

ITEM: 6.9	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A061/23 11, 15, 23 & 27 LANSDOWNE AVE, WOODBRIDGE
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A061/23
11, 15, 23 & 27 LANSDOWNE AVE,
WOODBIDGE**

ITEM NUMBER: 6.9	CITY WARD #: 2
APPLICANT:	Celebration Estates Inc.
AGENT:	Humphries Planning Group Inc.
PROPERTY:	11, 15, 23 & 27 Lansdowne Ave, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	DA.13.016
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the proposed development of an 11-storey residential condominium building containing 180 units and to facilitate related Site Plan Application DA.13.016

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RA3, Apartment Residential Zone and subject to the provisions of Exception 9(1401) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A minimum lot area of 24.5 sqm/unit is required. [Exception 9(1401) Paragraph aii)].	To permit a minimum lot area of 20.58 sqm/unit.
2	A minimum Amenity Area of 22.78 sqm/unit shall be provided. [Exception 9(1401) Paragraph fi)]	To permit a minimum Amenity area of 21.28 sqm/unit.
3	A minimum setback of 0.6 metres is required to the building below grade along the exterior property line (Highway 7). [Exception 9(1401) Paragraph bi)]	To permit a minimum of 0.24 metres to the building below grade along the exterior property line (Highway 7).

HEARING INFORMATION

DATE OF MEETING: Thursday, June 1, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 18, 2023	
Date Applicant Confirmed Posting of Sign:	May 11, 2023	
Applicant Justification for Variances: *As provided by Applicant in Application Form	A slight change in design from the original site plan to the current one has resulted in relief from site specific exception 9(1401) being required for specific provisions that no longer reflect the current site design.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.		
*A revised submission may be required to address staff / agency comments received as part of the application review process.		
*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That the Official Plan Amendment (File OP.22.025) be in full force and effect.

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Development Engineering (DE) Department does not object to the variance application A061/23 subject to the following condition:	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall obtain approval for the related Site Development Application (DA.13.016) from the Development Engineering (DE) Department.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry is working with development planning on this file. Forestry has no comment for CofA purposes.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

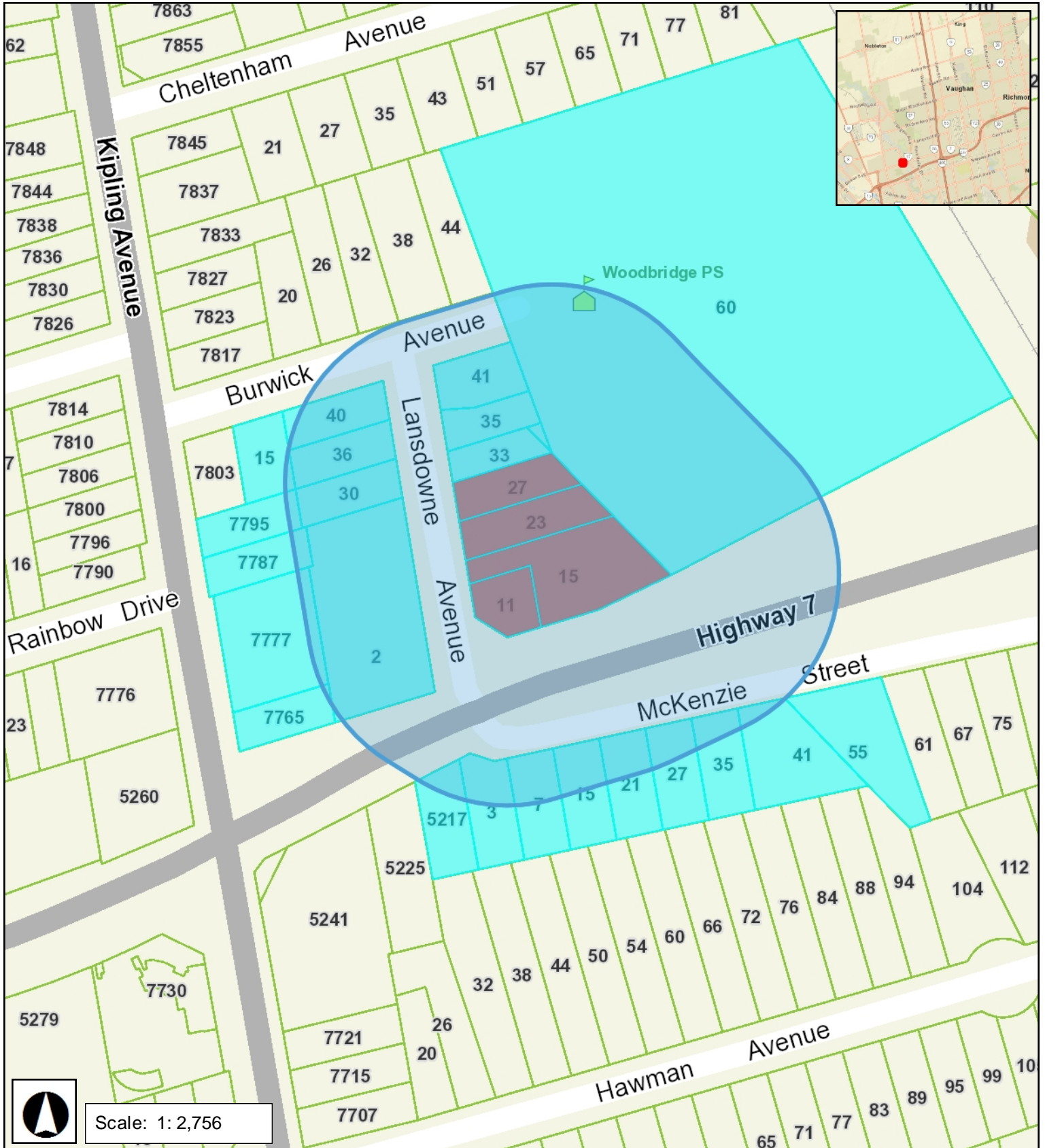
SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the Official Plan Amendment (File OP.22.025) be in full force and effect.
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.13.016) from the Development Engineering (DE) Department.

