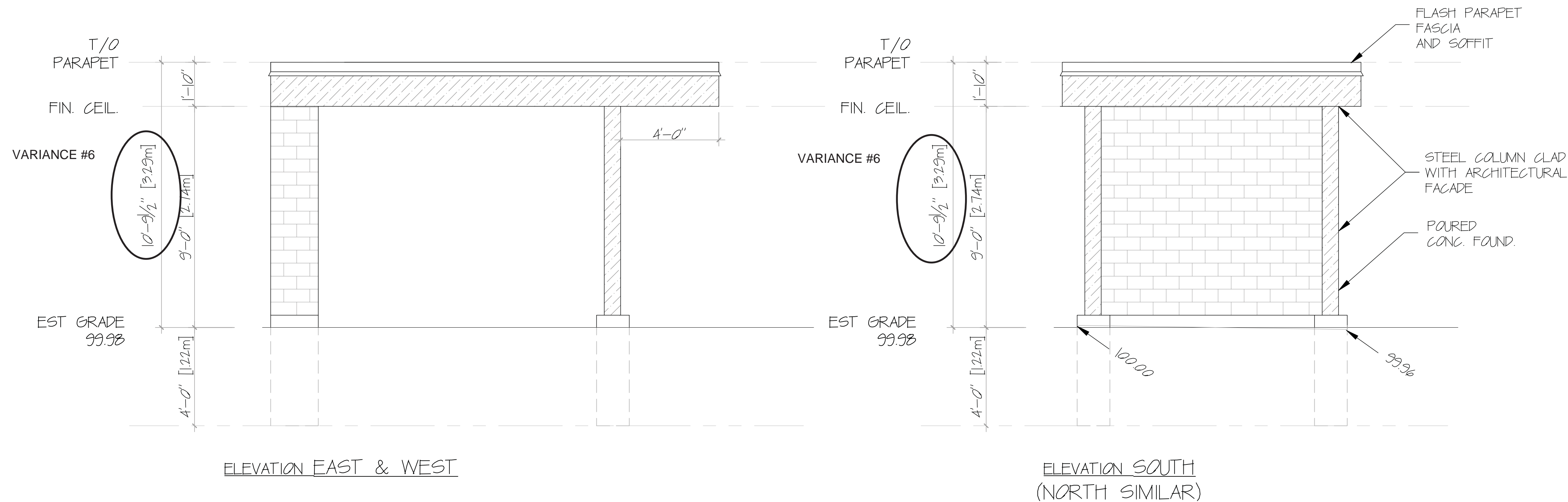
Project	2035	Sheet
Date	JUNE '20	S3
Scale	3/4" = 1'-0"	



C1 DENOTES HSS 127x127x6.4 COL. W' 200x200x9.0mm BASEPLATE AND 6.4MM TOP SADDLE WELDED FIT TO SUIT. PROVIDE 2" BEARING AT EA. SADDLE

BOLT TO FOUND W' 4-12.5mm THREADED RODS 450mm EMBEDMENT.

2-12.5mm THROUGH BOLTS AT EA. SADDLE



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SB4 - 4-2"x6" SOLID BEARING
SB5 - 5-2"x6" SOLID BEARING
SB6 - 5-2"x8" SOLID BEARING
ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

General Notes



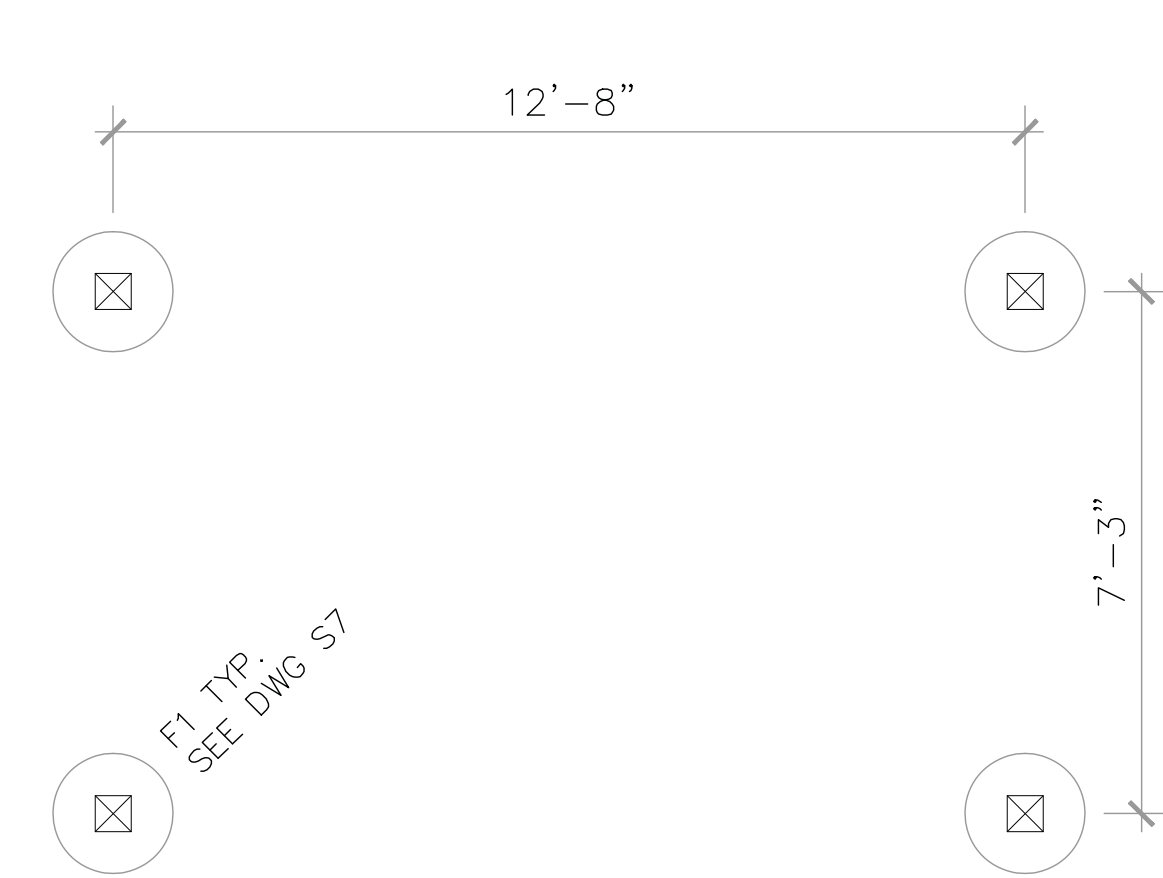
LASONNE
ENGINEERING LTD.
KLEINBURG 416.662.2673

No.	Revision/Issue	Date

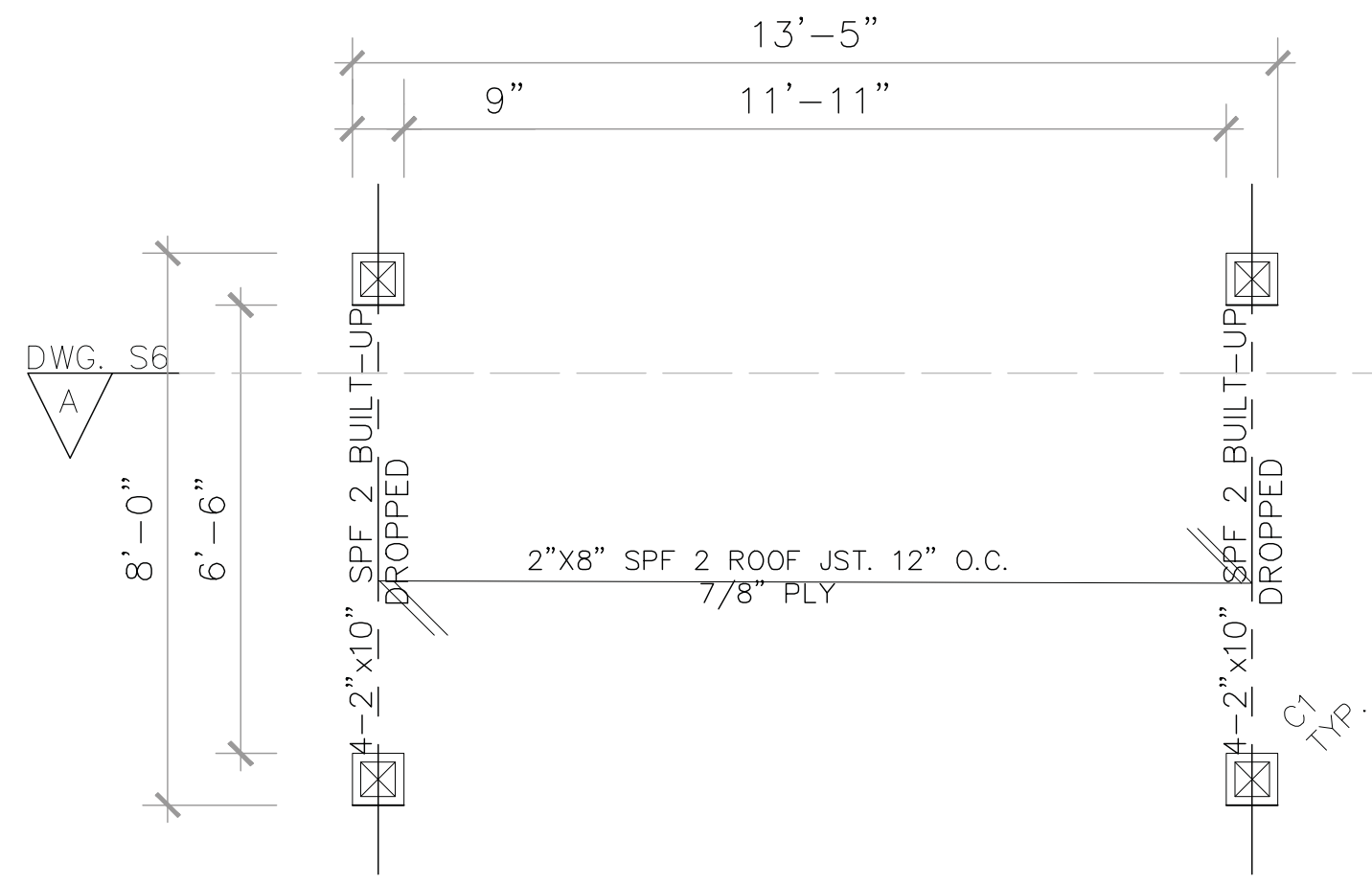
ELEVATION AND PLANS PAVILLION 'A'

