

ITEM: 6.6	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A035/23 3 ERICA ROAD, THORNHILL
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Mehrdad Boszani	318 Centre Street	02/02/2023	Letter of Support
Public	Aghaie	298 Centre Street	02/02/2023	Letter of Support
Public	Mustafa Taher	308 Centre Street	02/02/2023	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A444/16	12/08/2016	APPROVED; COA
ADJOURNMENT HISTORY		
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.		
None		



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A035/23
3 ERICA ROAD, THORNHILL**

ITEM NUMBER: 6.6	CITY WARD #: 5
APPLICANT:	Bill Germanis
AGENT:	Sanaz Nasr & Frank Taher
PROPERTY:	3 Erica Rd., Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.83, 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A 1 storey single detached dwelling may be erected and maintained on the parcel of land which is Part of Lot 35, Registered Plan 3977 and designated as "Part 2" on Figure E-185, provided that such dwelling: a) Is erected within the area shown as "Building Envelope" on Figure E-185	To permit a 2 storey single detached dwelling on the parcel of land which is Part of Lot 35, Registered Plan 3977, not located within the area shown as "Building Envelope" on Figure E-185.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 1, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION	
<p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 18, 2023	
Date Applicant Confirmed Posting of Sign:	May 19, 2023	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Some exceptions applied to this specific lot that lead this property to have excessive setback location. The setback complies with R1V requirement but not R3977 exception.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	<p>On May 17, 2023, Development Planning provided:</p> <p>As discussed previously, the Development Planning Department has reviewed the application with senior management and urban design team to provide you with the following comments:</p> <p>1) Development Planning staff acknowledges this proposal does not require as many variances in comparison to what had been submitted through A444/16. However, It is imperative that the front elevation be improved upon to remain consistent with the City-Wide Urban Design Guidelines. Understanding a variance is develop outside the defined building elevation is depicted through figure E-185, it is imperative you review urban design comments in detail and provide an appropriate response.</p> <p>At this moment in time Development Planning staff recommend this application be adjourned to provide staff the time to review the applicable changes.</p> <p>On May 24, 2023, Development Planning provided:</p> <p>Based on the last information provided, there are still outstanding concerns from urban design staff. Please confirm whether this new driveway design impacts the existing fire hydrant. If so, confirm if you have received clearance from the Fire and/or Development Engineering as this was not depicted on your site plan submitted.</p>	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
<p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>		
<p>Adjournment Fees:</p> <p>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</p> <p>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</p>		

COMMITTEE OF ADJUSTMENT COMMENTS	
Committee of Adjustment Comments:	<p>Should the application require adjournment, an adjournment fee in the amount of \$591.00 is required to reschedule the application.</p> <p>Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed residence in the subject property is 265.23 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Conditions attached)</p> <p>The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p> <p>The Development Engineering Department does not object to the Minor Variance application A035/23, subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
	<p>Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.</p>

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
See recommended condition of approval.	
PFH Recommended Conditions of Approval:	To obtain a tree permit from the forestry division

DEVELOPMENT FINANCE COMMENTS	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p> <p>Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.</p>	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

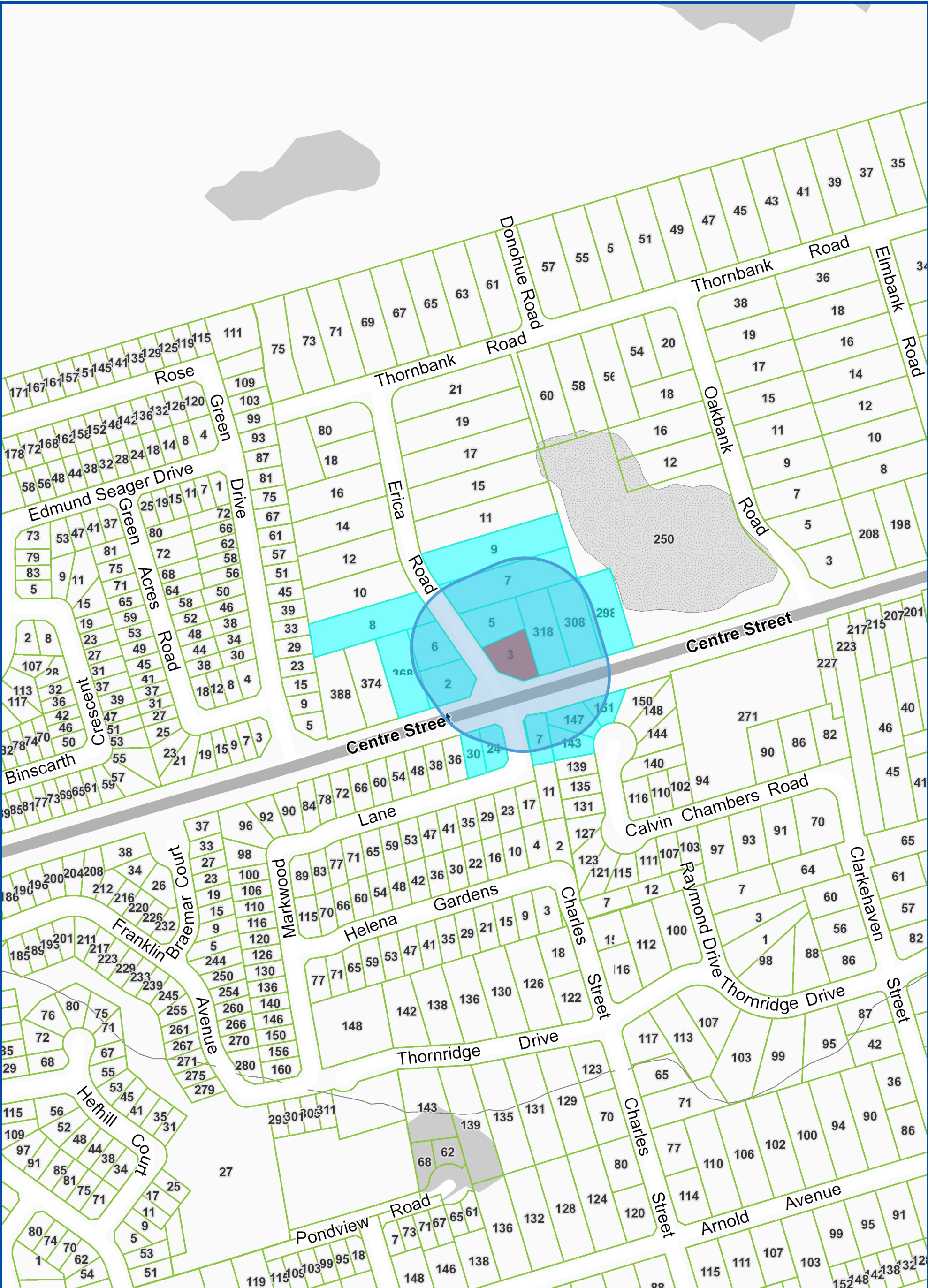
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment Christine.vigneault@vaughan.ca	Should the application require adjournment, an adjournment fee in the amount of \$591.00 is required to reschedule the application.
2	Development Planning roberto.simbana@vaughan.ca	TBD
3	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.
4	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	To obtain a tree permit from the forestry division

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit</p>

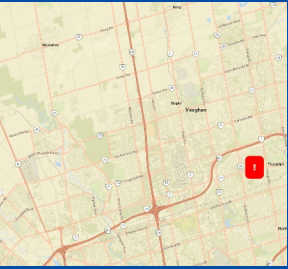
IMPORTANT INFORMATION – PLEASE READ
to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



YONGE STREET

Map Information:



Title:

NOTIFICATION MAP - A035/23

3 Erica Road, Thornhill

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
May 8, 2023 4:44 PM

Projection:
NAD 83
UTM Zone
17N



UNIT #21, 156 DUNCAN MILL RD,
TORONTO, ON M3B 1Z5

WWW.6IXDESIGN.CA

(905) 597 5594

INFO@6IXDESIGN.CA

CONSULTANTS:
ARCHITECTS: 6ixDESIGN ARCHITECTS INC.

PROJECT ADDRESS:
3 Erica RdThornhill, ON

PROJECT DESCRIPTIONS:
NEW TWO STOREY DETACHED SINGLE DWELING UNIT



VARIANCE #1

VARIANCE #2

3 Erica Rd, Thornhill, ON

THE CORPORATION OF THE CITY OF VAUGHAN
BY-LAW NUMBER 001-2021

ZONING NUMBER:
R1E

LOT AREA:
1493.81m²

BUILDING		
ITEM	REQUIRED EXCEPTION 83	PROPOSED
COVERAGE	MAX 255.00m ²	18%, 265.23m ²
LENGTH		20.54 m
DEPTH		15.81 m
HEIGHT	11.0 m	9.69 m

SETBACKS		
ITEM	REQUIRED EXCEPTION 83 (E185)	PROPOSED
FRONT	16.76m	20.56 m
REAR	1.52 m	1.52 m
SIDE	7.01m	7.62 m
SIDE(EXTERIOR)	16.76 m	16.58 m

LANDSCAPING		
ITEM	REQUIRED	PROPOSED
SOFT	60%, 896.28m ²	61%, 912.92m ²
FRONT LANDSCAPE	SOFT LANDSCAPE= 504.54m ² (95%) HARD LANDSCAPE (PAVED PATHWAY)=24.58m ² (5%) TOTAL= 529.12m ²	

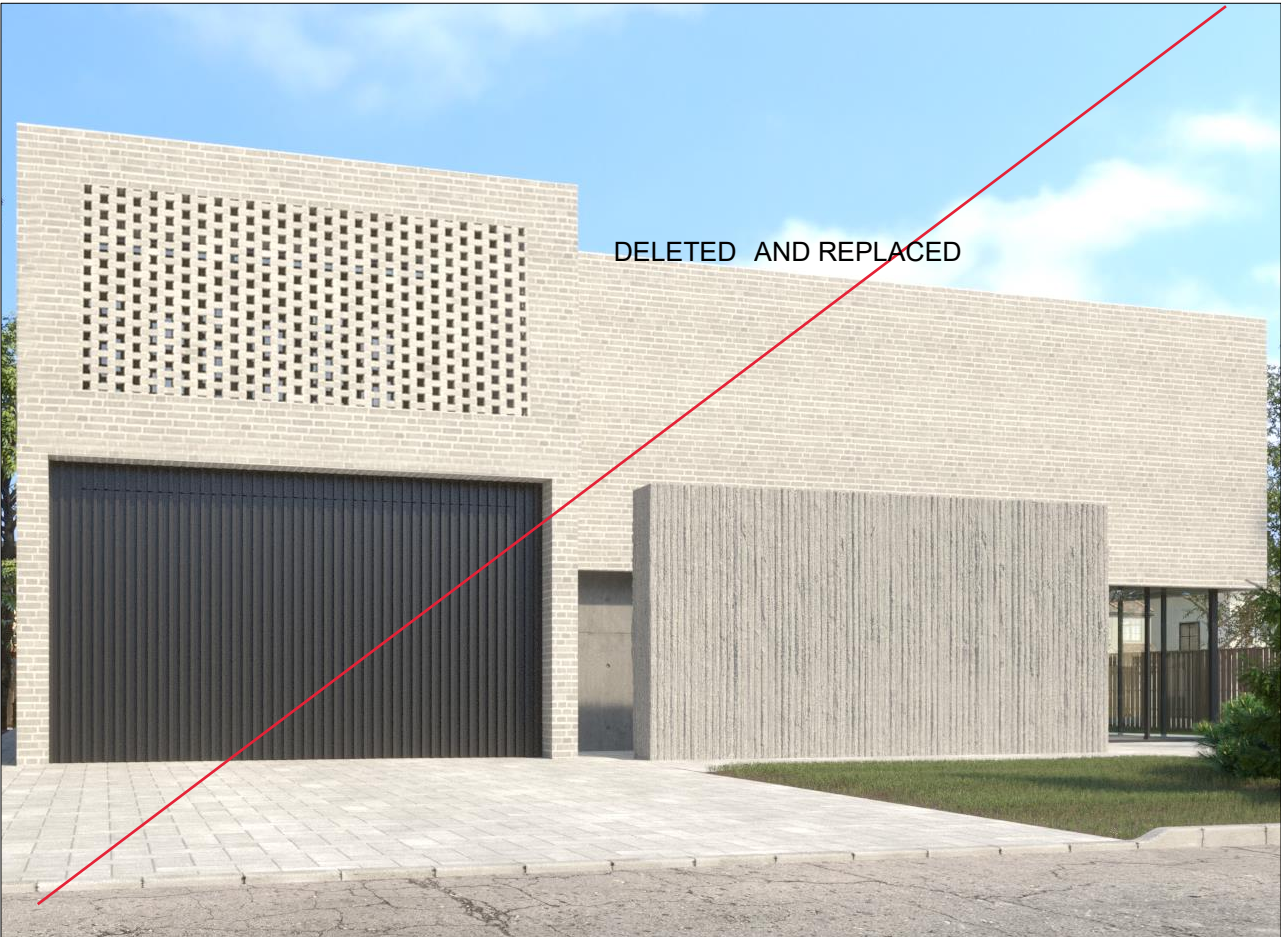
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A003.....	NOTES & SCHEDULE
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A101.....	BASEMENT FLOOR PLAN
A102.....	MAIN FLOOR PLAN
A103.....	SECOND FLOOR PLAN
A104.....	ROOF PLAN
A200.....	ELEVATIONS
A201.....	ELEVATIONS
A300.....	SECTIONS
A400.....	DETAILS