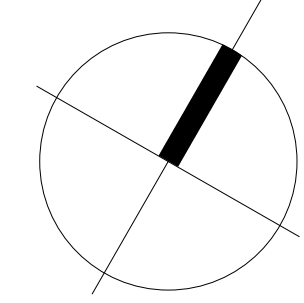
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



RECEIVED

By Christine Vigneault at 4:35 pm, May 08, 2023



LANSDOWNE AVENUE

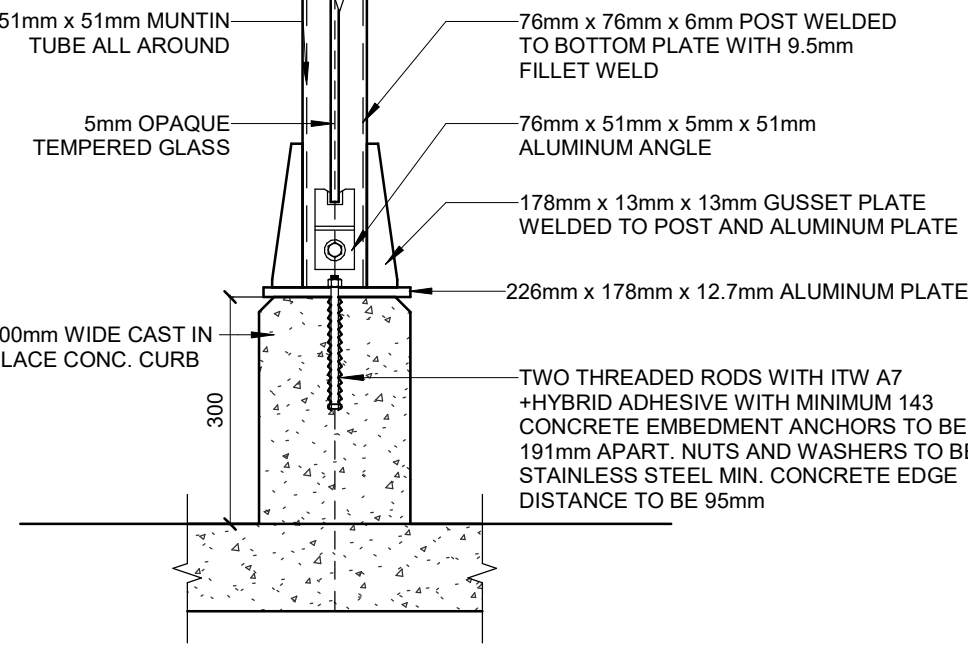
Site Plan

1 : 200

2 STOREY DWELLING

1.80m HIGH WOOD SCREEN FENCE (REFER TO LANDSCAPE FOR DETAILS)

TWO CAR CHARGING STATIONS



PATIO FENCE DETAIL

1:10

Landsdowne & Highway 7
KFA Architects & Planners

Date: May 8th, 2023

Legal Description

Parts of Lots 16-20 and all of lots 21 and 22 Registered Plan 554

Site Area

Site Area (conveyance excluded)	3705.0 m ²	39,882	sf
Building Coverage	1671.0 m ²	17,987	sf
Building Coverage (%)	45%		

