

ITEM: 6.3	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A029/23 9 NAYLON STREET, MAPLE
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
	MM/DD/YYYY	
A054/14	03/13/14	Approved as amended: COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A029/23
9 NAYLON STREET, MAPLE**

ITEM NUMBER: 6.3	CITY WARD #: 1
APPLICANT:	Bijal Patel & Seema Mahithia
AGENT:	Square Design Group
PROPERTY:	9 Nylon St., Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'):"Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) –Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted lot coverage is 20% of the lot area. Section 7.2.2 Table 7-3	To permit a maximum lot coverage of 26.56% of the lot area.
2	The maximum permitted height for the residential accessory structure(cabana) is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.05m for the residential accessory structure (cabana).
3	The minimum required exterior side yard setback for the residential accessory structure is 9.0m. Section 7.2.2 Table 7-3	To permit an exterior side yard setback of 4.63m for the residential accessory structure.
4	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m. Section 6.7.4 4	To permit a cumulative width of both accesses to a circular driveway as measured at the street line of 11.8m

HEARING INFORMATION

DATE OF MEETING: Thursday, June 1, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION	
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.	
INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	
COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	May 18, 2023
Date Applicant Confirmed Posting of Sign:	May 8, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	1.The maximum permitted lot coverage is 20%. The proposed lot coverage is 26.56% 2. The maximum permitted height for the residential accessory structure is 3.0m. The proposed height of the residential accessory structure is 3.05m. Section 4.1.4 1
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	On May 15, 2023 Development Planning provided: With the understanding that the cabana is within the minimum tree protection zone, urban design requires an arborist letter indicating that the proposed construction will not cause an adverse impact to the surrounding vegetation.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None
BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None
DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed cabana in the subject property is 34.2 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City’s Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)</p> <p>The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p> <p>The Development Engineering Department does not object to the Minor Variance application A029/23, subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comments at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	TBD
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
3	TRCA Kristen.Regier@trca.ca	1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.

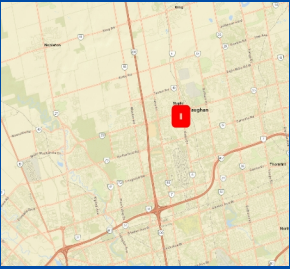
IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s

IMPORTANT INFORMATION – PLEASE READ
Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

9 Naylor Street, Maple

NOTIFICATION MAP - A029/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0

0.07 km



Created By:

Infrastructure Delivery
Department
April 20, 2023 6:19 AM

Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 3:57 pm, May 08, 2023

PROPOSED PAVILION/PERGOLA
9 Naylor St, Vaughan, ON L6A 3Y3

A00-COVER PAGE
A1-SITE PLAN
A2-FLOOR PLAN
A3-FOUNDATION PLAN
A4-ROOF PLAN
A5-ELEVATIONS
A6-ELEVATIONS
A7-ELEVATIONS
A8-ELEVATIONS
A9-DETAIL 1

**Square
Design
Group**

STRUCTURAL NOTES:

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:

ROOF : Ss = 1.2 KPA, Sr =0.4 KPA

FLOORS : 40 PSF

WIND 1/50 : 0.44 KPA BASIC

EARTHQUAKE : Sa(0.2) = 0.19
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

Foundations

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs,retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA.G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curring as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

STEEL LINTEL SCHEDULE

L1	Up to 4'-6" Opening	L 3 1/2" x 3 1/2" x 5/16"
L2	Up to 5'-6" Opening	L 4" x 3 1/2" x 5/16"
L3	Up to 6'-6" Opening	L 5" x 3 1/2" x 5/16"
L4	Up to 7'-6" Opening	L 5" x 3 1/2" x 3/8"
L5	Up to 9'-10" Opening	L 6" x 4" x 3/8"
L6	Up to 11'-0" Opening	L 7" x 4" x 3/8"
L7	Up to 19'-0" Opening	(I-BEAM) W8x15 BEARING ON BRICK

Structural Steel

1. Structural steel shall be as follows

W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.

HSS CAN/CSA G40.21-350W. CLASS C

L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel. place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:

Design, fabrication and erection CSA-S16.1

Welding CSA-W47

Cleaning SSPC-SP3-63

Bolts 3/4" Ø U.N.O ASTM-325-80A

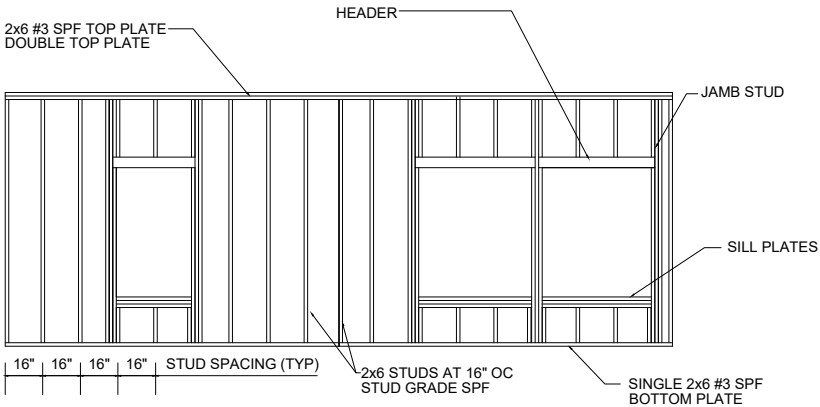
Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

Wood

1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1

WOOD LINTEL SCHEDULE

WB1	Up to 3'-6" Opening	3 - 2" x 6"
WB2	Up to 5'-6" Opening	3 - 2" x 8"
WB3	Up to 6'-6" Opening	3 - 2" x 10"
WB4	Up to 7'-6" Opening	3 - 2" x 12"



TYP. WALL

NOTES:

1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

PLUMBING PIPE FROST PROTECTION DETAIL

DETAIL TO COMPLY WITH 7.3.5.4(1) O.B.C.

4" RIGID INSULATION
PLUMBING DRAIN

NOTE: Spatial separation too shall be maintained between the Sanitary sewer and the water supply lines.
Plumbing to have winterizing shut off installed in the basement. All drains to be winterized to prevent freezing during winter months. Plumbing to be blow out and filled with Anti-Freeze as req.

WATER PIPES FROST PROTECTION DETAIL

DETAIL TO COMPLY WITH 7.3.5.4(1) O.B.C.

4" RIGID INSULATION
WATER PIPES

NOTE: Spatial separation too shall be maintained between the Sanitary sewer and the water supply lines.
Plumbing to have winterizing shut off installed in the basement. All drains to be winterized to prevent freezing during winter months. Plumbing to be blow out and filled with Anti-Freeze as req.



1
A0.9

NOTES

NTS

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:

9 Naylon St, Vaughan, ON L6A 3Y3

DRAWING TITLE:

CONSTRUCTION NOTES

DRAWN BY:

CHECKED BY:

APPROVED BY:

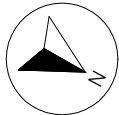
DATE:

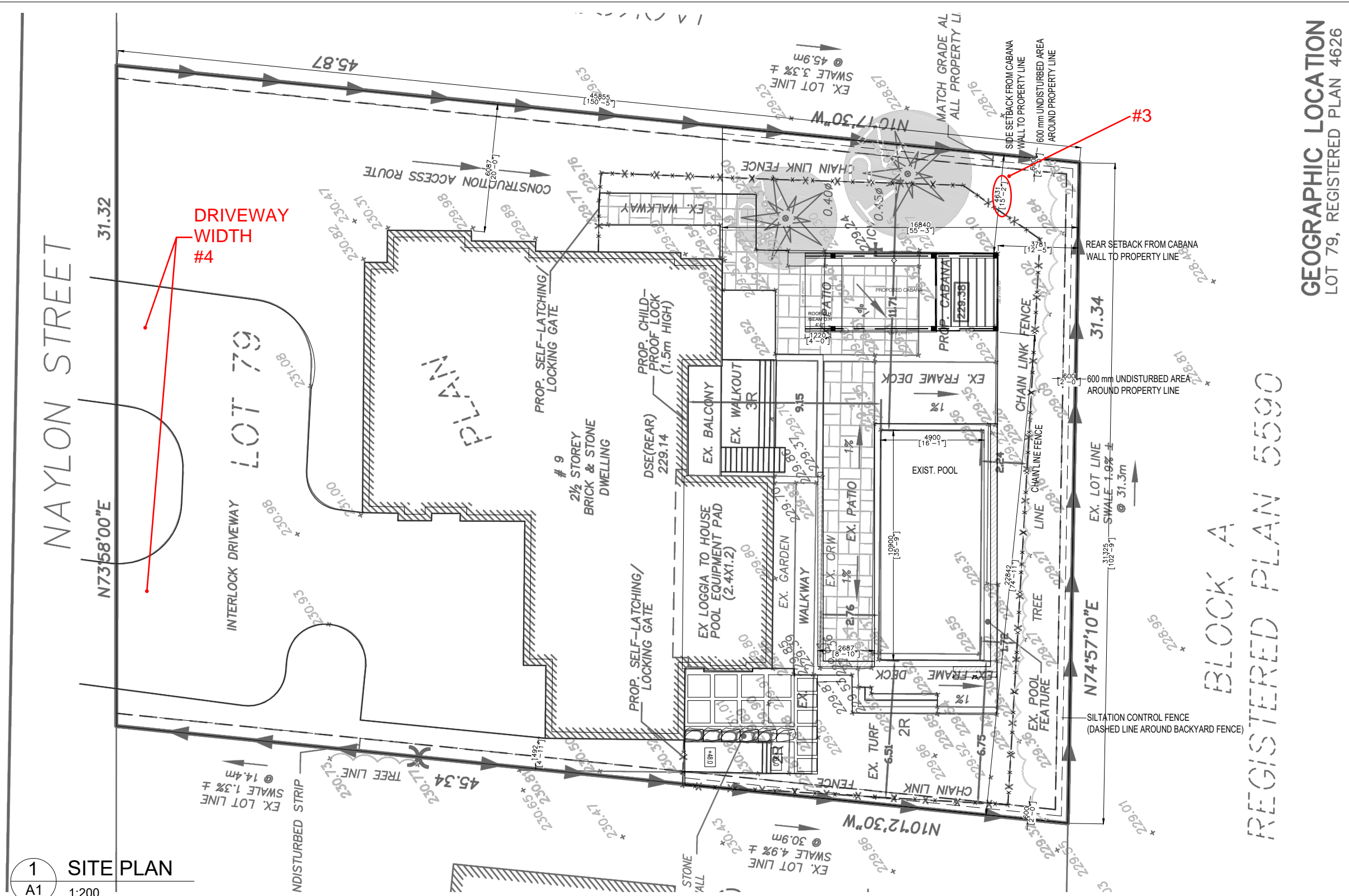
rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