#	Zoning By-law 001-2021	Variance requested
1	A 1 storey single detached dwelling may be erected and maintained on the parcel of land which is Part of Lot 35, Registered Plan 3977 and designated as "Part 2" on Figure E-185, provided that such dwelling: a) Is erected within the area shown as "Building Envelope" on Figure E-185	To permit a 2 storey single detached dwelling on the parcel of land which is Part of Lot 35, Registered Plan 3977, not located within the area shown as "Building Envelope" on Figure E-185.



A000-1
SCALE : NTS | KEY MAP



A000-2
SCALE : NTS | KEY MAP



A000-3
SCALE : NTS | KEY MAP



PROJECT ADDRESS:
3 ERICA RD, THORNHILL, ON

Contractor to check and verify all Dimensions and conditions on the job and report Discrepancies to the Designer before proceeding with the works. This Drawing is the property of 6ixDesign Architecture Inc. and any use of it should have the Designer consent. Drawings are not to be used for any other purpose. Drawings not intended for construction unless noted otherwise.

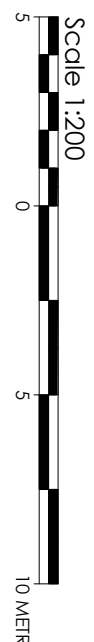


DESCRIPTION
ISSUED FOR PERMIT

DATE
230327

PROJECT NUMBER
2204-002

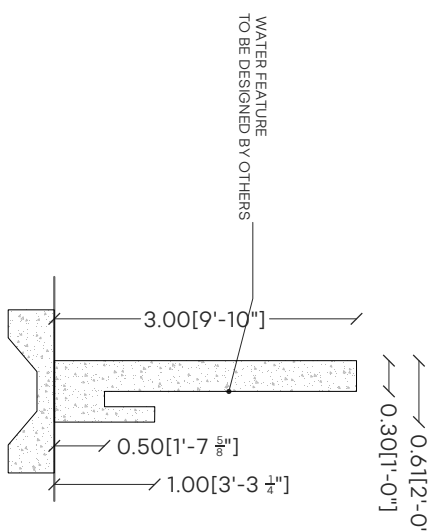
S.A.
F.T.



SITE PLAN

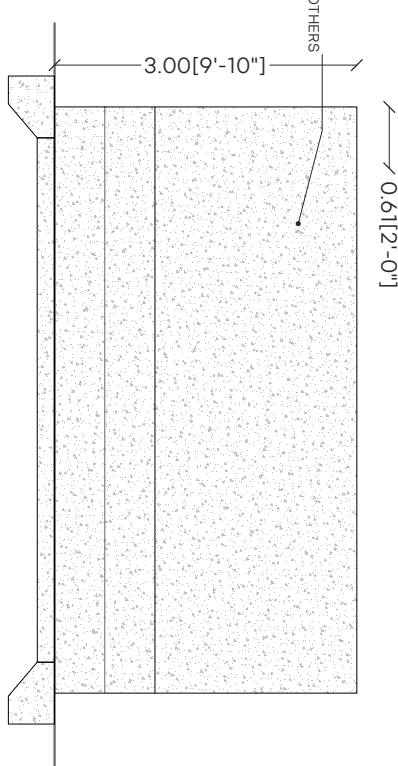
A001-4
SCALE : 1:75

WATER FEATURE SIDE



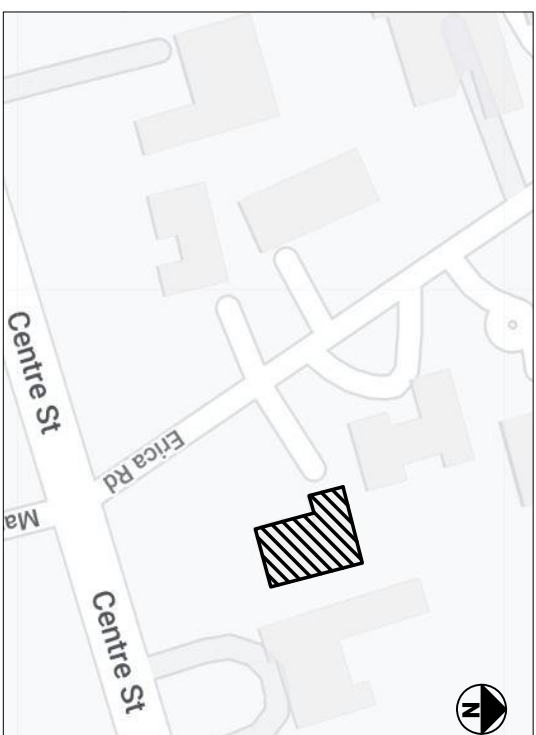
A001-3
SCALE : 1:75

WATER FEATURE FRONT



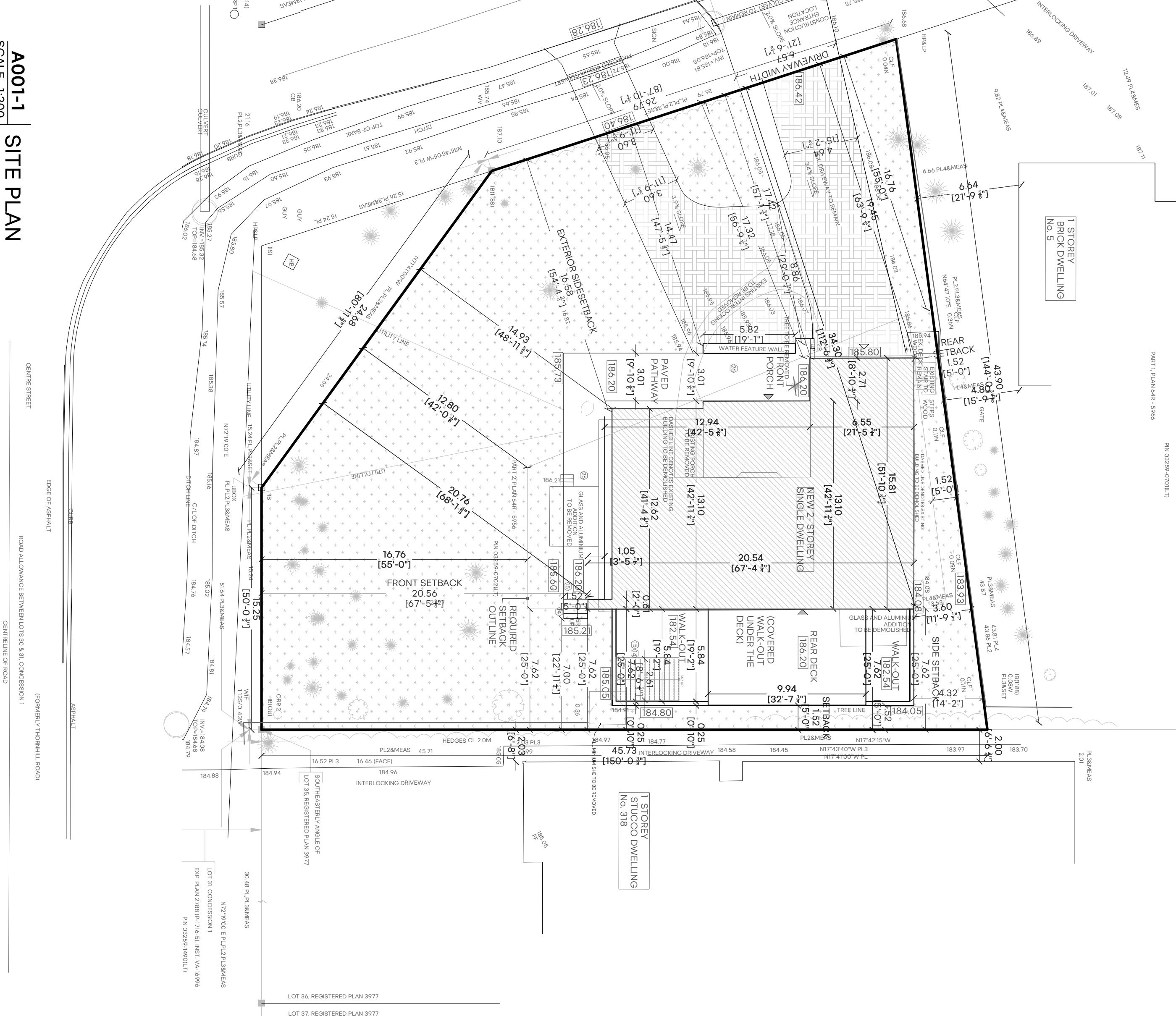
A001-2
SCALE : NTS

KEY MAP



A001-1
SCALE 1:200

SITE PLAN



SITE STATISTICS

THE CORPORATION OF THE
CITY OF VAUGHAN BY-LAW NUMBER 0012021

ZONING NUMBER: R1E (EXCEPTION 83, 403)

LOT AREA: 1493.81m²

BUILDING

ITEM	REQUIRED EXCEPTION 83	PROPOSED
COVERAGE	255.00m ²	18%, 245.23m ²
LENGTH		20.54 m
DEPTH		15.81 m
HEIGHT		9.69 m

SETBACKS

ITEM	REQUIRED EXCEPTION 83	PROPOSED
FRONT	16.76m	20.56m
REAR	1.52m	15.2m
SIDE	7.01m	7.62m
SIDE	16.76m	16.58m

LANDSCAPING

ITEM	REQUIRED	PROPOSED
SOFT	60%, 896.28m ²	61%, 912.92m ²
FRONT LANDSCAPE	SOFT LANDSCAPE= 277.22m ²	
REAR LANDSCAPE	SOFT LANDSCAPE= 277.22m ²	
TOTAL	DMV TOTAL= 470.25m ²	TOTAL= 470.25m ²

SITE PLAN LEGEND	
▶	BUILDING ENTRANCE
▷	GARAGE ENTRANCE
—	EX. FENCE
—	BUILDING OUTLINE
—	LOT BOUNDARY
□	PROPOSED GARAGE
0.00	EX. GRADE
—	DIMENSION

CONSTRUCTION NOTES

GENERAL NOTES:

- ALL DIMENSIONS TO BE CONFIRMED ON SITE.
- ALL WORK SHALL BE CARRIED OUT WITH STRICT ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
- FLAME SPREAD RATING OF ALL INTERIOR FINISHES NOT TO EXCEED 150.
- ALL WORK CALLED FOR ON THESE DRAWINGS SHALL BE IN COMPLIANCE WITH CODES, RULES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES AHVING JURISDICTION. THIS INCLUDES BUT NOT LIMITED TO THE ONTARIO BUILDING CODE, THE ONTARIO ELECTRICAL SAFETY CODE, FIRE PROTECTION CODES AND THE ACCESSIBILITY GUIDELINES.