Proposed GFA

Ground Floor	1,615.0 m ²	17,384	sf
2nd Floor	1,524.9 m ²	16,414	sf
3rd Floor	1,671.0 m ²	17,987	sf
4th Floor	1,671.0 m ²	17,987	sf
5th Floor	1,415.3 m ²	15,231	sf
6th Floor	1,106.0 m ²	11,905	sf
7th Floor	1,106.0 m ²	11,905	sf
8th Floor	1,106.0 m ²	11,905	sf
9th Floor	908.0 m ²	9,774	sf
10th Floor	908.0 m ²	9,774	sf
MPH	241.0 m ²	2,594	sf
Total Proposed GFA	13,271.9 m ²	142,862	sf

Total Proposed GFA

FSI

Unit Count	Units	STUDIO	1 Bed	18sq+D	2 Bed	2 Bed+D
Ground Floor	21	1	3	14	5	0
2nd Floor	21	0	0	14	5	2
3rd Floor	23	0	0	15	7	1
4th Floor	23	0	0	15	7	1
5th Floor	20	0	1	13	5	1
6th Floor	16	0	1	11	4	0
7th Floor	16	0	1	11	4	0
8th Floor	16	0	1	11	4	0
9th Floor	12	0	2	1	0	0
10th Floor	10	0	2	1	0	0
Total Units	180	1	11	108	57	5
		0.6%	6.1%	58.9%	31.7%	2.8%

Lot Area per Unit

20.58 VARIANCE #1 (1-88)

Vehicular Parking

Parking Required

Residential

Tenant: 1.15 Spaces per Units

Visitor: 0.20 Spaces per Units

Total Vehicular Parking Required

Parking Provided

Residential Tenant

Residential Visitor

Sub Total

Total Vehicular Parking Provided

Bicycle Parking Required (BI Standards)

Short Term (0.1 x units)

Long Term (0.5 x units)

Bicycle Parking provided

Short Term (at grade)

Long Term (P1/P2/P3 Level)

Landscape Area

Soft Landscaping

Hard Landscaping

Amenity Area

Amenity Area Required (according to Bylaw 091/2014)

22.78m² x Unit

Total Amenities Required

Amenity Area Provided

Private Amenity

Indoor Public Amenity

Outdoor Public Amenity

Landscaping

Total Amenities

Amenity per Residential Unit

Paved Vehicle Access/Parking (surface only)

435.5 m²

VARIANCE #2 (1-88)

SITE LEGEND

PROPERTY LINE
OVERHEAD
FIRE TRUCK ROUTE
PATH OF TRAVEL
FENCE

SPOT ELEVATION

PRIMARY ENTRANCE

SECONDARY ENTRANCE

CATCH BASIN (CB)

FIRE HYDRANT (FH)

UTILITY POLE (P)

BOLLARDS (BO)

PARKING LAMP (PL)

BIKE PARKING (BP)

DUMPSTER (D)

BENCH (B)