15 MODESTO VALLEY COURT
REAR YARD ACCESORIES
Vaughan, Ontario

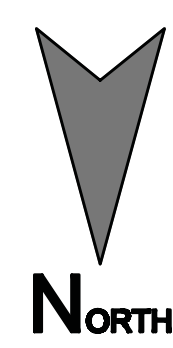
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Date	OCT '20	S4
Scale	3/8" = 1'-0"	



PLAN FOUNDATIONS



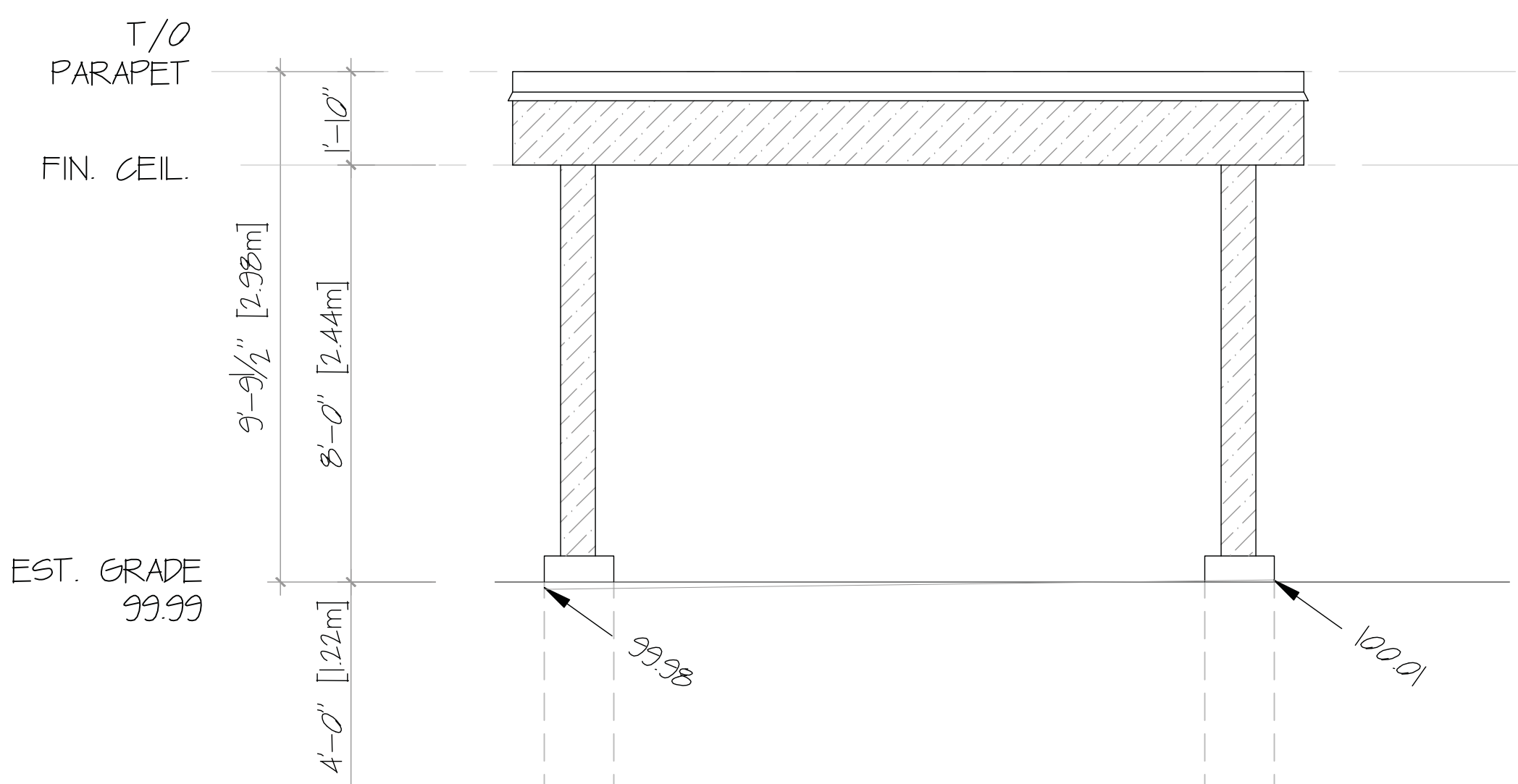
PLAN PAVILLION 'B'



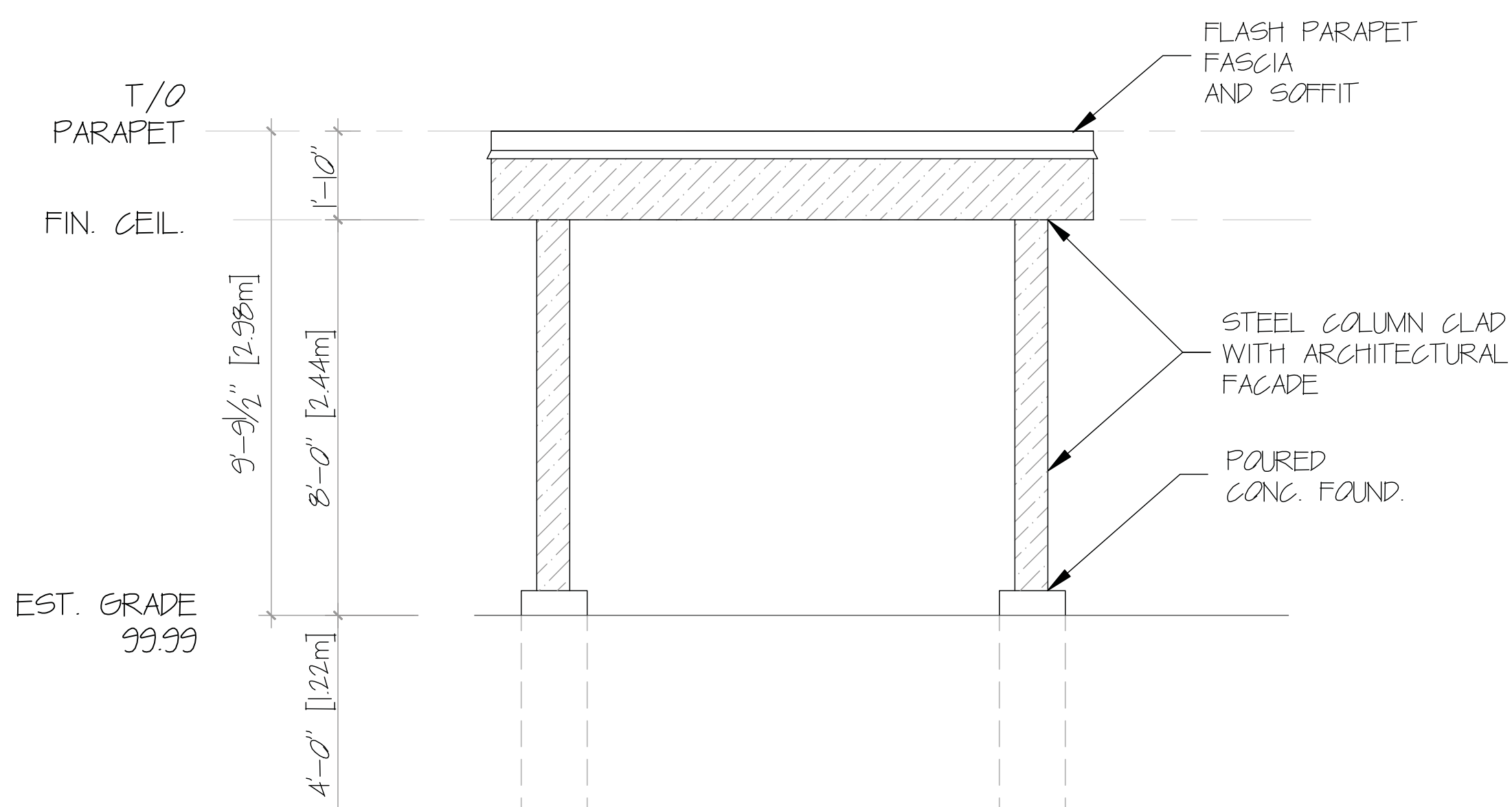
C1 DENOTES HSS 127x127x6.4 COL. W' 200x200x9.0mm BASEPLATE AND 6.4MM TOP SADDLE WELDED FIT TO SUIT. PROVIDE 2" BEARING AT EA. SADDLE

BOLT TO FOUND W' 4-12.5mm THREADED RODS 450mm EMBEDMENT.

2-12.5mm THROUGH BOLTS AT EA. SADDLE



ELEVATION NORTH & SOUTH



ELEVATION EAST & WEST

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LG. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11'-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. CALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.