WALLS:

1 FOUNDATION/BASEMENT WALL

- IF NOT SPECIFIED IN WALL SCHEDULES, TYP. WALL CONSTRUCTION TO BE:
- FOUNDATION WALLS TO BE EXTENDED OF MIN. 6" ABOVE FINISHED GRADE
 - 2X COATS OF BITUMINOUS DAMPPROOFING APPLIED ON MIN. 1/4" PARGING ON 10" BLOCK W/ TYPE "S" MORTAR AND 3/16" BLOCK LOCK @ 16" O.C. VERTICALLY AND 32" HORIZONTALLY
 - DRAINAGE LAYER IS REQUIRED FOR FOUNDATION WALLS WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-1" BELOW THE EXT. GRADE
 - 1/4" PARGING COVER TO BE PROVIDED OVER POURED CONCRETE FOOTING.
 - BACKFILLING TO BE DONE AFTER HAVING THE FOUNDATION WALLS BRACED OR INSTALLATION ON THE FLOOR JOIST.
 - TOP COURSE OF BLOCK TO BE SOLID OR TO BE FILLED WITH MORTAR OR CONCRETE
 - 2" SOLID MASONRY ON CONT. TO BE PROVIDED WITH 1 1/2" PLATE UNDER ALL FLOOR AND ROOF FRAMING MEMBERS ALONG WITH 7 1/2" SOLID MASONRY BELOW THE BEAMS AND COLUMNS.
 - CONT. 2X6 WOOD SILL PLATE FASTENED WITH 1/2" D. X 1/2" L ANCHOR BOLTS EMBEDDED 6" IN CONC. 6'-0" O.C. MAX. & PROVIDE A FLEXIBLE SILL GASKET BET. PLATE & FOUNDATION

2 EXTERIOR WALL

IF NOT SPECIFIED IN WALL SCHEUDLES, TYP. WALL CONSTRUCTION TO BE;

- EXTERIOR WALLS:
- CLADDING
 - R21 CCSPF SPRAY FOAM INSULATION
 - SHEATHING PAPER LAPPED 4" AT JOINTS
 - MIN. 3/4" EXTERIOR GRADE PLYWOOD
 - MIN. 2X6 STUDS
 - MIN. BOTTOM PLATE AND DOUBLE 2X6 TOP PLATE
 - 5/8" GYPSUM BOARD
 - * STUD SIZES TO BE CONFIRMED WITH STRUCTURAL DRAWINGS OR ENGINEER.

- INTERIOR WALLS:
- IF NOT SPECIFIED IN WALL SCHEUDLES, TYP. WALL CONSTRUCTION TO BE:
- MIN. 2.4 STUDS @16" O.C.
 - MIN. 2X4 BOTTOM PLATE AND DOUBLE 2X4 TOP PLATE
 - MIN. 2X4 MIND-GIFRTS IF NOT SHEATHED
 - MIN. 1/2" GYPSUM BOARD SHEATHING
 - *STUD SIZES TO VARY BASED ON SITE CONDITION.

3 INTERIOR WALL

- IF NOT SPECIFIED IN WALL SCHEDULES, TYP. WALL CONSTRUCTION TO BE:
- INTERIOR WALLS SHALL CONSIST OF THE FOLLOWING:
- MIN. 2X4 STUDES @16" O.C.
 - MIN 2X4 BOTTOM PLATE AND DOUBLE 2X4 TOP PLATE
 - MIN. 2X4 MIND-GIRTS IF NOT SHEATHED
 - MIN. 1/2" GYPSUM BOARD SHEATING
 - *STUD SIZES TO VARY BASED ON SITE CONDITION.

4 MASONARY VENEER

- MINIMUM 2 3/4" THICK IF JOINTS ARE NOT RAKED AND 3 1/2" THICK IF JOINTS ARE RAKED
- MINIMUM 1" AIR SPACE TO SHEATING
- PROVIDE WEEP HOLES SPACED ABOUT 16" TO 24" O.C. (406MM TO 610MM) MAX. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS
- DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20MM POLY FLASHING EXTENDING MINIMUM 5 7/8" UP BEHIND THE SHEATHING PAPER
- VENEER TIES MIN. 0.030" THICK X 7/8" WIDE CORROSION RESISTANT STRAPS SPACED @ 23 5/8" VERTICALLY AND 15 3/4" HORIZONTALLY
- FASTEN TIES WITH CORROSION RESISTANCE 0.125" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1-3/16" INTO STUDS
- MASONRY VENEER 70MM OR MORE IN THICKNESS AND RESTING ON BEARING SUPPORT SHALL BE TIED TO THE WOOD FRAMED WALL WITH TIES CONFIRMING TO O.B.C. 9.20.9.5.
- THUS WOOD FRAMED WLLAS WITH 16" O.C. STUD SPACING SHOULD HAVE VENEER TIES AT 400X800MM (15 3/4" X 3 1/2")

SLABS:

5 BASEMENT SLAB
(O.B.C. 9.13. & 9.16.)

- IF NOT SPECIFIED IN DRAWINGS, TYP. BASEMENT SLABS TO BE:
- MINIMUM 5" REINFORCED CONCRETE SLAB ON 2" R-10 RIGID INSULATION ON MIN. 6" CRUSHED STONE
 - 0.006" (0.15 MM) VAPOUR BARRIER TO BE PROVIDED @ U/S OF INSULATION AND SEALED SLAB
 - ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED UNDER CONCRETE SLAB SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT
 - FLOOR DRAIN PER O.B.C. 9.31.4.4.
 - UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFIRM TO BE SUPPLEMENTARY STANDARD (O.B.C. SB.9).

6 SLAB ON GROUND:

- IF NOT SPECIFIED IN DRAWINGS, TYP. SLAB ON GROUND TO BE:
- MINIMUM 3" (75MM) CONCRETE SLAB (PER O.B.C. 9.16.4.3.) W/ MIN 15MPA AFTER 28 DAYS.
 - DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15MM) POLYETHLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100MM) LAPPED JOINTS.
 - DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600PSI (25MPA) COMPRESSIVE STRENGTH AFTER 28 DAYS.
 - R10 (RSI 1.76) RIGID INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23 1/2" (600MM) OF GRADE.
 - MIN. 4" (100MM) OF COURSE GRANULAR MATERIAL.
 - PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB AND FOOTING.

7 GARAGE AND CARPORT SLABS

- 5" REINFORCED CONCRETE SLAB TO BE SLOPED @ MIN. 1.5% TO DRAIN TO OUTSIDE BASED ON STRUCTURAL DWG AND GRADING PLANS.
- 32 MPA CONCRETE W/ 5-8% AIR ENTERTAINMENT WITH 6X6X6/6 WWM IN CNETER OF SLAB ON TOP OF 4" OF COARSE, CLEAN GRANULAR FILL.
- ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

FOOTINGS:

8 FOOTINGS

- IF NOT SPECIFIED IN DRAWINGS, TYP. FOOTINGS TO BE:
- MINIMUM 105 KPA POURED CONCRETE BEAR ON UNDISTURBED NATURAL SOIL
 - MINIMUM 48" BELOW FINISHED GRADE
 - FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANDULAR, OR LEAN CONCRETE FILL WITH MINIMUM BEARING CAPACITY OF 75 KPA.
 - FOOTING SIZE IF NOT SPECIFIED AS PER STRUCTURAL, TO FOLLOW:

Floors SupporteD	Supporting Ext. Wall	Supporting Int. Wall	Column Area
1	9 7/8"	9 7/8"	4.3 sq.f.
2	13 3/4"	13 3/4"	8.1 sq.f.
3	17 3/4"	19 3/4"	10.9 sq.f.

- INCREASE FOOTING WIDTH BY2 5/8" FOR EACH STOREY OF BRICK VENEER SUPPORTED, AND BY 5 1/8" FOR EACH STOREY OF MASONRY
- THE PROJECTION OF AN UNREFINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS
- STEP FOOTING:
- VERTICAL RISE 23 5/8" MAX. FOR FIRM SOILS, 15 3/4" MAX. FOR SAND OR GRAVEL HORIZONTAL RUN= 23 5/8" MIN.

FLOORS AND ROOFS:

9 FLOOR CONSTRUCTION

- IF NOT SPECIFIED IN STRUCTURAL DRAWINGS, TYP. FLOOR CONSTRUCTION TO BE:
- FINISHED FLOOR APPLIED ON 3/4" T&G PLYWOOD SUBFLOOR
 - JOISTS, BRIDGING AND STRAPPING AS PER STRUCTURAL DRAWINGS
 - CONT. HEADER JOIST WITH R-27 BATT INSULATION, EXTEND AIR VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR
 - PROVIDE DOUBLE JOIST U/S OF PARTITION WALLS PARALLEL TO JOISTS

10 ROOFING

- IF NOT SPECIFIED IN DRAWINGS, TYP. ROOFINGS TO BE: ROOFING SHALL CONSIST OF:
- ASPHALT SHINGLES
 - UNDERLAYMENT
 - 3/4" PLYWOOD NAILED AND GLUED
 - PRE-ENGINEERED TRUSSED
 - R-60 BLOWN IN INSULATION
 - AIR BARRIER
 - 1/2" GYPSUM BOARD
 - FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 1/2" INTO ROOF SHEATING
 - EAVE PROTECTION SHALL EXTEND 2'-11" UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 11 3/4" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR PLYESTERE FIBRE COATED BASE SHEETS, OR SELF-SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL.
 - EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOP OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED
 - OPEN VALLEYS SHALL BE FLASHED WITH 2X LAYERS OF ROLL ROOFING, OR 1X LAYER OF SHEET METAL MIN. 5/8" WIDE 23 FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS SHEET METAL FLASING SHALL CONSIST OF NOT LESS THAN 1/16" SHEETLEAD, 013" GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019' ALUMINUM.