TRANSFORMER

ROAD

GRASS

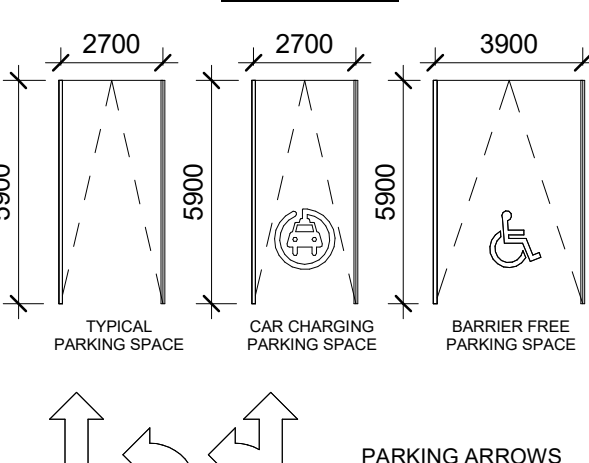
PROPOSED STRUCTURE

SIDEWALK

EASEMENT

EXISTING STRUCTURE

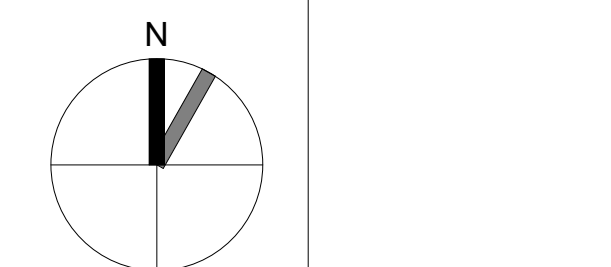
PARKING NOTES



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No.	Description	Date
1	ISSUED FOR DRP	2013.02.08
2	ISSUED FOR OPA,RZ,SPA	2013.03.04
3	ISSUED FOR RESUB.	2013.08.13
4	ISSUED FOR RESUB.	2013.09.11
6	ISSUED FOR OPA,RZ,SPA	2014.04.17
7	ISSUED FOR OPA,RZ,SPA	2014.05.02
8	ISSUED FOR REVIEW	2018.11.06
9	ISSUED FOR REVIEW	2019.11.14
10	ISSUED FOR REVIEW	2021.05.03
11	ISSUED FOR SPA	2021.09.24
12	ISSUED FOR SPA	2021.11.23
13	ISSUED FOR SPA	2022.03.04
16	ISSUED FOR REVIEW	2022.07.22
20	ISSUED FOR COORD.	2022.08.25
22	ISSUED FOR OPA & SPA	2022.10.21
27	ISSUED FOR COORDINATION	2023.01.24
28	RE-ISSUED FOR SPA	2023.02.03
36	RE-ISSUED FOR SPA	2023.03.22
39	RE-ISSUED FOR SPA	2023.04.20
40	ISSUED FOR SITE VARIANCE	2023.05.08

PROJECT NORTH



CLIENT



architects + planners inc.

PROJECT NO: 19065

SCALE: As indicated

DATE: 2023-03-03

DRAWN BY: Author

DRAWING TITLE

SITE PLAN

FILE NUMBER: DA.13.016, OP.22.015

DRAWING NO

A-001

WASTE COLLECTION NOTES:

- CONSTRUCTION OF ACCESS ROUTE SHALL BE HEAVY DUTY ASPHALT AS PER CITY'S ENGINEERING STANDARDS
- STRUCTURE BELOW THE ACCESS ROUTE, THE LOADING AREA AND THE BIN STAGING AREA SHALL BE DESIGNED TO SAFELY SUPPORT A FULLY LOADED VEHICLE (APPROXIMATELY 28,000Kgs) AND SHALL CONFORM TO THE FOLLOWING:
 - DESIGN CODE - ONTARIO BUILDING CODE
 - DESIGN LOAD - BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS
 - IMPACT FACTOR - 5% MAXIMUM VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HIGHER SPEEDS
- SINGLE CHUTE TRISORTER DISPOSAL SYSTEM SHALL BE PROVIDED ON EVERY FLOOR
- A STORAGE ROOM SHALL BE PROVIDED FOR LARGER ITEMS THAT DO NOT FIT IN THE MULTIPLE SORT DISPOSAL SYSTEM, SUCH AS BULKY ITEMS, LARGE APPLIANCES, FURNITURE AND OVERSIZE CARDBOARD.
- THE LOADING AND STAGING AREA SHALL HAVE A CLEAR HEADROOM OF 6.8m. NO ENCROACHMENT IN THE HEADROOM IS ALLOWED FOR PLUMBING DRAINS, SPRINKLER PIPES, LIGHTING FIXTURES AND ANY OTHER ITEM

NOTES:

- THIS SITEPLAN HAS BEEN PREPARED IN ACCORDANCE TO THE ZONING BY-LAW NO. 1-88 OF THE TOWN OF VAUGHAN
- FOR STORM WATER MANAGEMENT, SITE SERVICING AND GRADING INFORMATION, REFER TO DRAWINGS PREPARED BY: MASONSONG ASSOCIATES ENGINEERING LTD. 1151 DENISON STREET UNIT 15, MARKHAM, ON L3R 3Y4
- FOR LANDSCAPE INFORMATION, REFER TO DRAWINGS PREPARED BY: STRYBOS BARRON KING - LANDSCAPE ARCHITECTURE, 5770 HURONTARIO STREET, SUITE 320, MISSISSAUGA, ON L5R 3G5
- SURVEY CREDIT: INFORMATION TAKEN FROM PLAN OF PART OF LOTS 16, 17, 18, 19, 20 AND ALL OF LOTS 21 AND 22, REGISTERED PLAN 554 - CITY OF VAUGHAN PREPARED BY: RPE SURVEYING LTD. 643 CHRISLEA ROAD, SUITE 7, WOODBRIDGE, ON L4L 8A3
- ANY GRADE ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO GRADING AND SITE SERVICING PLAN FOR GRADING AND U/G SERVICES.
- ALL SITE AREA LIGHTING TO BE DIRECTED DOWNWARD AND DEFLECTED AWAY FROM ADJACENT LOTS, ROADS AND STREETS
- ALL CURBING AND DRIVEWAY ENTRANCES TO BE DESIGNED IN ACCORDANCE WITH THE CITY'S MATERIALS STANDARDS AND SPECIFICATIONS MANUAL
- THE BUILDING AND THE SITE HAS BEEN DESIGNED TO BE BARRIER FREE IN ACCORDANCE WITH THE REQUIREMENTS OF BILL 118 AND 126, ACCESSIBILITY FOR ONTARIANS WITH DISABILITY ACT, 2005
- 10% OF ALL RESIDENTIAL SUITES SHALL BE PROVIDED WITH BARRIER-FREE DESIGN REQUIREMENTS IN ACCORDANCE WITH OBC 3.7.2.1.(1)
- CONSTRUCTION OF ASPHALT PAVING ALONG SERVICE ROUTE:
 - 40mm COMPACTED HL-3 ASPHALT
 - 50mm COMPACTED HL-8 ASPHALT

