

<b>ITEM: 6.8</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A044/24</b>
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Report Date: April 19, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Application Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A031/18	Minor Variance Application: Approved by COA
A135/16	Minor Variance Application: Approved by COA

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C (if required)</b>	Public & Applicant Correspondence
<b>Schedule D (if required)</b>	Background



**MINOR VARIANCE APPLICATION  
FILE NUMBER A044/24  
7575 HWY 27 BLDG C VAUGHAN**

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	7575 Hwy 27 Inc.
<b>AGENT:</b>	Konstantin Alekseev
<b>PROPERTY:</b>	7575 Hwy 27, Bldg C, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment", "Prestige Employment", and "Employment Commercial Mixed-Use".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit reduced parking requirements onsite to accommodate interior renovations within Unit #29, which include an extension of the existing mezzanine floor to create a full second floor.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned EMU – Employment Commercial Mixed -Use Zone and subject to the provisions of Exception 14.1047 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 283 parking spaces are required. [6.1.1.2]	To permit a minimum of 279 parking spaces.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, April 25, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	April 11, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	March 26, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Not enough parking spots on existing lot.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

The Owner / Applicant has provided a Parking Justification Study in support of the Minor Variance application to permit a 279 parking spaces vs. the required 283 parking spaces for the proposed second storey addition to the existing commercial unit. Development Engineering has reviewed the report and has no further comments with the proposed parking strategy. The Development Engineering Department does not object to the Minor Variance application A044/24.

<b>Development Engineering Recommended Conditions of Approval:</b>	None
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## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

### DEVELOPMENT FINANCE

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC)

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT

No comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: None

### IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.



## IMPORTANT INFORMATION

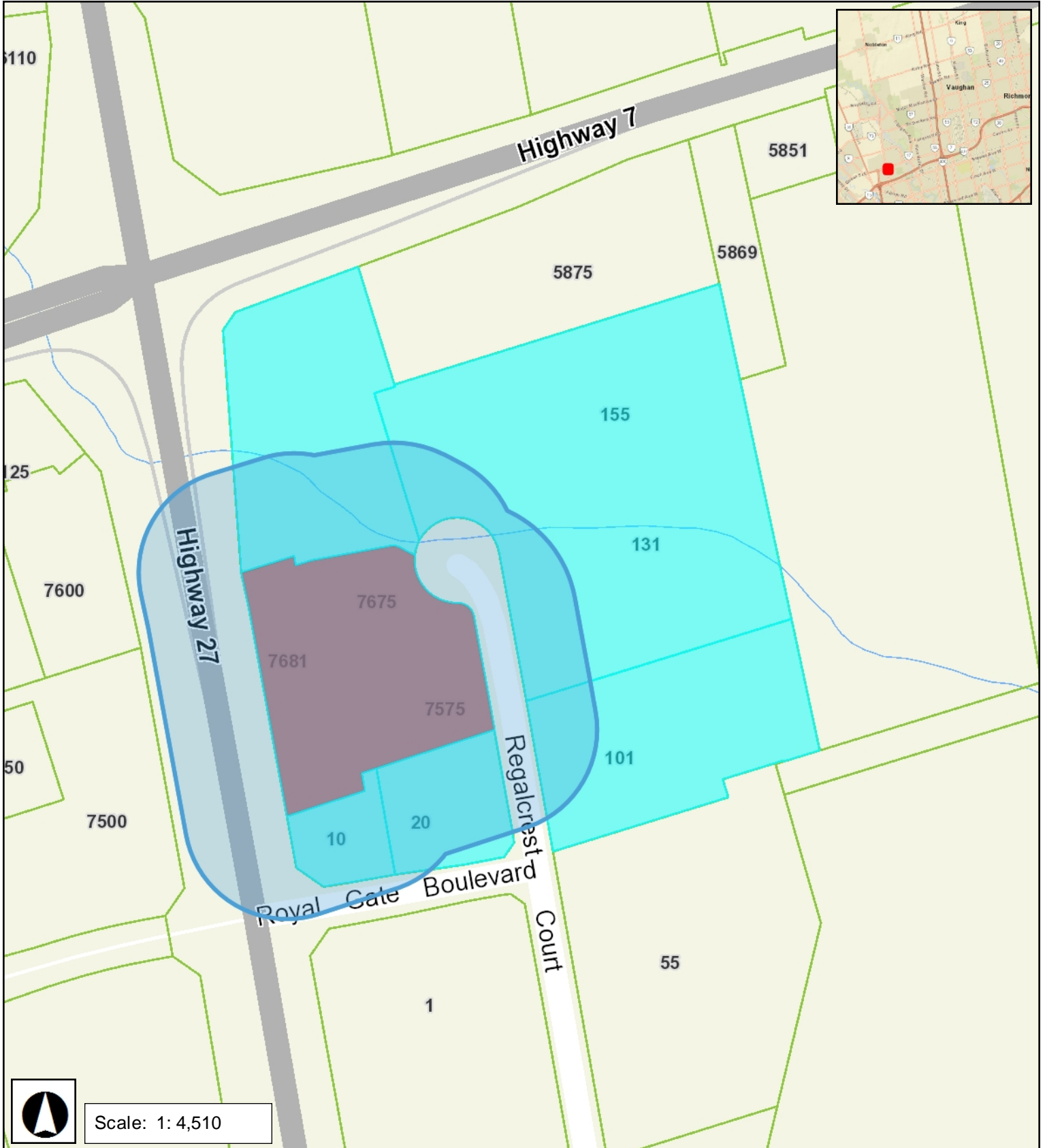
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

7575 Hwy 27 Bldg C Vaughan





**Existing Building GFA calculation:**

G.F.A.	NOTE: BUILDING STATISTICS INCLUDES BUILDING-C EXPANSION AREA.	
BLDG. A		
-REST.	236 m <sup>2</sup>	(2,540 SQ.FT.)
-GROUND	2,822 m <sup>2</sup>	(30,376 SQ.FT.)
-2ND	2,906 m <sup>2</sup>	(31,280 SQ.FT.)
	5,964 m <sup>2</sup>	(64,196 SQ.FT.)
BLDG. B		
-GROUND	953 m <sup>2</sup>	(10,258 SQ.FT.)
-2ND	953 m <sup>2</sup>	(10,258 SQ.FT.)
	1,906 m <sup>2</sup>	(20,516 SQ.FT.)
BLDG. C		
-GROUND	1,225 m <sup>2</sup>	(13,187 SQ.FT.)
-MEZZ.	587 m <sup>2</sup>	(6,318 SQ.FT.)
	1,812 m <sup>2</sup>	(19,505 SQ.FT.)
TOTAL =	9,682 m <sup>2</sup>	(104,217 SQ.FT.)