- LEGEND
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
 - CARBON MONOXIDE DETECTOR
 - CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
 - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES)
 - SOLID WOOD BEARING TO MATCH FROM ABOVE
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - LVL LAMINATED VENEER LUMBER
 - PT PRESSURE TREATED LUMBER
 - GT GIRDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	34" W X 8'0"	N/A
D2	28" W X 6'8"	WOOD
D3	30" W X 6'8"	WOOD
D4	32" W X 6'8"	WOOD

SB3	3-2"x6"	SOLID BEARING
SB4	4-2"x6"	SOLID BEARING
SB5	5-2"x6"	SOLID BEARING
SB6	5-2"x8"	SOLID BEARING
ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM		



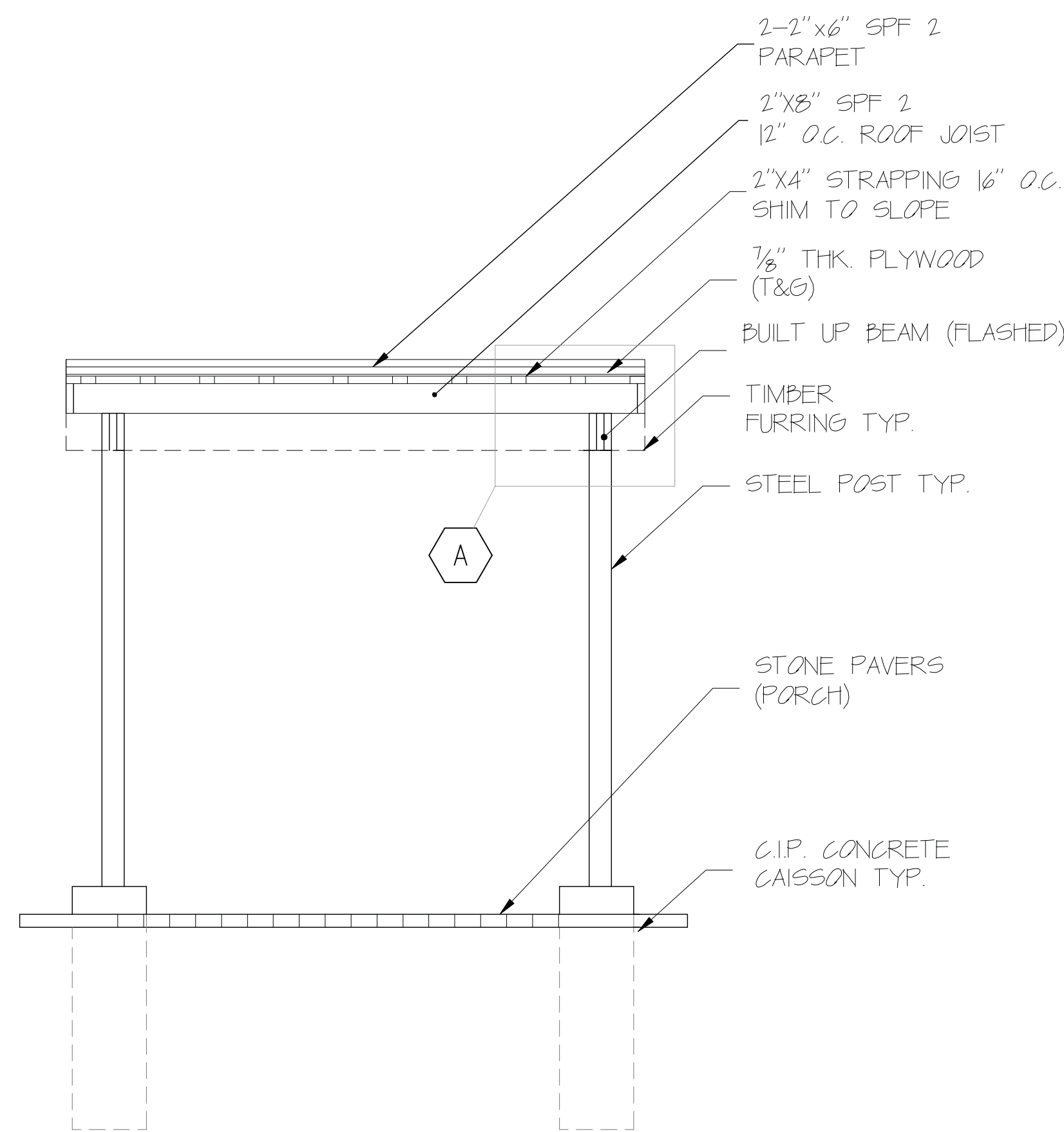
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No.	Revision/Issue	Date

