

ITEM: 6.10	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A207/23
-------------------	--

Report Date: April 19, 2023

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Fire Department	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A305/22	Minor Variance Application; Approved by COA

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A207/23

CITY WARD #:	2
APPLICANT:	Caplink Limited
AGENT:	Rosemarie Humphries, Nicole Cappadocia, Martin Ng and Morteza Abbasnezhad
PROPERTY:	351 & 355 New Enterprise Way, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment".
RELATED DEVELOPMENT APPLICATIONS:	DA.22.064.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a retaining wall. Relief is also required to facilitate related Site Plan Application DA.22.064.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.897, and U, Utility Zone, under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A retaining wall with a height greater than 1m at its highest portion shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13]	To permit a retaining wall with a maximum height of 4.10 m at its highest portion to be setback a minimum of 0.0m from a lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 25, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	April 11, 2024
Date Applicant Confirmed Posting of Sign:	April 12, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The proposed retaining wall is located along the southerly property line, and not setback an equal distance of the height of the proposed retaining wall. Please refer to Table 4-1, respecting Retaining Walls, per Zoning By-law 01-2021.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.22.064 be addressed to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering Department has reviewed the proposed retaining wall and does not object to the Minor Variance application A207/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.22.064) from the Development Engineering (DE) Department.
--	--

PARKS, FORESTRY & HORTICULTURE (PFH)

The PFH Department has reviewed and does not object to the Minor Variance application A207/23, subject to the following condition(s):

PFH Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1) Applicant/owner shall provide an arborist report/tree protection plan to the satisfaction of the forestry division for the large tree adjacent to the south lot line. 2) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
--	--

DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
--	------

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
--	------

FIRE DEPARTMENT

Ensure all applicable codes and standards are complied with.

Fire Department Recommended Conditions of Approval:	None
--	------

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.22.064) from the Development Engineering (DE) Department.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1. Applicant/owner shall provide an arborist report/tree protection plan to the satisfaction of the forestry division for the large tree adjacent to the south lot line. 2. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
3	Development Planning Nicholas.delprete@vaughan.ca	That all comments on Site Development Application File DA.22.064 be addressed to the satisfaction of the Development Planning Department.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

IMPORTANT INFORMATION

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

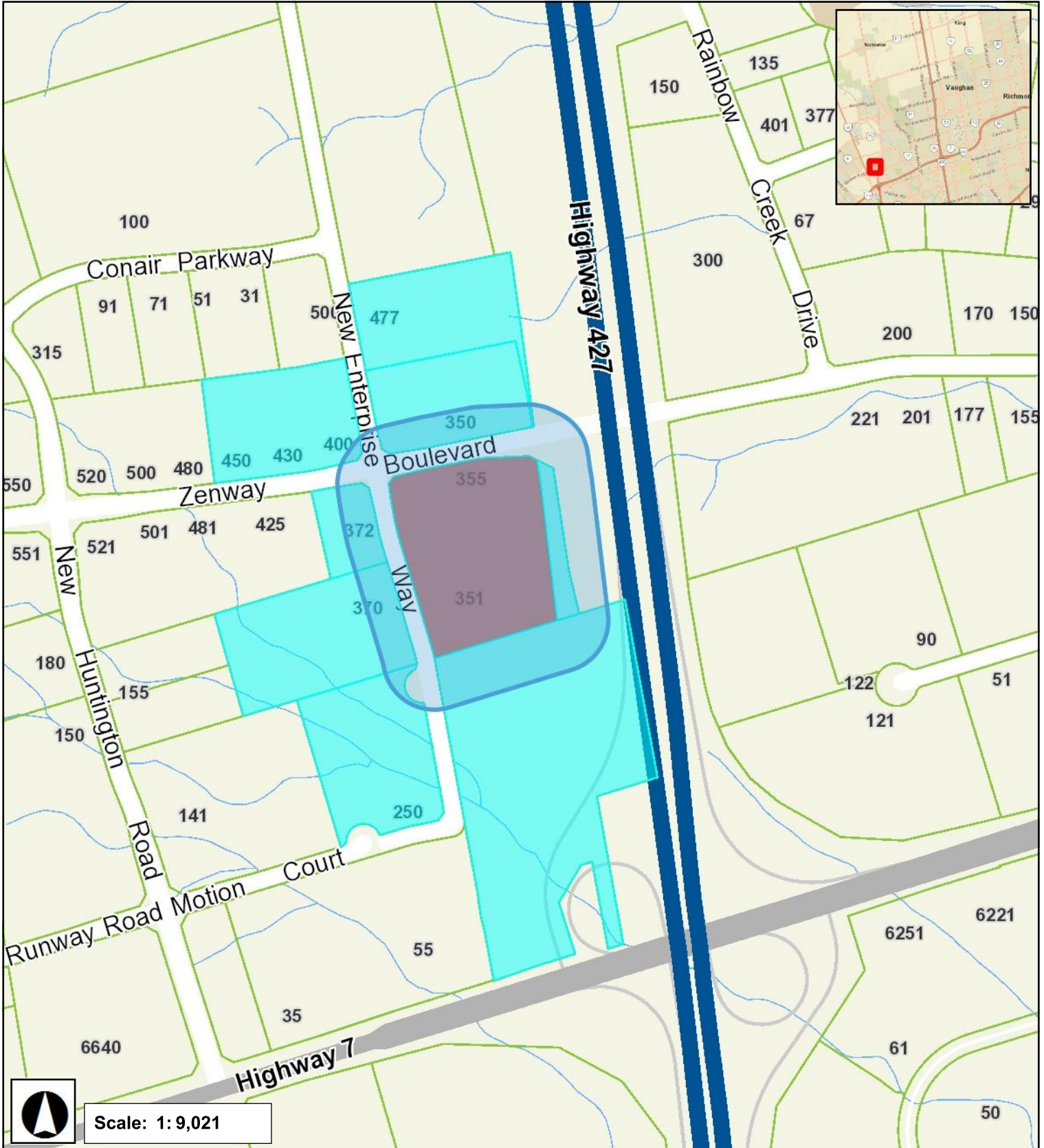
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A207/23

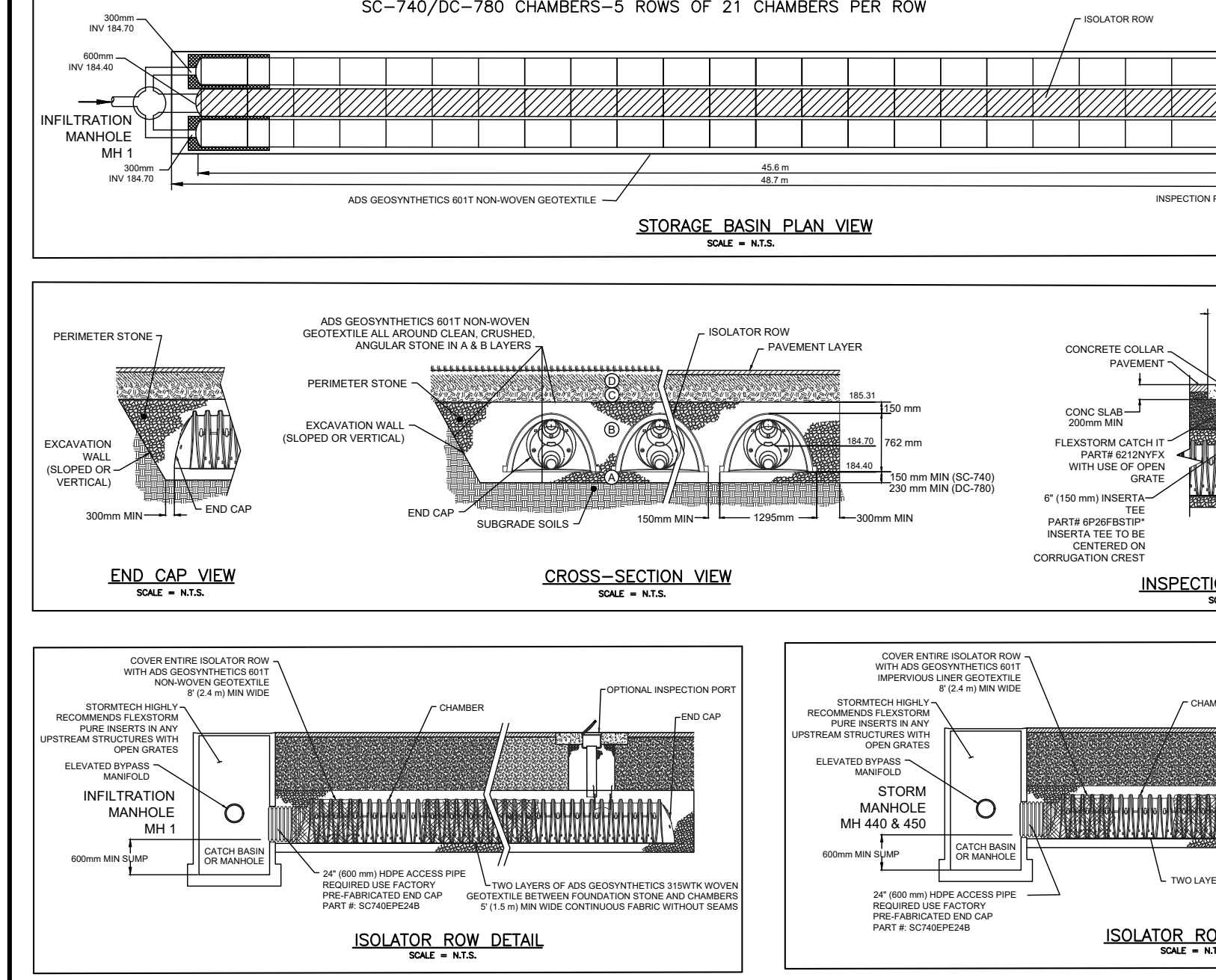
351 NEW ENTERPRISE WAY, WOODBRIDGE
351 & 255 New Enterprise Way, Woodbridge