PARKING SPACE SIZE NOTE:

THE PRESENT SITE PLAN HAS BEEN PREPARED IN ACCORDANCE TO BYLAW 96/2012.
BYLAW 96/2012 AMENDS THE DEFINITION OF PARKING SPACE:
*A PARKING SPACE MEANS A RECTANGULAR AREA MEASURING AT LEAST 2.6M X 6.0M EXCLUSIVE OF ANY AISLES OR INGRESS AND EGRESS LANES USED FOR TEMPORARY PARKING OF MOTOR VEHICLES.

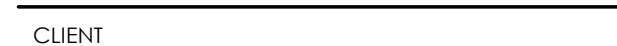
ACCESSIBILITY NOTES

- PARKING REQUIREMENTS FOR BARRIER-FREE PARKING SPACES TO COMPLY TO SECTIONS 2 AND 3.8(D) OF ZONING BY-LAW 1-88;
- BARRIER FREE PARKING SPACES TO BE DESIGNATED WITH VERTICAL SIGNS AND PAVEMENT MARKINGS WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY;
- ALL WAYFINDING AND WARNING SIGNS LOCATED WITHIN THE SITE TO BE GLARE-FREE, EASILY VISIBLE AND LEGIBLE;
- APPROPRIATE SIGNAGE TO BE INSTALLED TO DESIGNATE THE LOCATION OF ACCESSIBLE ENTRANCES;
- WAYFINDING AND WARNING SIGNS SHALL BE INSTALLED WITH STANDARD TACTILE SYMBOLS AND BRAILLE MESSAGES FOR EASY ACCESS AND RECOGNITION FOR THOSE WITH VISUAL IMPAIRMENTS AT ENTRANCES, EMERGENCY EXITS, PUBLIC WASHROOMS, ELEVATORS, PARKING AREAS ON AN ACCESSIBLE ROUTE.



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8	ISSUED FOR REVIEW	2019.11.06
9	ISSUED FOR REVIEW	2019.11.14
10	ISSUED FOR REVIEW	2021.05.03
11	ISSUED FOR SPA	2021.08.24
12	ISSUED FOR SPA	2021.11.23
13	ISSUED FOR SPA	2022.03.04
14	ISSUED FOR REVIEW	2022.07.08
16	ISSUED FOR REVIEW	2022.07.22
20	ISSUED FOR COORD.	2022.08.25
22	ISSUED FOR OPA & SPA	2022.10.21
28	RE-ISSUED FOR COORDINATION	2023.01.24
27	RE-ISSUED FOR SPA	2023.02.03
30	RE-ISSUED FOR SPA	2023.03.22
39	RE-ISSUED FOR SPA	2023.04.20
40	ISSUED FOR SITE VARIANCE	2023.05.08



KFA
architects +
planners inc.