Square
Design
Group

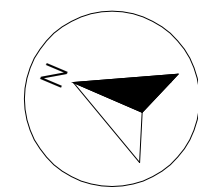
SHEET NO:

A0.9





GEOGRAPHIC LOCATION
LOT 79, REGISTERED PLAN 4626



SITE DEVELOPMENT		
ZONING	RESIDENTIAL	
LOT AREA	M ²	
TOTAL LOT AREA	1436.8 m ²	
HOUSE AREA	m ²	
HOUSE FOOTPRINT	280.0m ²	
PROPOSED CABANA FOOTPRINT	34.2m ²	
COVERED & UNCOVERED PORCHES	67.5m ²	
LOT COVERAGE	PROVIDED	
EXISTING HOUSE	19.48%	
PROPOSED CABANA	2.38%	
COVERED & UNCOVERED PORCHES	4.7%	
TOTAL COVERAGE	26.56%	
LANDSCAPE AREAS		PROVIDED
REAR LOT AREA	496.4m ²	
SOFT LANDSCAPE AREA REQ (REAR)	(496.4m ² - 135m ²)@0.60=216.8m ²	223.8m ²

- × xxx

-Proposed Grades

× xxx

-Existing Grades

▲

-Entrance Door
- T.W

-Top Of Wall

B.W

-Bottom Of wall

-Soft landscape

-Hard-scape

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

1 SITE PLAN
A1 1:200

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:

9 Naylor St, Vaughan, ON L6A 3Y3

DRAWING TITLE:

Site Plan

DRAWN BY:

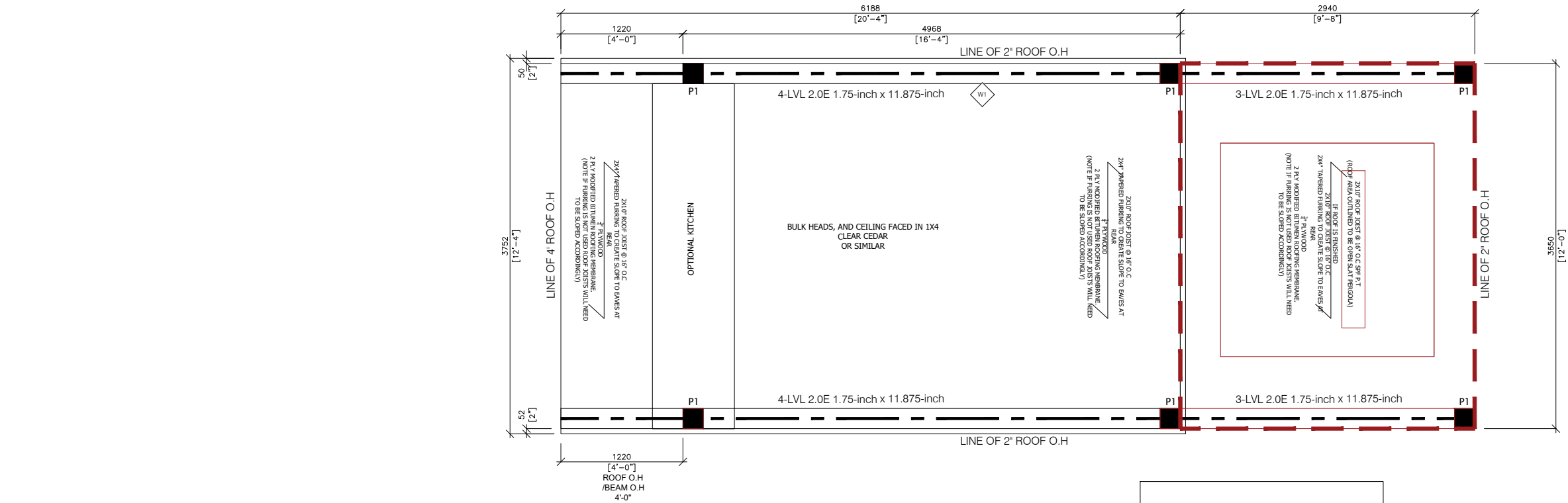
CHECKED BY:

APPROVED BY:

DATE:



SHEET NO:
A1

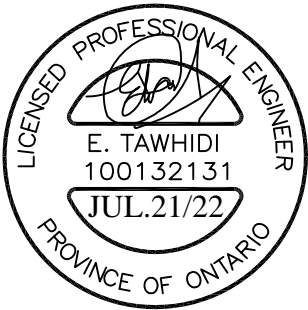


- ALL POSTS TO BE ON STEEL POST SHOE
- ANY FRAMING TO BE ON SIL GASKET
- ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
- ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
- ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

FEATURE WALL
1X4" CLEAR CEDAR
2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
DBL. TOP PLATE
1X4" CLEAR CEDAR

POST SCHEDULE
P1 3- (2"X8") BUILT UP PST. (OR SOLID PST)

-ALL POSTS TO BE ON STEEL POST SHOE
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1 FLOOR PLAN

A2 1:50

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
9 Naylor St, Vaughan, ON L6A 3Y3

DRAWING TITLE:
FLOOR PLAN

DRAWN BY:

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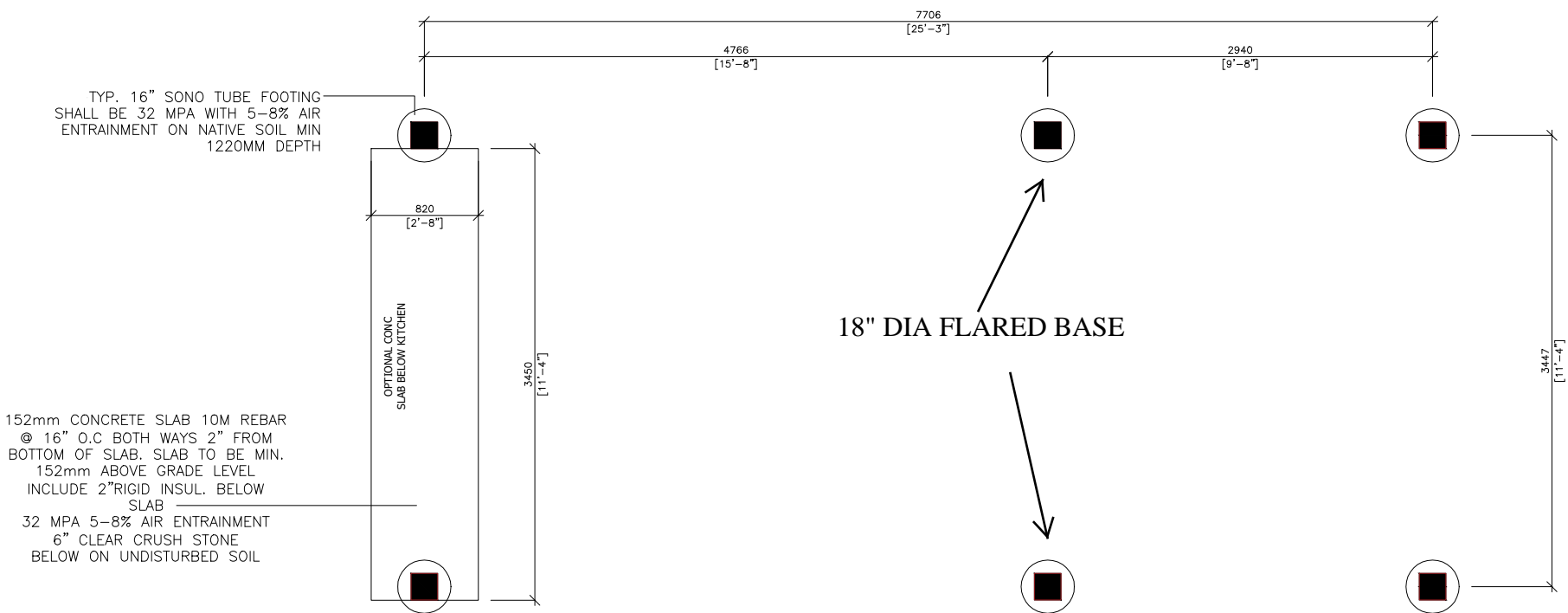
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- ALL POSTS TO BE ON STEEL POST SHOE
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DBL TOP PLATE
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1