**Proposed Building GFA calculation:**

- Bldg A
  - no changes proposed
  - Total Bldg A GFA 5964 m<sup>2</sup>
- Bldg B
  - no changes proposed
  - Total Bldg B GFA 1906 m<sup>2</sup>
- Bldg C
  - proposed additoin 200m<sup>2</sup>
  - Total Bldg C GFA 2012 m<sup>2</sup>
- Total GFA: 9882 m<sup>2</sup>

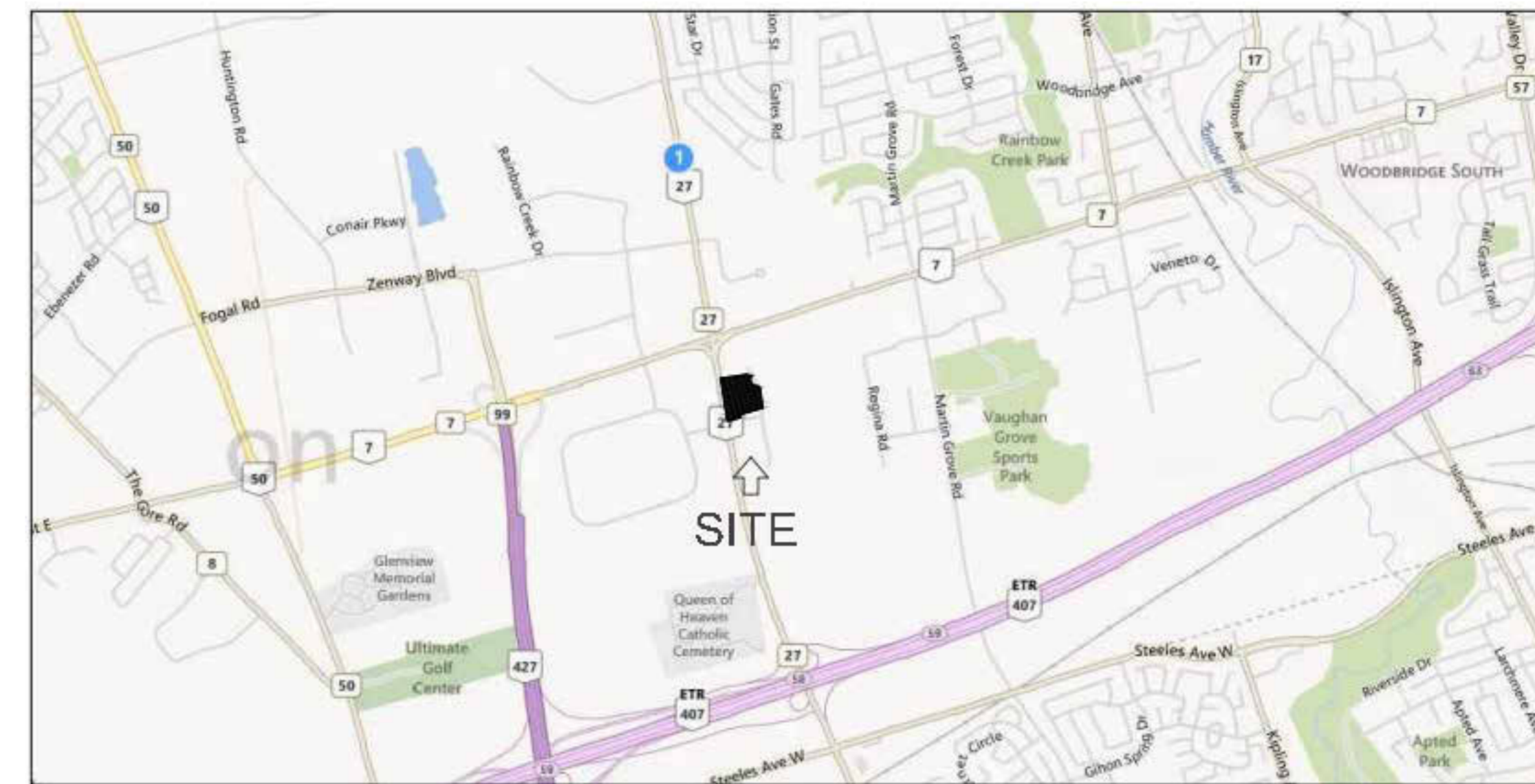
**Parking calculation:**

Per Zoning By-Law 001-2021 Zone EMU requires min 2 and max 4.5 parking spots per 100 m<sup>2</sup>