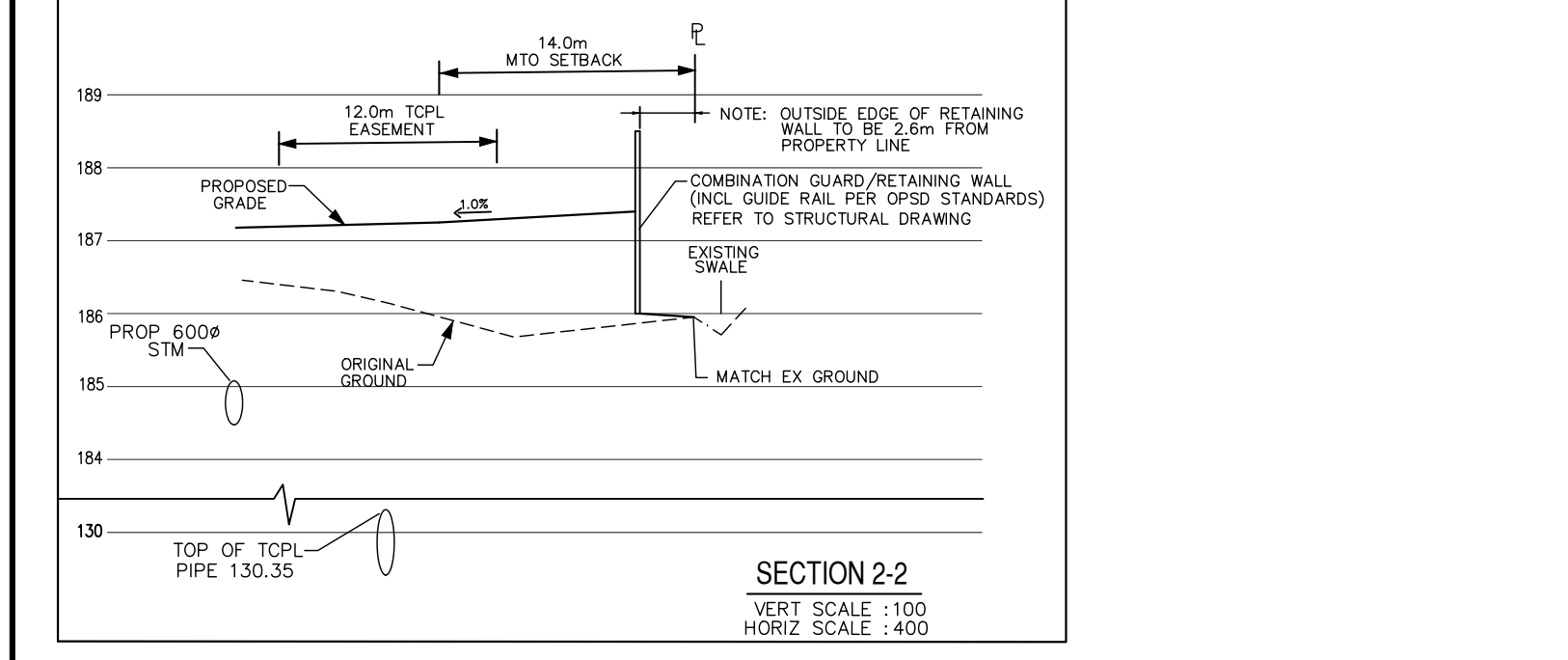
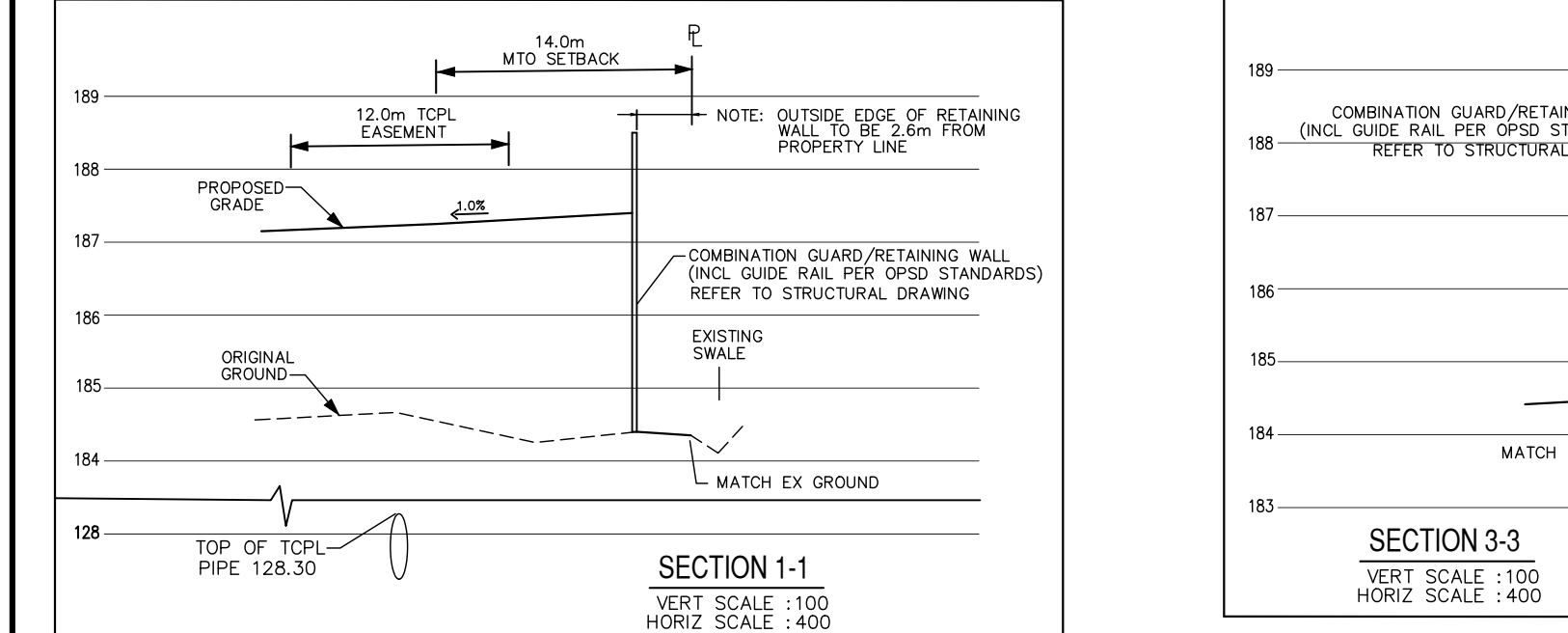
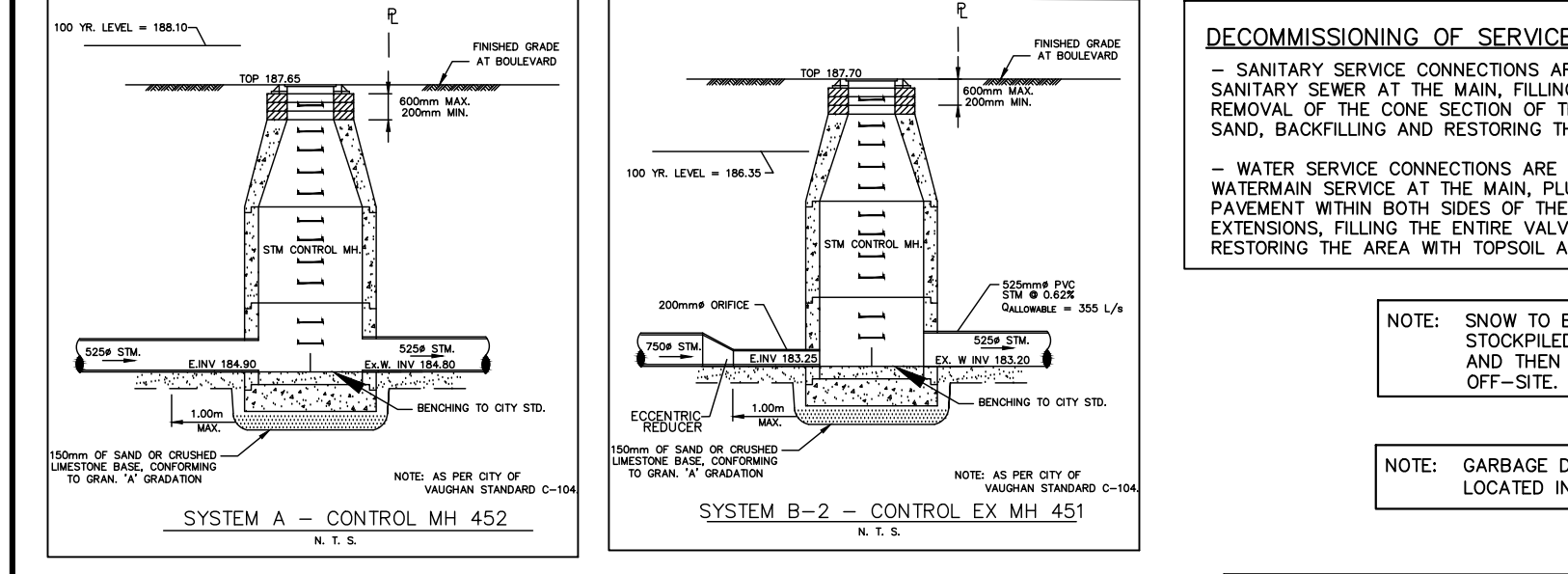
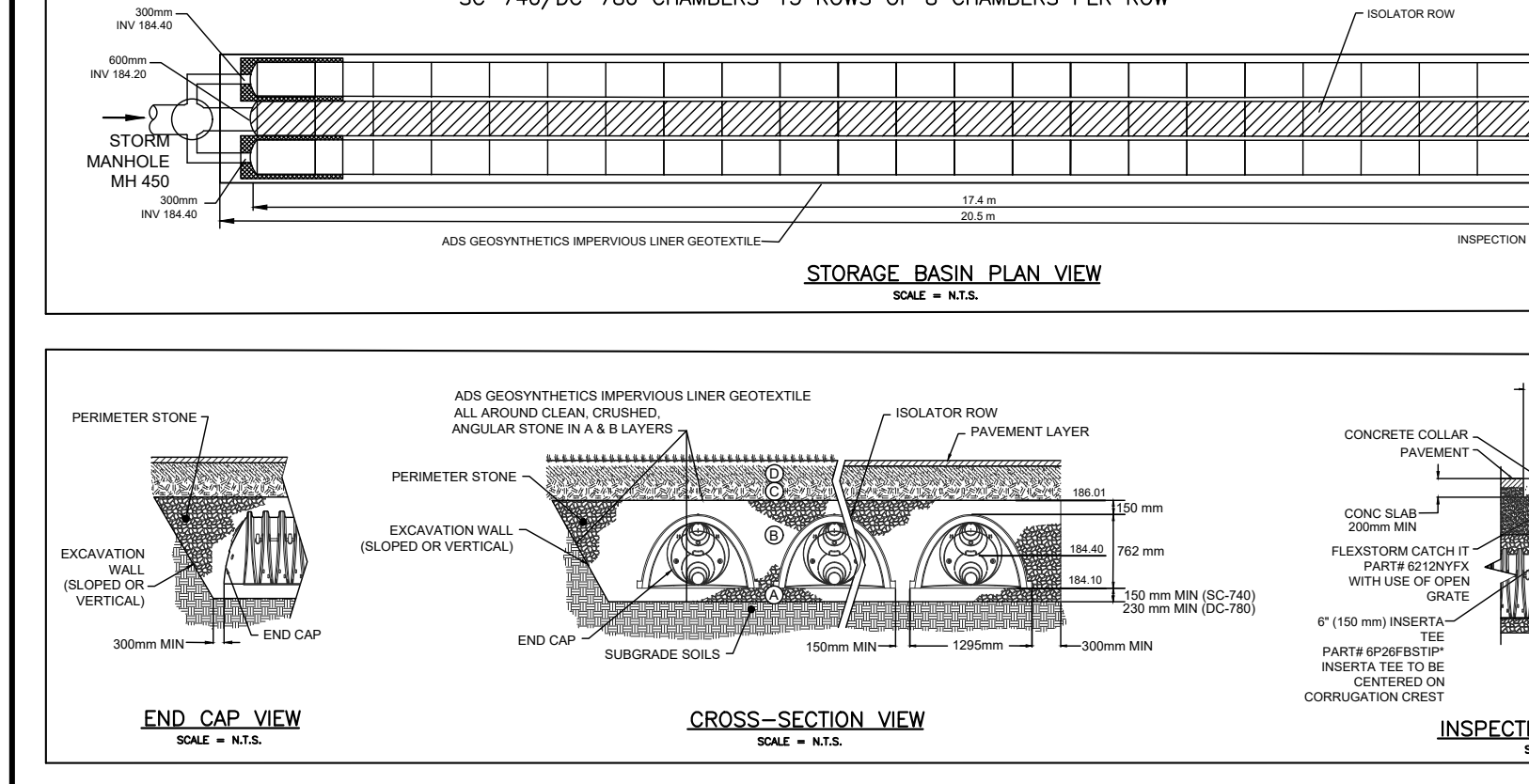
STORM WATER MANAGEMENT SUMMARY			
SITE AREA SUMMARY	SYSTEM A AREA (sq.m)	SYSTEM B AREA (sq.m)	TOTAL AREA (sq.m)
PAVED	3700	1914	5614
LANDSCAPED	630	1914	2544
ROOF	107	1914	2021
UNCONTROLLED PAVED	1631	0	1631
UNCONTROLLED LANDSCAPED	1631	0	1631
TOTAL SITE AREA	6068	3401	4069

RECEIVED
By providel at 3:19 pm, Apr 15, 2024

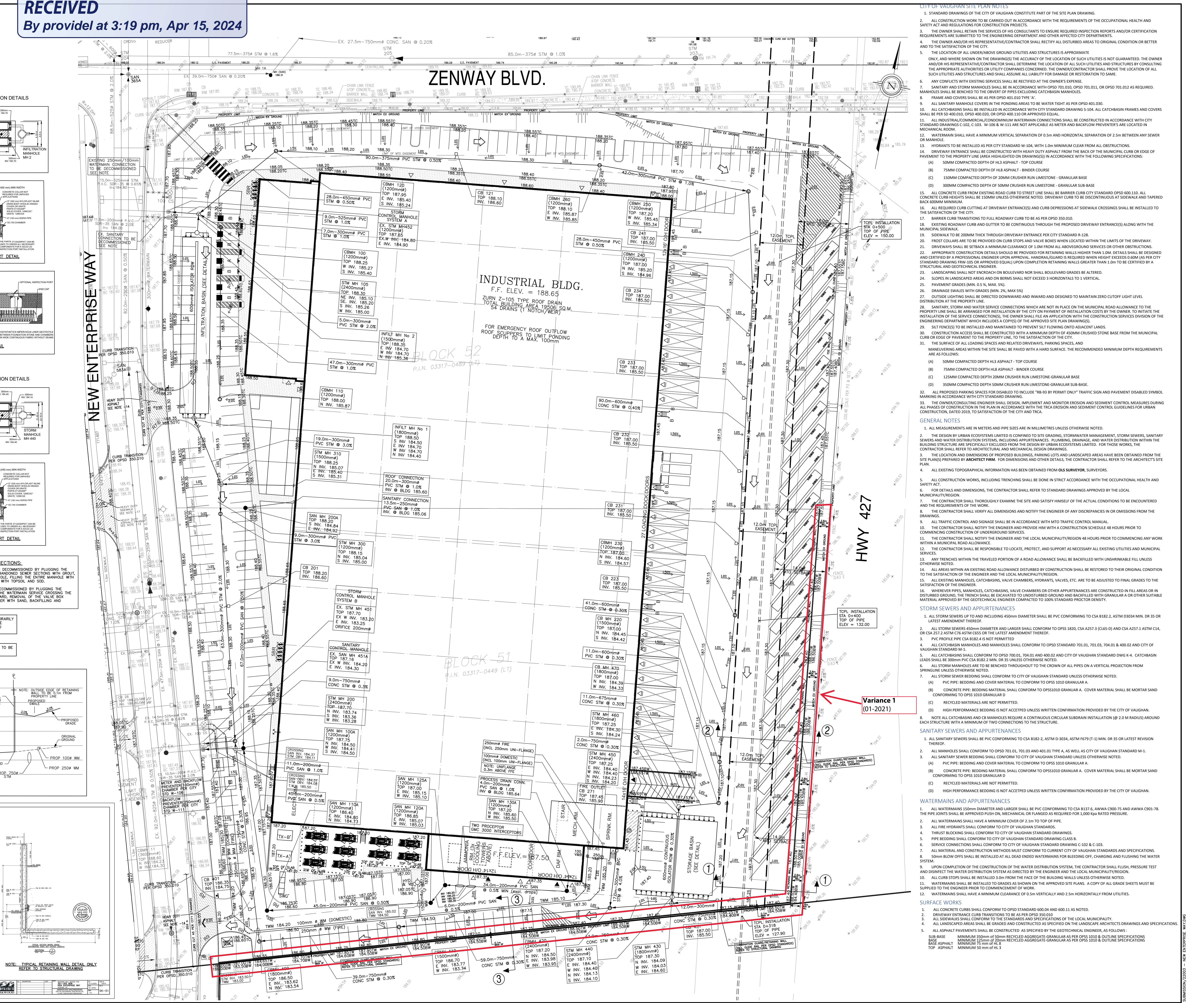
INFILTRATION BASIN DETAILS
NOTE: REFER TO ADVANCED DRAINAGE SYSTEMS INC (ADS) FOR SPECIFICATIONS AND INSTALLATION DETAILS



QUANTITY STORAGE BASIN DETAILS
NOTE: REFER TO ADVANCED DRAINAGE SYSTEMS INC (ADS) FOR SPECIFICATIONS AND INSTALLATION DETAILS