A3.0

FOUNDATION PLAN

1:50

GENERAL NOTES

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9 Naylor St, Vaughan, ON L6A 3Y3

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FOUNDATION PLAN

DRAWN BY:

CHECKED BY:

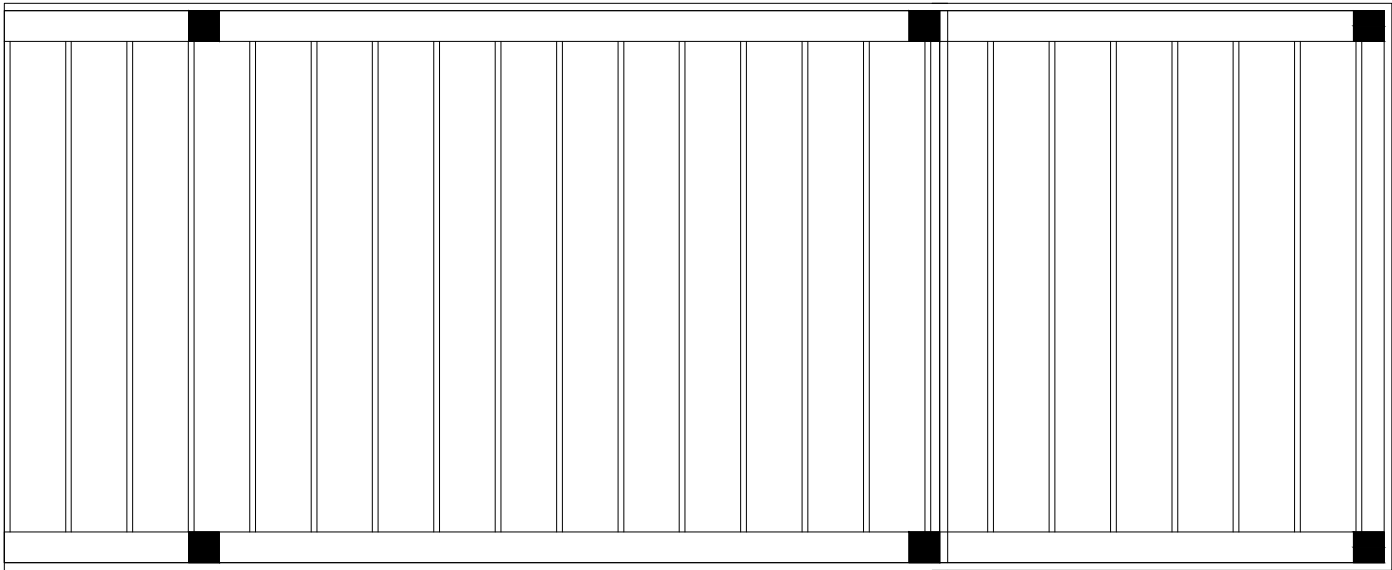
APPROVED BY:

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SHEET NO:
A3

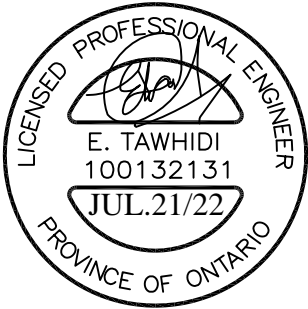


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DBL TOP PLATE
1X4" CLEAR CEDAR