**Required additional parking: 4**

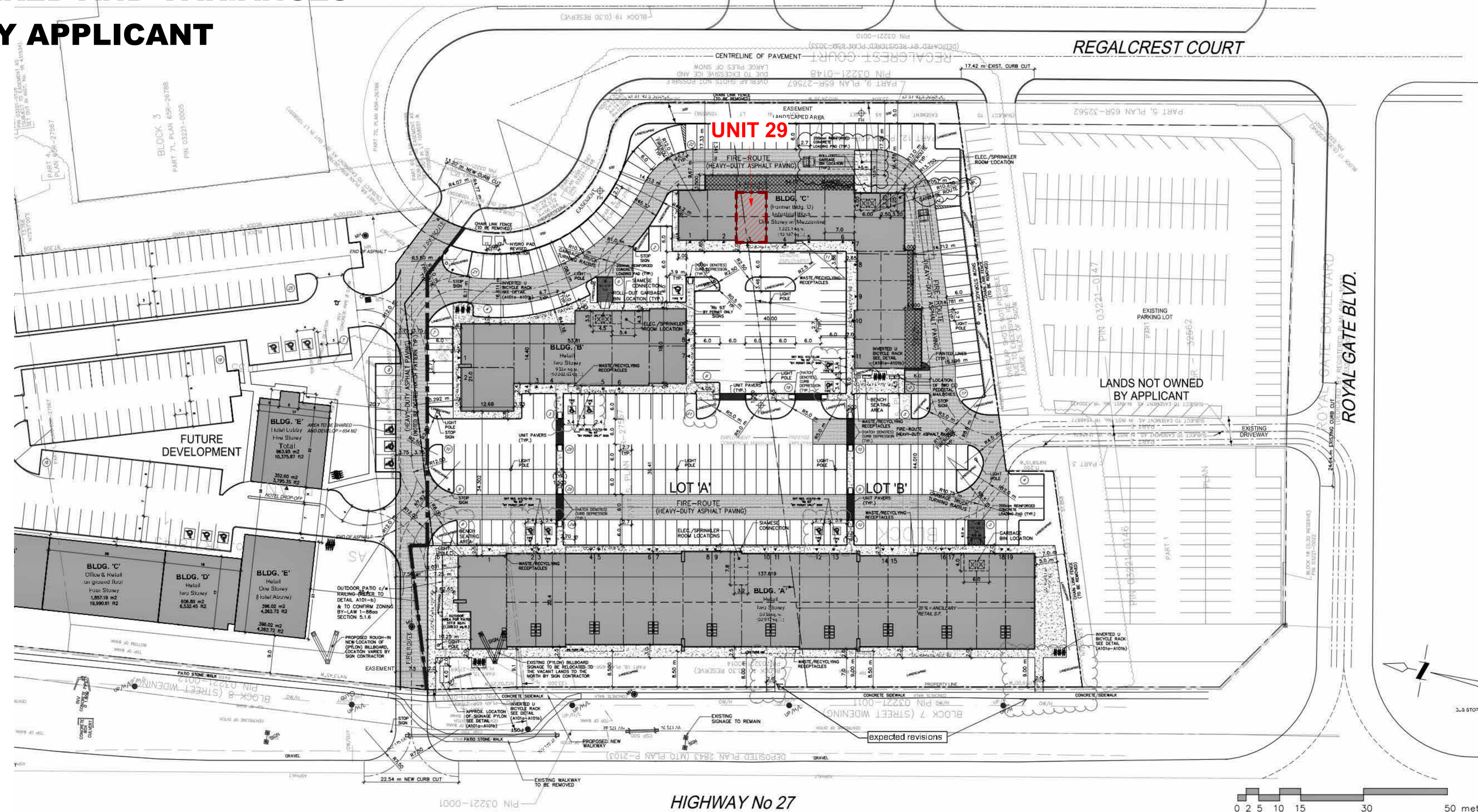
Variance 1

Parking spots provided: 279  
Included in provided is 8 accessible parking spots

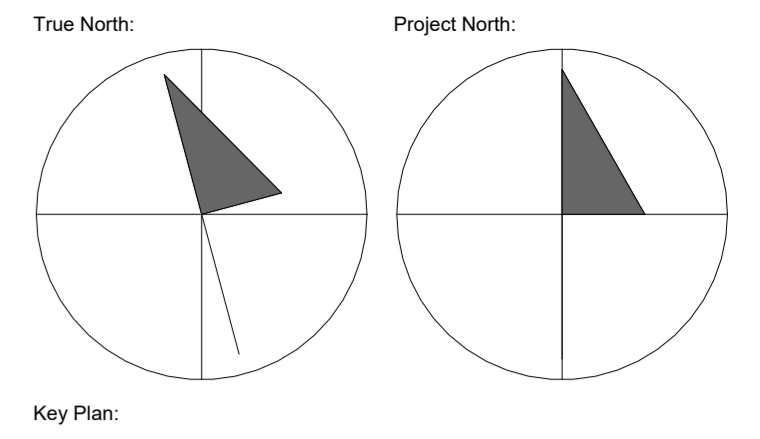


KEYPLAN NTS

**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**



SITE PLAN NTS



**RECEIVED**  
By Prabhdeep Kaur at 4:14 pm, Mar 11, 2024

**A044/24**

No.	Date	Issued/Revision	By:
2	2023/11/17	Per City Comments	K.A.
1	2023/07/14	For Building Permit	K.A.

Constant Shape DESIGN STUDIO



3050 Harvester Rd, Unit 110,  
Burlington, ON, L7N 3J1  
Tel: (647) 643-5592  
constantshape.ca

©2023 - Copyright - All Designs, Details, Graphic & Written Material illustrated herein constitutes the original work of Constant Shape Design Studio and may not be copied, published, reproduced by any means or used on projects except as noted herein without their written consent. All rights reserved. The contractor is to verify all dimensions and site conditions on the project and report any discrepancies to Constant Shape Design Studio immediately. Construction must conform to all applicable Codes and Requirements of Authorities have Jurisdiction. Unless otherwise noted, these drawings do not address issues of shoring, protection or support of existing works during the construction process. These drawings are not to be used for construction or fabrication of components until marked 'Issued for construction'. Do not scale drawings. Submit shop drawings for approval.

Office Space

7575 Hwy 27, unit 29, Vaughan

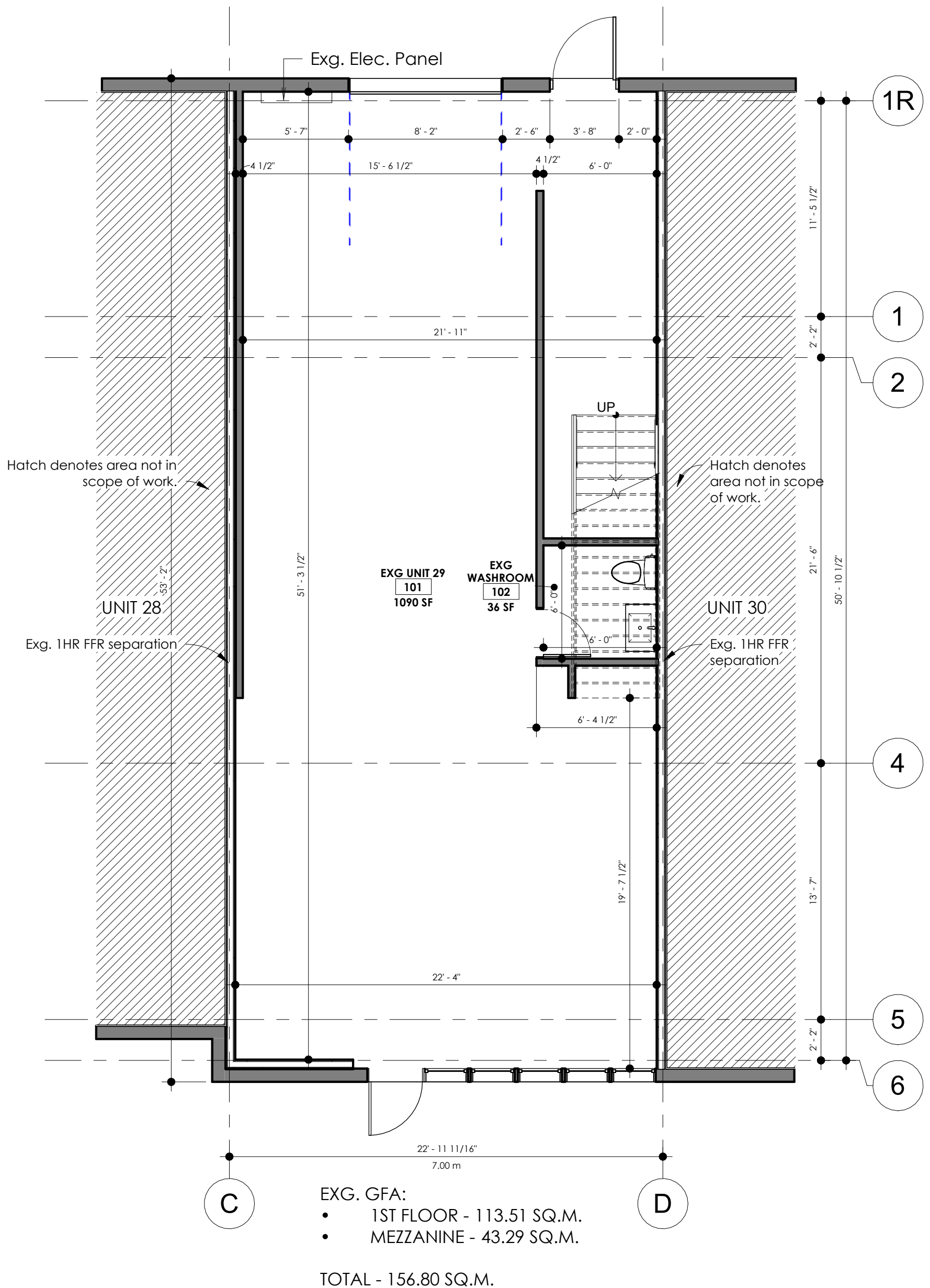
Site Plan & Key Plan

Design By:	Drawn By:	Approved By:
K.A.	K.A.	K.A.
Scale:	Date:	Project No:
As indicated	2023/07/14	23.34