LEGEND	
208.00	PROPOSED ELEVATION
EX. 208.00	EXISTING ELEVATION
R.D.	ROOF DRAIN LOCATION
●	EX. MANHOLE
○	LIGHT STANDARD
⊗	VALVE CHAMBER
⊕	VALVE BOX
□	CATCHBASIN MANHOLE
○	CATCHBASIN
○	HYDRANT AND VALVE
→	OVERLAND FLOW



NOTE		SITE DESCRIPTION		GEODEIC BENCHMARK		URBAN ECOSYSTEMS LIMITED		CAPLINK LIMITED		DESIGNED BY		CHECKED BY	
1.0	Retaining Wall Offset distance from HWY 427 identified on plan	RS	Apr 15, 2024	BLOCK 51 and 52		7050 WESTON ROAD, SUITE 705 WOODBRIDGE, ONTARIO L4B 6G7 info@urbanecosystems.com t. (905)856-0629 f. (905)856-0698		351 NEW ENTERPRISE WAY SITE SERVICING - GRADING PLAN		R.S.	March 2022	R.S.	March 2022
2.0	4TH Engineering Submission - System B Office revised	RS	Apr 1, 2024	CITY OF VAUGHAN		ELEVATION OF 194.729 METRES		CITY OF VAUGHAN ENGINEERING DEPARTMENT		DA. 22.064	SCALE: 1 : 400	DA. 22.064	SCALE: 1 : 400
3.0	Retaining Wall Cross-Section 3-3 added	RS	Feb 16, 2024	REGIONAL MUNICIPALITY OF YORK				CITY OF VAUGHAN		PROJECT NO.: 22003.330	DRAWING NO.: SP-1		

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: January 9th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A207-23**

Related Files:

Applicant Caplink Limited

Location 351 and 355 New Enterprise Way



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

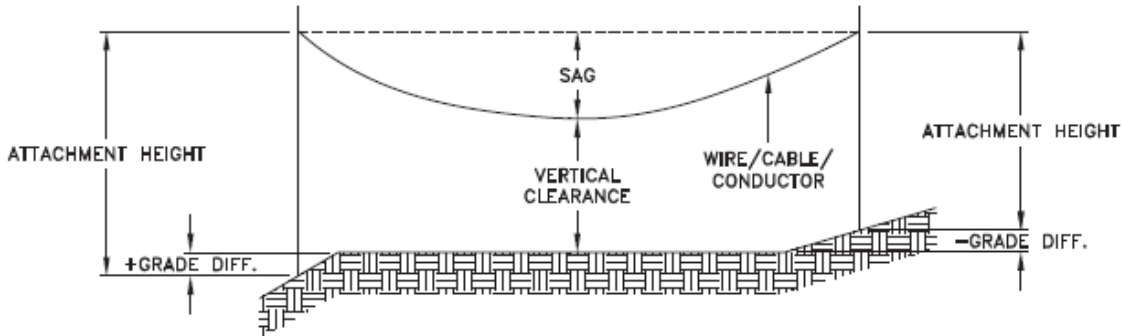
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

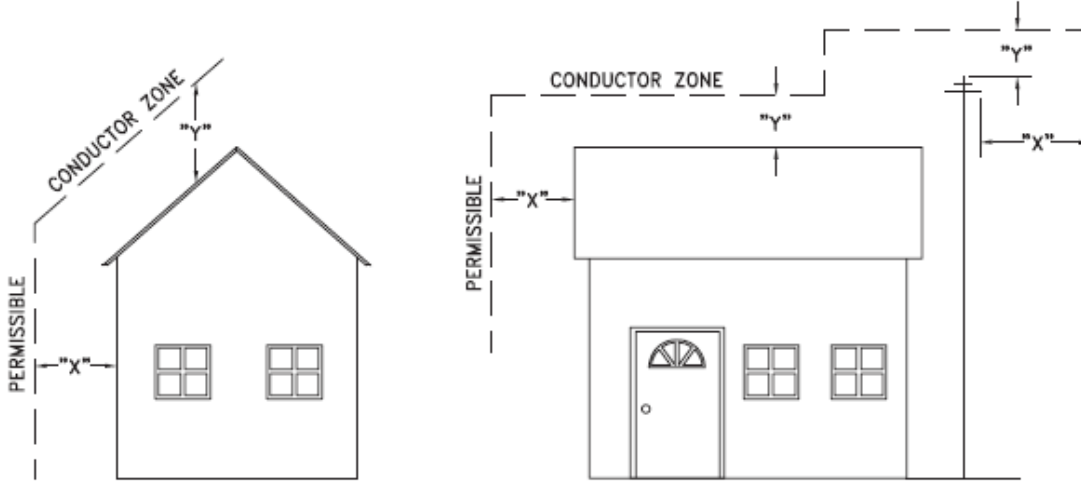
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: April 2, 2024
Applicant: Caplink Limited
Location: 351 and 355 New Enterprise Way
 Plan 65M3992, Blocks 51 and 52
File No.(s): A207/23

Zoning Classification:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.897, and U, Utility Zone, under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A retaining wall with a height greater than 1m at its highest portion shall be setback an equal distance to the height of the highest portion of the retaining wall. [4.13]	To permit a retaining wall with a maximum height of 4.10 m at its highest portion to be setback a minimum of 0.0m from a lot line.

Staff Comments:

Other Comments:

General Comments	
1	The Applicant shall contact By-law and Compliance, Licensing and Permit Services Department with respect to fence requirements on a retaining wall.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	The subject lands are currently being reviewed for development under Development Application DA.22.064.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: April 17, 2024
Name of Owner: Ojus Ajemera – Caplink Limited
Location: 351 & 355 New Enterprise Way
File No.(s): A207/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a retaining wall with a maximum height of **4.10 m** at its highest portion to be set back a minimum of **0.0 m** from a lot line.

By-Law Requirement(s) (By-law 001-2021):

1. A retaining wall with a height greater than **1 m** at its highest portion shall be set back an equal distance to the height of the highest portion of the retaining wall.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" by Volume 2, Section 12.12 Huntington Business Park.

Comments:Application History

In 2022, the Owners submitted a Site Development Application (DA.22.064) to permit the development of a food processing plant and accessory office component with a combined GFA of 20,132.48 m² and 220 parking spaces, including 7 barrier-free parking spaces, 10 car-pooling spaces, 27 trailer parking spaces and 27 loading spaces.

In order to facilitate the development proposed in Site Development Application File DA.22.064, relief from Zoning By-law 001-2021 was sought via Minor Variance Application File A305/22. Relief was requested for a reduced minimum landscape strip, reduced minimum setback from the nearest portion of a TransCanada pipeline easement, reduced minimum distances from a lot line abutting a highway corridor, to permit 0 change and shower facilities, and to permit outside storage on the lands. The Minor Variance Application was approved. This Minor Variance Application (A207/23) was submitted to permit the construction of a retaining wall on the subject lands.

Analysis

The Owner is requesting relief to permit the construction of a retaining wall along the south lot line and a portion of the eastern lot line of the Subject Lands, with the above-noted variance.

Development Planning Department Staff has no objection to the proposed variance for the retaining wall. The retaining wall is proposed as an "L-shape" as it is connected at the southeastern corner of the Subject Lands and has an exposed face height up to 4.10 m at its highest portion (along the southern property line) due to the property's varying topography. The wall height gradually increases as it travels eastward along the southern property line until it reaches its maximum height of 4.10 m approximately one third down its length. The 0.0 m minimum setback for the proposed retaining wall is measured along the southern property line at the southwest corner but expands to 0.1 m one half down its length, maintaining a 0.1 m setback until it turns north. The retaining wall is proposed to travel northward approximately halfway up the property while maintaining a 2.6 m setback to the east lot line. The height of the wall along the eastern property line begins at the maximum height of 4.1 m and progressively lowers as it travels northward to the end of the wall.

The Ministry of Transportation ('MTO') owns the lands to the east and south of the site. The east lands face Highway 427 and the south lands are largely vacant but contain on and off-ramps for the Highway 427 and Highway 7 interchange. MTO has reviewed the application proposed retaining wall through the relevant site plan review process and is satisfied with its design. MTO has not requested an easement to establish the south retaining wall as part of the variance or site plan application processes. The Owner of the Subject Lands must obtain permission from MTO to enter its lands to conduct any future maintenance works on the wall, if required. Development Planning Staff do not anticipate an issue with this arrangement as the MTO lands near the wall are grassed and located at the extremity of an interchange area. The Development Engineering Department has also reviewed the proposal and has no concerns with the retaining wall. As such, the retaining wall is not anticipated to have any adverse impacts to the neighbouring property and is desirable for the appropriate development of the land.

In support of the application, the Owner has submitted an Arborist Report and Tree Preservation Plan prepared by Canopy Consulting, dated May 9, 2022, and updated on November 2, 2022. The report inventoried a total of two (2) trees, one (1) of which is proposed to be removed and one (1) to be preserved. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, Development Planning Department Staff can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department Staff recommends approval of the application with the following condition of approval:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.22.064 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Nicholas Del Prete, Planner 1
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A207/23 (351 New Enterprise Way) – REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: January-09-24 9:32 AM
To: Committee of Adjustment <CofA@vaughan.ca>
Cc: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Subject: [External] RE: A207/23 (351 New Enterprise Way) – REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 351 New Enterprise Way, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)
E: kristen.regier@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A207/23 (351 New Enterprise Way) – REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: January-11-24 8:58 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A207/23 (351 New Enterprise Way) – REQUEST FOR COMMENTS, CITY OF VAUGHAN

Good morning Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Planning and Economic Development Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Application Cover Letter

December 19, 2023
HPGI File: 22800

Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Re: Minor Variance Application
351 & 355 New Enterprise Way
Caplink Limited
(Related File: Previous Approved Minor Variance Application A305/22)

Humphries Planning Group Inc. ('HPGI') is the planning consultant for Caplink Limited, the legally registered owners of the lands municipally known as 351 & 355 New Enterprise Way, in the City of Vaughan (the "Subject Site").

A Minor Variance Application is being submitted to permit the proposed development of a food processing plant with an accessory office component. The total proposed GFA for the building is 20,132.48 sq.m, with a total site coverage of approximately 47.53%. The Subject Site is proposed to accommodate two (2) access points; one (1) at the south west corner of the site, and another further north, onto New Enterprise Way. No access is proposed from Zenway Boulevard. The development proposal provides 220 parking spaces, including 7 barrier-free parking spaces, 10 car-pooling spaces, 27 trailer parking spaces and 27 loading spaces.

A Minor Variance Application (A305/22) for the Subject Site was submitted and approved at the March 2nd, 2023 Committee of Adjustment Hearing, with no appeals.

The enclosed Minor Variance Application is submitted to ensure compliance with Zoning By-law 01-2021, subject to a variance contemplated as being required in the previous submission to facilitate the development of the food processing plant.

The Subject Site is designated "Prestige Employment", per Schedule 13 – Land Use, of the City of Vaughan Official Plan (2010). The Subject Site is also located within the Huntington Business Park. According to the City of Vaughan Comprehensive Zoning By-law 01-2021, the Subject Site is zoned Prestige Employment 'EM1-897' Zone, and Utility 'U' Zone (along the east portion of the site only).

In order to facilitate the development proposed through the Site Plan Application, relief from the Comprehensive City of Vaughan Zoning By-law 01-2021 is required. The below identifies the variance required for relief.

Variance #1: Per Zoning By-law 01-2021, Table 4-1 Permitted Encroachments into Required Yards, respecting Retaining Walls, requires that a retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall, and that a retaining wall less than 1 metre in height is permitted to be 0 metres to the lot line. This provision of the zoning by-law is not specific to a particular zone, such is applicable to the 'EM1 – Prestige Employment' Zone and 'U - Utility' Zone. As such, the proposed variance to By-law 01-2021 shall be that "the minimum permitted encroachment setback respecting a retaining wall of any height to any yard shall be 0 metres."

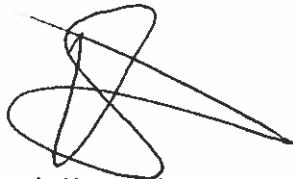
In support of the Minor Variance application, Humphries Planning Group Inc. is submitting the following materials:

#	Deliverable	Consultant	Date
1	Cover Letter	HPGI	Dec 19, 2023
2	Application Consolidation Parcels	Owner	Nov 10, 2022
3	Letter to Clerks re: Consolidated Parcels	Owner	Nov 10, 2022
4	Aerial Photo	HPGI	Dec 1, 2023
5	Variations Requested Chart	HPGI	Dec 19, 2023
6	Property Setbacks Chart	HPGI	Dec 19, 2023
7	Size of Structures Chart	HPGI	Dec 19, 2023
8	Architectural Package (with variance highlighted), including: <ul style="list-style-type: none"> • Site Plan (A-1.0) • Site Cross-Sections (A-1.1) • Perspective & Materials Board (A-1.2) • Ground Floor Plan (A-2.0) • Roof Plan (A-2.1) • Enlarged Plans (A-2.2) • Elevations (A-3.0) 	Baldassarra Architects	Dec 7, 2023
9	Site Servicing-Grading Plan	UEL	Dec 13, 2023
10	Authorization of Owner Form	Owner	Dec 8, 2023
11	Authorizing Statements Form	Owner	Dec 8, 2023
12	Sworn Declaration Form	Owner	Dec 8, 2023
13	Tree Declaration Form	Owner	Dec 8, 2023
14	Arborist Report	Alexander Budrevics Landscape	Nov 2, 2022

15	Tree Inventory & Removals Plan	Alexander Budrevics Landscape	Nov 2, 2022
16	Digital Submission	HPGI	-

We trust that the above is in order and constitutes a complete application for Minor Variance. We request that notice of such be issued and that the enclosed materials be circulated for review and a meeting be scheduled with the Committee of Adjustment.

Yours truly,
HUMPHRIES PLANNING GROUP INC.