11 COLUMNS, BEAMS AND LINTELS

- STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.
- PROVIDE MINIMUM 1/2" END BEARING FOR WOOD AND STEEL BEAMS, WITH 7 7/8" SOLID MASONRY BENEATH THE BEAM.
- STEEL COLUMNS OT HAVE MINIMUM OUTSIDE DIAMETER OF 2 7/8" AND MIN. WALL THICKNESS OF 3/16"
- ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMEBER UNDER ALL CONCENTRATED LOADS

12 TRUSSES, RAFTERS AND JOISTS

- IF NOT SPECIFIED IN DRAWINGS, TRUSSES, RAFTERS AND JOISTS TO BE:
- HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON RAFTERS
 - 2X4 COLLAR TIES @RATER SPACING WITH 1X4 CONTINOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 7'-10" IN LENGTH
 - NO. 210 (30.5KG/M2) ASPHALT SHINGLES
 - HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE MAX. 1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES
 - NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH
 - WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 1 9/16" IF NON-LOAD BEARING
 - ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMODATE IN THE DESIGN

13 EXCAVATION AND BACKFILL

- EXCAVATION SHALL BE DONE IN A GREAT PREVENTION OF ANY DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES
- THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINUMUM DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 17 3/4"
- THE BOTTOM OF EXACAVATIONS SHALL BE KEPT FROM FREEZING THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- EXCAVATIONS FOR FOUNDATIONS SHALL EXTEND TO UNDISTURBED SOIL.
- BACKFILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 9 7/8" IN DIAMTER.

STAIRS AND RAILINGS:

14 STAIRS

MAX. RISE	7 7/8"	(20 CM)
MIN. RUN	10"	(25.50 CM)
MIN.TREAD	10"	(25.50CM)
MIN. HEAD ROOM	6'-5"	(195.50CM)
MIN. WIDTH	2'-9 7/8	(86.00CM)
- A LANDING MINIMUM 2'-11 3/8" (900mm) IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3X RISERS.		
- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2X RISERS REQUIRE FOUNDATIONS		

15 GUARDS AND HANDRAILS

- A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2X RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3X RISERS
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE ADJACENT LEVEL
- HEIGHT OF HANDRAILS ON STAIRS SHALL NOT BE: NOT LESS THAN 2'-10" (34") AND NOT MORE THAN 3'-2" (38")
- WHERE GUARDS ARE REQUIRED, HANDRAILS REQUIRED ON LANDINGS SHALL BE NOT MORE THAN 3'-6" IN HEIGHT
- INTERIOR AND EXTERIOR GUARDS MIN. 2'-11" (35") HIGH, EXTERIOR GUARDS SHALL BE 3'-6" HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 5'-11" GUARDS SHALL HAVE NO OPENINGS GREATER THAN 4'-0" AND NO MEMBER BETWEEN 4" AND 35" (2'-11") THAT WILL FACILITATE CLIMBING
- IF GLASS RAILINGS ARE USED, SUBMIT SHOP DRAWINGS TO INSPECTOR PRIOR TO INSTALLAION.
- ** ADDITIONAL DETAILS AS PER GENERAL NOTES FOLLOWING THE O.B.C.

ALARMS:

16 SMOKE ALARM AND CARBON MONOXIDE DETECTOR

- ALARMS AND DETECTORS AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 2'-1" OR MORE ABOVE AND ADJACENT LEVEL.
- SMOKE ALAMRS CONFIRMING TO CAN/ULC-5531, "SMOKE ALARMS", SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT.
 - IN COMPLIANCE WITH THE SUBSECTION 9.10.19. OF THE O.B.C. ALL SMOKE ALARMS ARE REQUIRED TO BE PROVIDED WITH VISUAL SIGNALING COMPONENTS (9.10.19.3 (5)) WHERE A FEUL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE. IN COMPLIANCE WITH THE SUBSECTION 9.33.4 OF THE O.B.C. WHEN A GARAGE IS ATTACHED TO THE DWELLING UNIT.
 - A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING ROOM.

LEGEND

<div>C.M.</div>	CARBON MONOXIDE DETECTOR
<div>S.A.</div>	SMOKE ALARM DETECTOR WITH VISUAL AND AUDIO COMPONENT
<div></div>	FLOOR DRAIN

SMOKE ALARAMS TO BE PROVIDED WITH VISUAL AS WELL AS AUDIO COMPONENT.



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DESCRIPTION	DATE
ISSUED FOR PERMIT	230327

A002

CONSTRUCTION NOTES

PROJECT NUMBER 2204-002

DRAWN BY S.A.

CHECKED BY F.T.

INSULATION AND BARRIERS:

IF NOT SPECIFIED IN WALL SCHEDULES, TYP. WALL CONSTRUCTION TO BE:

17 INSULATION AND WEATHER PROOFING

CEILING WITH ATTIC	R-60
CEILING WITHOUT ATTIC	R-40
EXTERIOR WALL	R-22
FOUNDATION WALL	R-10+10CI
EXPOSED FLOOR	R-31
SUPPLY DUCT	R-12

- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBERGLASS-TYPE INSULATIONS
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING
- WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR
- EXTERIOR WALLS, CEILINGS, AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR 1 1/2" (R10) RIGID PERIMETER INSULATION TO EXTEND 2'-0" BELOW EXT. FINISHED GRADE

18 GARAGE AIR SEAL

- PROVIDE GAS PROOFING AND AIR SEAL FROM GARAGE TO HABITABLE SPACES ACCORDING TO O.B.C. 9.10.9.16 (4)
- PROVIDE R-31 FLOOR INSULATION IN THE CEILING ABOVE THE GARAGE.
- WALLS AND FLOORS BETWEEN GARAGE AND DWELLING TO HAVE THE SAME R-VALUE AS EXTERIOR WALLS.

19 REQUIRED BARRIER TO AIR LEAKAGE

(1) WALL, CEILING, AND FLOOR ASSEMBLIES THAT SEPARATE CONDITIONED SPACES FROM UNCONDITIONED SPACES, OR FROM THE GROUND, SHALL BE CONSTRUCTED SO AS TO INCLUDE AN AIR BARRIER SYSTEM THAT WILL PROVIDE A CONTINUOUS BARRIER TO AIR LEAKAGE,

- A.

FROM THE INTERIOR OF THE BUILDING INTO WALL, FLOOR, ATTIC, OR ROOF SPACES SUFFICIENT TO PREVENT EXCESSIVE MOISTURE CONDENSATION IN SUCH SPACES DURING THE HEATING SEASON, AND
- B.

FROM THE EXTERIOR INWARD, SUFFICIENT TO PREVENT MOISTURE CONDENSATION ON THE ROOM SIDE DURING THE HEATING SEASON.

(2) THE CONTINUITY OF THE AIR BARRIER SYSTEM SHALL EXTEND THROUGHOUT THE BASEMENT.

MISCELLANEOUS

20 WINDOW WELLS

WINDOW WELLS SHALL BE DRAINED TO THE WEEPING TILE.

21 DAMP PROOFING AND DRAINAGE

IF NOT SPECIFIED IN DRAWINGS, TYP. DAMP PROOFING AND DRAINAGE TO BE:

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMPPROOFED:
- WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 1/4"OF MORTAR COVED OVER THE FOOTING PRIOR TO DAMP PROOFING
- 4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 6" OF CRUSHED STONE.
- A FLOOR DRAIN SHALL BE INSTALLED IN A BASEMENT FORMING PART OF A DWELLING UNIT.
- FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL, OR SUMP
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR
- THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP, AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

22 SKYLIGHT

DIMENSIONS INSIDE THE DRAWING ARE INSIDE CURB DIMENSIONS. INSTALLATION SHOULD BE BASED ON THE MANUFACTURER'S MANUAL.

23 ATTIC ACCESS

ATTIC ACCESS SHOULD BE MIN 22"X35" W/ INSULATION AND WEATHER STRIPPING.

24 SEALANTS:

- (1) SEALANT SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE.
- (2) SEALANT SHALL BE PROVIDED BETWEEN MASONRY, SIDING, OR STUCCO AND THE ADJACENT DOOR AND WINDOW FRAMES OR TRIM, INCLUDING SILLS UNLESS SUCH LOCATIONS ARE COMPLETELY PROTECTED FROM THE ENTRY OF RAIN.
- (3) SEALANT SHALL BE PROVIDED AT VERTICAL JOINTS BETWEEN DIFFERENT CLADDING MATERIALS UNLESS THE JOINT IS SUITABLY LAPPED OR FLASHED TO PREVENT THE ENTRY OF RAIN.

25 TILE FLOOR CONSTRUCTION

- CERAMIC AND MARBLE TILE TO BE APPLIED ON GROUT SETTING BED ON 1 1/2" CONE.
- TOPPING WITH WIRE MESH REINFORCING MID-DEPTH SILL PLATE HEIGHT & QUALITY TO BE COORDINATED WITH TYPICAL FLOOR CONSTRUCTION 2X4 CROSS STRAPPING TO BE USED IN LIEU OF CONE.
- TOPPING TO LEVEL FLOOR FINISH WHEN TILE / HARDWOOD CONSTRUCTION OCCURS OVER THE SAME JOISTS.

26 CONCRETE PORCH

- MIN. 4" BEARING FOR CONCRETE SLAB.
- TO SUPPORT THE CONCRETE SLAB, PROVIDE DEEP POCKETS BY REMOVING EVERY SECOND PAIR OF FACE BRICK WHEN BRICK FACING IS USED.

27 DOORS & WINDOWS

-EVERY FLOOR LEVEL CONTAINING A BEDROOM AND SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 9.8 SF (0.353 SQ.M) AND NO DIMENSION LESS THAN 15" (0.381M) WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY.
DOORS SHALL HAVE A DEADBOLT LOCK.
THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING, OR A SIDELIGHT.

28 REQUIRED BARRIER TO VAPOUR DIFFUSION

(1) THERMALLY INSULATED WALL, CEILING, AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A VAPOUR BARRIER SUFFICIENT TO PREVENT CONDENSATION IN THE WALL SPACES, FLOOR SPACES, OR ATTIC OR ROOF SPACES.



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DESCRIPTION
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DATE
230327

A003

PROJECT NUMBER 2204-002
DRAWN BY S.A.
CHECKED BY F.T.

CONSTRUCTION NOTES

TABLE 3.1.1.2.A (IP)
ZONE 1 - COMPLIANCE PACKAGES FOR SPACE HEATING EQUIPMENT WITH AFUE ≥ 92%
FORMING PART OF SENTENCE 3.1.1.2.(1)

COMPONENT	THERMAL VALUES(8)	COMPLIANCE PACKAGE					
		A1	A2	A3	A4	A5	A6
CEILING WITH ATTIC SPACE	MIN. NOMINAL R(1)	60	60	50	60	50	60
	MAX. U(2)	0.017	0.017	0.020	0.017	0.020	0.017
	MIN. EFFECTIVE R(2)	59.22	59.22	49.23	59.22	49.23	59.22
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL R(1)	31	31	31	31	31	31
	MAX. U(2)	0.036	0.036	0.036	0.036	0.036	0.036
	MIN. EFFECTIVE R(2)	27.65	27.65	27.65	27.65	27.65	27.65
EXPPOSED FLOOR	MIN. NOMINAL R(1)	31	31	35	31	35	31
	MAX. U(3)	0.034	0.034	0.031	0.034	0.031	0.034
	MIN. EFFECTIVE R(3)	29.80	29.80	32.02	29.80	32.02	29.80
WALLS ABOVE GRADE	MIN. NOMINAL R(1)	22	19 + 5 ci	14 + 7.5 ci	22 + 5 ci	19 + 5 ci	22 + 5 ci
	MAX. U(3)	0.059	0.049	0.054	0.047	0.049	0.047
	MIN. EFFECTIVE R(3)	17.03	20.32	18.62	21.40	20.32	21.40
BASEMENT WALLS(6)	MIN. NOMINAL R(1)	20 ci	12 +10 ci	20 ci	20 ci	12 +5 ci	20 ci
	MAX. U(4)	0.047	0.048	0.047	0.047	0.063	0.047
	MIN. EFFECTIVE R(4)	21.12	20.84	21.12	21.12	15.96	21.12
BELOW GRADE SLAB ENTIRE SURFACE > 600 MM BELOW GRADE	MIN. NOMINAL R(1)	-	-	-	-	-	-
	MAX. U(4)	-	-	-	-	-	-
	MIN. EFFECTIVE R(4)	-	-	-	-	-	-
HEATED SLAB OR SLAB ≤ 600 MM BELOW GRADE	MIN. NOMINAL R(1)	10	10	10	10	10	10
	MAX. U(4)	0.090	0.090	0.090	0.090	0.090	0.090
	MIN. EFFECTIVE R(4)	11.13	11.13	11.13	11.13	11.13	11.13
EDGE OF BELOW GRADE SLAB ≤ 600 MM BELOW GRADE	MIN. NOMINAL R(1)	10	10	10	10	10	10
	MAX. U(5)	0.28	0.28	0.25	0.28	0.28	0.28
WINDOWS AND SLIDING GLASS DOORS	MAX. U(5)	0.49	0.49	0.49	0.49	0.49	0.49
	ENERGY RATING	25	25	25	25	25	25
SKYLIGHTS	MAX. U(5)	0.49	0.49	0.49	0.49	0.49	0.49
SPACE HEATING EQUIPMENT	MIN. AFUE	96%	96%	94%	96%	94%	92%
HRV	MIN. SRE	75%	75%	81%	75%	70%	65%
DOMESTIC WATER HEATER(7)	MIN. EF	0.80	0.70	0.67	0.67	0.80	0.80
COLUMN 1	2	3	4	5	6	7	8