PROJECT NO: 19065

SCALE: As indicated

DATE: 2023-03-03

DRAWN BY: Author

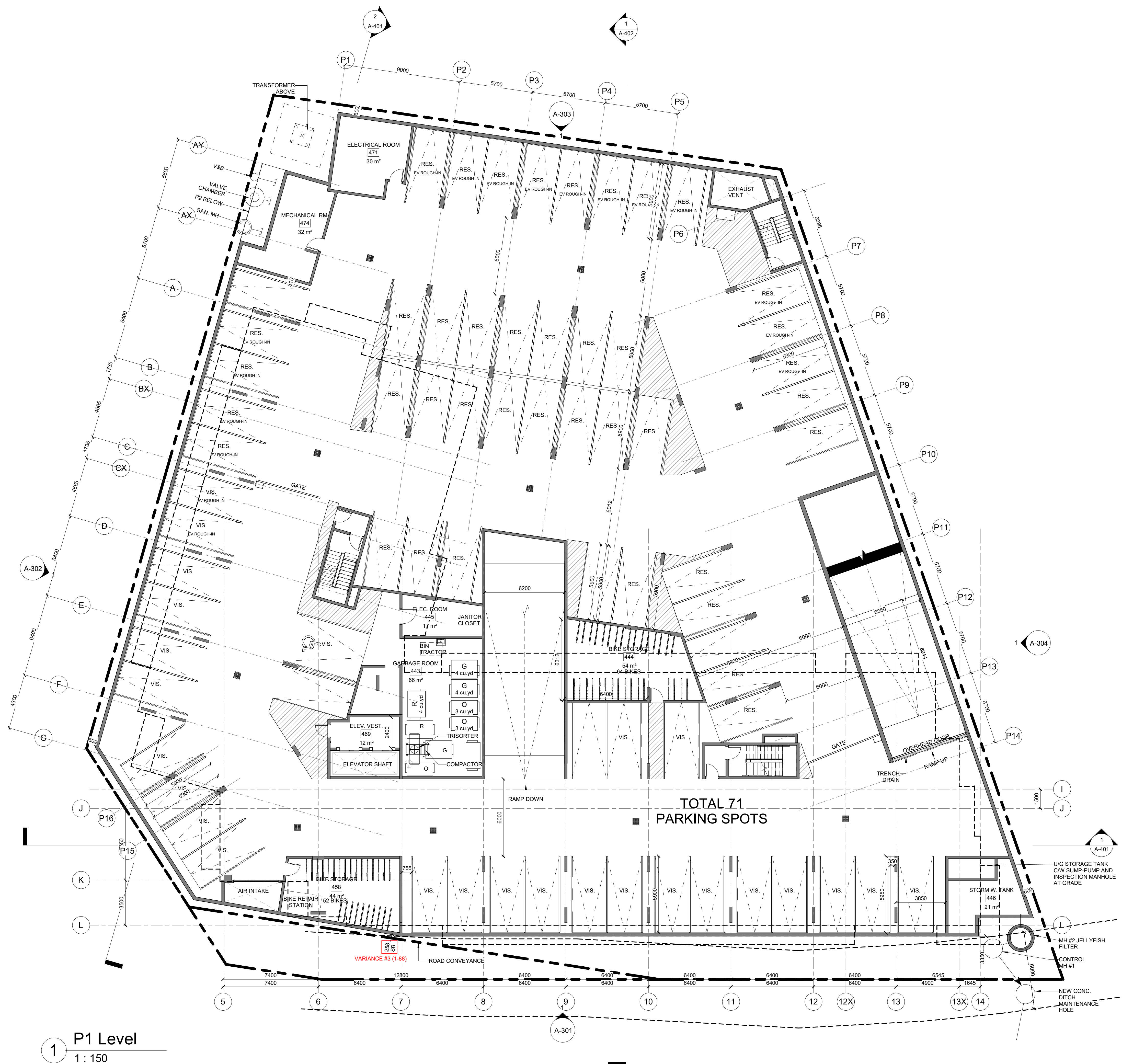
DRAWING TITLE

P1 LEVEL

DRAWING NO

A-103

FILE NUMBER: DA.13.016. OP.22.015



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/with conditions
Building Standards (Zoning)	X	X		General Comments

Date: May 8th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A061-23**

Related Files:

Applicant Humphries Planning Group Inc.

Location 11, 15, 23, and 27 Lansdowne Ave

COMMENTS:

- ☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

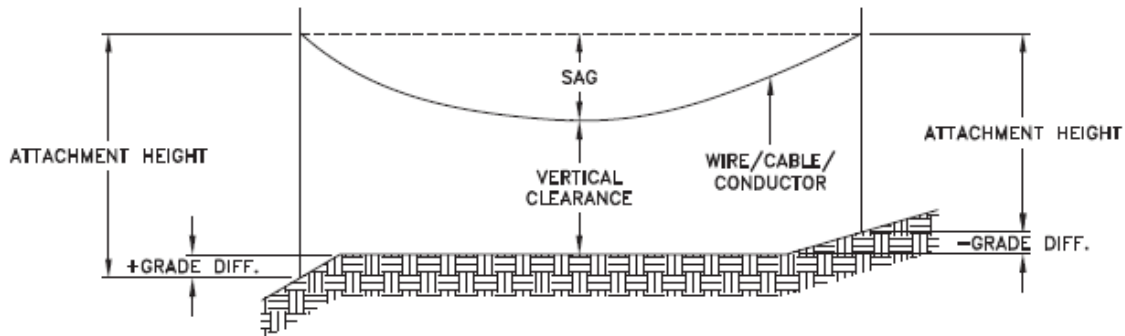
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