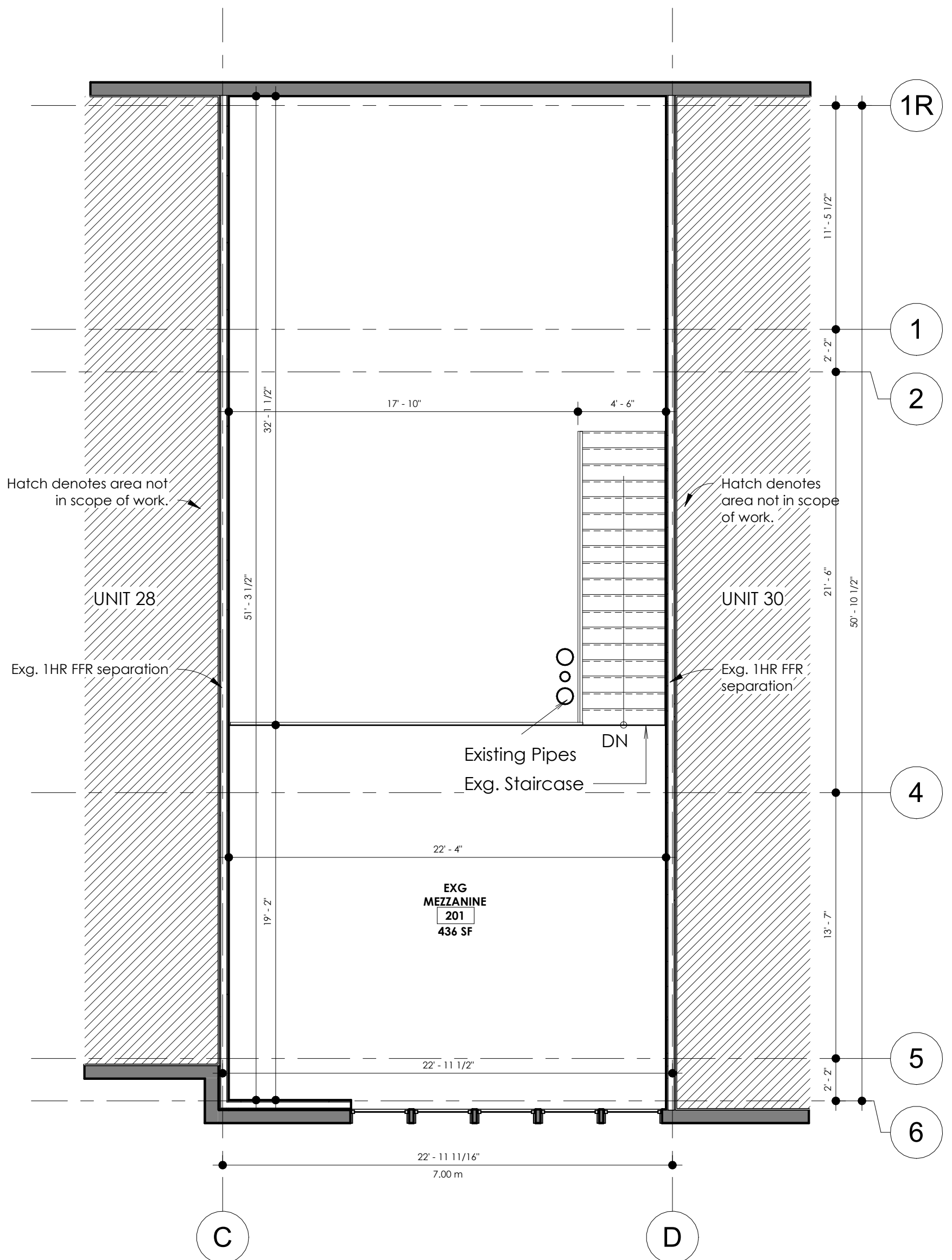
Drawing No: **A1.1**



# 7575 Hwy 27, Unit 29, Vaughan



# 7575 Hwy 27, Unit 29, Vaughan



Constant Shape  
Design Studio

3050 Harvester Rd, Unit 110,  
Burlington, ON

**A1.1**

## EXISTING MEZZANINE FLOOR PLAN

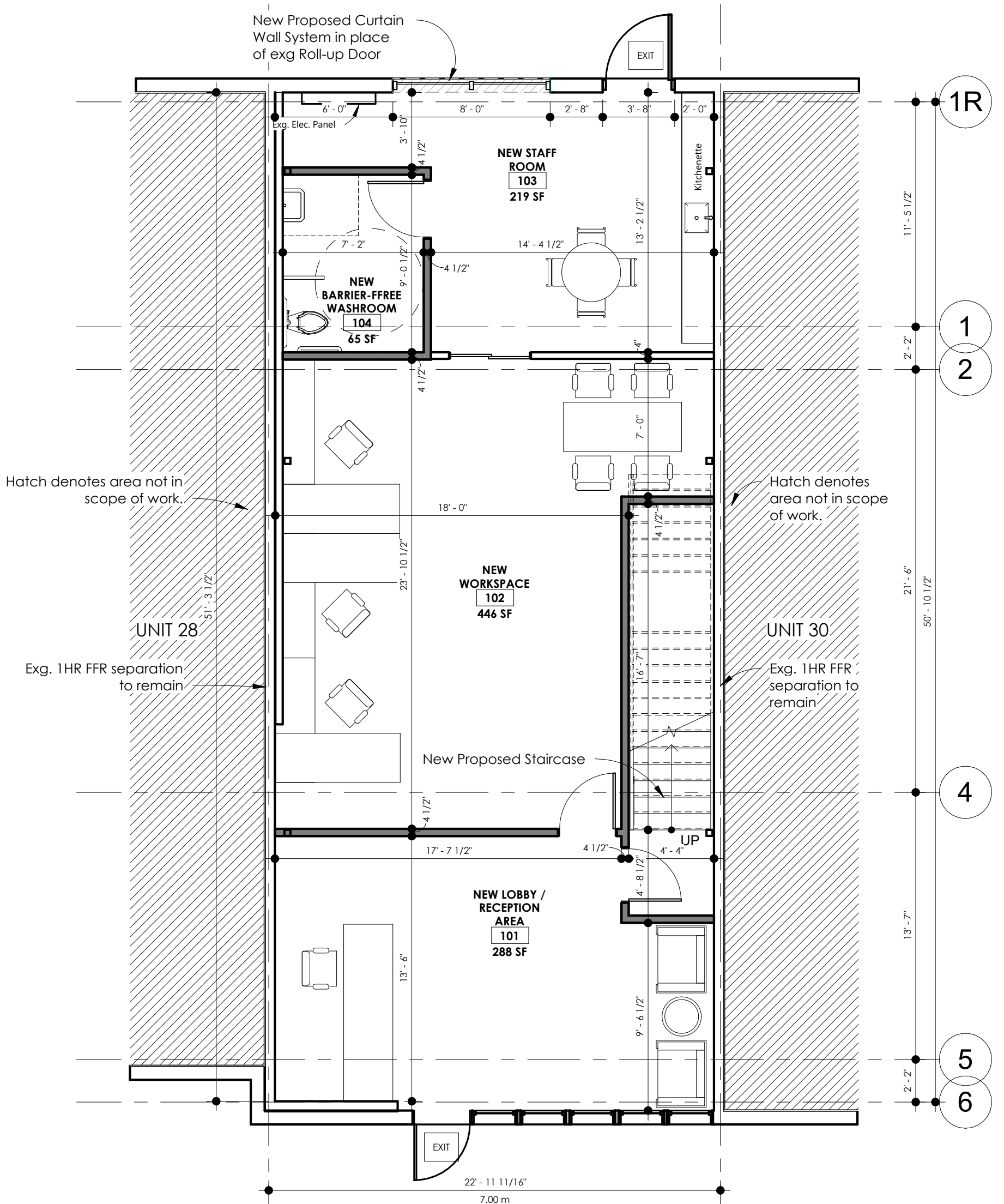
7575 Hwy 27, Unit 29, Vaughan

2023/07/14

Scale: 3/16" = 1'-0"



# 7575 Hwy 27, Unit 29, Vaughan



**EXG. GFA:**

- 1ST FLOOR - 113.51 SQ.M.
- MEZZANINE - 43.29 SQ.M.

**PROPOSED GFA:**

- 2ND FLOOR - 113.51 SQ.M. (INCLUDING MEZZANINE)

TOTAL - 227.02 SQ.M.