POST SCHEDULE
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A4.0

ROOF FRAMING PLAN

1:50

GENERAL NOTES

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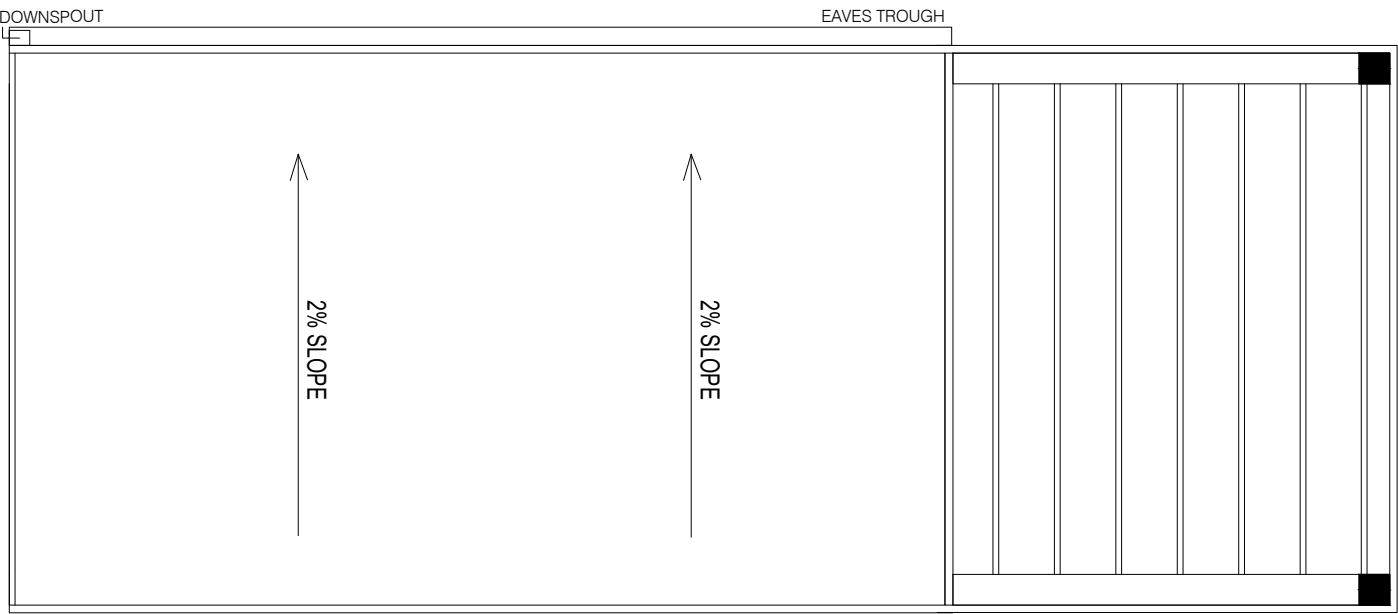
PROJECT NAME:
9 Naylor St, Vaughan, ON L6A 3Y3

DRAWING TITLE:
ROOF FRAMING PLAN

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



SHEET NO:
A4



- ALL POSTS TO BE ON STEEL POST SHOE
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W1

FEATURE WALL
1X4" CLEAR CEDAR
2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
DBL. TOP PLATE
1X4" CLEAR CEDAR

POST SCHEDULE
P1 3- (2"X8") BUILT UP PST. (OR SOLID PST)

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A4.1

1:50

ROOF DRAINAGE PLAN

rev	description	by	date
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GENERAL NOTES

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PROJECT NAME:

9 Naylor St, Vaughan, ON L6A 3Y3

DRAWING TITLE:

ROOF DRAINAGE PLAN

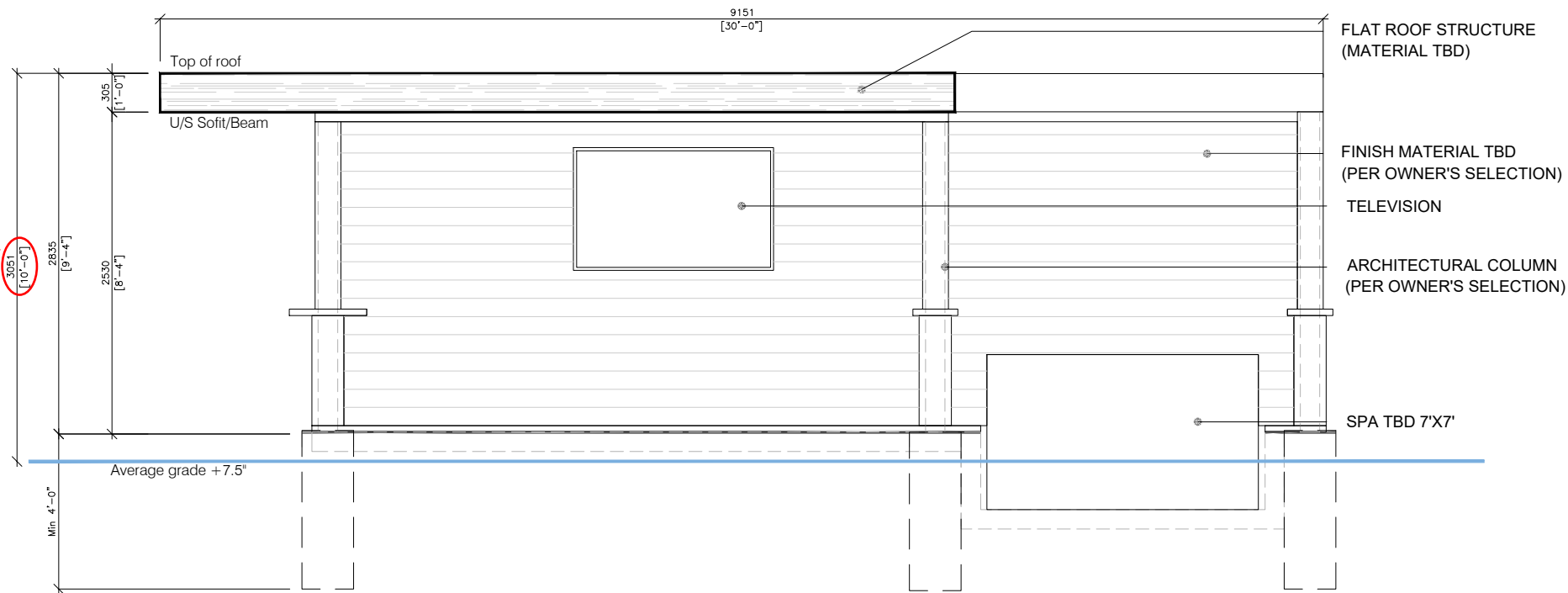
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#2