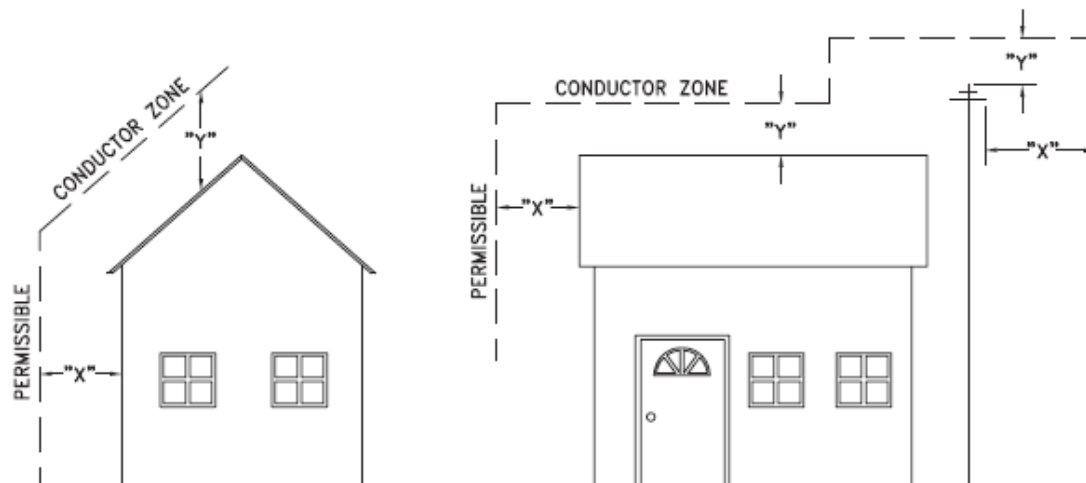
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Gregory Seganfreddo, Building Standards Department

Date: May 02, 2023

Applicant: Humphries Planning Group Inc

Location: 11, 15, 23, and 27 Lansdowne Avenue

PLAN RS64R1493 Part 3
PLAN RS65R4938 Part 1-6
PLAN RP554 Part of Lot 20
PLAN RP554 Part of Lot 19
PLAN RP554 Part of Lot 18
PLAN RP554 Part of Lot 17
PLAN RP554 Part of Lot 16

File No.(s): A061/23

Zoning Classification:

The subject lands are zoned RA3, Apartment Residential Zone and subject to the provisions of Exception 9(1401) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum lot area of 24.5 sqm/unit is required. [Exception 9(1401) Paragraph aii)].	To permit a minimum lot area of 20.58 sqm/unit.
2	A minimum Amenity Area of 22.78 sqm/unit shall be provided. [Exception 9(1401) Paragraph fi)]	To permit a minimum Amenity area of 21.28 sqm/unit.
3	A minimum setback of 0.6 metres is required to the building below grade along the exterior property line (Highway 7). [Exception 9(1401) Paragraph bi)]	To permit a minimum of 0.24 metres to the building below grade along the exterior property line (Highway 7).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 23-102960 for Excavation & Shoring - New, Issue Date: (Not Yet Issued)
Building Permit No. 00-004947 for Single Detached Dwelling - Addition, Issue Date: Sep 22, 2000
Building Permit No. 00-004947 for Single Detached Dwelling - Alteration, Issue Date: Feb 19, 2003

Other Comments:

Zoning By-law 1-88	
1	The variance chart provided indicates a variance for 21.28 sqm/unit for amenity space requirement. However, the site plan and stats chart indicates 21.3 sqm/unit. This should be corrected on that drawing provided.

General Comments

2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 25, 2023

Name of Owner: Mosaik Homes Inc.

Location: 11, 15, 23, and 27 Lansdowne Avenue

File No.(s): A061/23

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum lot area of 20.58 m²/unit.
2. To permit a minimum amenity area of 21.28 m²/unit.
3. To permit a minimum of 0.24 m to the building below grade along the exterior property line (Highway 7).

By-Law Requirement(s) (By-law 1-88):

1. A minimum lot area of 24.5 m²/unit is required.
2. A minimum amenity area of 22.78 m²/unit shall be provided.
3. A minimum setback of 0.6 m is required to the building below grade along the exterior property line (Highway 7).

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of an 11-storey residential apartment building with 180 units and 253 parking spaces, with the above-noted variances. Council approved and adopted OPA 6 on June 24, 2014, which redesignated the subject lands from "Low-Rise Residential" to "Mid-Rise Residential" with a maximum building height of 10-storeys. The Owner submitted Official Plan Amendment File OP.22.015 and resubmitted Site Development Application File DA.13.016 to facilitate the revised development. Files OP.22.015 and DA.13.016 were approved and draft approved respectively subject to conditions by Council on May 16th, 2023.

The Development Planning Department has no objection to Variances 1 and 2 for the proposed reduction to lot area and amenity area per unit. Variances to these site-specific provisions are required due to the proposed increase in gross floor area and unit count. The reduced lot areas and amenity areas have been reviewed through the Site Development Application process and are considered appropriate for the development and are not anticipated to have adverse impacts to the surrounding neighbourhood.