Constant Shape Design Studio

3050 Harvester Rd, Unit 110, Burlington, ON

## A2.0 PROPOSED 1ST FLOOR PLAN

7575 Hwy 27, Unit 29, Vaughan

2023/07/14

Scale: 3/16" = 1'-0"



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** April 2<sup>nd</sup> 2024

**Attention:** Christine Vigneault

**RE:**

**File No.:** A044-24

**Related Files:**

**Applicant** Constant Shape Design Studio

**Location** 7575 Hwy 27 Bldg C



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

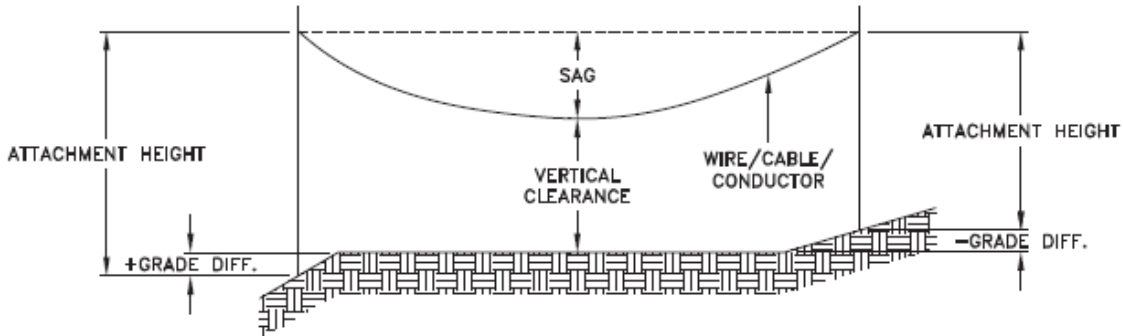
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier





VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** March 25, 2024  
**Applicant:** Constant Shape Design Studio  
**Location:** 7575 Hwy 27 Bldg C  
 YCC 1351 (Null)  
 CONC 8 Part of Lot 5  
**File No.(s):** A044/24

**Zoning Classification:**

The subject lands are zoned EMU – Employment Commercial Mixed -Use Zone and subject to the provisions of Exception 14.1047 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 283 parking spaces are required. [6.1.1.2]	To permit a minimum of 279 parking spaces.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** April 11, 2024  
**Name of Owner:** Michael Lukhton - 7575 Hwy 27 Inc.  
**Location:** 7575 Highway 27  
**File No.(s):** A044/24

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**Proposed Variances (By-law 001-2021):**

1. To permit a minimum of 279 parking spaces.

**By-Law Requirements (By-law 001-2021):**

1. A minimum of 283 parking spaces are required.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "General Employment", "Prestige Employment", and "Employment Commercial Mixed-Use".

**Comments:**

The Owners are requesting relief to permit a proposed reduction in the total minimum number of required parking spaces on the Subject Property.

Application History:

In 2014, the Owners submitted a Zoning By-law Amendment (Z.14.035) and Site Development Application (DA.14.060) to permit the construction of three (3) two-storey commercial/industrial/retail buildings. In 2016, a Minor Site Plan Amendment Application (DA.16.014) was submitted to amend the previous site plan approval in 2014 (DA.14.060) to facilitate additions to the east and south sides of Building 'C'.

In order to facilitate the development proposed in the Minor Site Plan Amendment Application (DA.16.014), relief from Zoning By-law 1-88 was sought via Minor Variance Application (A135/16) to permit the construction of a two-storey addition to an existing industrial building under construction. Variances were sought for a reduced minimum rear yard setback and a reduced minimum number of required parking spaces (285 required and 279 parking spaces proposed). The Minor Variance Application was approved. In 2018, an additional Minor Variance Application (A031/18) was submitted to permit construction of a proposed mezzanine floor in unit #32 and to further reduce the minimum required number of parking spaces from 279 to 278 parking spaces, which was approved.

As a Building Permit was submitted for interior renovations to an existing commercial unit (Unit #29) to extend the existing mezzanine floor into a full second floor, the property is being reviewed for compliance under the City's new Zoning By-law 001-2021. As a result of the proposed extension, the increased gross floor area (GFA) requires an additional 4 parking spots under Zoning By-law 001-2021. Through the current Minor Variance Application (A044/24), relief is being sought under By-law 001-2021 to recognize the existing number of parking spaces (278 total spaces) on-site established under By-law 1-88 through the two (2) Minor Variance Applications discussed above.

Analysis

Development Planning Department staff have no objection to Variance 1 to reduce the minimum required number of parking spaces from 283 to 279. Minor Variance Files A135/16 and A031/18 created an existing site condition with respect to the number of parking spaces. Given that the new parking deficiency created by the proposed second floor in Unit #29 is not greater than 10% of By-law 001-2021's parking requirement, the proposed reduction in parking spaces is considered minor in nature. Additionally, the

proposed number of residential parking spaces have been reviewed by the Transportation Engineering Division of the Development Engineering Department through the submission of a Parking Justification Study and are considered sufficient to serve the proposed use.

Accordingly, Development Planning Department staff can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

Development Planning Department staff recommends approval of the application.

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner 1  
David Harding, Senior Planner

## Prabhdeep Kaur

---

**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Tuesday, March 26, 2024 10:22 AM  
**To:** Committee of Adjustment  
**Subject:** [External] RE: A044/24 (7575 Hwy 27) - REQUEST FOR COMMENTS (CITY OF VAUGHAN)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 7575 Hwy 27, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter





## Committee of Adjustment application Cover Letter

2024-03-13

**Constant Shape Design Studio**

Konstantin Alekseev,  
3050 Harvester Rd, Unit 110, Burlington, ON, L7N 3J1

**Subject Property:** 7575 York Regional Rd 27, Unit 29, Woodbridge, ON L4L 4M5, Canada

**CoA application number:** A044/24

**RECEIVED**

*By Christine Vigneault at 8:30 am, Mar 13, 2024*

**Cover Letter:**

Proposal is for interior renovations of the existing commercial Unit #29 with the extension of the existing mezzanine floor to create a full second floor. This additional floor area is required by Zoning By-Law 001-2021 to be supplemented by additional 4 parking spots on the property. We're requesting a minor variance for these additional 4 parking spots as there are no excess parking spots available on the lot and no possibility to extend the parking footprint due to the high density of structures on site. Parking Justification Study was prepared by Paradigm Transportation Solutions Lmted in support of this application.

I, Konstantin Alekseev, M.Arch, BCIN, certify that The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.

Date: 2024-03-13

Signature: 

## SCHEDULE D: BACKGROUND

### BACKGROUND (SCHEDULE D, IF REQUIRED)

\* Background Information contains historical development approvals considered to be related to this file.  
This information should not be considered comprehensive.

<b>Application No. (City File)</b>	<b>Application Description</b> <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
A031/18	Minor Variance Application: Approved by COA
A135/16	Minor Variance Application: Approved by COA



**NOTICE OF DECISION**  
**Minor Variance Application A031/18**  
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

**Date of Hearing:** Thursday, April 26, 2018

**Applicant:** The Success Immigration Services Inc.

**Agent:** None

**Property:** **7575 Hwy 27 Bldg C, Unit #32, Woodbridge**

**Zoning:** The subject lands are zoned C7 and subject to the provisions of Exception 9(1422) under By-law 1-88 as amended.

**OP Designation:** VOP 2010: "Prestige Employment"

**Related Files:** None

**Purpose:** Relief from the By-law is being requested to permit construction of a proposed second floor in unit # 32.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
279 parking spaces are required.	To permit 278 parking spaces.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A031/18 on behalf of The Success Immigration Services Inc. be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96).