Rosemarie Humphries BA, MCIP, RPP
President

cc. *Caplink Limited*

SCHEDULE D: BACKGROUND

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A305/22	Minor Variance Application; Approved by COA

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A305/22
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, March 2, 2023
APPLICANT:	Caplink Limited
AGENT:	Humphries Planning Group Inc
PROPERTY:	351 New Enterprise Way, Woodbridge ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a food manufacturing building.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.897, and U, Utility Zone, under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6 m is required abutting Zenway Blvd. [14.897]	To permit a minimum landscape strip width of 3 m abutting Zenway Blvd.
2	A minimum setback of 7.0 m from the nearest portion of a TransCanada pipeline easement shall apply to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway. [4.23 c]	To permit a minimum setback of 0 m from the nearest portion of a TransCanada pipeline easement to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
3	A minimum distance of 14.0 m from any lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway is required. [4.8.2]	To permit a minimum distance of 3.0 m from a lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
4	A minimum of 1 change and shower facility is required where long term bicycle parking spaces are required. [6.5.6 and Table 6-9]	To provide a total of 0 change and shower facilities where long term bicycle parking spaces are required.
5	Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned U, Utility Zone. [Table 13-2]	To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned U, Utility Zone.
6	Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned EM1, Prestige Employment Zone. [Table 11-2]	To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned EM1, Prestige Employment Zone.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A305/22** for 351 New Enterprise Way Woodbridge ON be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
<p>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</p> <p>It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart below for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
1	Development Engineering lan.reynolds@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.22.064) from the Development Engineering (DE) Department.
2	Development Planning Joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.22.064 be addressed to the satisfaction of the Development Planning Department.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

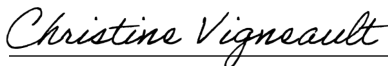
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	Thursday, March 2, 2023
DATE OF NOTICE:	March 9, 2023
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	March 22, 2023 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: [See Fee Schedule](#)

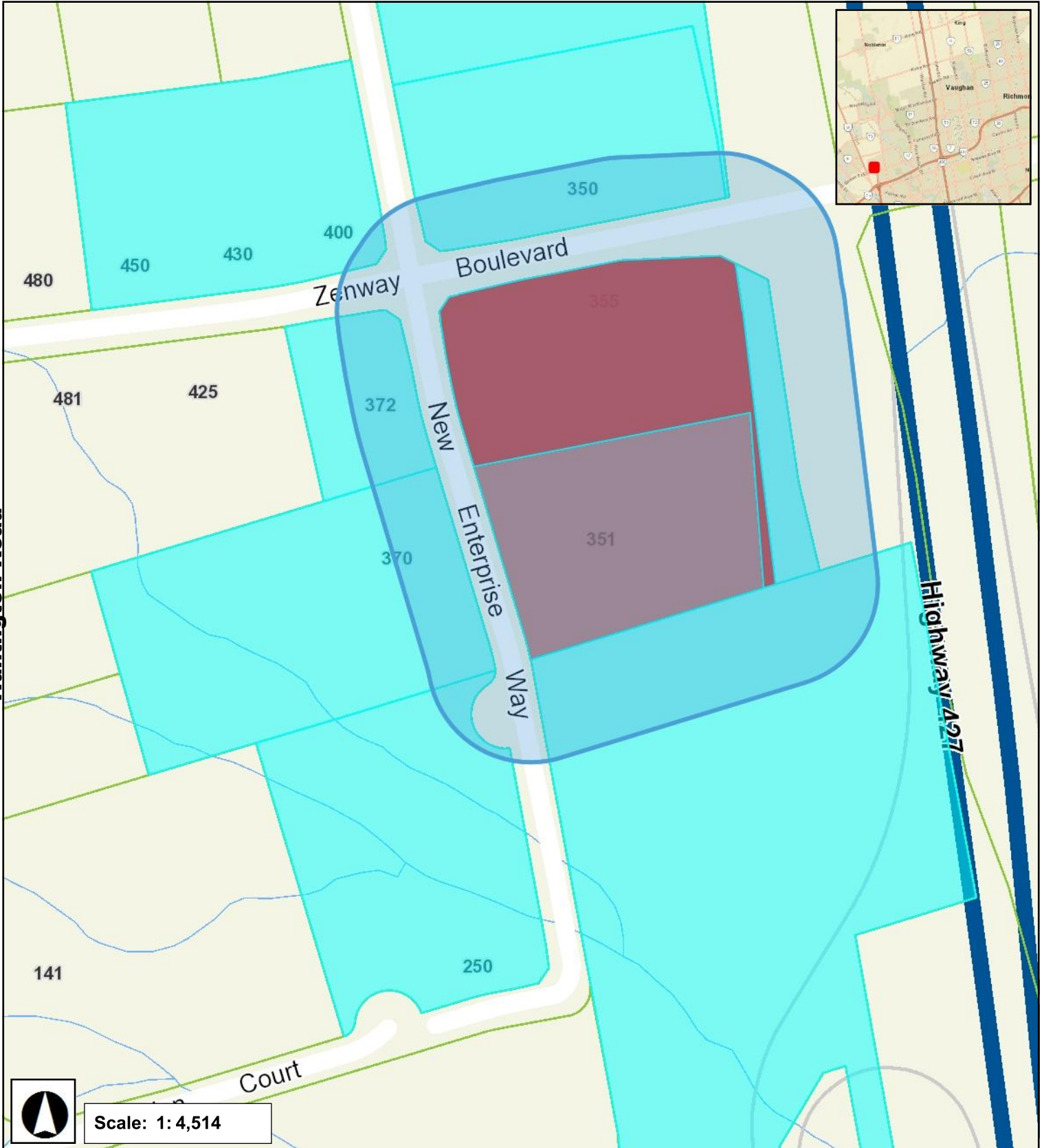
*Please note that all fees are subject to change.



LOCATION MAP - A305/22

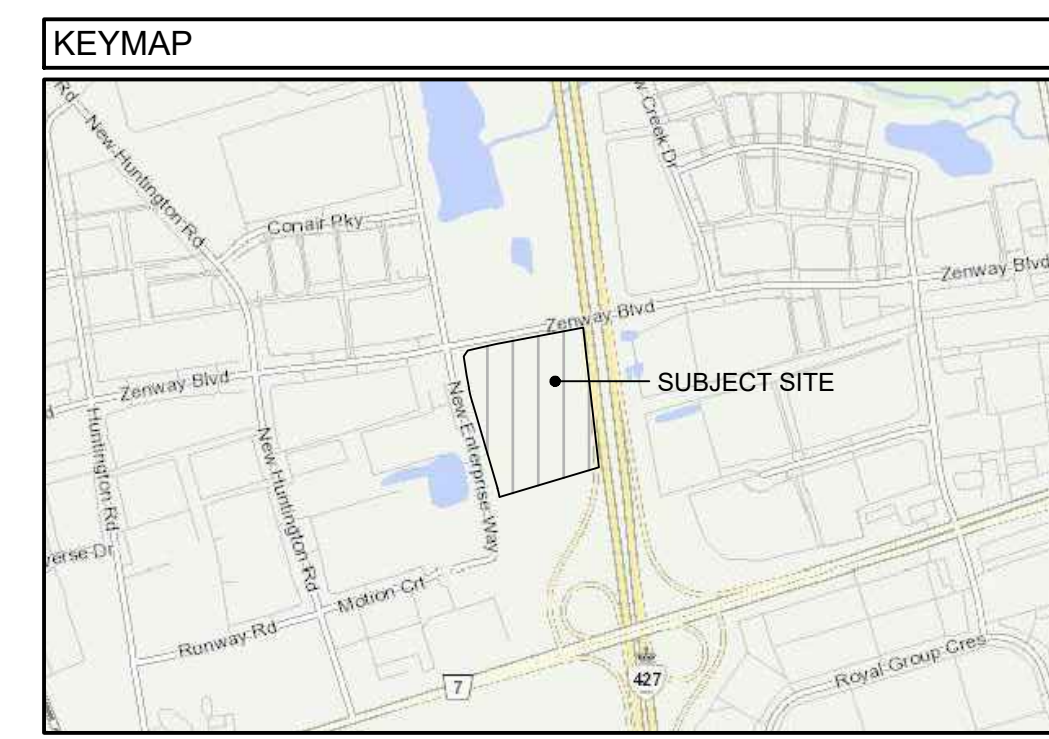
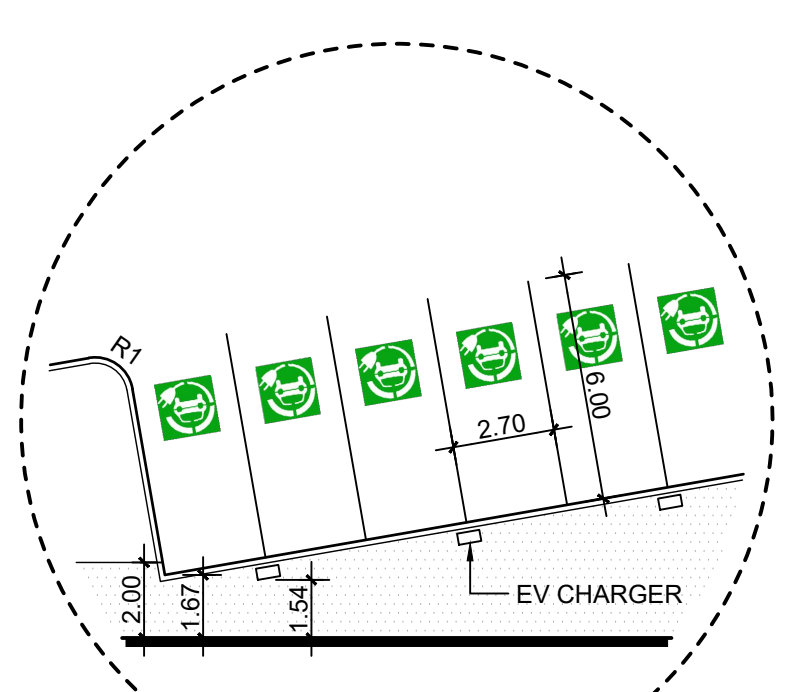
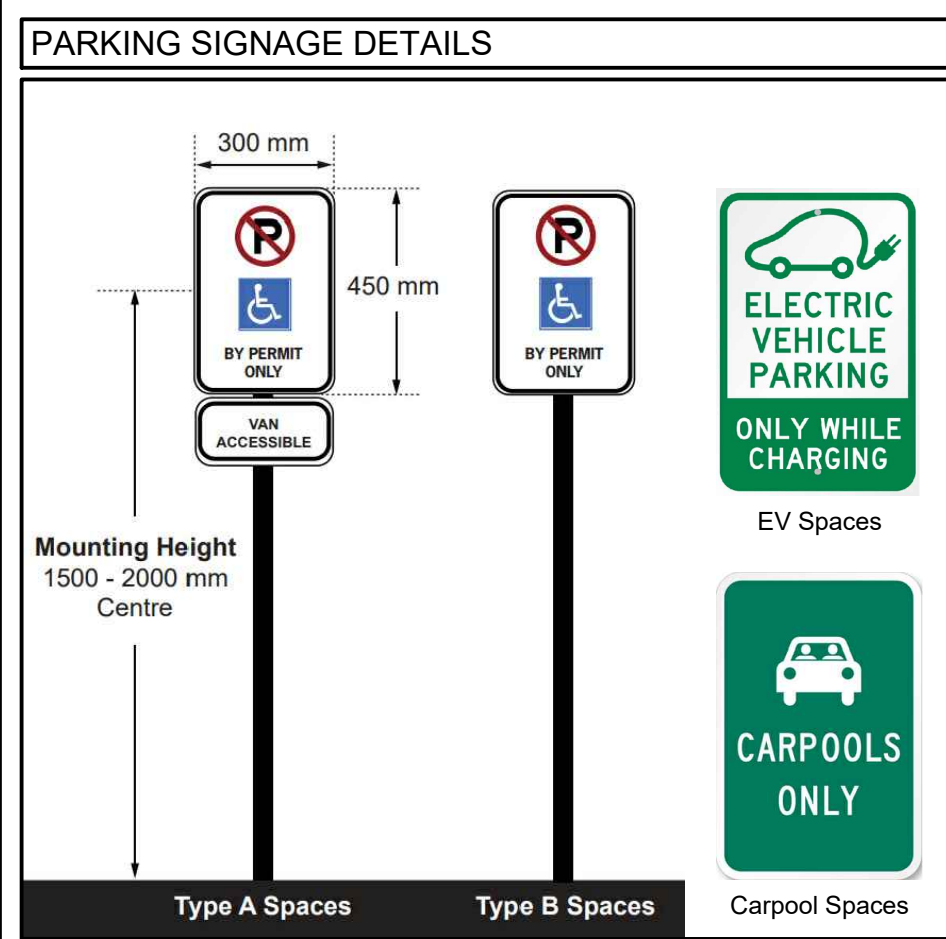
351,355 NEW ENTERPRISE WAY, WOODBRIDGE