PACKAGE CHOSEN FROM SB12-A3

EXTERIOR WALL SCHEDULE

FW1	FOUNDATION WALL	<div>EXTERIOR</div> <div>INTERIOR</div>
	-R20 RIGID INSULATION -DAMPPROOFING MEMBERANE -CONCRETE FOUNDATION WALL PER STRUCTURAL -WOOD STUD 1½" X 1½" @16"O.C. - VAPOUR BARRIER -½"GYPSUM BOARD -FINISH TBD	
FW2	RETAINING WALL	<div>EXTERIOR</div> <div>EXTERIOR</div>
	- 10" CONCRETE RETAINING WALL	
FW3	FOUNDATION WALL	<div>EXTERIOR</div> <div>INTERIOR</div>
20ci	-1 ½" BRICK VENEER 1" AIR SPACE -R20 RIGID INSULATION -DAMPPROOFING MEMBERANE -CONCRETE FOUNDATION WALL PER STRUCTURAL -WOOD STUD 1½" X 1½" @16"O.C. - VAPOUR BARRIER -½"GYPSUM BOARD -FINISH TBD	
EW1	EXTERIOR GREY CONCRETEPANEL	<div>EXTERIOR</div> <div>INTERIOR</div>
R14+7.5ci	-CLADDING CONCRETE PANEL -Z FURRYING CHANEL PER MANUFACTURER & AIR GAP -2" XPS RIGID INSULATION -BUILDING PAPER (AIR BARRIER) -½"SHEATHING -2"x6" WOOD STUD -R14 OC-SPF SPRAY FOAM INSULATION -VAPOUR BARRIER -½"GYPSUM BOARD WITH FINISH TBD	
EW3	EXTERIOR BRICK VENEER	<div>EXTERIOR</div> <div>INTERIOR</div>
R14+7.5ci	-3" BRICK VENEER -1"mm AIR SPACE -BUILDING PAPER -½" PLYWOOD SHEATHING -1 ½"x 5 ½" WOOD STUD PER STRUCTURAL DRAWINGS - OC-SPF SPRAY FOAM INSULATION -VAPOUR BARRIER -½"GYPSUM BOARD -FINISH TBD	
EW2	EXTERIOR CURTAIN WALL	<div>EXTERIOR</div> <div>INTERIOR</div>
U-VALUE 0.25Btu/(h.ft².F)	-PER MANUFACTURER SPECIFICATION	
EW4	EXTERIOR FEATURE WALL	<div>EXTERIOR</div> <div>EXTERIOR</div>
	-DOUBLE BRICK WALL	

INTERIOR WALL SCHEDULE

IW1	INTERIOR PARTITION WALL	<div>INTERIOR</div> <div>INTERIOR</div>
	-FINISH TBD -½" GYPSUM BOARD -2x4 WOOD STUD -½" GYPSUM BOARD -FINISH TBD	
IW2	INTERIOR PARTITION GARAGE TO HOUSE	<div>INTERIOR</div> <div>GARAGE</div>
	-½" GYPSUM BOARD WITH FINISH TBD -2"x4" WOOD STUD -R19 CC-SPF SPRAY FOAM INSULATION -GASP ROOFED WITH ½GB AND TAPED TO BE JOINED & SEALED -¾" GYPSUM BOARD OR EQUIVALENT WITH FINISH TBD	
IW3	INTERIOR SHOWER WALL	<div>INTERIOR</div> <div>SHOWER</div>
	-½" GYPSUM BOARD -2X4WOOD STUD -½" CEMENT BOARD -BOND COAT -FINISH TILE TBD	
IW4	INTERIOR PARTITION FOR LIFT SHAFT	<div>INTERIOR</div> <div>LIFT SHAFT</div>
	-FINISH TBD -½" GYPSUM BOARD -2"x6" WOOD STUD -½" GYPSUM BOARD -FINISH TBD	

FLOOR SCHEDULE

F1	FLOOR SLAB	<div>INTERIOR</div>
R10 SB12 - A3	- FINISH TBD - 4" CONCRETE SLAB PER STRUCTURAL - 2" INSULATION OVER WATERPROOFING - GRAVEL - UNDISTURBED SOIL	
F5	GARAGE FLOOR	<div>GARAGE</div>
	- PAVER FINISH TBD - CONCRETE SLAB PER STRUCTURAL - INSULATION OVER WATERPROOFING - GRAVEL - UNDISTURBED SOIL	
F2	FLOOR	<div>INTERIOR</div> <div>INTERIOR</div>
	- FINISH TBD - FLOORING AND SUBFLOOR - 1½" TJI S47 @12" O.C., JOIST - SUSPENDED CEILING SYSTEM - 1/2" GYPSUM BOARD	
F3	BATHROOM FLOOR	<div>INTERIOR</div> <div>INTERIOR</div>
	- FINISH TBD - MORTAR BOND COAT - LINER - FLOORING AND SUBFLOOR - 1½" TJI S47 @12" O.C., JOIST - ½" GYPSUM BOARD - FINISH TBD	
F4	TERRACE FLOOR	<div>EXTERIOR</div> <div>GARAGE</div>
R35	- FINISH TBD -SUBFLOOR -WATERPROOFING - R31 OC-SPF SPRAY FOAM - 1½" TJI S47 @12" O.C., JOIST - ½" GYPSUM BOARD -FINISH TBD	
F5	BATHROOM FLOOR	<div>INTERIOR</div> <div>INTERIOR</div>
R10	- FINISH TBD - MORTAR BOND COAT - LINER - CONCRETE SLAB PER STRUCTURAL - INSULATION OVER WATERPROOFING - GRAVEL - UNDISTURBED SOIL	
F6	SLAB	<div>PORCH</div>
	- FINISH TBD - CONCRETE SLAB PER STRUCTURAL - INSULATION OVER WATERPROOFING - GRAVEL - UNDISTURBED SOIL	

ROOF SCHEDULE

RF1	FLAT ROOF	<div>EXTERIOR</div> <div>INTERIOR</div>
R31	- EPDM FLAT ROOF MATERIAL WITH 2% SLOPE - SHEATING - R31 OC-SPF SPRAY FOAM - 1½" TJI S47 @12" O.C., JOIST - ½" GYPSUM BOARD - INTERIOR FINISH T.B.D.	

WINDOW SCHEDULE

NO.	TYPE	DIMENTION WXH	ELEVATION VIEW	TOTAL
1	WIN1	U-VALUE 0.25Btu/(h.ft².F) 11'7"x6' 3.53x1.83		2
2	WIN2	U-VALUE 0.25Btu/(h.ft².F) 14'10"x6' 4.52x1.83		1
3	WIN3	U-VALUE 0.25Btu/(h.ft².F) 21'-3"x6' 6.48x1.83 1h-F.R.R. AND NONCOMBUSTIBLE		1
4	WIN4	U-VALUE 0.25Btu/(h.ft².F) 39'1"x6' 11.94x1.83		1
5	WIN5	U-VALUE 0.25Btu/(h.ft².F) 4'11"x3'11" 1.5 x 1.2		1

SKYLIGHT SCHEDULE

NO.	TYPE	DIMENTION WXH	PLAN VIEW
1	SL1	U-VALUE 0.25Btu/(h.ft².F) 5'6"X3' 1.68X0.94	
2	SL2	U-VALUE 0.25Btu/(h.ft².F) 7'-8"X3'-11" 1.19X2.34	
3	SL3	U-VALUE 0.25Btu/(h.ft².F) 3'-11"X7'-8" 1.19X2.347	

CURTAIN WALL SCHEDULE

NO.	TYPE	SPECIFICATION	ELEVATION VIEW	TOTAL
1	EW2	U-VALUE 0.25Btu/(h.ft².F) FIRST FLOOR 45min F.R.R.		1
2	EW2	U-VALUE 0.25Btu/(h.ft².F) FIRST FLOOR		1
3	EW2	U-VALUE 0.25Btu/(h.ft².F) FIRST FLOOR		1

DOOR SCHEDULE

TAG	SIZE	DESCRIPTION	MATERIAL	F-R-R	FLOOR	QUANTITY
EXTERIOR DOORS						
D1	19'-6"x8'-10 1/2" 5.96X2.71	GARAGE DOOR			1ST	1
D6	7'-9"x8'-3" 2.36X2.52	EXTERIOR PIVOT DOOR			1ST	1
D10	8'-3"x4'-6" 1.138X2.52	EXTERIOR DOUBLE DOOR			BASEMENT	1
D11	8'-3"x7'-6" 1.28X2.52	EXTERIOR DOUBLE DOOR			BASEMENT	1
D12	8'-3"x 5'-7" 1.70X2.52	EXTERIOR SLIDING DOOR			1ST	1
D9	8'-3"x 3'-7" 1.08X2.52	EXTERIOR DOOR			1ST	1
INTERIOR DOORS						
D3	8'-3"x 2'-11 1/2" 90X2.52				1ST	2
D4	8'-3"x 4'-1 1/2" 1.26X2.52	INTERIOR PIVOT DOOR FOR ACCESS TO THE PROPOSED BEDROOM			-1, 2ND	6
D7	7'-6"x 3'-10 1/2" 1.18X2.28	POCKET SINGLE DOOR			1ST, 2ND	2
D8	7'X 2'-4"	INTERIOR DOOR FOR ACCESS TO THE PROPOSED BATHROOMS AND WASHROOMS			-1, 1ST, 2ND	10

CURTAIN WALL SCHEDULE



UNIT #21, 156 DUNCAN MILL RD,
TORONTO, ON M3B 1Z5
WWW.6IXDESIGN.CA
TEL: (905) 597 5594

PROJECT ADDRESS:
3 ERICA RD, THORNHILL, ON

Contractor to check and verify all Dimensions and conditions on the job and report Discrepancies to the Designer before proceeding with the works. This Drawing is the property of "6ixDesign Architecture Inc" and any use of it should have the Designer consent. Drawings are not to be scaled. Drawings not intended for construction unless noted otherwise.