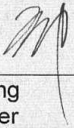
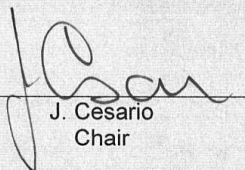

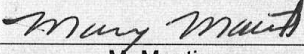
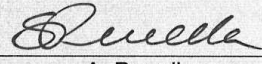
**For the following reasons:**


1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Written & oral submissions considered in the making of this decision were received from the following:**

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday, April 26, 2018 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

**SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

 H. Zheng Member	 J. Cesario Chair	 R. Buckler Vice Chair
 M. Mauti Member	 A. Perrella Member	

<b>DATE OF HEARING:</b>	<b>Thursday, April 26, 2018</b>
<b>DATE OF NOTICE:</b>	<b>May 4, 2018</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>May 16, 2018 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.    Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Local Planning Appeal Tribunal**  
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by visiting our office.

**City of Vaughan LPAT Processing Fee:** \$793.00 per application

\*Please note that all fees are subject to change.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.

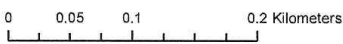


# Location Map - A031/18

7575 Highway 27, Bldg C, Unit #32, Woodbridge

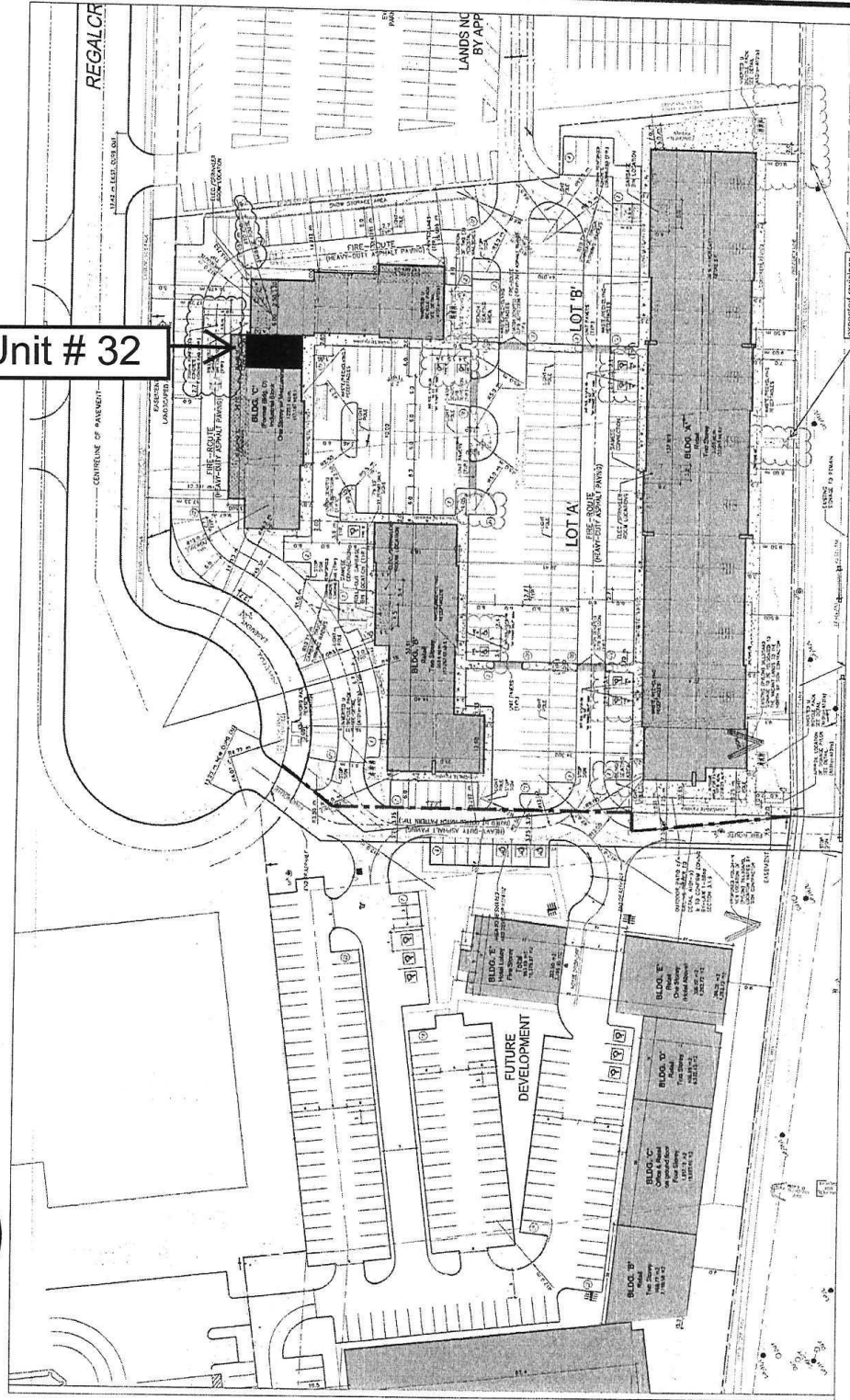


City of Vaughan



The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

**Unit # 32**



**MINA DESIGN GROUP**  
 Professional Engineers and Project Managers  
 Municipal Engineers  
 Structural Engineers  
 8801 WOODBINE AVE SUITE 222  
 MARKHAM, ONTARIO  
 L3R-4S9  
 PH. 416-882-4188 FAX 905-604-8762

DATE	REVISIONS

Project  
 PROPOSED INTERIOR ALTERATION  
 FOR UNIT # 32  
 7575 HWY 27  
 VAUGHAN, ONTARIO

Sheet Title  
 SITE PLAN

DATE	JAN 11-018
SCALE	N.T.S
DRAWN BY	H.N
JOB NO	018-02
SP	



# NOTICE OF DECISION

## MINOR VARIANCES

**FILE NUMBER:** A135/16

**APPLICANT:** 1639722 ONTARIO LIMITED

**PROPERTY:** Part of Lot 5, Concession 8 (Part of Block 1 & Block 12, Registered Plan 65M-3033), municipally known as 7575, 7675 and 7681 Highway # 27, Woodbridge.

**ZONING:** The subject lands are zoned C7, Service Commercial Zone and subject to the provisions of Exception 9(1422) under By-law 1-88 as amended.

**PURPOSE:** To permit the continued construction of a two-storey addition to the existing industrial building under construction.

**PROPOSAL:**

1. To permit a minimum of 279 parking spaces.
2. To permit a minimum rear yard setback of 17.25 metres (Through lot).

**BY-LAW REQUIREMENT:**

1. A minimum of 285 parking spaces are required.
2. A minimum rear yard setback of 19.2 metres is required.

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:  
Minor Variance Application:  
**File # A173/05 - APPROVED Aug 18/05** ( To permit the owner of every building or structure erected or used for any uses, NOT to provide and maintain on the lot on which it is erected, for the sole use of the owner, occupant, or other persons entering upon or making use of the said premises from time to time, parking spaces and areas.)  
Site Plan & Zoning Amendment Applications:  
**DA.14.060 & Z.14.035** Approved – (Rezoned ppty to conform with OP and to permit mixed use commercial/industrial/retail development comprising of 3 two-storey buildings.  
**DA.160164 – Under Review**  
**Part Lot Control:**  
**File #: PLC.05.002 Approved** by Council – February 28/05 (By-laws 67-2005 and 68-2005)

A sketch is attached illustrating the request.

**MOVED BY:** \_\_\_\_\_  


**SECONDED BY:** \_\_\_\_\_  


THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A135/16, 1639722 ONTARIO LIMITED**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:


1. That Site Development File DA.16.014 be approved, if required, to the satisfaction of the Development;
2. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

**VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.**

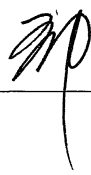
**FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.**

**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

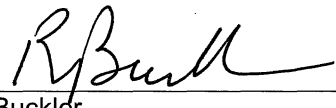
CARRIED.