Rutherford Road



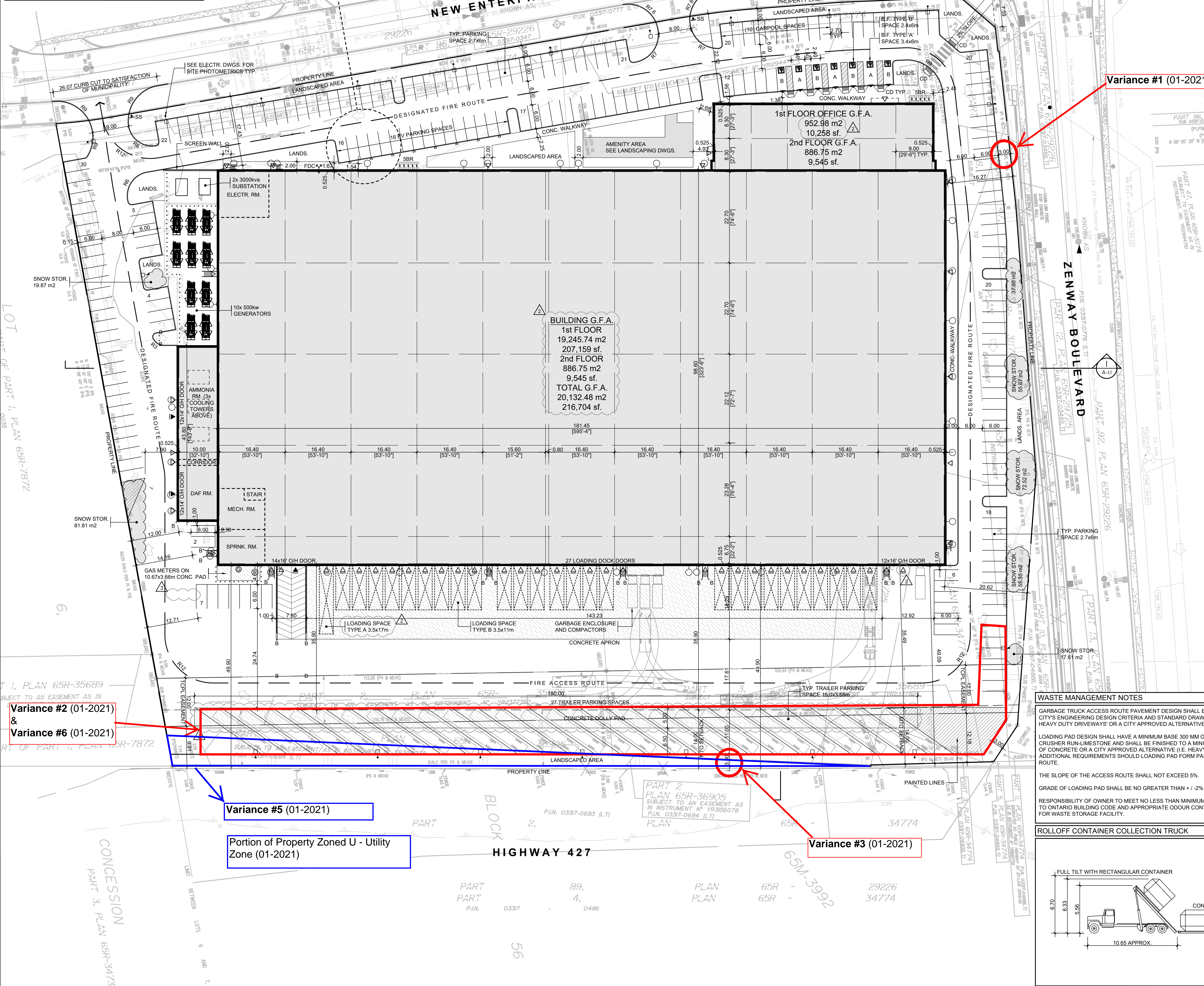
Langstaff Road

January 26, 2023 10:53 AM



LEGAL DESCRIPTION	PROJECT NORTH
BLOCK 51 AND PART OF BLOCKS 52 & 56 REGISTERED PLAN 65M-3992	
CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK	TRUE NORTH
AS PREPARED BY: GENESIS LAND SURVEYING INC. ONTARIO LAND SURVEYORS	

SITE STATISTICS	
SITE AREA	40,491.01 m ² or 10.01 acres
ZONING	EM1 - PRESTIGE EMPLOYMENT
FRONT YARD (NORTH)	4.5 m 16.27 m
REAR YARD (SOUTH)	7.5 m 12.00 m
EXTERIOR SIDE YARD (WEST)	4.5 m 17.43 m
EXTERIOR SIDE YARD (EAST)	4.5 m 49.09 m
1st Floor Office (excluding stairs/elev.)	764.03 m ² or 8,224 sf
1st Floor Manufacturing	17,457.65 m ² or 187,913 sf
2nd Floor Office	886.75 m ² or 9,545 sf
Mech./Electr./Sprmk./Ammonia/Stairs/Elev.	1,024.05 m ² or 11,023 sf
TOTAL	20,132.48 m ² or 216,704 sf
SITE COVERAGE (60% max.)	19,245.74 m ² or 47.53%
LANDSCAPED AREA	4,788.70 m ² or 11.82%
PAVED AREA	16,458.57 m ² or 40.65%
SNOW STORAGE (2% paved area min.)	333.42 m ² or 2.01%
	REQUIRED PROVIDED
BUILDING HEIGHT (MAXIMUM)	15.0 m 13.81 m
Office	50 spaces
Manufacturing	175 spaces
Total	225 spaces
Carpool space reduction (max. -5)	220 spaces
Office	33 spaces
Industrial (other than warehousing)	262 spaces
Total	295 spaces
BARRIER-FREE SPACES	7 spaces 7 spaces
CARPOOL SPACES	- 10 spaces
TOTAL PARKING (including barrier-free and carpool spaces)	220 spaces
BICYCLE SPACES (SHORT-TERM)	20 spaces
BICYCLE SPACES (LONG-TERM)	10 spaces
LOADING SPACES PROVIDED	27 spaces
TRAILER PARKING PROVIDED	27 spaces



Variance #1 (01-2021)

BUILDING G.F.A.
1st FLOOR
19,245.74 m²
207,159 sf.
2nd FLOOR
886.75 m²
9,545 sf.
TOTAL G.F.A.
20,132.48 m²
216,704 sf.

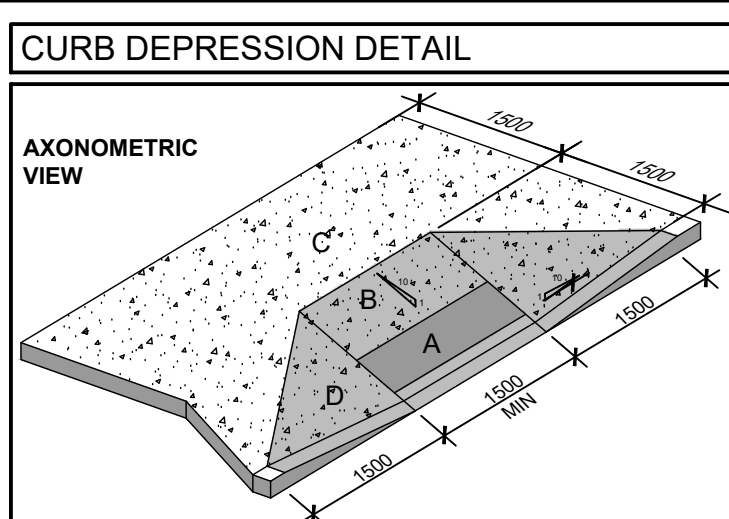
Variance #2 (01-2021) & Variance #6 (01-2021)

Variance #5 (01-2021)

Portion of Property Zoned U - Utility Zone (01-2021)

Variance #3 (01-2021)

SYMBOL LEGEND	
	MAN DOOR
	LOADING DOCK DOOR
	DRIVE-IN / OVERHEAD DOOR
	HYDRANT + VALVE
	FDC FIRE DEPARTMENT CONNECTION / SIAMESE
	CB CATCH BASIN
	DCB DOUBLE CATCH BASIN
	SANMH SANITARY MAN HOLE
	CB/MH CATCH BASIN / MAN HOLE
	SMH STORM MAN HOLE
	HP HYDRO POLE STANDARD / UTILITY POLE
	BR BIKE RACK (CLEAR SPACE 2.45m x 1.4m x 1.9m HIGH)
	ACCESSIBLE PARKING SPACE
	ACCESSIBLE PARKING SPACE SIGNAGE
	GAS METERS
	SS STOP SIGN



WASTE MANAGEMENT NOTES

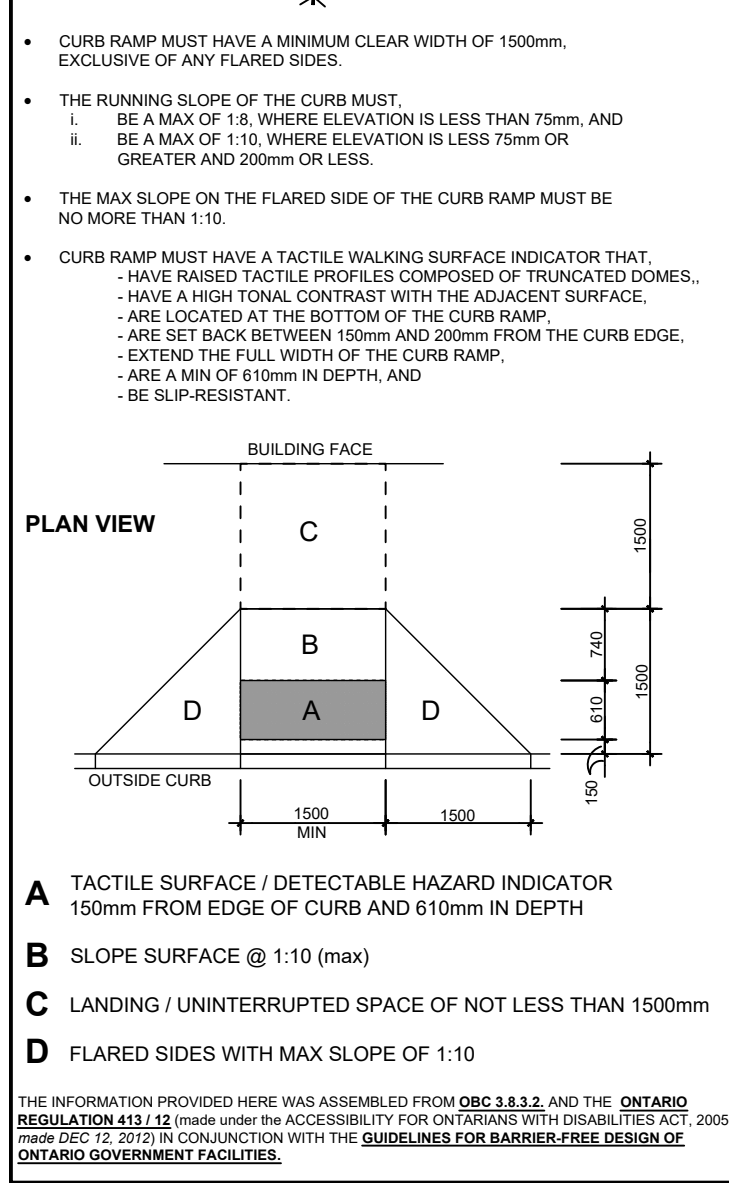
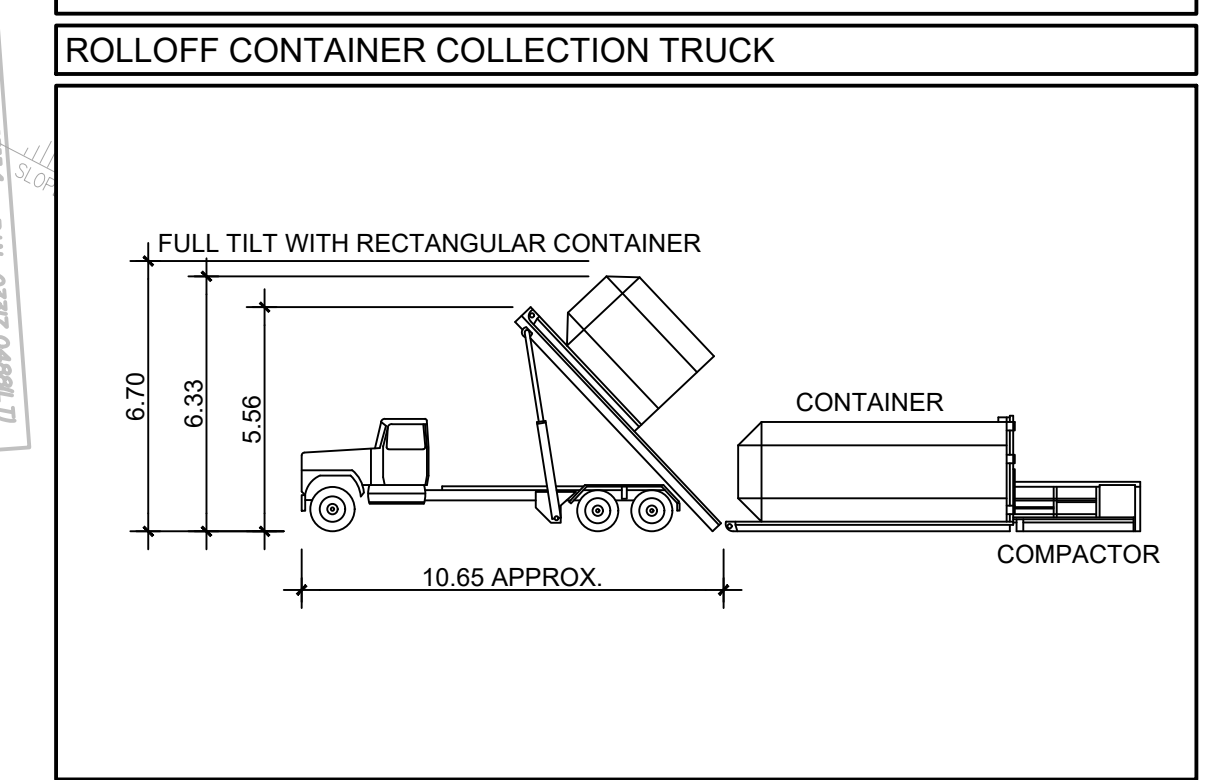
GARBAGE TRUCK ACCESS ROUTE PAVEMENT DESIGN SHALL BE A MINIMUM AS PER CITY'S ENGINEERING DESIGN CRITERIA AND STANDARD DRAWINGS FOR 'INDUSTRIAL & HEAVY DUTY DRIVEWAYS' OR A CITY APPROVED ALTERNATIVE.

LOADING PAD DESIGN SHALL HAVE A MINIMUM BASE 300 MM OF COMPACTED 20MM CRUSHER RUN LIMESTONE AND SHALL BE FINISHED TO A MINIMUM OF 200 MM DEPTH OF CONCRETE OR A CITY APPROVED ALTERNATIVE (I.E. HEAVY DUTY PAVEMENT). SEE ADDITIONAL REQUIREMENTS SHOULD LOADING PAD FORM PART OF THE ACCESS ROUTE.