DESCRIPTION
ISSUED FOR PERMIT

DATE
230327

A005

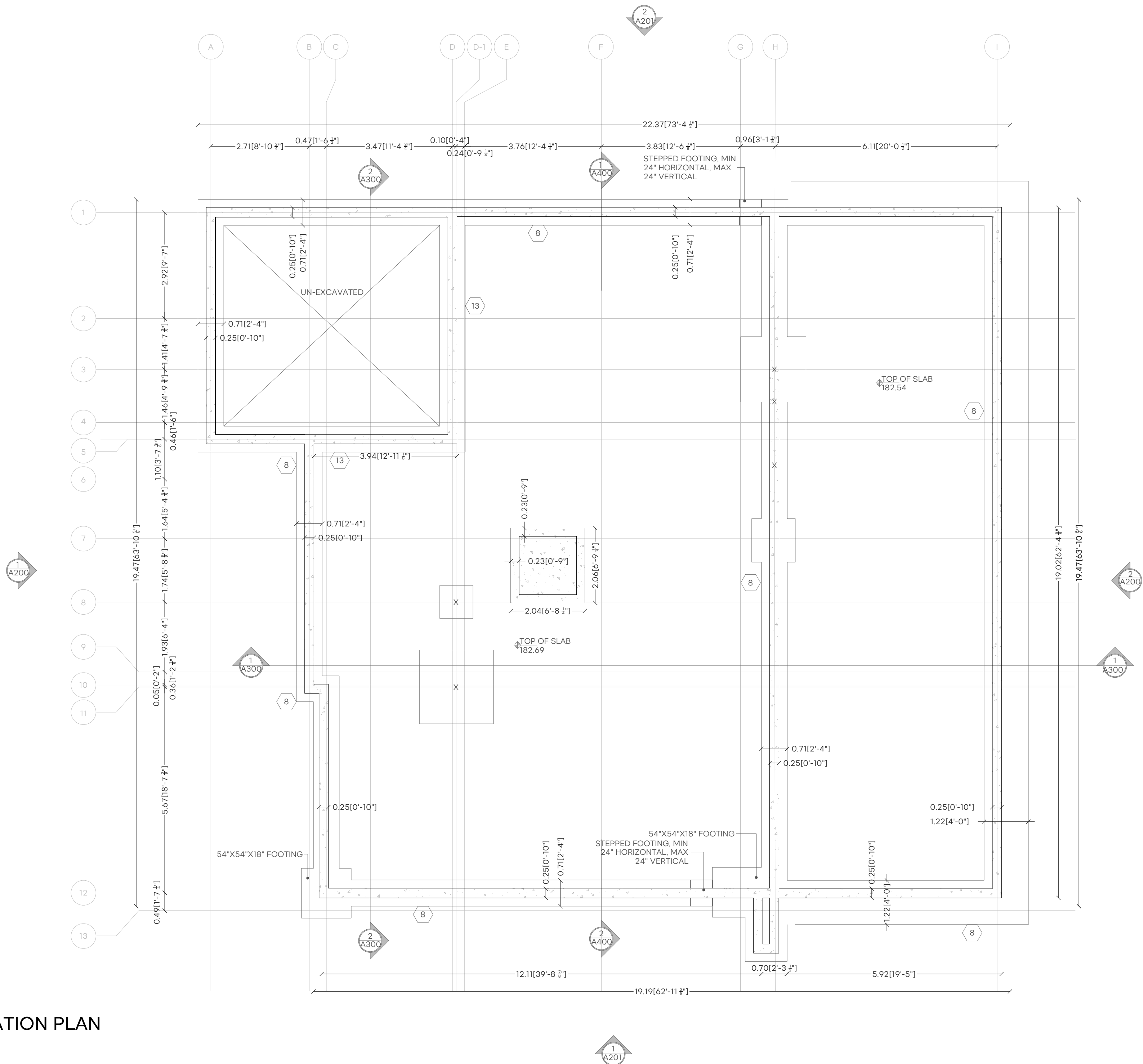
SCHEDULE

PROJECT NUMBER 2204-002

DRAWN BY S.A.

SCALE: NOT TO SCALE

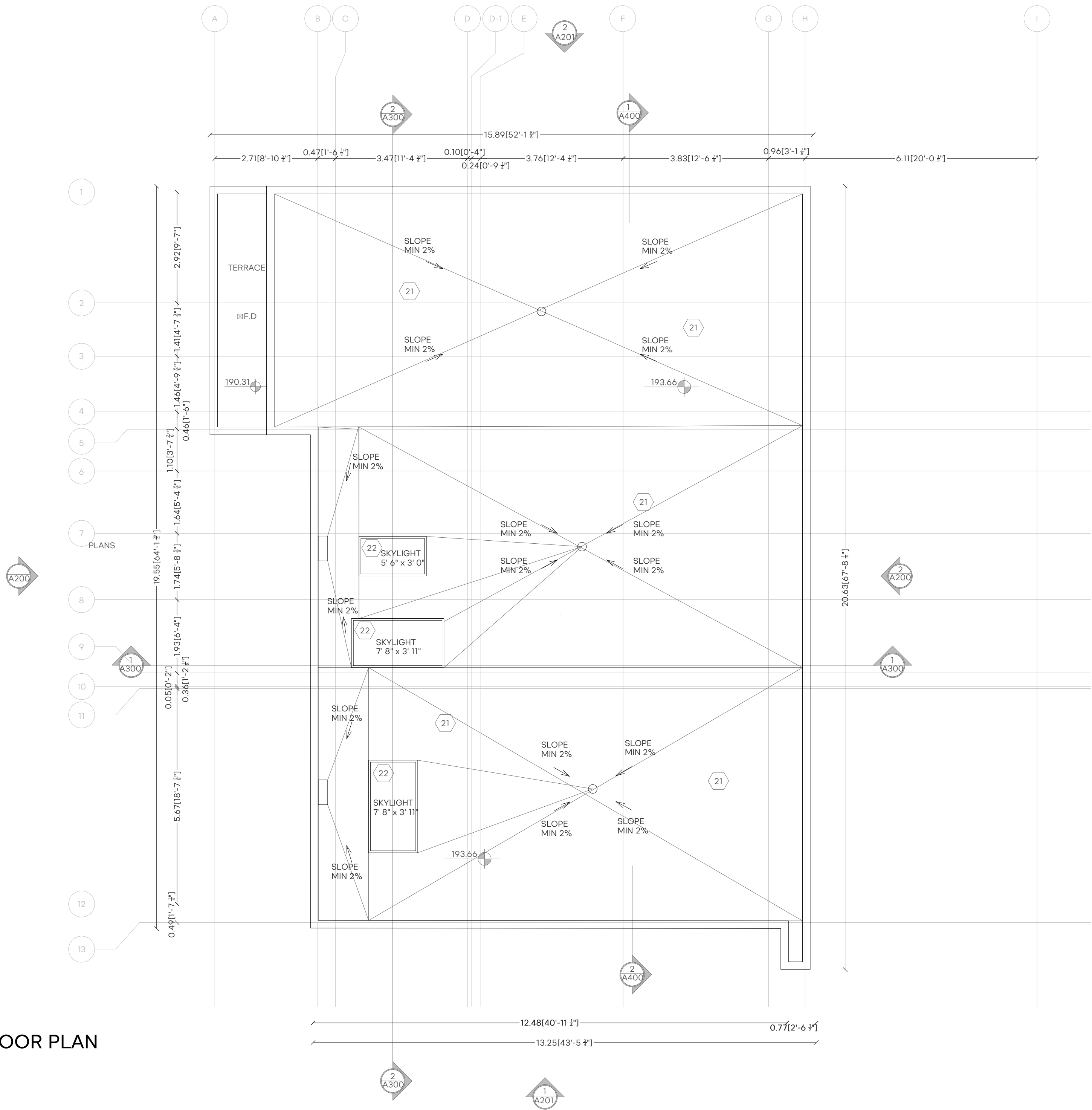
CHECKED BY F.T.