1 ELEVATION A
A5.0 1:50

GENERAL NOTES

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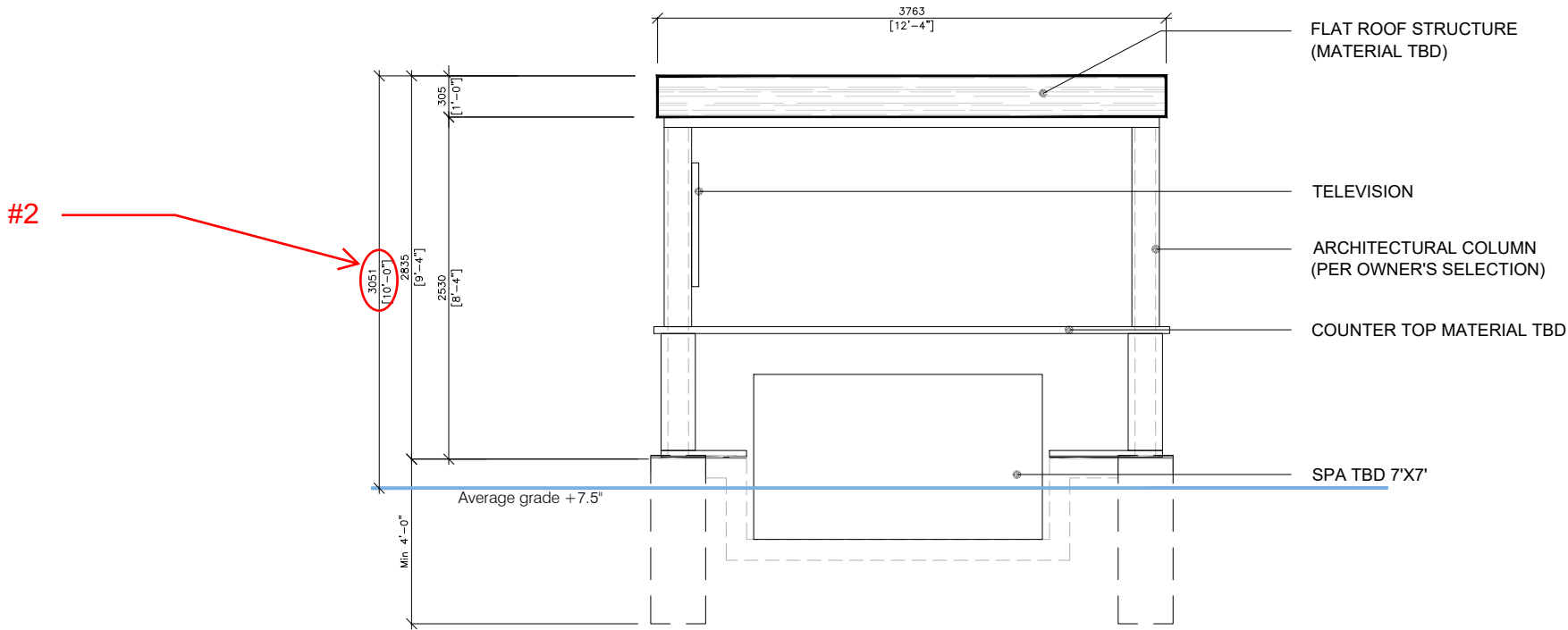
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A6.0

ELEVATION B

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GENERAL NOTES

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PROJECT NAME:
9 Naylor St, Vaughan, ON L6A 3Y3