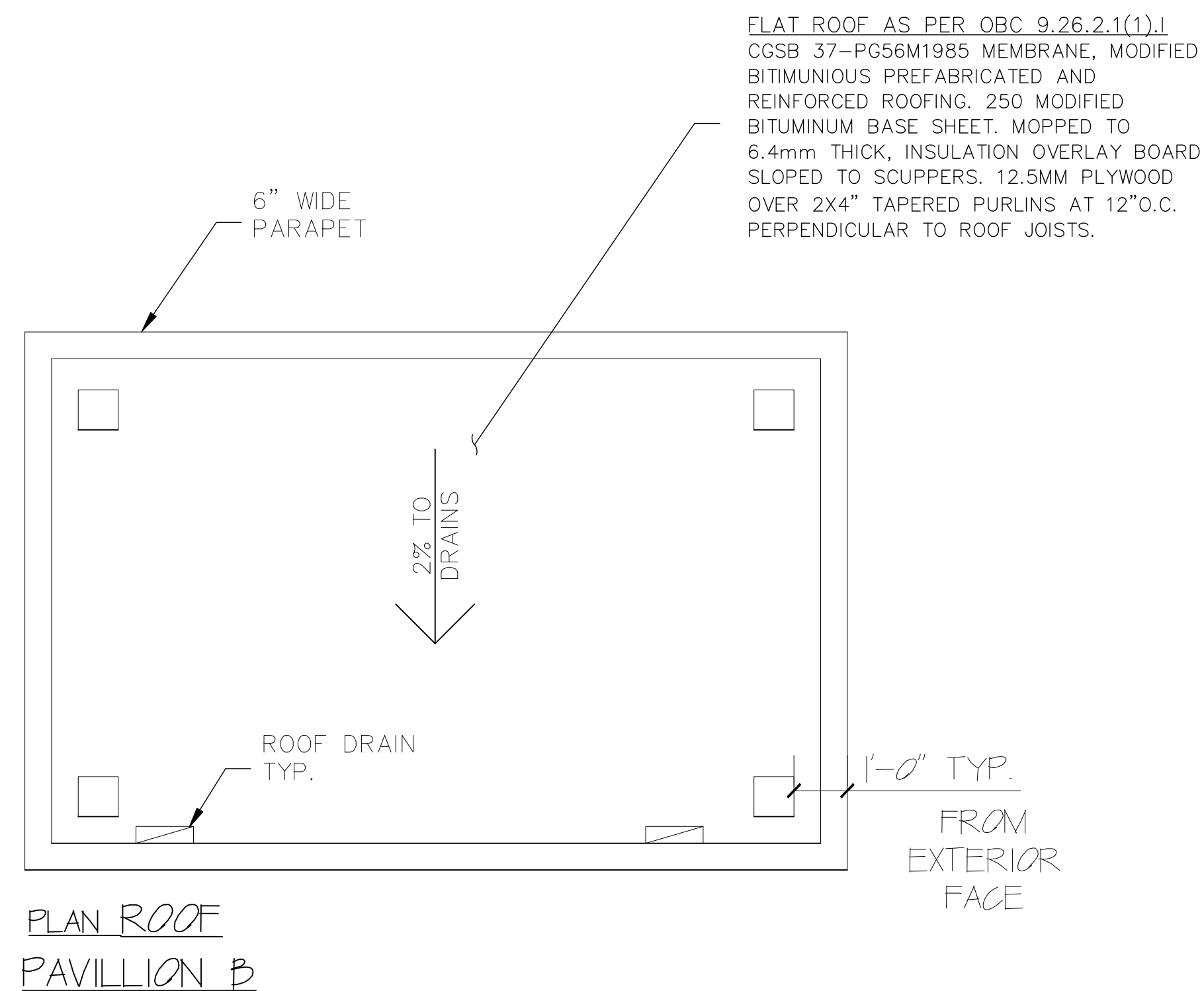
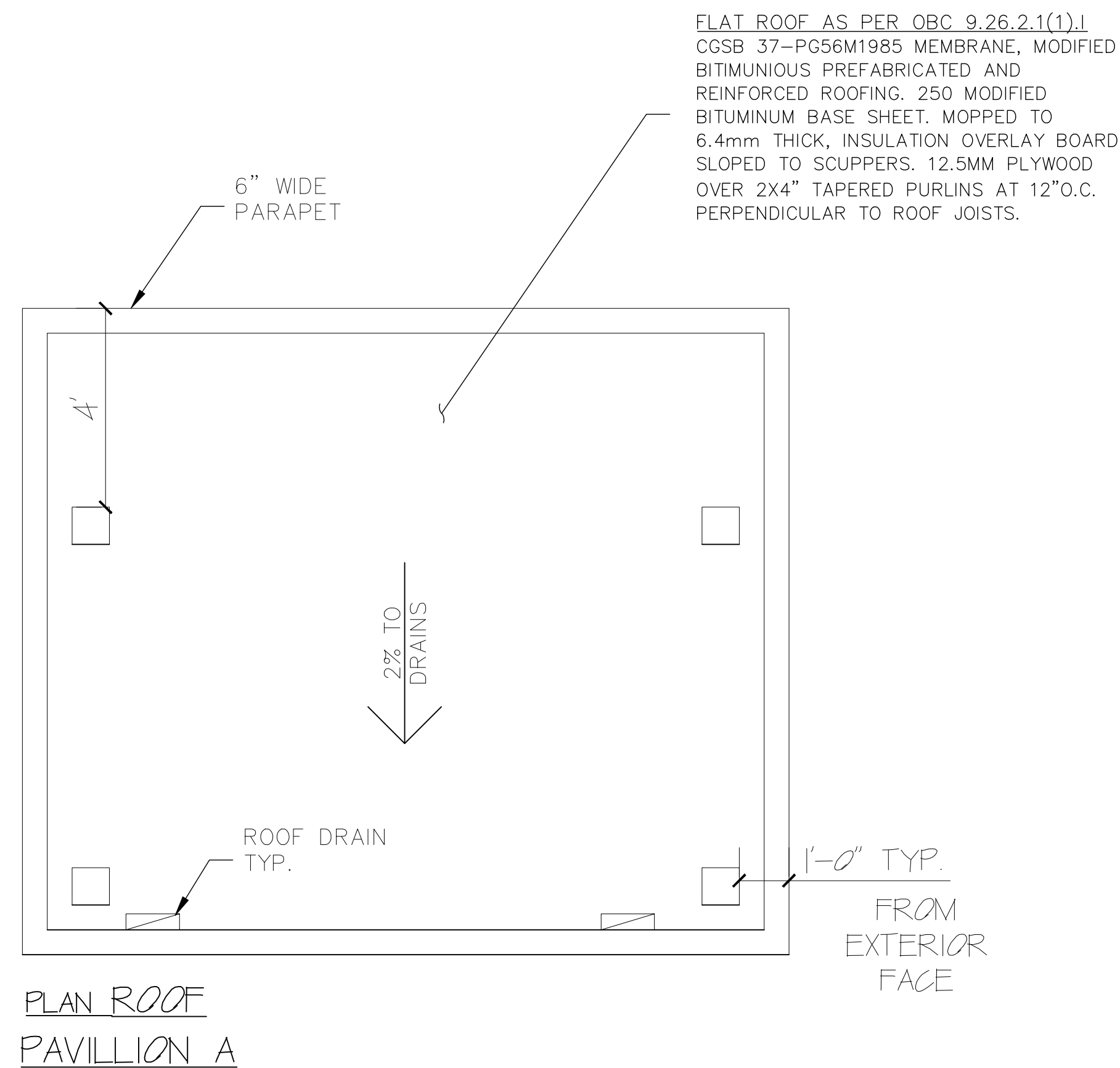
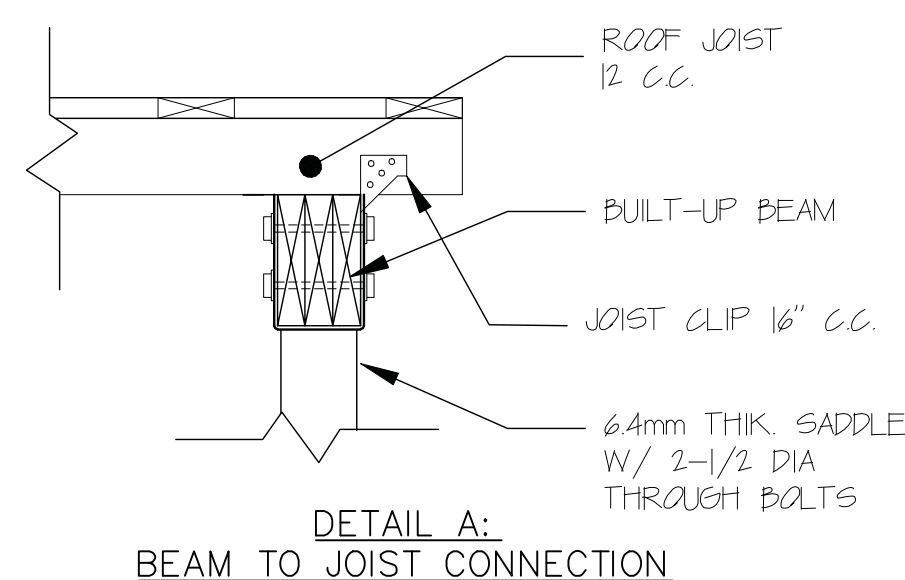
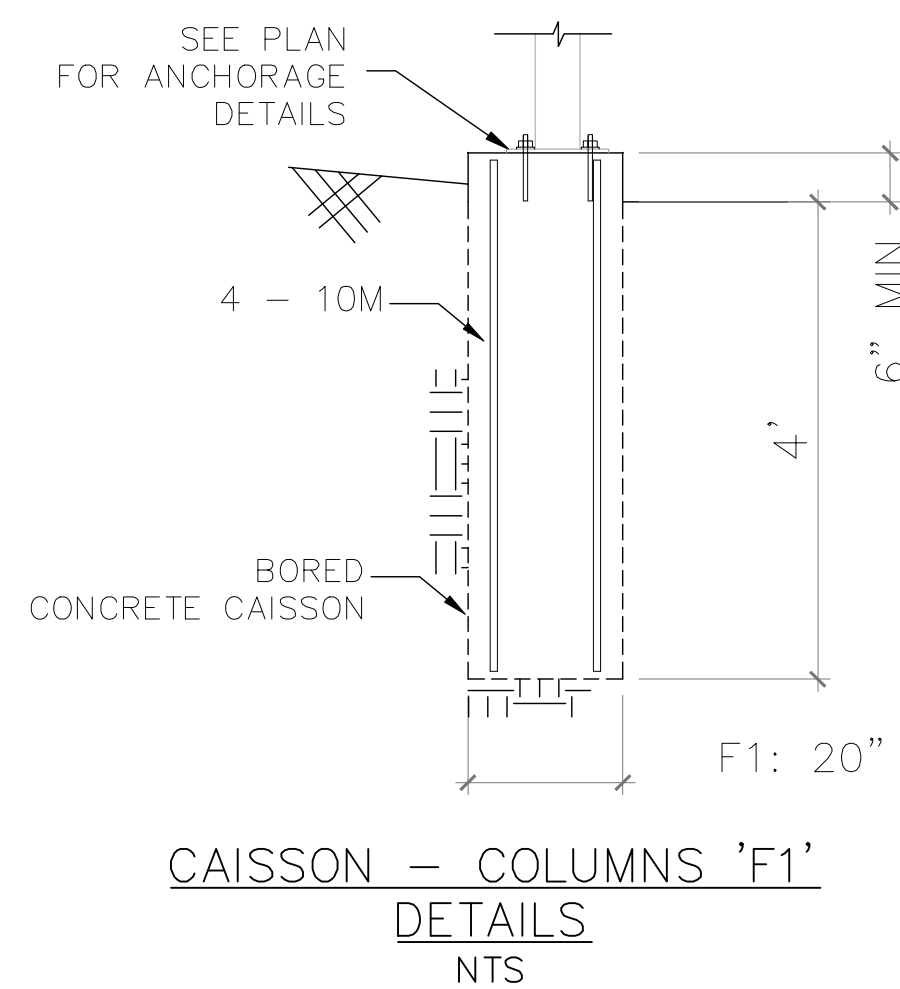
**ELEVATION AND
PLANS
PAVILLION 'B'**

**15 MODESTO VALLEY COURT
REAR YARD ACCESORIES
Vaughan, Ontario**

Project	2047B	Sheet
Date	OCT '20	S5
Scale	3/8" = 1'-0"	



CROSS SECTION: A-A
STRUCTURAL
PAVILLIONS A & B



General Notes



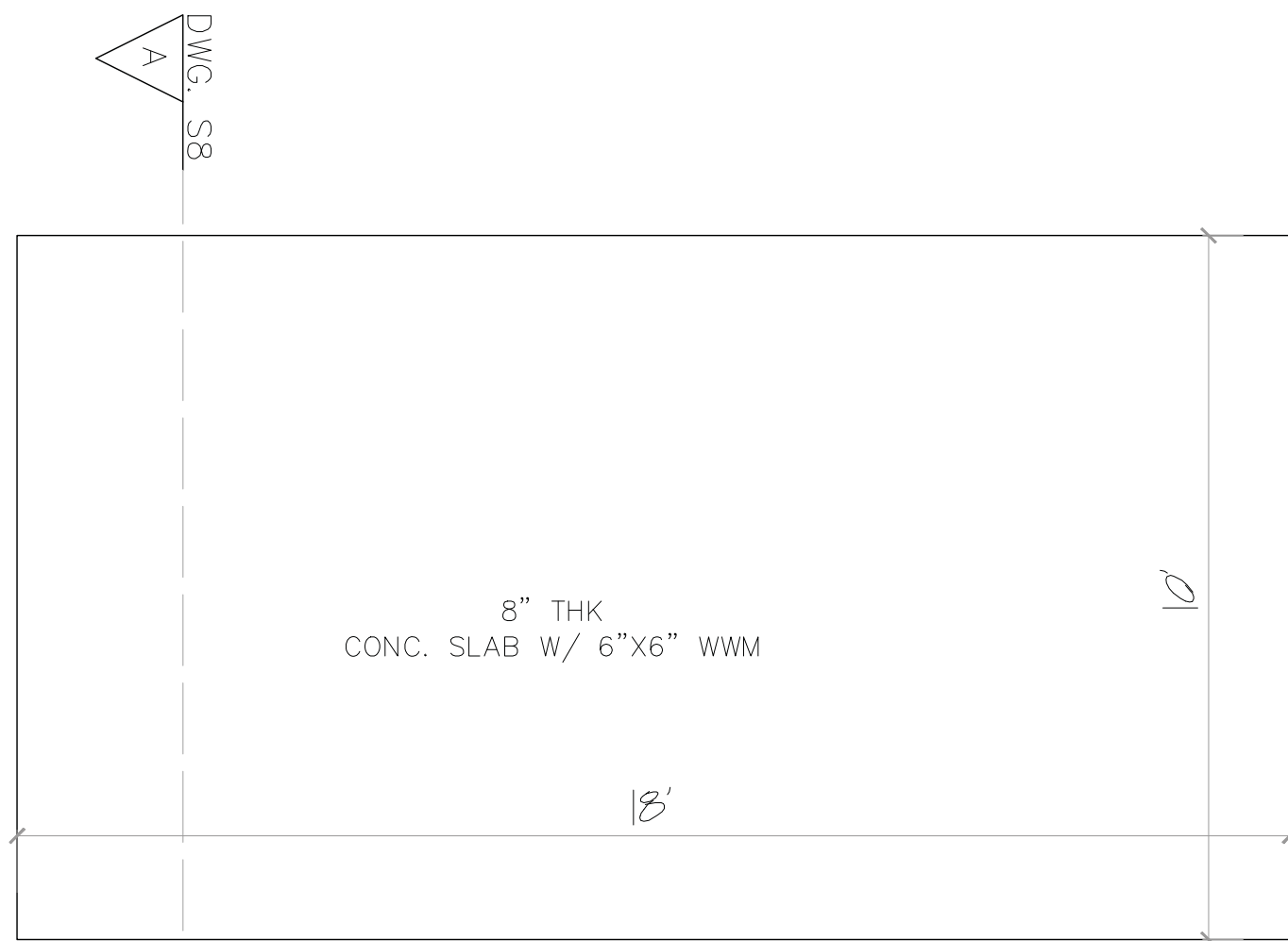
**LASONNE
ENGINEERING LTD.**
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No.	Revision/Issue	Date