A100-1
SCALE 1:75

FOUNDATION PLAN



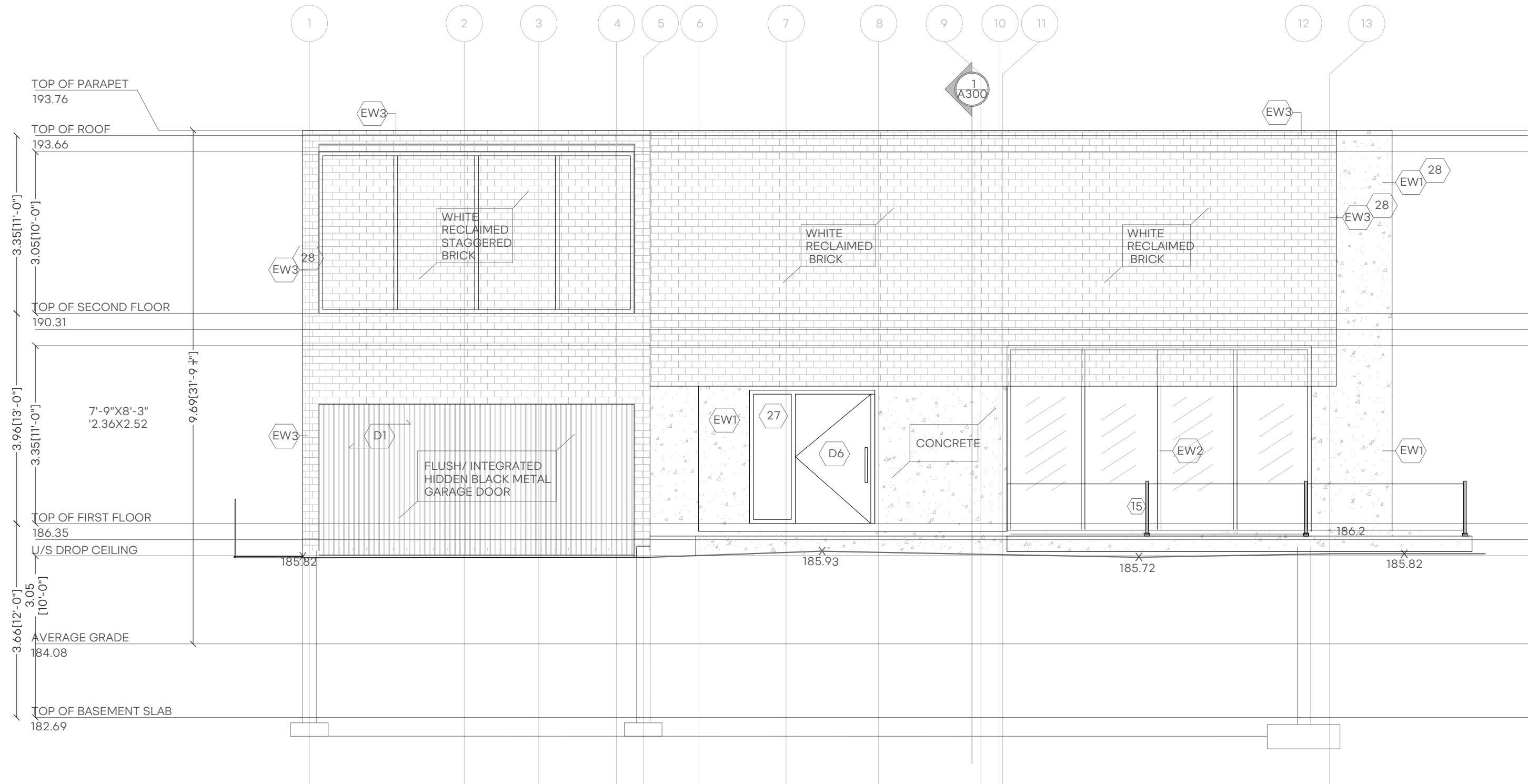


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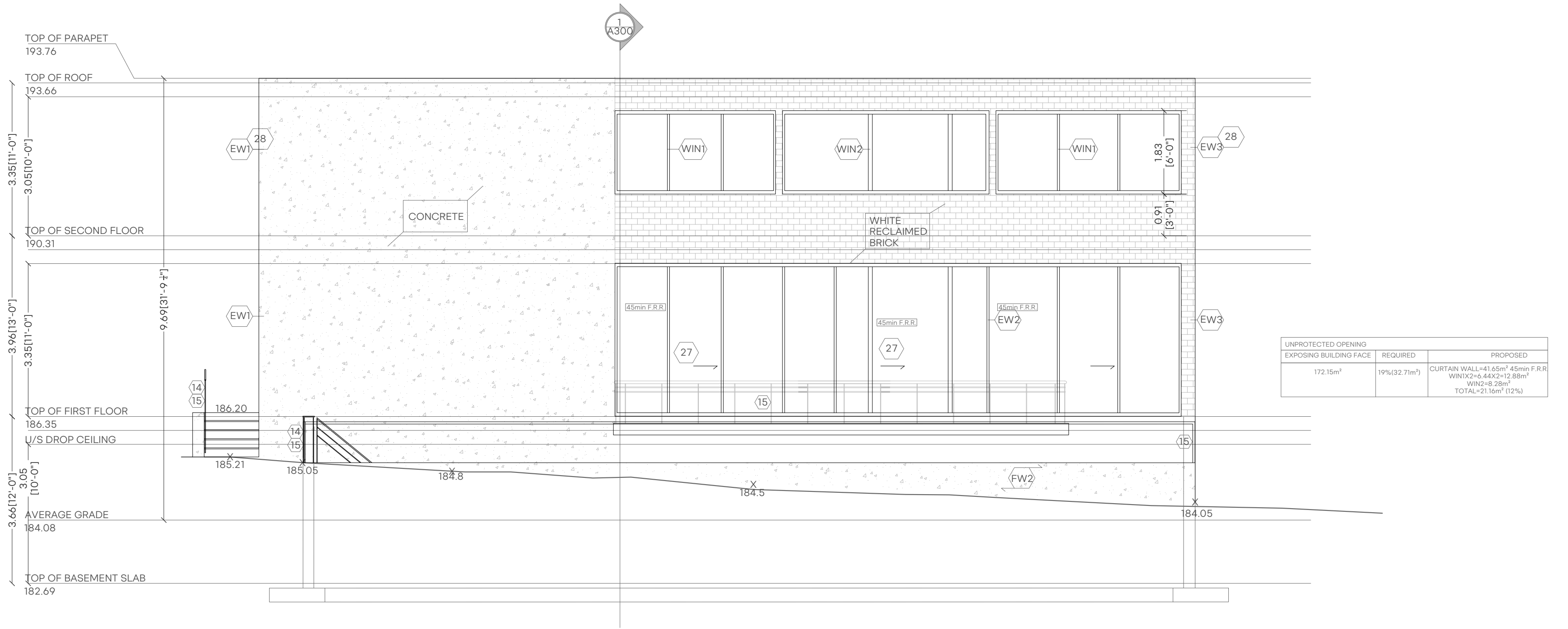
ROOF FLOOR PLAN