THE SLOPE OF THE ACCESS ROUTE SHALL NOT EXCEED 5%.

GRADE OF LOADING PAD SHALL BE NO GREATER THAN + / - 2% (GRADE OF CROSS FALL).

RESPONSIBILITY OF OWNER TO MEET NO LESS THAN MINIMUM STANDARDS PURSUANT TO ONTARIO BUILDING CODE AND APPROPRIATE ODOUR CONTROLS REQUIREMENTS FOR WASTE STORAGE FACILITY.



No.	ISSUED	DATE
1	ISSUED FOR PAC	MAR. 10, 2022
2	ISSUED FOR COORDINATION	SEPT. 12, 2022
3	RE-ISSUED FOR COORDINATION	OCT. 31, 2022
4	ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 1, 2022
5	ISSUED FOR SPA	NOV. 14, 2022
6	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
7	ISSUED FOR REVIEW	DEC. 2, 2022
8	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
9	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
10	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
11	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

3	REVISED AS NOTED	DEC. 16, 2022
2	REVISED AS NOTED	NOV. 29, 2022
1	REVISED AS SHOWN	OCT. 26, 2022

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:

CAP LINK
LIMITED

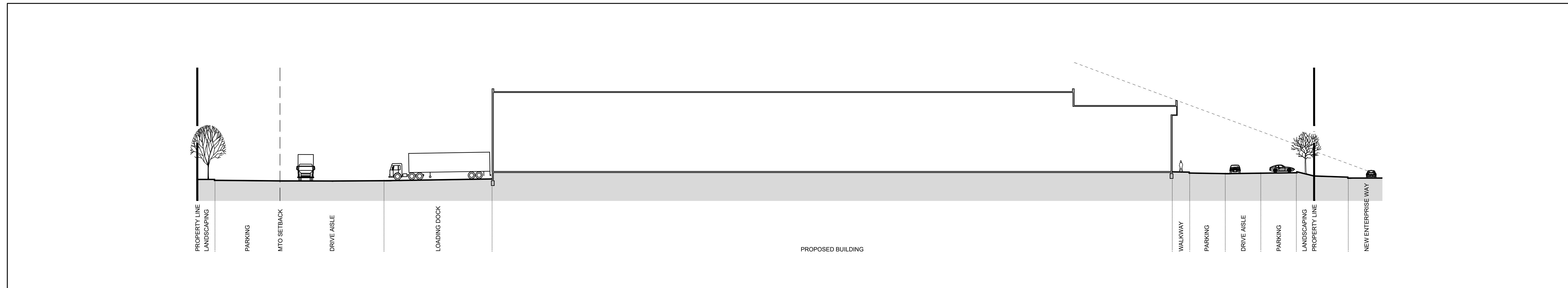
351-355 New Enterprise Way
Vaughan, ON

SITE PLAN

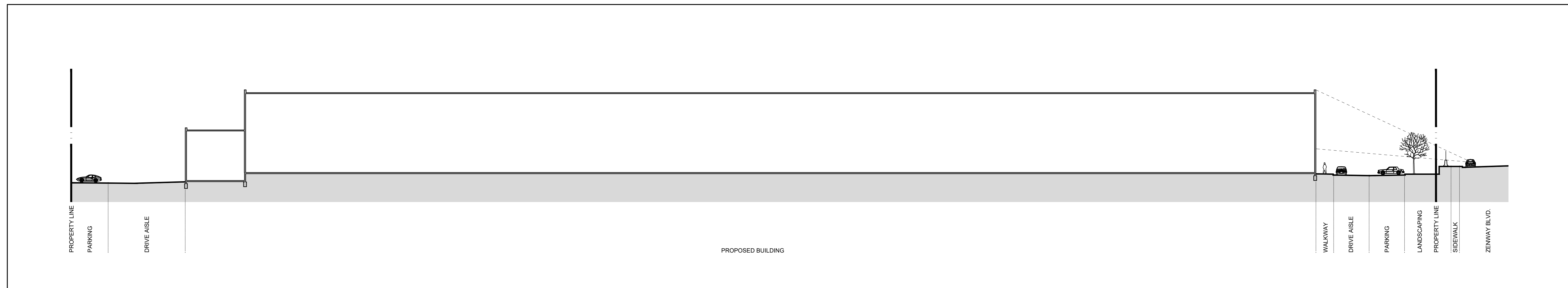
DATE	DRAWN BY	CHECKED	SCALE
MAR. 2022	MM/LY	TB	1:400
PROJECT No.	DRAWING No.		

22-24 **A-1.0**

No.	ISSUED	DATE
1	ISSUED FOR SPA	NOV. 14, 2022
2	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
3	ISSUED FOR REVIEW	DEC. 2, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
6	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023



2 Site Cross-Section - East-West
A-10 Scale = 1:300



1 Site Cross-Section - North-South
A-10 Scale = 1:300

No.	REVISION	DATE
-----	----------	------



30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:



351-355 New Enterprise Way

Vaughan, ON

SITE CROSS-SECTIONS

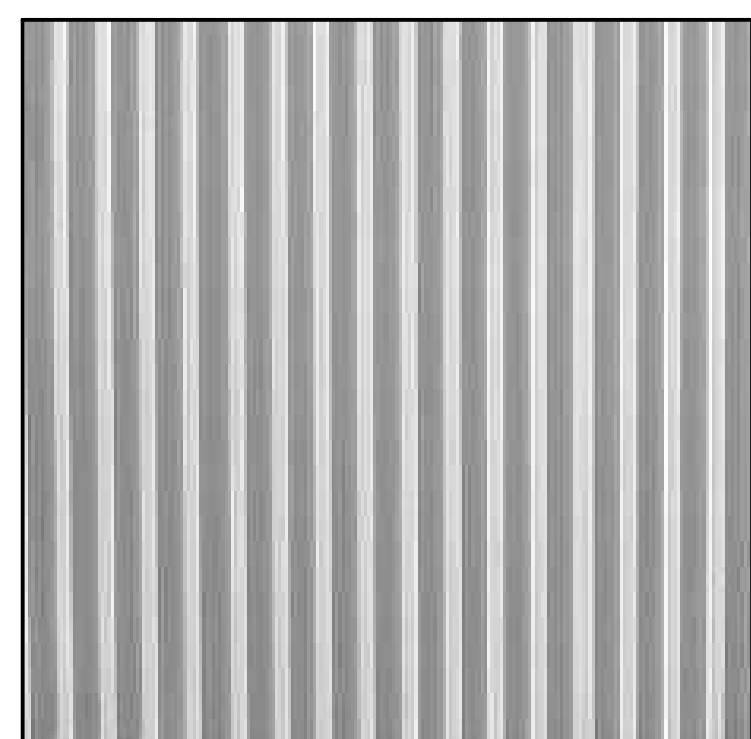
DATE: NOV. 2022	DRAWN BY: LY	CHECKED:	SCALE: AS NOTED
--------------------	-----------------	----------	--------------------

PROJECT No: 22-24	DRAWING No: A-1.1
----------------------	----------------------

No.	ISSUED	DATE
1	ISSUED FOR SPA	NOV. 14, 2022
2	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
3	ISSUED FOR REVIEW	DEC. 2, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
6	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023



BUILDING "A"



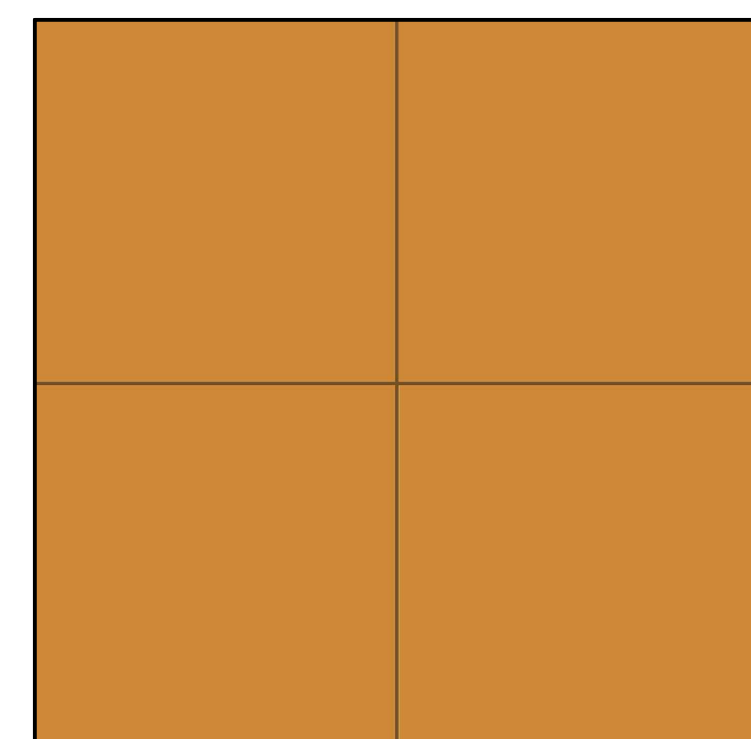
1 **CONC. PRECAST PANELS**
COLOUR: WHITE - RIBBED
FLEXWALL WITH SMOOTH BANDS



2 **CONC. PRECAST PANELS**
COLOUR: WHITE WITH LIGHT
SANDBLAST FINISH



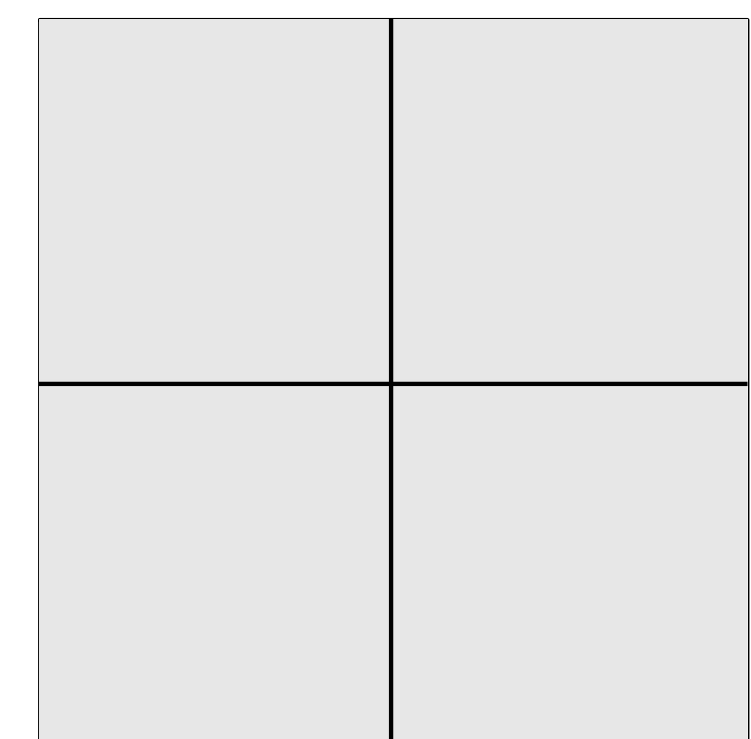
3 **ACM PANEL**
COLOUR: CNC CHARCOAL
MFR: ALPOLIC



4 **ACM PANELS**
COLOUR: COPPER
MFR: ALPOLIC



5 **ARCHITECTURAL GLAZING / SPANDEL PANELS**



6 **ACM PANEL**
COLOUR: WHITE
MFR: ALPOLIC

No.	REVISION	DATE
-----	----------	------

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:
CAP LINK
LIMITED

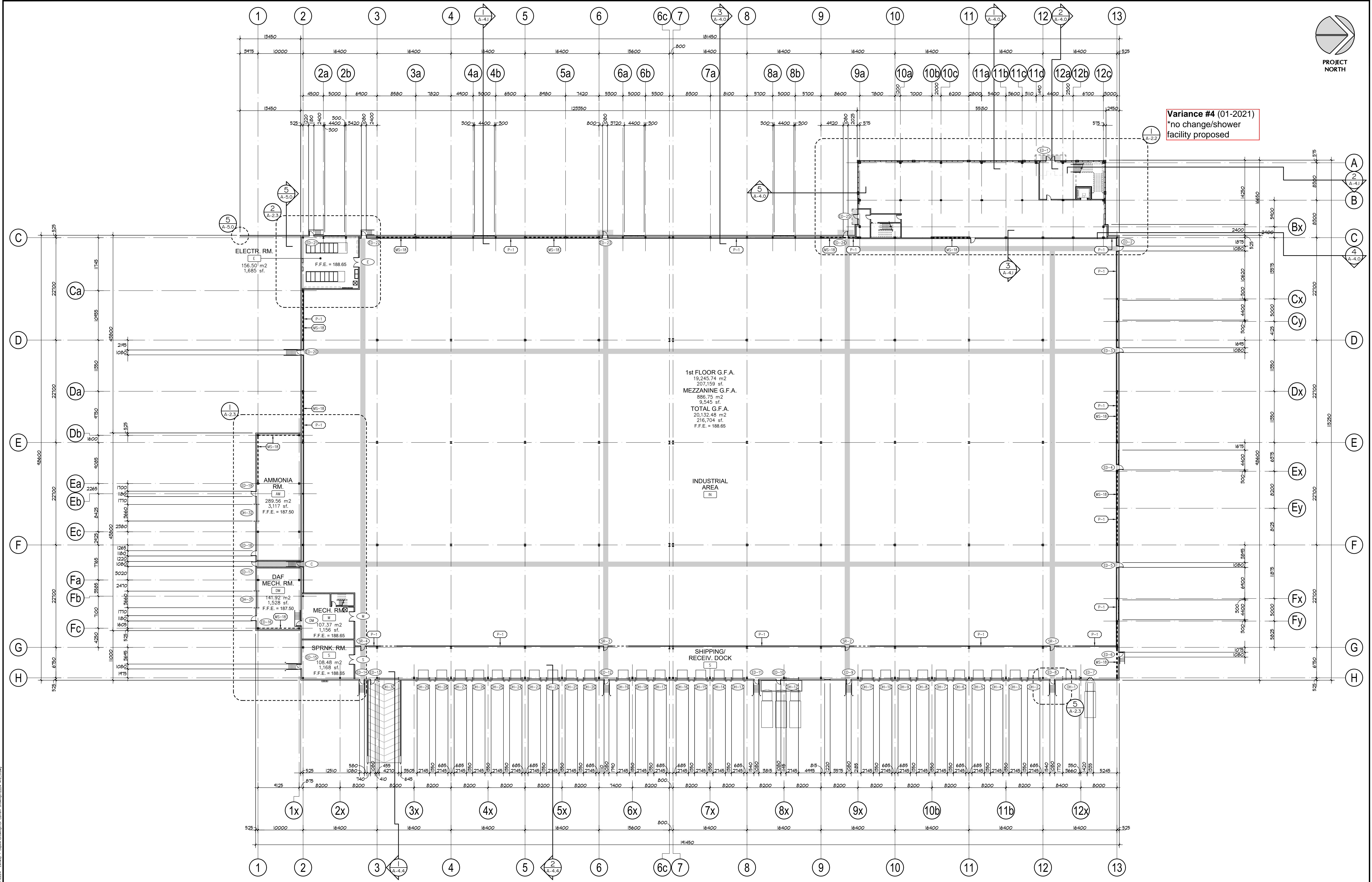
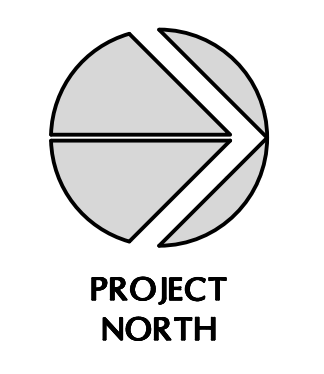
351-355 New Enterprise Way

Vaughan, Ontario

PERSPECTIVES & MATERIAL BOARD

DATE	DRAWN BY	CHECKED	SCALE
Nov. / 2022	LY/MP		N.T.S.