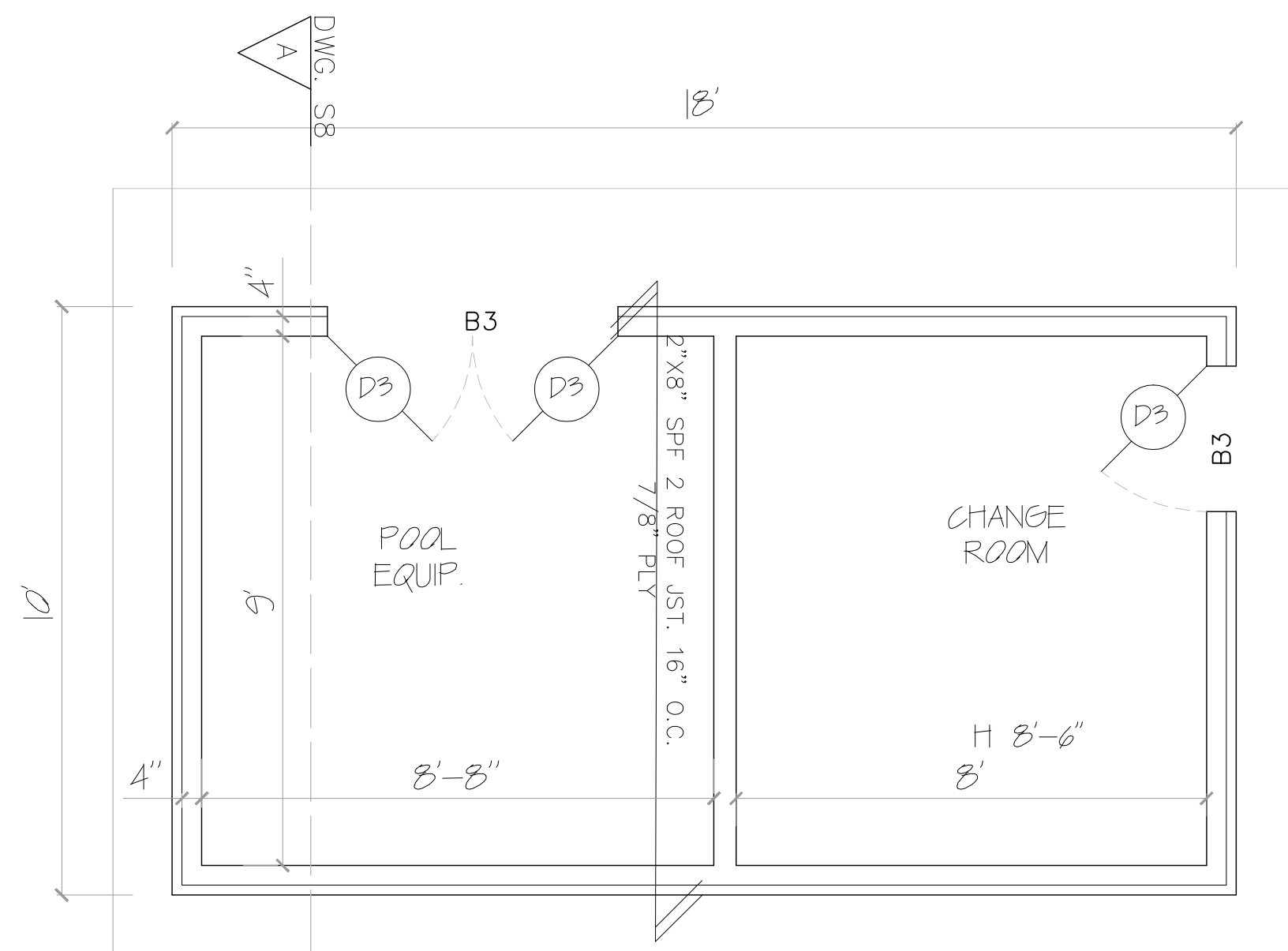
DETAILS

15 MODESTO VALLEY COURT
REAR YARD ACCESORIES
Vaughan, Ontario

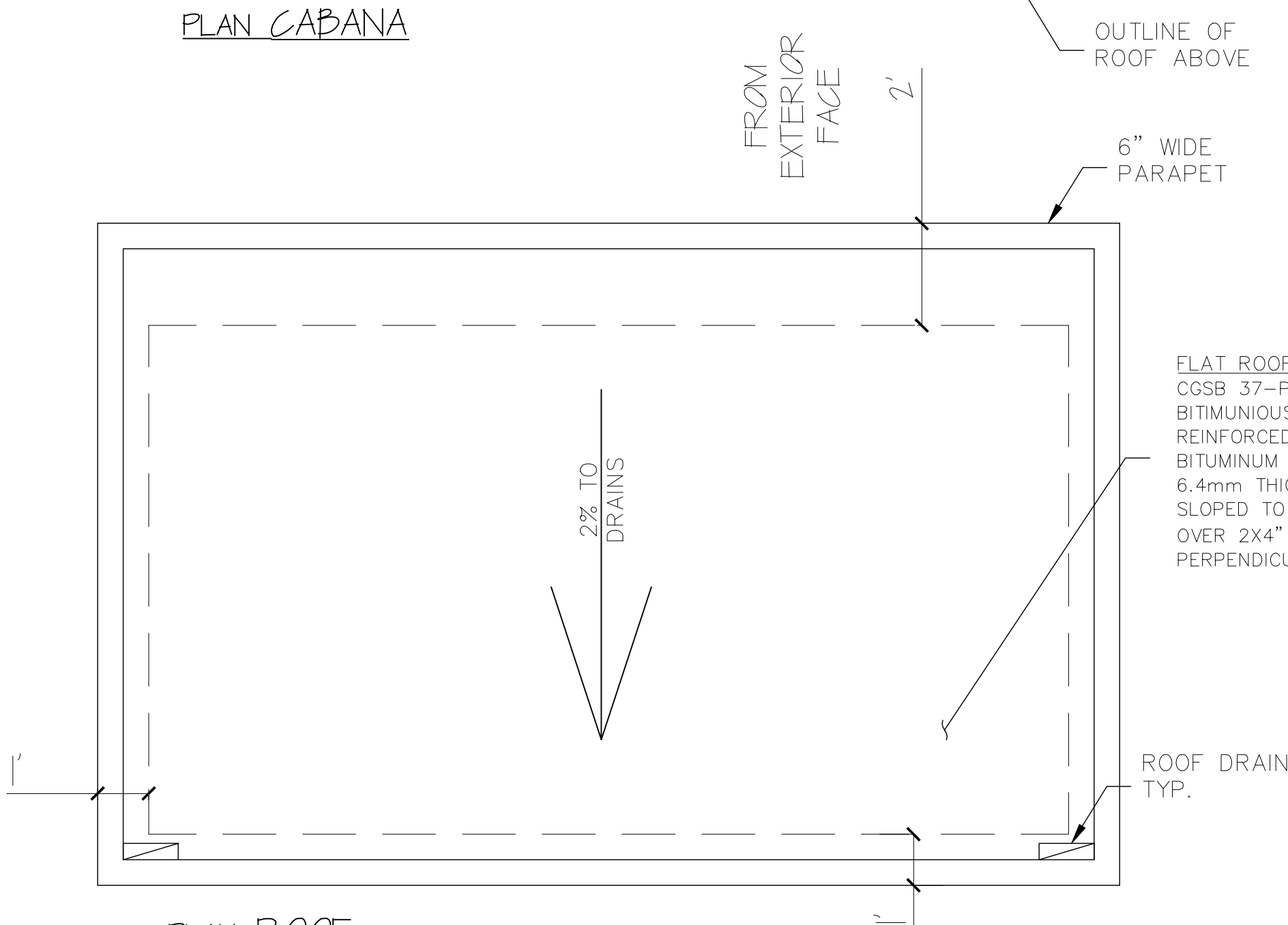
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Date	OCT '20	S6
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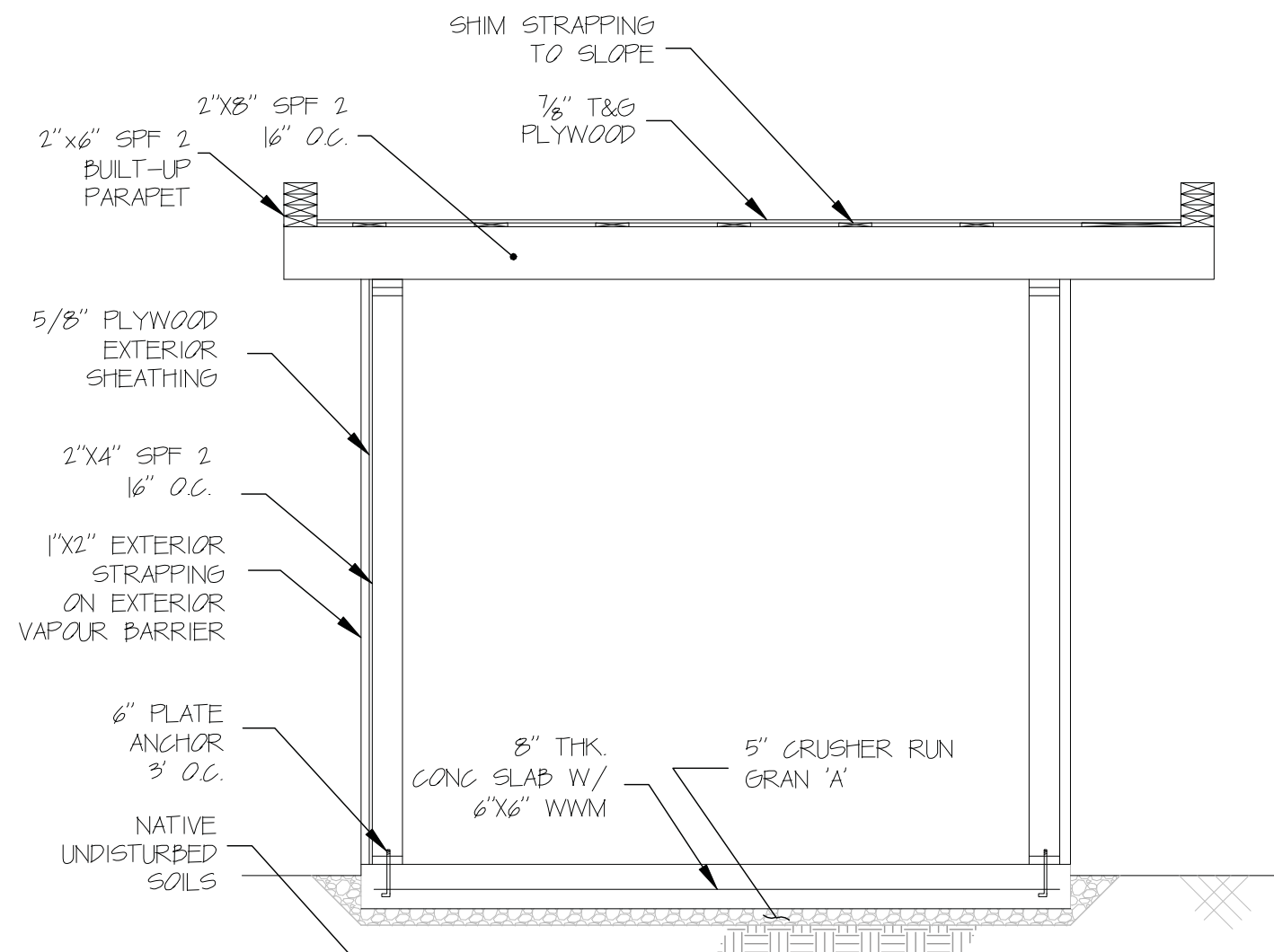
PLAN FOUNDATIONS