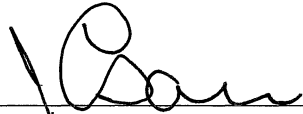
CHAIR: 

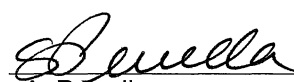
Signed by all members present who concur in this decision:

  
H. Zheng,  
Chair

~~M. Mauti,  
Vice Chair~~  
**ABSENT**


  
R. Buckler,  
Member

  
J. Cesaro,  
Member

  
A. Perrella,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: APRIL 7, 2016**  
**Last Date of Appeal: APRIL 27, 2016**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

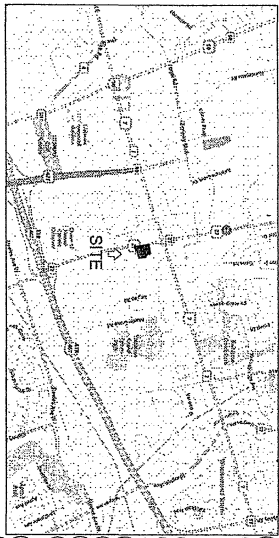
Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:  
**APRIL 27, 2017**



2 KEY PLAN

PROPOSED SITE STATISTICS	
PARCEL AREA	18,286.0 m <sup>2</sup> (196,888.86 SQ.FT.)
TOTAL FOOTPRINT	5,236 M <sup>2</sup> (56,382 SQ.FT.)
LOT COVERAGE	28.63%
BUILDING AREAS - FOOTPRINT	
BLOC A	3,058 m <sup>2</sup> (32,917 SQ.FT.)
BLOC B	933 m <sup>2</sup> (10,258 SQ.FT.)
BLOC C	1,225 m <sup>2</sup> (13,187 SQ.FT.)
TOTAL	5,236 m <sup>2</sup> (56,382 SQ.FT.)
LANDSCAPE, 2,982.59 m <sup>2</sup> (27,799.68 SQ.FT.)	
COVERAGE (LANDSCAPE) = 14.12 %	
UNITS	
BLOC A	19
BLOC B	11
BLOC C	11
SNOW STORAGE AREA -	405.7M <sup>2</sup>
(2.21% OF LOT AREA)	

LOT A (G.F.A.)	
BLOC A	GROUND RETAIL - 236 m <sup>2</sup> (2,540 SQ.FT.)
BLOC B	GROUND RETAIL - 1,559 m <sup>2</sup> (16,749 SQ.FT.)
BLOC C	2ND FL. OFFICE - 1,640 m <sup>2</sup> (17,653 SQ.FT.)
BLOC B	GROUND RETAIL - 819 M <sup>2</sup> (8,816 SQ.FT.)
BLOC C	2ND FL. OFFICE - 134 M <sup>2</sup> (1,442 SQ.FT.)
BLOC C	GROUND OFFICE - 933 M <sup>2</sup> (10,058 SQ.FT.)
BLOC C	MEZZANINE OFFICE - 421 M <sup>2</sup> (4,517 SQ.FT.)
TOTAL G.F.A.	5,799 m <sup>2</sup> (61,989 SQ.FT.)

LOT B (G.F.A.)	
BLOC A	GROUND OFFICE - 734 m <sup>2</sup> (7,901 SQ.FT.)
BLOC B	2ND FL. OFFICE - 1,286 m <sup>2</sup> (13,867 SQ.FT.)
BLOC C	GROUND MEZZANINE - 448 m <sup>2</sup> (4,827 SQ.FT.)
BLOC C	INDUSTRIAL - 1,391 m <sup>2</sup> (14,978 SQ.FT.)
TOTAL G.F.A.	3,859 m <sup>2</sup> (41,573 SQ.FT.)
20% RETAIL - 734 m <sup>2</sup> (7,901 SQ.FT.)	
RESTO. G.F.A. PROPOSED PAVD - 107,800M <sup>2</sup> = 48%	
BLOC BLOC 12 RINGS - INTEGRATED U GIVE BACK (FROM 24 RINGS)	

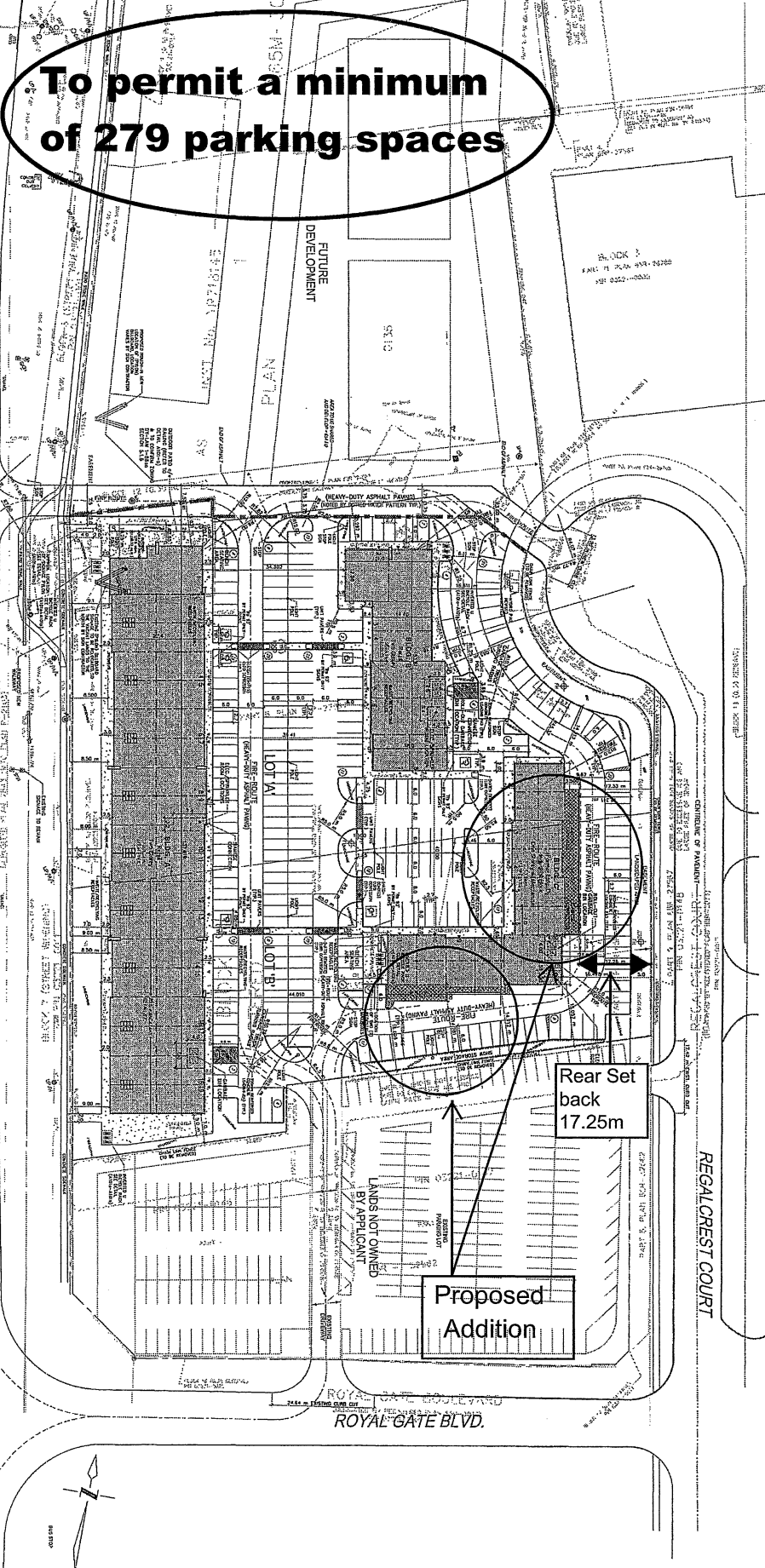
NOTE: BUILDING STATISTICS INCLUDES BUILDING-C EXPANSION AREA	
BLOC A	RESTO - 236 m <sup>2</sup> (2,540 SQ.FT.)
BLOC B	RESTO - 2,206 m <sup>2</sup> (23,789 SQ.FT.)
BLOC C	RESTO - 3,964 m <sup>2</sup> (42,617 SQ.FT.)
BLOC B	GROUND - 933 m <sup>2</sup> (10,258 SQ.FT.)
BLOC C	GROUND - 1,225 m <sup>2</sup> (13,187 SQ.FT.)
BLOC C	MEZZANINE - 587 m <sup>2</sup> (6,316 SQ.FT.)
BLOC C	INDUSTRIAL - 1,812 m <sup>2</sup> (19,503 SQ.FT.)
TOTAL	9,692 m <sup>2</sup> (104,217 SQ.FT.)