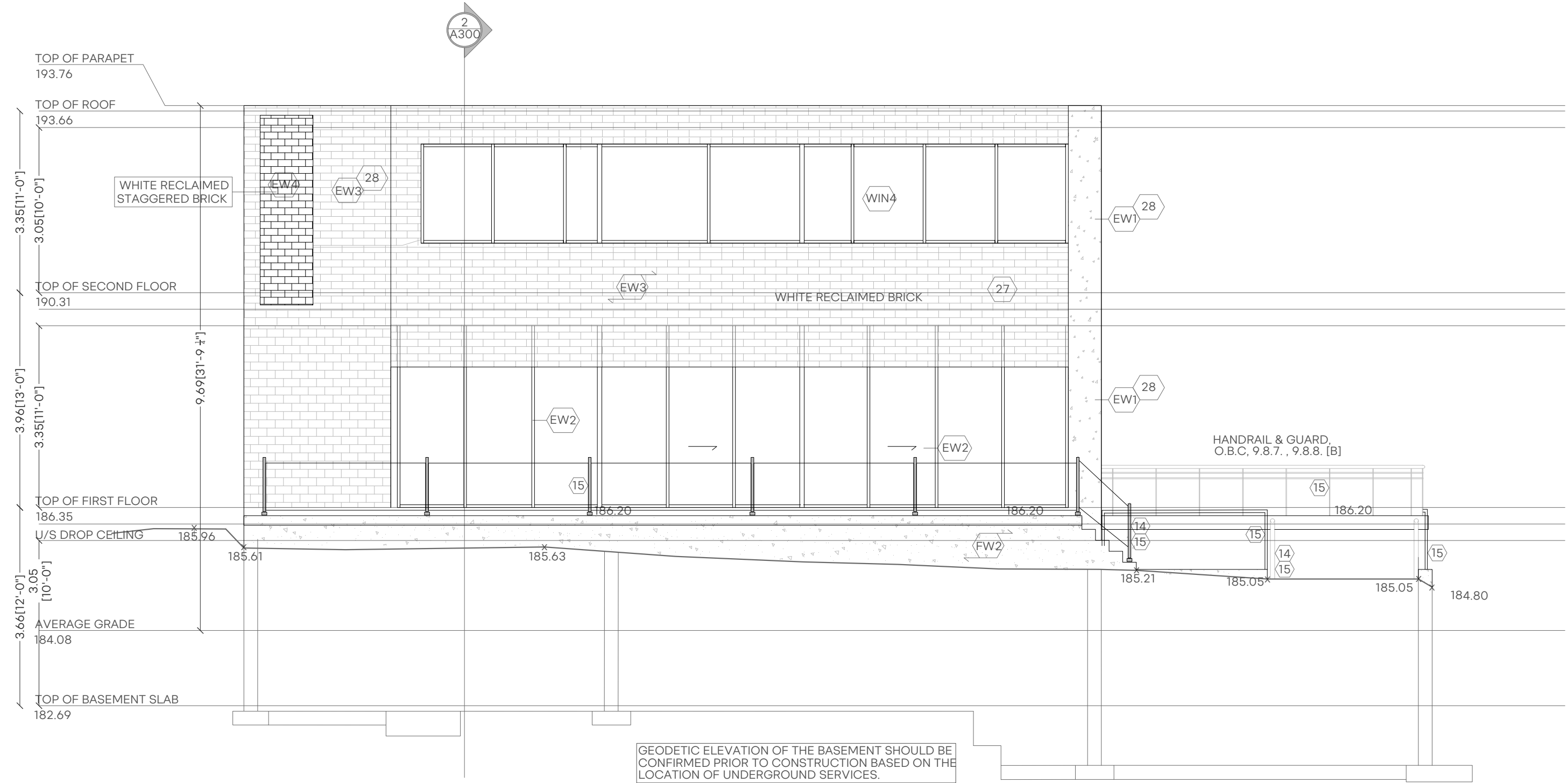
A200-1 WEST ELEVATION
SCALE 1:75



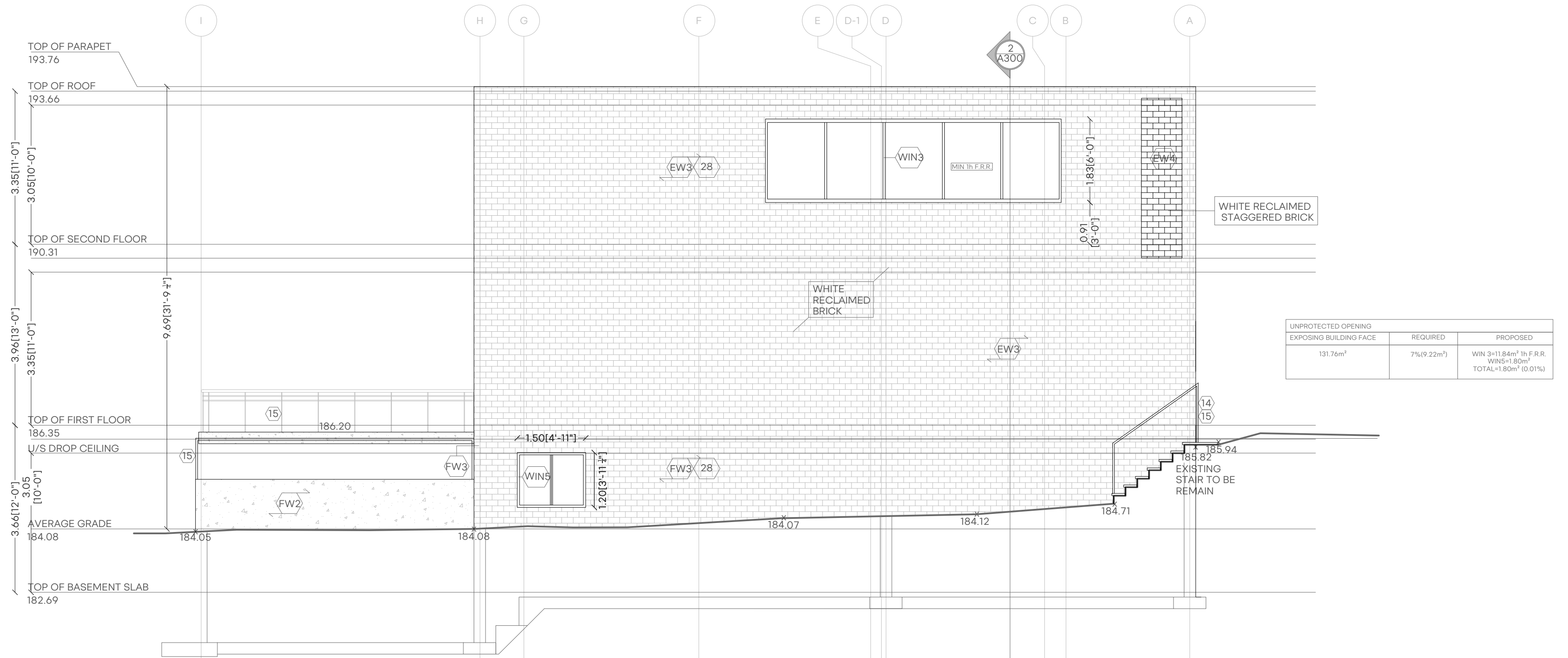
A200-2 EAST ELEVATION
SCALE 1:75



A201-1 | SOUTH ELEVATION
SCALE 1:75



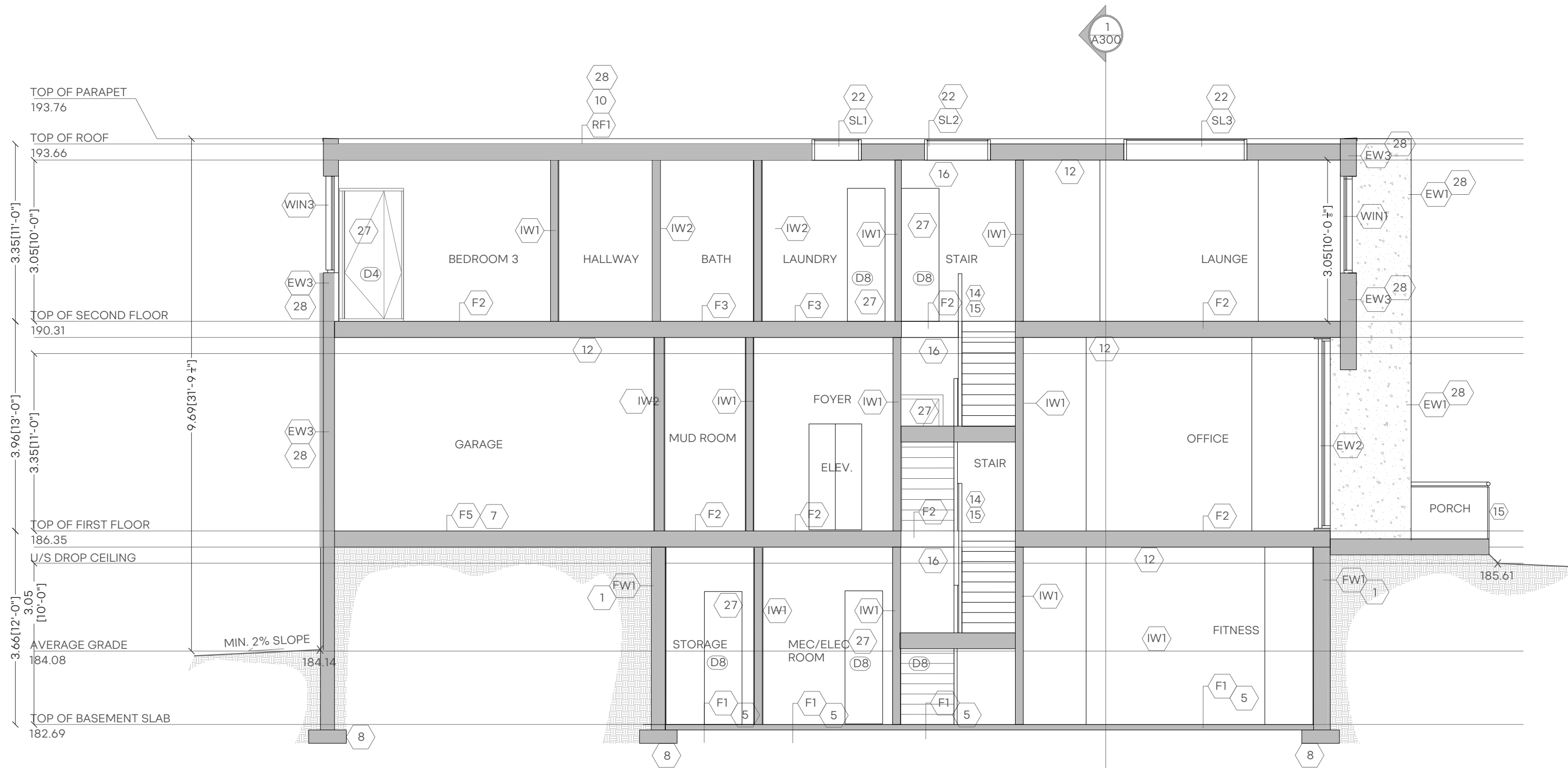
A201-2 | NORTH ELEVATION
SCALE 1:75



A300-1 SECTION
SCALE 1:75



A300-2 SECTION
SCALE 1:75



UNIT #21, 156 DUNCAN MILL RD.
TORONTO, ON M3B 1Z5
WWW.6IXDESIGN.CA
TEL: (905) 597 5594

PROJECT ADDRESS:
3 ERICA RD, THORNHILL, ON

Contractor to check and verify all Dimensions and conditions on the job and report Discrepancies to the Designer before proceeding with the works. This Drawing is the property of "6ixDesign Architecture Inc" and any use of it should have the Designer consent. Drawings are not to be scaled. Drawings not intended for construction unless noted otherwise.



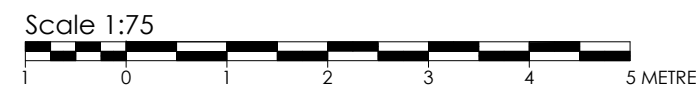
DESCRIPTION
ISSUED FOR PERMIT

DATE
230327

A300

SECTION

PROJECT NUMBER 2204-002
DRAWN BY S.A.
CHECKED BY F.T.



Received 05/18/2023: We have eliminated the wall feature and opened up the front of the house on Erica Rd so that the entrance is more visible and there is more glass now



Received 05/18/2023: We have eliminated the wall feature and opened up the front of the house on Erica Rd so that the entrance is more visible and there is more glass now



SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: April 17, 2023
Applicant: Bill Germanis
Location: 3 Erica Road
PLAN RP3977 Part of Lot 35
File No.(s): A035/23

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.83, 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A 1 storey single detached dwelling may be erected and maintained on the parcel of land which is Part of Lot 35, Registered Plan 3977 and designated as “Part 2” on Figure E-185, provided that such dwelling: a) Is erected within the area shown as “Building Envelope” on Figure E-185	To permit a 2 storey single detached dwelling on the parcel of land which is Part of Lot 35, Registered Plan 3977, not located within the area shown as “Building Envelope” on Figure E-185.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Lenore Providence

Subject: FW: [External] RE: DEADLINE CORRECTION: MAY 22, 2023. - A035/23 (3 Erica Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentservices@york.ca>
Sent: April-25-23 5:13 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: DEADLINE CORRECTION: MAY 22, 2023. - A035/23 (3 Erica Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Mehrdad Boszani	318 Centre Street	02/02/2023	Letter of Support
Public	Aghaie	298 Centre Street	02/02/2023	Letter of Support
Public	Mustafa Taher	308 Centre Street	02/02/2023	Letter of Support

Committee of Adjustments
City of Vaughan
3 Erica Rd, Vaughan, Ontario L4J 2E9

To whom it may concern,

We have reviewed the drawings and Variances requested by personnel from 6ixDesign Architects Inc for their proposal of a New Detached, two-story single dwelling unit. We understand that this project has been submitted to the city of Vaughan for a minor variance application. We have no objections to the proposal and believe the proposed use is in conformity with the neighborhood.

Name: Mehrdad Bostani
Address: 318 Centre St

Comments: _____

Signature: _____

Date: Feb 2, 2023

Committee of Adjustments
City of Vaughan
3 Erica Rd, Vaughan, Ontario L4J 2E9

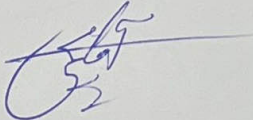
To whom it may concern,

We have reviewed the drawings and Variances requested by personnel from 6ixDesign Architects Inc for their proposal of a New Detached, two-story single dwelling unit. We understand that this project has been submitted to the city of Vaughan for a minor variance application. We have no objections to the proposal and believe the proposed use is in conformity with the neighborhood.

Name: *Aghaie*
Address: *298 Centre St*

Comments: _____

Signature: _____



Date: _____

Feb 2, 2023



☎: (905) 597-5594

☎: (905) 597-5594

✉: info@6ixdesign.ca

📍: 21 – 156 Duncan mill,
Toronto, On M3B 1Z5

Committee of Adjustments
City of Vaughan
3 Erica Rd, Vaughan, Ontario L4J 2E9

To whom it may concern,

We have reviewed the drawings and Variances requested by personnel from 6ixDesign Architects Inc for their proposal of a New Detached, two-story single dwelling unit. We understand that this project has been submitted to the city of Vaughan for a minor variance application. We have no objections to the proposal and believe the proposed use is in conformity with the neighborhood.

Name: *Mestada Taber*
Address: *308 Conire St*

Comments: *Green work*

Signature: *[Signature]*

Date: *Feb 2, 2023*

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A444/16	12/08/2016	APPROVED; COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A444/16**APPLICANT:** SALAR GHASSEM**PROPERTY:** Part of Lot 31, Concession 1 (Part of Lot 35, of Registered Plan 3977), municipally known as 3 Erica Road.**ZONING:** The subject lands are zoned R1V 9(179) and subject to the provisions of Exception under By-law 1-88 as amended**PURPOSE:** To permit the construction of a proposed two-storey dwelling.

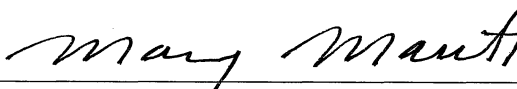
BY-LAW PROPOSAL:

1. To permit a maximum ground floor area of 287.22m².
2. To permit a minimum rear yard setback of 1.5 metres to the dwelling and 1.0 metres to the eaves and gutters, as per attached Site Plan.
3. To permit a minimum interior side yard setback of 1.5 metres to the deck, patio and stairs as per attached Site Plan.
4. To permit a minimum exterior side yard setback of 14.8 metres to the dwelling, 13.9 metres to the cantilevered window, 13.5 metres to the eaves and gutters and 15.2 metres to the covered porch, as per attached Site Plan.
5. To permit a maximum building height of 10.2 metres as per attached Site Plan.
6. To permit a maximum driveway width of 14.4 metres.

BY-LAW REQUIREMENT:

1. A maximum ground floor area of 255m² is permitted.
2. A minimum rear yard setback of 1.5 metres is required as per Exception 9(179) and Schedule E-185, Building Envelope.
3. A minimum interior side yard setback of 7.01 metres is required as per Exception 9(179) and Schedule E-185, Building Envelope.
4. A minimum exterior side yard setback of 12.8 metres and 16.76 metres is required as shown on Schedule E-185, Building Envelope, as per Exception 9(179).
5. A maximum building height of 9.5 metres is permitted.
6. A maximum driveway width of 9.0 metres is permitted.

A sketch is attached illustrating the request.

MOVED BY:**SECONDED BY:**

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.



The Committee of Adjustment received written and/or oral submissions before and/or during the hearing and have taken these submissions into consideration when making the decision.

THAT Application No.A444/16, **SALAR GHASSEM**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

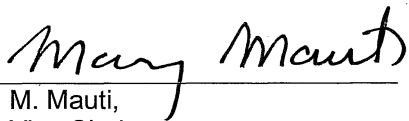
CHAIR:



Signed by all members present who concur in this decision:



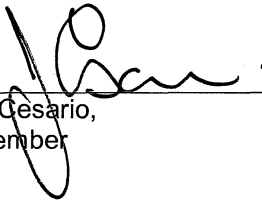
H. Zheng,
Chair



M. Mauti,
Vice Chair

OPPOSED

R. Buckler,
Member



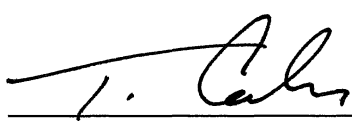
J. Cesario,
Member



A. Perrella,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, ACST(A), MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	December 08, 2016
Last Date of Appeal:	December 28, 2016

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$300.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
December 28, 2017

[illegible]

5. To permit a maximum building height of 10.2 metres as per attached Site Plan.

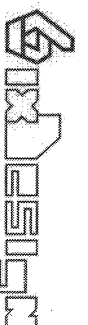
ERICA RD

A-00 SITE PLAN

SCALE 1:250

TRE ST

CENTRE ST



Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of 'SixDesin Inc.' and any use of it should have the designer consent. Drawings are not to be scaled

No.	Description	Date
1	ISSUED FOR REVIEW	10.15.16
2	ISSUED FOR C.A.	11.07.16

PROJECT
3 ERICA RD
VAGUHAN, ONTARIO



PROPOSED SITE PLAN

PROJECT NUMBER	1609-010	A-00
DATE	11/07/2016	
DRAWN BY	FT	
CHECKED BY	AA	
		Scale
		1/250



Location Map - A444/16

3 ERICA ROAD, THORNHILL



City of Vaughan



The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