The Development Planning Department has no objection to Variance 3 for the reduced setback for the below grade parking structure. The 0.24 m setback is measured to a pinch point and will not impact the Highway 7 right-of-way or the adjacent 6.0 m wide erosion access allowance. The proposal has also been reviewed by the Development Engineering Department and they have no concerns.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the Official Plan Amendment (File OP.22.025) be in full force and effect.

Comments Prepared by:

Joshua Cipolletta, Planner I

David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A061/23 (11, 15, 23, and 27 Lansdowne Ave) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, May 15, 2023 10:36:43 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities – today and tomorrow

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

April 14, 2023
HPGI File: 12328

Committee of Adjustment

City of Vaughan
2141 Major Mackenzie Dr W
Maple, Ontario
L6A 1T1

**Re: Minor Variance Application
11, 15, 23 & 27 Lansdowne Avenue
Celebration Estates Inc.
Related Files: OP.13.005, OP.22.015, Z.13.008 & DA.13.016**

Humphries Planning Group Inc. ('HPGI') is the planning consultant for Celebration Estates Inc., the legally registered owners of the lands consolidated as one parcel that is municipally addressed as 11, 15, 23 & 27 Lansdowne Avenue, in the City of Vaughan (the "Subject Site").

A Minor Variance Application is being submitted to permit the proposed development of an 11-storey residential condominium building containing 180 units. The total proposed GFA for the building is 13,271.9 sqm, with a total site coverage of approximately 45% and a density of 3.58 FSI. The Subject Site is proposed to accommodate one (1) access point from Lansdowne Avenue. No access is proposed from Highway 7. The development proposal provides for a total of 253 parking spaces, including 217 resident parking spaces and 36 visitor parking spaces. As well, the development proposal provides for a total of 136 bicycle parking spaces.

The Subject Site is designated "Mid-Rise Residential", per Schedule 13 – Land Use, of the City of Vaughan Official Plan (2010) where a height of 10-storeys and a density of 3.5 FSI is permitted. According to By-law 1-88, the site is zoned RA3 Zone with site specific exception 9(1401).

The OP and Site Plan were approved by the Committee of the Whole at its meeting on April 4, 2023. This application will implement the variances required to proceed to site plan approval.

In order to facilitate the development proposed through the Site Plan Application, relief from the City of Vaughan Zoning By-law 1-88 is required. The below identifies the variances required for relief for 1-88.

Variance #1: Per Zoning By-law 1-88, the Site-Specific Exception 9(1401) permits a minimum lot area of 24.05 sqm/unit, whereas the development proposes a minimum lot

area of 20.58 sqm/unit.

Variance #2: Per Zoning By-law 1-88, the Site-Specific Exception 9(1401) permits a minimum amenity area of 22.78 sqm/unit, whereas the development proposes a minimum amenity area of 21.28 sqm/unit.

Variance #3: Per Zoning By-law 1-88, the Site-Specific Exception 9(1401) permits a minimum exterior setback of 0.6 m for below grade structures, whereas the development proposes a minimum exterior setback of 0.24 m for below grade structures.

In support of the Minor Variance application, Humphries Planning Group Inc. is submitting the following materials:

Deliverable	Consultant	Date
Cover Letter	HPGI	April 14, 2023
Aerial Photograph	HPGI	April 12, 2023
Variances Requested Chart	HPGI	April 12, 2023
Property Setbacks Chart	HPGI	April 12, 2023
Size of Structures Chart	HPGI	April 12, 2023
Site Plan (with highlighted variances)	KFA Architects	March 22, 2023
P1 Level (with highlighted variances)	KFA Architects	March 22, 2023
Authorization of Owner Form	Owner	April 13, 2023
Sworn Declaration Form	Owner	April 13, 2023
Authorizing Statements	Owner	April 14, 2023
Tree Declaration Form	Owner	April 13, 2023
Tree Protection Agreement Letter	Owner	December 6, 2022
Arborist Report	SBK	November 16, 2022
Tree Inventory/Preservation & Removal Plan	SBK	February 3, 2023
Letter confirming lands are consolidated under one ownership and are not separately conveyable under the Planning Act	Bianchi Presta LLP	April 13, 2023
Minor Variance Application Fee – Residential	--	Paid through COA Submission Portal
Digital Submission	HPGI	Through COA Submission Portal

We trust that the above is in order and constitutes a complete application for Minor

Celebration Estates Inc.
April 14, 2023

Page **3** of **3**

Variance. We request that notice of such be issued and that the enclosed materials be circulated for review and a meeting be scheduled with the Committee of Adjustment.

Yours truly,
HUMPHRIES PLANNING GROUP INC.

A handwritten signature in black ink, appearing to be 'Rosemarie', with a stylized flourish extending to the right.

Rosemarie Humphries BA, MCIP, RPP
President

cc.
Celebration Estates Inc.