PARKING	
PARKING REQUIRED AS PER B-LAW 105-2015	= 285 SPACES
PARKING SITE SPECIFIC PER 100 M <sup>2</sup> SVA	= 290 CARS
TOTAL PARKING PROVIDED	= 290 CARS
PARKING SHORTFALL	= 5 SPACES

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY UPON CONSTRUCTION.	
Contractor	General Contractor
Address	1482511255
Phone	1-416-231-1255
Fax	1-416-231-1255
Email	g@generalcontractor.ca



1 SITE PLAN

HIGHWAY NO 27

0 2.5 10 15 30 50 METERS

7881, 7675, 7575  
HIGHWAY 27  
Proposed Industrial Development  
City of Vaughan, Ontario

SITE PLAN & STATISTICS

Project number: AUGUST 2014  
Drawn by: J.C.  
Checked by: G.G.

**A100**

58' NORTH

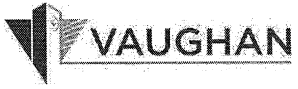
No.	Description	Date
1.	Issued for Information	11/13/13
2.	Issued for Construction	11/13/13
3.	Issued for Construction	11/13/13
4.	Issued for Construction	11/13/13
5.	Issued for Construction	11/13/13
6.	Issued for Construction	11/13/13
7.	Issued for Construction	11/13/13
8.	Issued for Construction	11/13/13
9.	Issued for Construction	11/13/13
10.	Issued for Construction	11/13/13
11.	Issued for Construction	11/13/13
12.	Issued for Construction	11/13/13
13.	Issued for Construction	11/13/13
14.	Issued for Construction	11/13/13
15.	Issued for Construction	11/13/13
16.	Issued for Construction	11/13/13
17.	Issued for Construction	11/13/13
18.	Issued for Construction	11/13/13
19.	Issued for Construction	11/13/13
20.	Issued for Construction	11/13/13
21.	Issued for Construction	11/13/13
22.	Issued for Construction	11/13/13
23.	Issued for Construction	11/13/13
24.	Issued for Construction	11/13/13
25.	Issued for Construction	11/13/13

ONTARIO ASSOCIATION OF ARCHITECTS

DA # DA 14,080 RELATED FILE: 214(035)

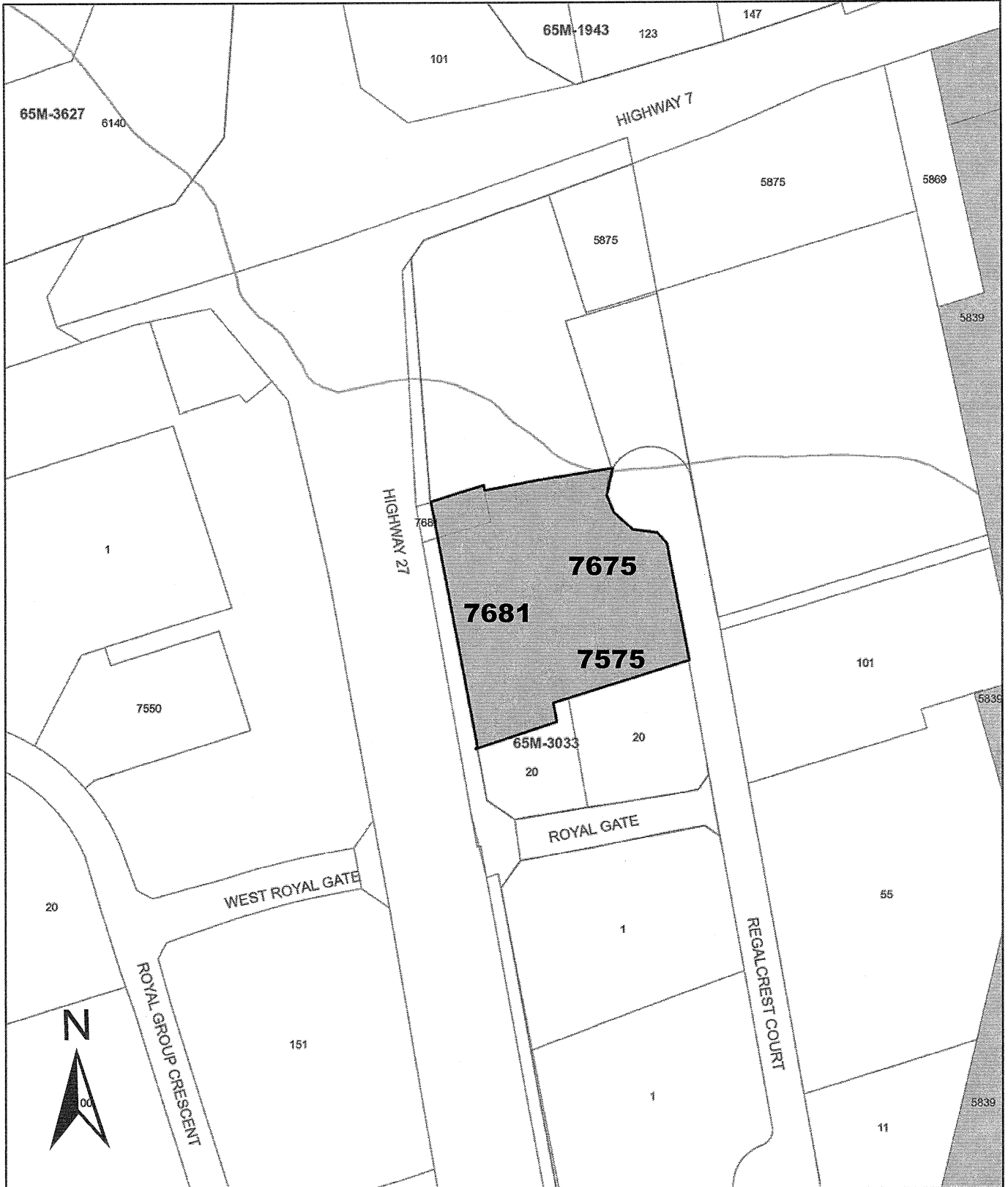
Genetico Genetico Architect Inc.  
www.genetico.ca

477 Denison Street Suite 200  
Toronto, Ontario M5G 1S5  
Tel: 416-593-1255  
e: g@genetico.ca



# Location Map- A135/16

7575, 7675 + 7681 Highway 27, Woodbridge



City of Vaughan

0 0.05 0.1 0.2 Kilometers

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.