PROJECT No. 22-24 DRAWING No. **A-1.2**



O:\2024_Zimway - Caplink\Drawings\01 Current Drawings\2024 A-2_0.dwg, 2023-01-09 12:16:09 PM, Layout, AutoCAD PDF (General Documentation).pc3

No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	SEPT. 12, 2022
2	ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 1, 2022
3	ISSUED FOR SPA	NOV. 14, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
5	ISSUED FOR REVIEW	DEC. 2, 2022

6	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
8	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
9	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

No.	REVISION	DATE

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:
CAP LINK
LIMITED



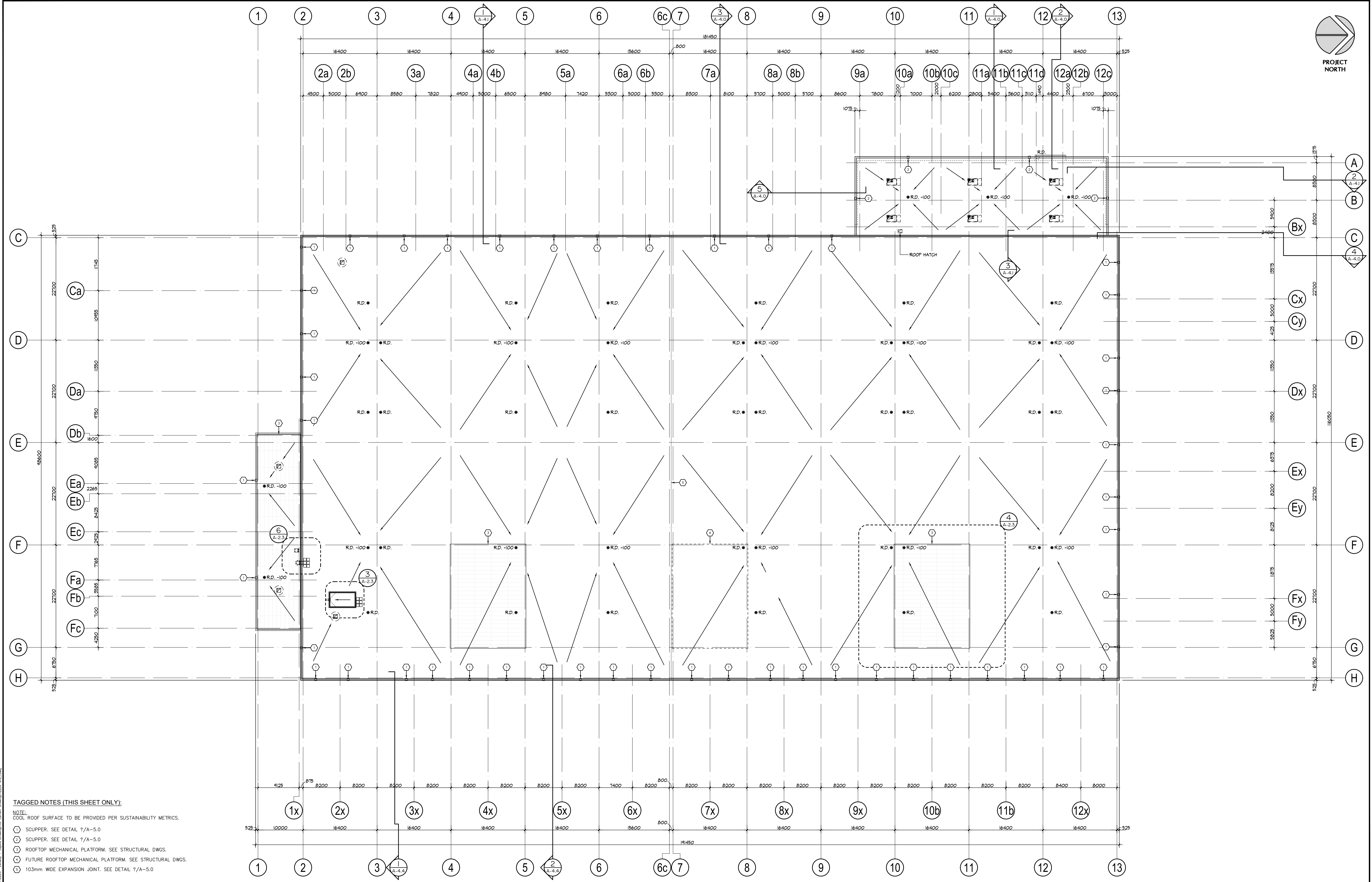
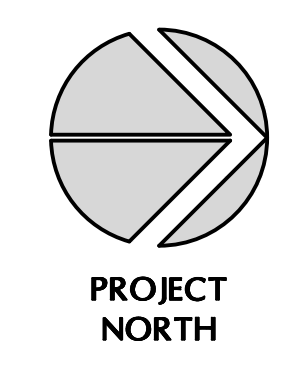
351-355 New Enterprise Way

Vaughan, ON

GROUND FLOOR PLAN

DATE:	DRAWN BY:	CHECKED:	SCALE:
APR. 2022	LY		1:300

PROJECT No. 22-24 DRAWING No. **A-2.0**



TAGGED NOTES (THIS SHEET ONLY):

NOTE:
COOL ROOF SURFACE TO BE PROVIDED PER SUSTAINABILITY METRICS.

- ① SCUPPER. SEE DETAIL ?/A-5.0
- ② SCUPPER. SEE DETAIL ?/A-5.0
- ③ ROOFTOP MECHANICAL PLATFORM. SEE STRUCTURAL DWGS.
- ④ FUTURE ROOFTOP MECHANICAL PLATFORM. SEE STRUCTURAL DWGS.
- ⑤ 103mm WIDE EXPANSION JOINT. SEE DETAIL ?/A-5.0

No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	SEPT. 12, 2022
2	ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 1, 2022
3	ISSUED FOR SPA	NOV. 14, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022

6	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

No.	REVISION	DATE

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:
CAP LINK
LIMITED



351-355 New Enterprise Way

Vaughan, ON

ROOF PLAN

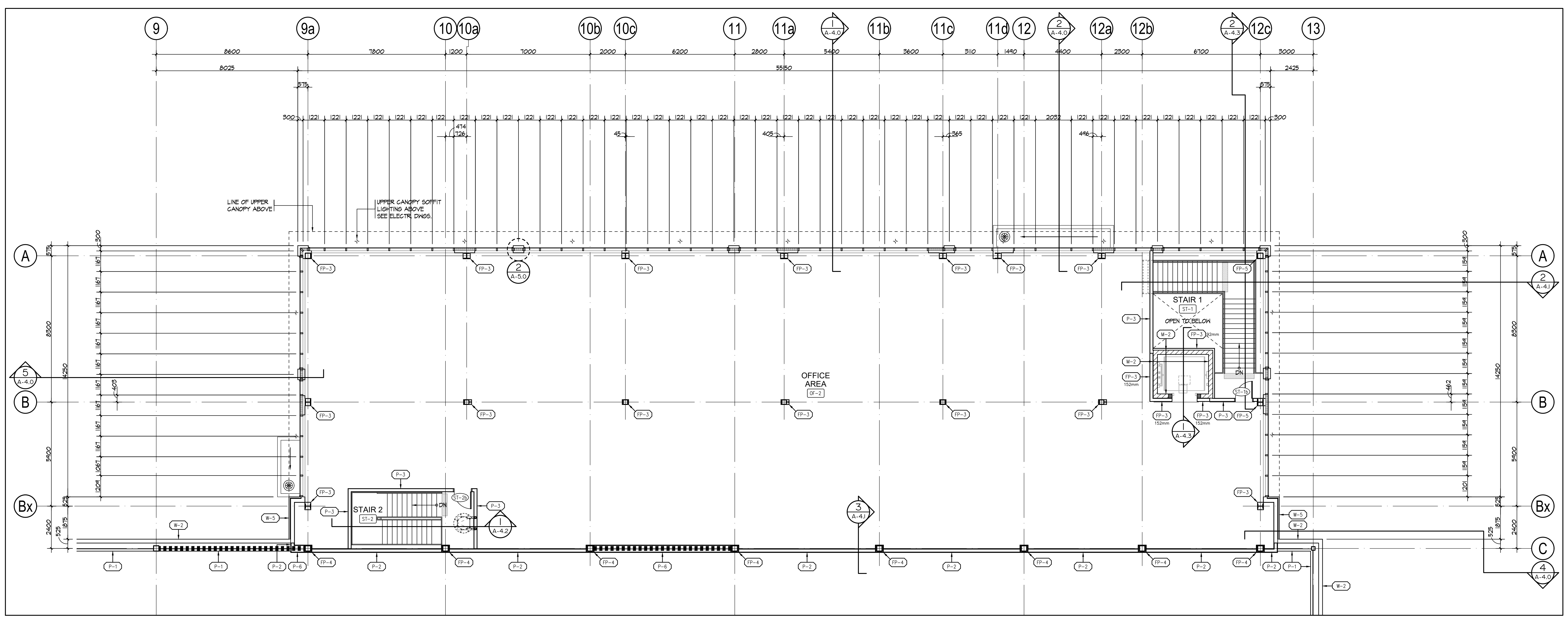
DATE	DRAWN BY	CHECKED	SCALE
SEPT. 2022	LY		1:300

PROJECT No. _____ DRAWING No. _____

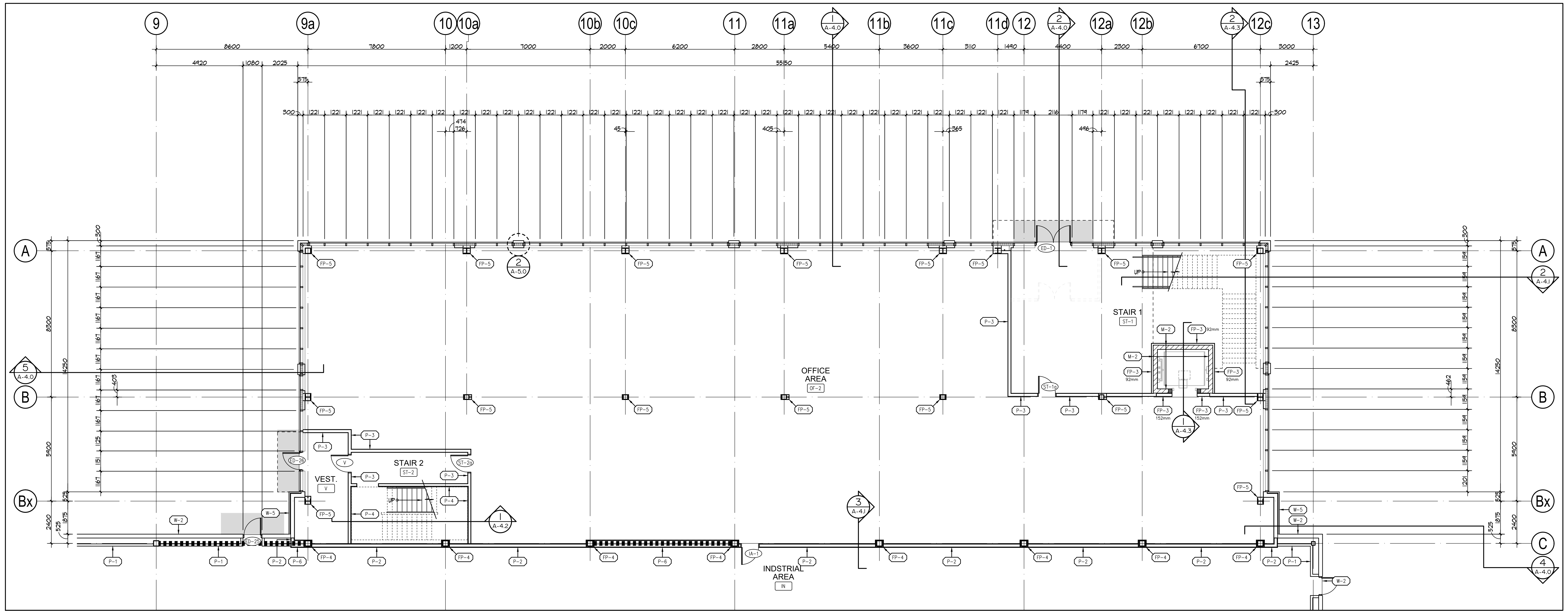
22-24 **A-2.1**

O:\2224_Zimway - Caplink\Drawings\01 Current Drawings\2224 A-2.1.dwg, 2023-01-09 12:16:13 PM, Layout1, AutoCAD PDF (General Documentation).pc3