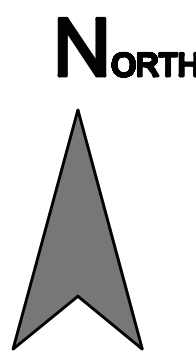
PLAN CABANA



PLAN ROOF



CROSS SECTION: A



- GENERAL NOTES:
- 2.1 LUMBER:
1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (456a) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.
- 2.2 STEEL:
1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-C40-21 GRADE 300W HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.
2. REINFORCING STEEL SHALL CONFORM TO CSA-C30-10W GRADE 400W.
- 2.3 CONCRETE:
1. THE MINIMUM COMPRESSIVE STRENGTH F_c OF ALL CONCRETE SHALL BE 30MPa.
2. CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:
100mm +/- 20mm FOOTINGS CAST AGAINST EARTH
70mm +/- 20mm REMAINDER UNLESS NOTED

- LEGEND:
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
 - CARBON MONOXIDE DETECTOR
 - CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
 - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES)
 - SOLID WOOD BEARING TO MATCH FROM ABOVE
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - LVL LAMINATED VENEER LUMBER
 - PT PRESSURE TREATED LUMBER
 - GT ORDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MARK	SIZE	FPR
D1	34\"W X 8'0\"	THR
D2	28\"W X 6'6\" - WOOD	N/A
D3	30\"W X 6'6\" - WOOD	N/A
D4	32\"W X 6'6\" - WOOD	N/A

SB3 - 3-2\"X6\" SOLID BEARING
SB4 - 4-2\"X6\" SOLID BEARING
SB5 - 5-2\"X6\" SOLID BEARING
SB6 - 5-2\"X8\" SOLID BEARING
ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

BEAM SCHEDULE		
B1	2-2\"X8\"	SPF.#2
B2	5-2\"X8\"	SPF.#2
B3	2-2\"X10\"	SPF.#2
B4	3-2\"X10\"	SPF.#2
B5	2-2\"X12\"	SPF.#2
B6	3/2\"X12\"	SPF.#2
B7	2-1 1/4\"X11 1/8\"	LVL

LINTEL SCHEDULE (METRIC)		
L1	90x90x6.0	mm
L2	90x90x8.0	mm
L3	100x90x6.0	mm
L4	125x90x8.0	mm
L5	125x90x10.0	mm
L6	150x100x10.0	mm
L7	200x100x10.0	mm

General Notes



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No.	Revision/Issue	Date
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PLANS & SECTION
CABANA

15 MODESTO VALLEY COURT
REAR YARD ACCESSORIES
Vaughan, Ontario

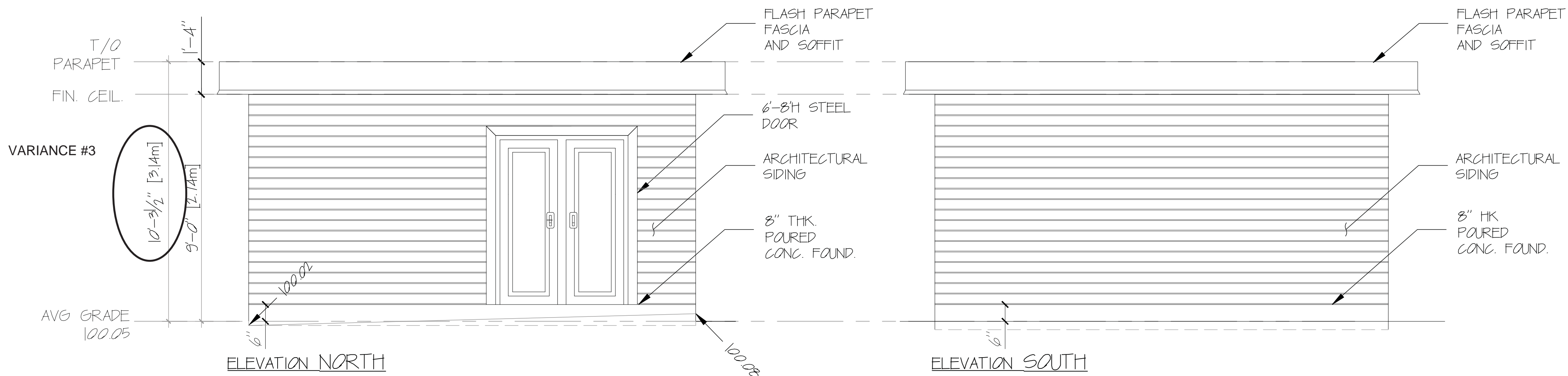
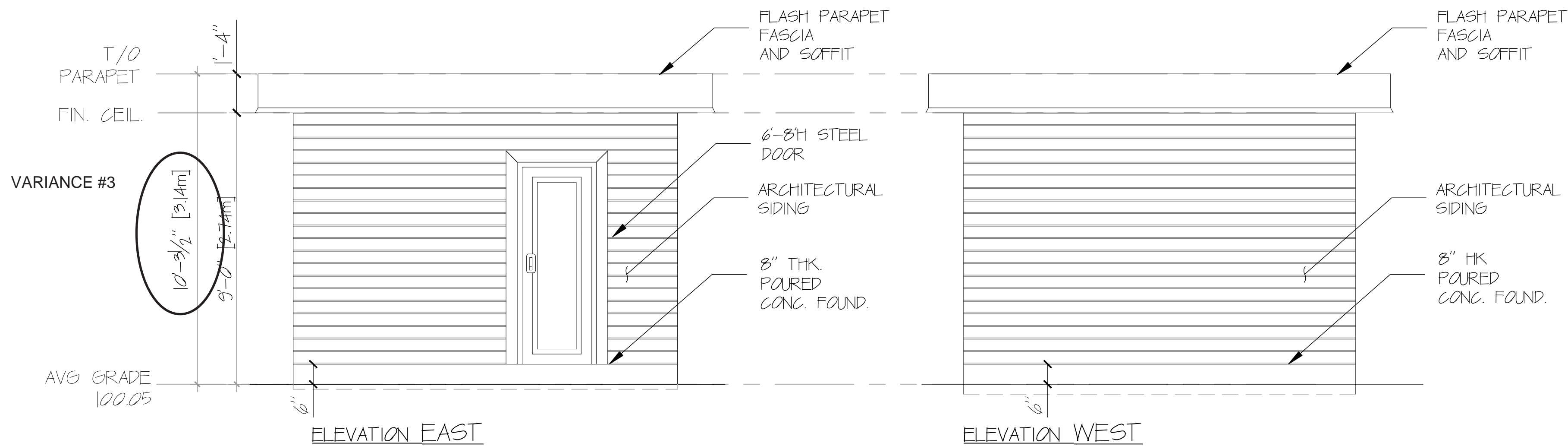
Project 2047B

Date OCT '20

Scale 1: 30

Sheet

S7



- GENERAL NOTES:**
- 2.1 LUMBER: ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
 - 2.2 STUDS: SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
 3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
 4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (4564) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.
 - 2.2 STEEL:
 1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
 2. REINFORCING STEEL SHALL CONFORM TO CSA-C30-10M GRADE 400W.
 - 2.3 CONCRETE:
 1. THE MINIMUM COMPRESSIVE STRENGTH f'_c OF ALL CONCRETE SHALL BE 30MPa.
 2. CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:

100mm +/-	20mm	FOOTINGS CAST AGAINST EARTH
70mm +/-	20mm	REMAINDER UNLESS NOTED

- LEGEND**
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
 - CARBON MONOXIDE DETECTOR
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 - GT GIRDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
WK	SIZE	FPR
D1	34"W X 8'0"	1HR
D2	28"W X 6'8" - WOOD	N/A
D3	30"W X 6'8" - WOOD	N/A
D4	32"W X 6'8" - WOOD	N/A

SB3 - 3'-2"x6" SOLID BEARING
 SB4 - 4'-2"x6" SOLID BEARING
 SB5 - 5'-2"x6" SOLID BEARING
 SB6 - 5'-2"x8" SOLID BEARING
 ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

General Notes



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 KLEINBURG 416.662.2673

No.	Revision/Issue	Date

ELEVATIONS CABANA

15 MODESTO VALLEY COURT
 REAR YARD ACCESSORIES
 Vaughan, Ontario

Project	2047B	Sheet
Date	OCT '20	S8
Scale	1: 40	

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: April 16th 2024

Attention: Christine Vigneault

RE:

File No.: A007-24

Related Files:

Applicant Deepak Chopra

Location 15 Modesto Valley Crt

COMMENTS:

- ☐
- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

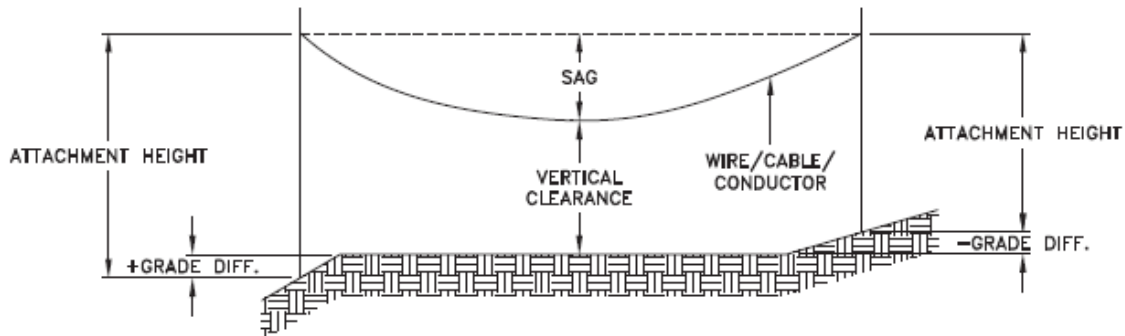
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

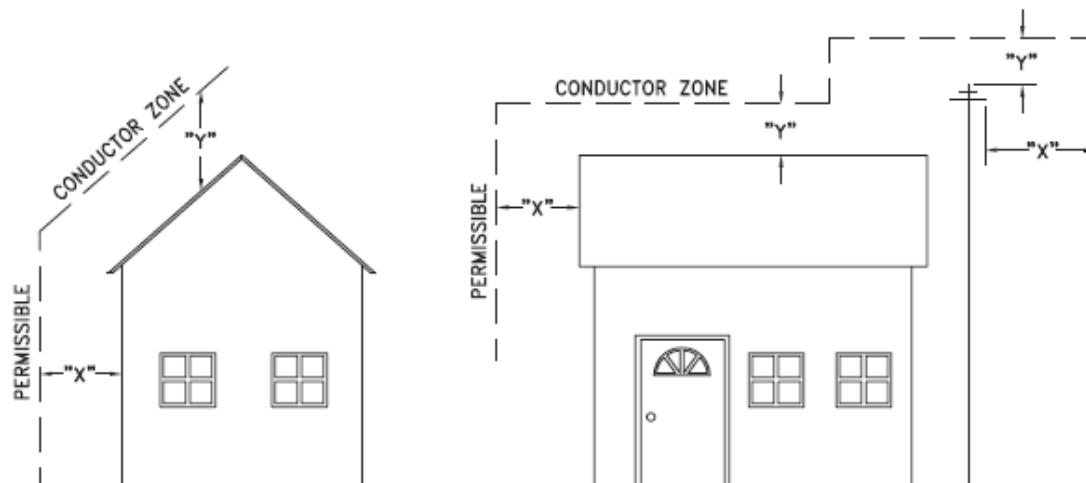
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: April 30, 2024

Applicant: Deepak Chopra

Location: 15 Modesto Valley Crt
Plan 65M3470 Block 49
Plan 65M3750 Block 13

File No.(s): A007/24

Zoning Classification:

The subject lands are zoned R1(EN), First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.663 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum southerly interior side yard setback of 2.4 m for the accessory structure (cabana) is required. [4.1.2]	To permit a minimum southerly interior side yard setback of 0.80 m to the accessory structure (cabana).
2	A minimum rear yard setback of 10 m from the lands zoned EP, Environmental Protection Zone to the accessory structure (cabana), is required. [Exception 14.663]	To permit a minimum rear yard setback of 1.90 m to the accessory structure (cabana) from the lands zoned EP, Environmental Protection Zone.
3	A maximum height of 3.0 m from established grade is permitted for the accessory structure (cabana). [4.1.4.1 & Section 3, Definitions, for Height and Established Grade]	To permit a height of 3.14 m from established grade for an accessory structure (cabana).
4	A minimum northerly interior side yard setback of 2.4 m to the accessory structure (Pavillion A) is required. [4.1.2]	To permit a minimum northerly interior side yard setback of 0.78 m to the accessory structure (Pavillion A).
5	A minimum rear yard setback of 10 m from the lands zoned EP, Environmental Protection Zone to the accessory structure (Pavillion A) is required. [Exception 14.663]	To permit a minimum rear yard setback of 1.2 m to the accessory structure (Pavillion A) from the lands zoned EP, Environmental Protection Zone.
6	A maximum height of 3.0 m from established grade is permitted for the accessory structure (Pavillion A). [4.1.4.1 & Section 3, Definitions, for Height and Established Grade]	To permit a height of 3.29 m from established grade for the accessory structure (Pavillion A).
7	A minimum northerly interior side yard setback of 2.4 m is required for the accessory structure (Pavillion B). [4.1.2]	To permit a minimum northerly interior side yard setback of 0.52 m to the accessory structure (Pavillion B).
8	A minimum rear yard setback of 10 m from the lands zoned EP, Environmental Protection Zone to the accessory structure (Pavillion B), is required. [Exception 14.663]	To permit a minimum rear yard setback of 7.39 m to the accessory structure (Pavillion B) from the lands zoned EP, Environmental Protection Zone.
9	Any portion of a yard in excess of 135 m ² shall be comprised of 60% soft landscape. [Section 4.19.1.1 and Section 3, Definitions] A minimum of 173.26 m ² of soft landscape is required in the rear yard.	To permit a minimum of 41.05% (118.56 m ²) of the area of the rear yard in excess of 135 m ² to be comprised of soft landscape.

Staff Comments:**Stop Work Order(s) and Order(s) to Comply:**

Order No. 23-136046 has been issued for additions and detached structures on the subject lands having been constructed without building permits.

Building Permit(s) Issued:

Building Permit Application No. 23 132967 has been submitted for an existing rear deck addition to a dwelling and three residential accessory structures in the rear yard.

Other Comments:

General Comments	
1	Drawings submitted for building permit and minor variance application shall match.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
3	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 6, 2024

Name of Owners: Deepak & Leena Chopra

Location: 15 Modesto Valley Court

File No.(s): A007/24

Proposed Variances (By-law 001-2021):

1. To permit a minimum southerly interior side yard setback of **0.80 m** to the accessory structure (cabana).
2. To permit a minimum rear yard setback of **1.90 m** to the accessory structure (cabana) from the lands zoned EP, Environmental Protection Zone.
3. To permit a height of **3.14 m** from established grade for an accessory structure (cabana).
4. To permit a minimum northerly interior side yard setback of **0.78 m** to the accessory structure (Pavilion A).
5. To permit a minimum rear yard setback of **1.2 m** to the accessory structure (Pavilion A) from the lands zoned EP, Environmental Protection Zone.
6. To permit a height of **3.29 m** from established grade for the accessory structure (Pavilion A).
7. To permit a minimum northerly interior side yard setback of **0.52 m** to the accessory structure (Pavilion B).
8. To permit a minimum rear yard setback of **7.39 m** to the accessory structure (Pavilion B) from the lands zoned EP, Environmental Protection Zone.
9. To permit a minimum of **41.05% (118.56 m²)** of the area of the rear yard in excess of **135 m²** to be comprised of soft landscape.