No.	ISSUED	DATE
1	ISSUED FOR REVIEW	DEC. 2, 2022
2	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
3	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
4	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023



2 Mezzanine Plan
A-22 Scale = 1:100



1 Enlarged Plan - Ground Floor Office
A-20 Scale = 1:100

No.	REVISION	DATE
-----	----------	------



30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



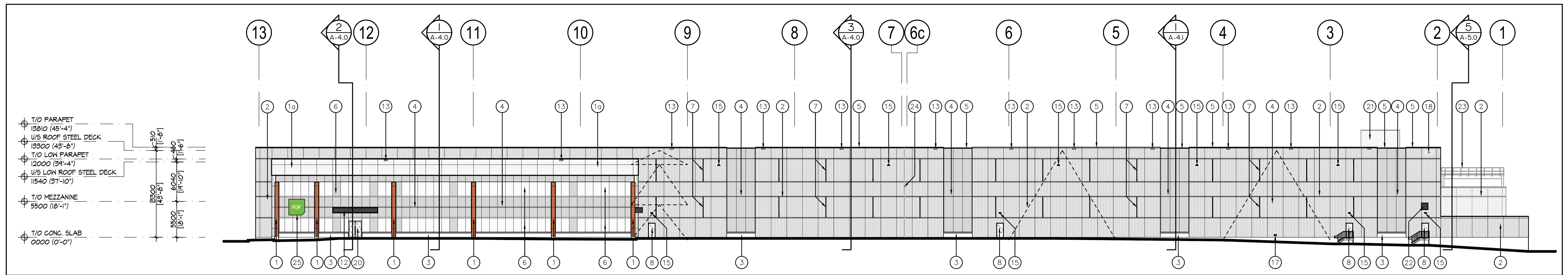
351-355 New Enterprise Way
Vaughan, ON

ENLARGED PLANS

DATE	DRAWN BY	CHECKED	SCALE
DEC. 2022	LY		AS NOTED

PROJECT No. DRAWING No.
22-24 A-2.2

O:\2224_Zimway - Caplink\Drawings\01 Current Drawings\2224 A-2.dwg, 2023-01-09 12:16:16 PM, Louis, AutoCAD PDF (General Documentation).pc3



4 West Elevation
 A-3.0 Scale = 1:300

- 1 COMPOSITE ALUMINUM PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO BE DCX METALLIC COPPER.
- 10 COMPOSITE ALUMINUM PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO BE BNT BONE WHITE.
- 2 FLEXWALL INSULATED PRECAST CONCRETE PANEL WITH SMOOTH BANDS. COLOUR TO BE WHITE.
- 3 INSULATED PRECAST CONCRETE PANEL WITH LIGHT SANDBLAST FINISH. COLOUR TO BE WHITE.
- 4 SPANDREL GLAZING IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. SEE GLAZING NOTES ON COVER SHEET A-0.0 FOR SPANDREL SPECIFICATION.
- 5 PRE-FINISHED METAL COPING. COLOUR TO MATCH MATERIAL BELOW.
- 6 THERMAL GLAZING IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. SEE GLAZING NOTES ON COVER SHEET A-0.0 FOR IGI SPECIFICATION.
- 7 BLACK ANODIZED ALUMINUM CURTAIN WALL EXTENDED VERTICAL CAP ON PRESSURE PLATE AFFIXED TO PRECAST CONCRETE PANEL. SEE MS-38 ON COVER SHEET A-0.0
- 8 INSULATED HOLLOW METAL DOOR IN GALVANIZED PRESSED STEEL FRAMES.
- 9 INSULATED SECTIONAL OVERHEAD DOOR C/W DOCK SEAL, DOCK LEVELLER, DOCK BUMPERS, AND TRUCK RESTRAINT. COLOUR TO BE WHITE. SEE DOOR SCHEDULE A-6.0 FOR DOOR SIZE. PRECAST MANUFACTURER TO PROVIDE MIN. 405mm FLAT SURFACE AT HEAD AND JAMBS OF ROUGH OPENING. 1220mm HIGH DOCK DOOR NUMBER PAINTED IN BLUE.
- 10 INSULATED SECTIONAL OVERHEAD DOOR. COLOUR TO BE WHITE. SEE DOOR SCHEDULE A-6.0 FOR DOOR SIZE. PRECAST MANUFACTURER TO PROVIDE MIN. 100mm FLAT SURFACE AT HEAD AND JAMBS OF ROUGH OPENING. 1220mm HIGH DOCK DOOR NUMBER PAINTED IN BLUE WHERE SHOWN.
- 11 STEEL GRATE EXTERIOR STAIR. HOT DIP GALVANIZED.
- 12 COMPOSITE ALUMINUM PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO BE CNC CHARCOAL.
- 13 SCUPPER.
- 14 GAS METERS.
- 15 WALL MOUNTED LIGHTING. REFER TO ELECTRICAL DRAWINGS. PRECAST MANUFACTURER TO PROVIDE FLAT SURFACE EXTENDING 65mm MINIMUM BEYOND LIGHT FIXTURE IN ALL (4) DIRECTIONS.
- 16 FUTURE MECHANICAL ROOFTOP UNIT.
- 17 FIRE DEPARTMENT CONNECTION. MIN. 300mm AND MAX. 900mm ABOVE GRADE.
- 18 MUNICIPAL ADDRESS NUMBER. 305mm HIGH 38mm THICK PAINTED BLACK FORMED PLASTIC NUMBERS. PRECAST MANUFACTURER TO PROVIDE FLAT SURFACE EXTENDING 65mm MINIMUM BEYOND NUMBERS IN ALL (4) DIRECTIONS.
- 19 DOCK DOOR NUMBER ON GRAVOPLY ULTRA MATERIAL 610x610x1.6mm THICK WITH MATTE FINISH. 2-PLY IN BLUE/WHITE. PRECAST MANUFACTURER TO PROVIDE 800x800mm FLAT SURFACE.
- 20 ALUMINUM AND THERMAL GLASS DOOR(S) IN CURTAIN WALL DOOR FRAMING SYSTEM. COLOUR TO MATCH CURTAIN WALL SYSTEM.
- 21 PRE-FINISHED VERTICAL METAL CLADDING BY VICWEST OR APPROVED EQUAL. COLOUR TO BE WHITE.
- 22 MECHANICAL LOUVRE. SEE MECHANICAL DWGS.
- 23 ROOFTOP MECHANICAL PLATFORM.
- 24 103mm WIDE EXPANSION JOINT.
- 25 ILLUMINATED TENANT SIGNAGE. ILLUMINATION VALUE TO BE 300 NITS MAX. BETWEEN SUNSET TO SUNRISE AND 5000 NITS MAX. BETWEEN SUNRISE TO SUNSET.

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
- Development contains no glass panel within 16m from roof level finished grade.

Patterns (check to confirm one or more of the below are applied)

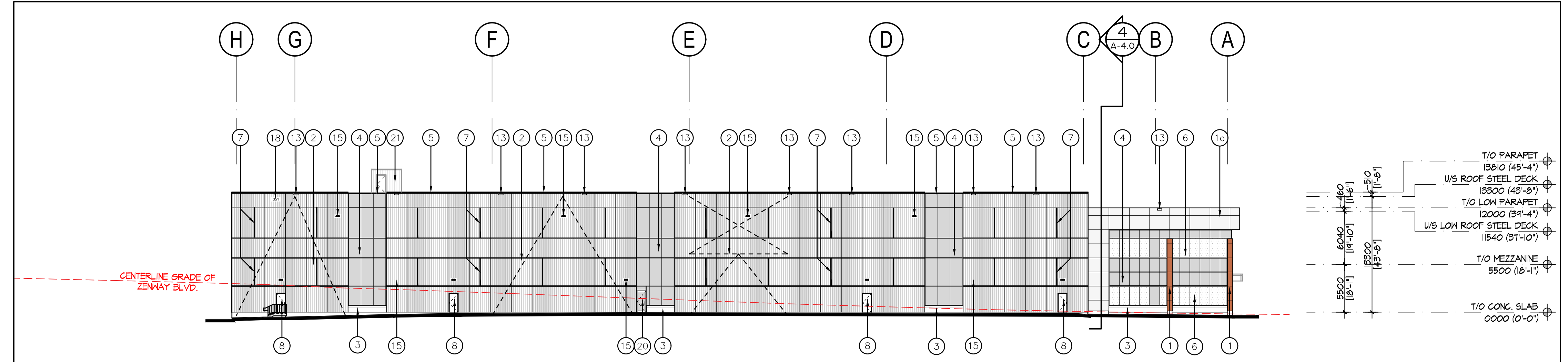
- Stripes
 Horizontal strip spacing is less than 5cm on centre;
 vertical strip spacing is less than 10cm on centre;
 horizontal strips widths are greater than 3.1mm; and
 vertical strips widths are greater than 6.1mm.

- Dots
 Dot size is larger than 5mm;
 horizontal strip spacing is less than 5cm on centre; and
 vertical strip spacing is less than 10cm on centre.

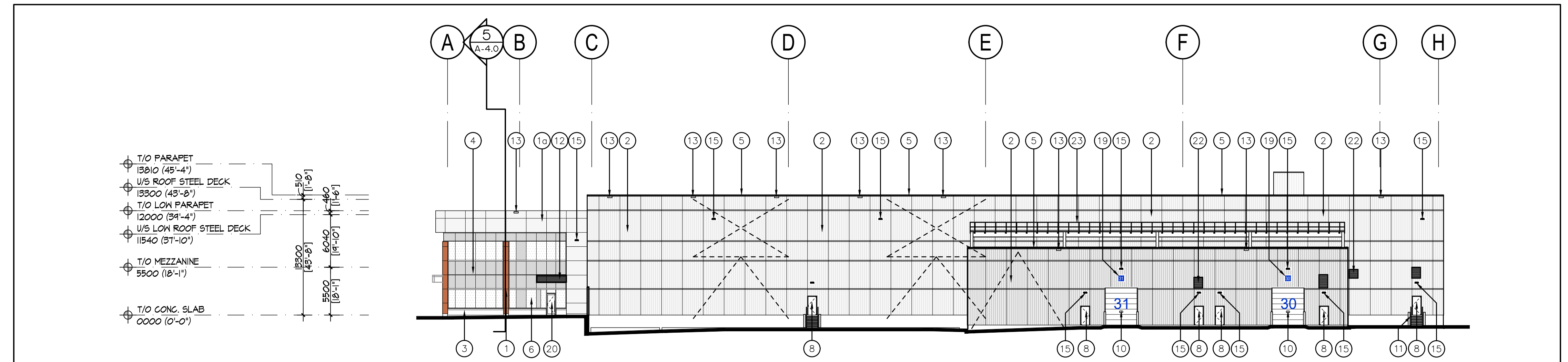
Specifications (check to confirm one or more of the below is applied)

- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

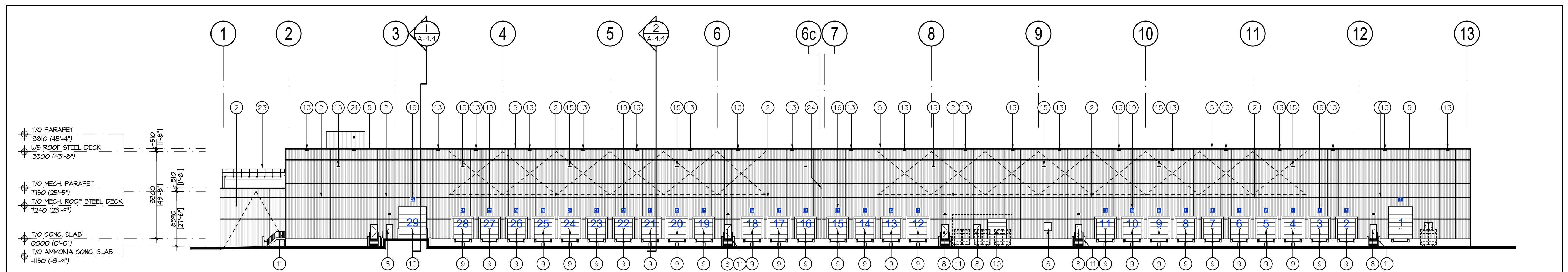
GLAZING TYPE	AREA (m2)
<input type="checkbox"/> CLEAR GLAZING	6.44
<input type="checkbox"/> DOT PATTERN ON CLEAR GLAZING	285.95
<input type="checkbox"/> SPANDREL GLAZING	709.89
TOTAL	1,002.28
DOT PATTERNED GLASS + SPANDREL GLASS = 995.84 m ²	
99.4% OF CONTIGUOUS GLASS PANEL AREA IS BIRD-FRIENDLY	



3 North Elevation
 A-3.0 Scale = 1:300



2 South Elevation
 A-3.0 Scale = 1:300



1 East Elevation
 A-3.0 Scale = 1:300

No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	SEPT. 12, 2022
2	ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 1, 2022
3	ISSUED FOR SPA	NOV. 14, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
5	ISSUED FOR REVIEW	DEC. 2, 2022

6	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
7	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
8	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

No.	REVISION	DATE

BALDASSARRA
 Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
 T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:
CAP LINK
 LIMITED



351-355 New Enterprise Way

Vaughan, ON

ELEVATIONS

DATE	DRAWN BY	CHECKED	SCALE
MAR. 2022	MZ		1:300

PROJECT No. _____ DRAWING No. **A-3.0**

22-24