By-Law Requirements (By-law 001-2021):

1. A minimum southerly interior side yard setback of **2.4 m** for the accessory structure (cabana) is required.
2. A minimum rear yard setback of **10 m** from the lands zoned EP, "Environmental Protection Zone" to the accessory structure (cabana), is required.
3. A maximum height of **3.0 m** from established grade is permitted for the accessory structure (cabana).
4. A minimum northerly interior side yard setback of **2.4 m** to the accessory structure (Pavilion A) is required.
5. A minimum rear yard setback of **10 m** from the lands zoned EP, Environmental Protection Zone to the accessory structure (Pavilion A) is required.
6. A maximum height of **3.0 m** from established grade is permitted for the accessory structure (Pavilion A).
7. A minimum northerly interior side yard setback of **2.4 m** is required for the accessory structure (Pavilion B).
8. A minimum rear yard setback of **10 m** from the lands zoned EP, Environmental Protection Zone to the accessory structure (Pavilion B), is required.
9. Any portion of a yard in excess of **135 m²** shall be comprised of **60%** soft landscape.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit an existing cabana and two (2) existing pavilions in the rear yard with the above-noted variances and a variance for a reduced minimum soft landscaping total in the rear yard.

Cabana

Development Planning Staff have no objection to Variances 1 through 3 to permit a reduced southerly interior side yard setback (Variance 1 – 0.80 m) and a reduced rear yard setback (Variance 2 – 1.90 m) to the existing cabana with a height of 3.14 metres (Variance 3). The proposed 0.14 proposed increase in maximum height for the cabana is relatively negligible from a visual perspective. The cabana is proposed in the south corner of the rear yard and is relatively modest in size with a flat roof to assist in addressing any potential concerns with massing on the neighbouring property to the south (9 Modesto Valley Court). On the neighbouring property to the south (9 Modesto Valley Court), a hard plastic shed and accessory building wall face the southeastern wall of the cabana. The cabana only utilizes the full extent of the requested relief for the interior side yard setback at its southeast corner, which is a pinch-point, increasing to approximately 1.62 metres at its greatest extent at the cabana's southwest corner. Additionally, the existing cabana only utilizes the full extent of the requested relief for the rear yard setback at its southwest corner, which is a pinch-point, increasing to approximately 2.12 metres at its greatest extent at the cabana's south corner.

The rear wall of the cabana abuts an open space containing a meadow and trees. The open space contains no trail access and is therefore not very accessible to the public. Further, no adverse impacts to the function of the open space are anticipated should the variance be granted. Running along the length of the rear lot line (abutting the EP Zone), there is a raised plant bed containing mulch, trees, and yew and boxwood shrubs, which helps provide a natural buffer between the accessory structures along with the patio area, and the abutting open space area. The proposed cabana complies with the maximum lot coverage requirements of the Zoning By-law for accessory buildings and structures. Development Engineering Staff have reviewed the proposal and have no objection. As such, the proposed accessory structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the south (9 Modesto Valley Court) or the Environmental Protection (EP) Zone to the west and the 0.80 metre minimum interior side yard setback from the cabana provides sufficient space for maintenance and access purposes.

Pavilion A

Development Planning Staff have no objection to Variances 4 through 6 to permit a reduced northerly interior side yard setback (Variance 4 – 0.78 m) and a reduced rear yard setback (Variance 5 – 1.20 m) to the existing accessory structure (Pavilion A) with a height of 3.29 metres (Variance 6). The accessory structure is proposed in the west corner of the rear yard and is relatively modest in size with three (3) open walls and a flat roof to assist in addressing any potential concerns with massing on the neighbouring property to the north (19 Modesto Valley Court). The accessory structure only utilizes the full extent of the requested relief for the interior side yard setback at its north corner, which is a pinch-point, increasing to approximately 2.65 metres at its greatest extent at the structure's northwest corner. Additionally, the accessory structure only utilizes the full extent of the requested relief for the rear yard setback at its west corner, which is a pinch-point, increasing to approximately 1.39 metres at its greatest extent at the structures south corner.

The southwest side of the accessory structure abuts an open space containing a meadow and trees. The open space contains no trail access and is therefore not very accessible to the public. Further, no adverse impacts to the function of the open space are anticipated should the variance be granted. The proposed accessory structure complies with maximum lot coverage requirements of the Zoning By-law for accessory buildings and structures. Development Engineering Staff have reviewed the proposal and have no objection. As such, the proposed accessory structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the north (19 Modesto Valley Court) or the EP Zone to the west and the 0.78 metre minimum interior side yard setback from the Cabana provides sufficient space for maintenance and access purposes.

Pavilion B

Development Planning Staff have no objection to Variances 7 and 8 to permit a reduced northerly interior side yard setback (Variance 7 – 0.52 m) and a reduced rear yard setback (Variance 8 – 7.39 m) to the existing accessory structure (Pavilion B). The accessory structure is proposed in the immediately northeast of Pavilion A and is

relatively modest in size with three (3) open walls and a flat roof to assist in addressing any potential concerns with massing on the neighbouring property to the north (19 Modesto Valley Court). The accessory structure only utilizes the full extent of the requested relief for the interior side yard setback at its north corner, which is a pinch-point, increasing to approximately 2.27 metres at its greatest extent at the structure's west corner. The proposed accessory structure complies with the maximum lot coverage and maximum height requirements of the Zoning By-law for accessory buildings and structures. Development Engineering Staff have reviewed the proposal and have no objection. As such, the proposed accessory structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the north (19 Modesto Valley Court) or the EP Zone to the west and the 0.52 metre minimum interior side yard setback from the cabana provides sufficient space for maintenance and access purposes.

Development Planning Staff have no objection to Variance 9 to permit a reduction in the required minimum soft landscaping in the rear yard. The proposed 16.44 m² reduction is relatively modest from a visual perspective when considering the entirety of the fairly large rear yard (423.76 m²). There is a fair amount of soft landscaping around the rear yard's perimeter (118.56 m²). More particularly, a slightly raised planter box containing trees and a strip of river rock run along the southern interior side lot line. River rock, yew and boxwood plantings, and additional trees run along the northern interior side lot line. Along the rear lot line (abutting the EP Zone), there is a raised planter bed containing mulch, trees, and boxwood plantings along the entire rear lot line which helps provide a natural buffer between the existing swimming pool (and accessory structures) and the abutting open space area. At the request of Development Planning Staff, the applicant has agreed to increase the amount of soft landscaping along the southern interior side lot line and along the rear perimeter of the existing dwelling. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage. As such, Development Planning Staff are of the opinion that the proposed reduction in rear yard soft landscaping is desirable and appropriate for the development of the land and does not adversely impact the surrounding neighbours or existing character of the existing neighbourhood.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner













































15 Modesto Valley Crt.



April 25, 2024

CFN 70450.12
Ex Ref. CFN 69868

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A007/24
Plan 65M3470 Block 49 and Plan 65M3750 Block 13
15 Modesto Valley Court
City of Vaughan, Region of York
Applicant: Deepak Chopra**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on April 11, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum interior side yard setback of 0.80 metres to the accessory structure (cabana), whereas a minimum interior side yard setback of 2.4 metres for the accessory structure (cabana) is required.
- To permit a minimum rear yard setback of 1.90 metres to the accessory structure (cabana) from the lands zoned EP, Environmental Protection, whereas a minimum rear yard setback of 10 metres from the lands zoned EP, Environmental Protection to the accessory structure (cabana) is required.
- To permit a height of 3.14 metres from established grade for an accessory structure (cabana), whereas a maximum height of 3.0 metres from the established grade is permitted for the accessory structure (cabana).
- To permit a minimum interior side yard setback of 0.78 metres to the accessory structure (Pavilion A), whereas a minimum interior side yard setback of 2.4 metres to the accessory structure (Pavilion A) is required.

- To permit a minimum rear yard setback of 1.2 metres to the accessory structure (Pavilion A) from the lands zoned EP, Environmental Protection, whereas a minimum rear yard setback of 10 metres from the lands zoned EP, Environmental Protection to the accessory structure (Pavilion A) is required.
- To permit a height of 3.29 meters from established grade for the accessory structure (Pavilion A), whereas a maximum height of 3.0 metres from established grade is permitted for the accessory structure (Pavilion A).
- To permit a minimum interior side yard setback of 0.52 metres to the accessory structure (Pavilion B), whereas a minimum interior side yard setback of 2.4 metres is required for the accessory structure (Pavilion B).
- To permit a minimum rear yard setback of 7.39 metres to the accessory structure (Pavilion B) from the lands zoned EP, Environmental Protection, whereas a minimum rear setback of 10 metres from the lands zoned EP, Environmental Protection to the accessory structure (Pavilion B) is required.
- To permit a minimum of 35.4% of the area of the rear yard in excess of 135 sq. m. to be comprised of soft landscape, whereas any portion of a yard in excess of 135 sq. m. shall be comprised of 60% soft landscape.

The noted variances are being requested to facilitate the construction of a deck and three accessory structures (cabana, pavilion A and pavilion B) in the rear yard of an existing dwelling.

Ontario Regulation 41/24

A portion of the subject property is located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River. TRCA must ensure that where a proposal is within an area regulated under Ontario Regulation 41/24, that the proposal conforms with the appropriate policies for the implementation of the regulation (Section of 8 of TRCA's Living City Policies (LCP), which evaluate a proposal's ability to meet the tests of the regulation.

Application-Specific Comments

TRCA staff issued a permit for the proposed works on November 20, 2023 (TRCA Permit No. C-231361).

Based on a review of the plans submitted with this variance application, the noted works are generally consistent with the plans that were approved as part of TRCA Permit No. C-231361. As such, TRCA has no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A007/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2347 or at kristen.regier@trca.ca.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Regier'.

Kristen Regier, MA
Planner

Development Planning and Permits | Development and Engineering Services
kristen.regier@trca.ca, 437-880-2129

From: [Development Services](#)
To: [Pravina Attwala](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A007/24 (15 Modesto Valley Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, April 30, 2024 2:49:29 PM
Attachments: [image001.png](#)
[image003.png](#)

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Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A007/24 (15 Modesto Valley Court) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None