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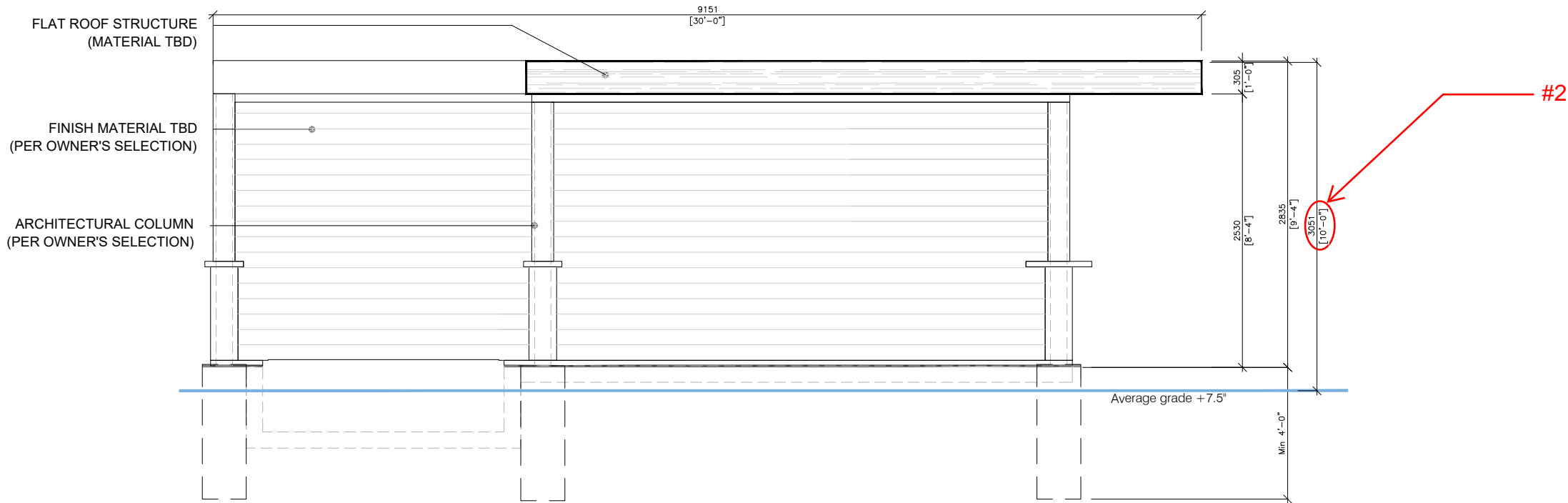
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1 ELEVATION C
A7.0 1:50



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GENERAL NOTES
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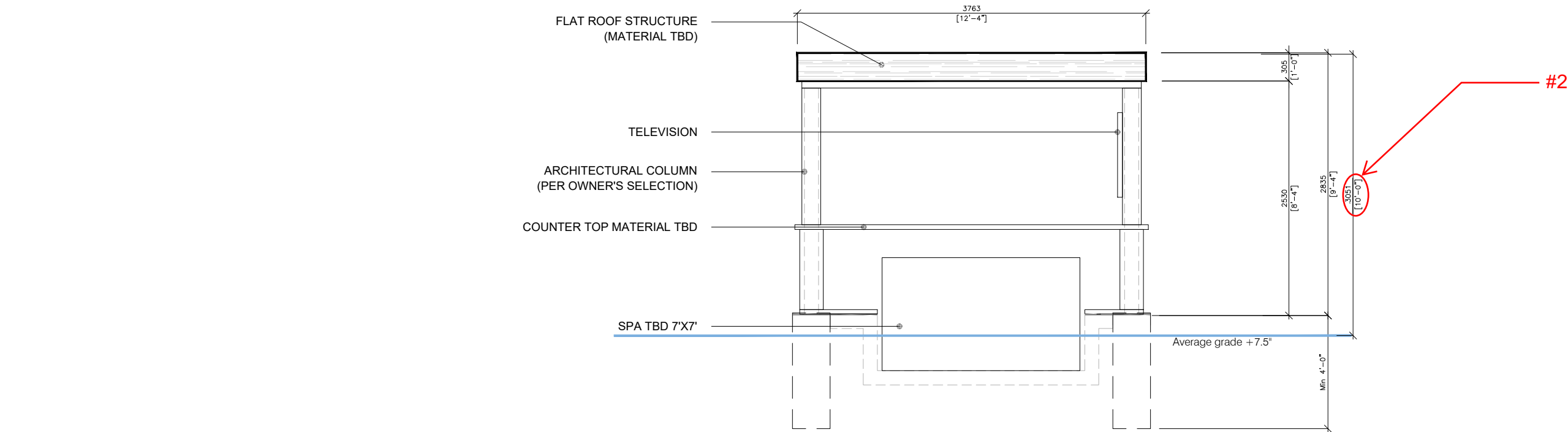
PROJECT NAME:
9 Naylor St, Vaughan, ON L6A 3Y3

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A8.0

ELEVATION D

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GENERAL NOTES

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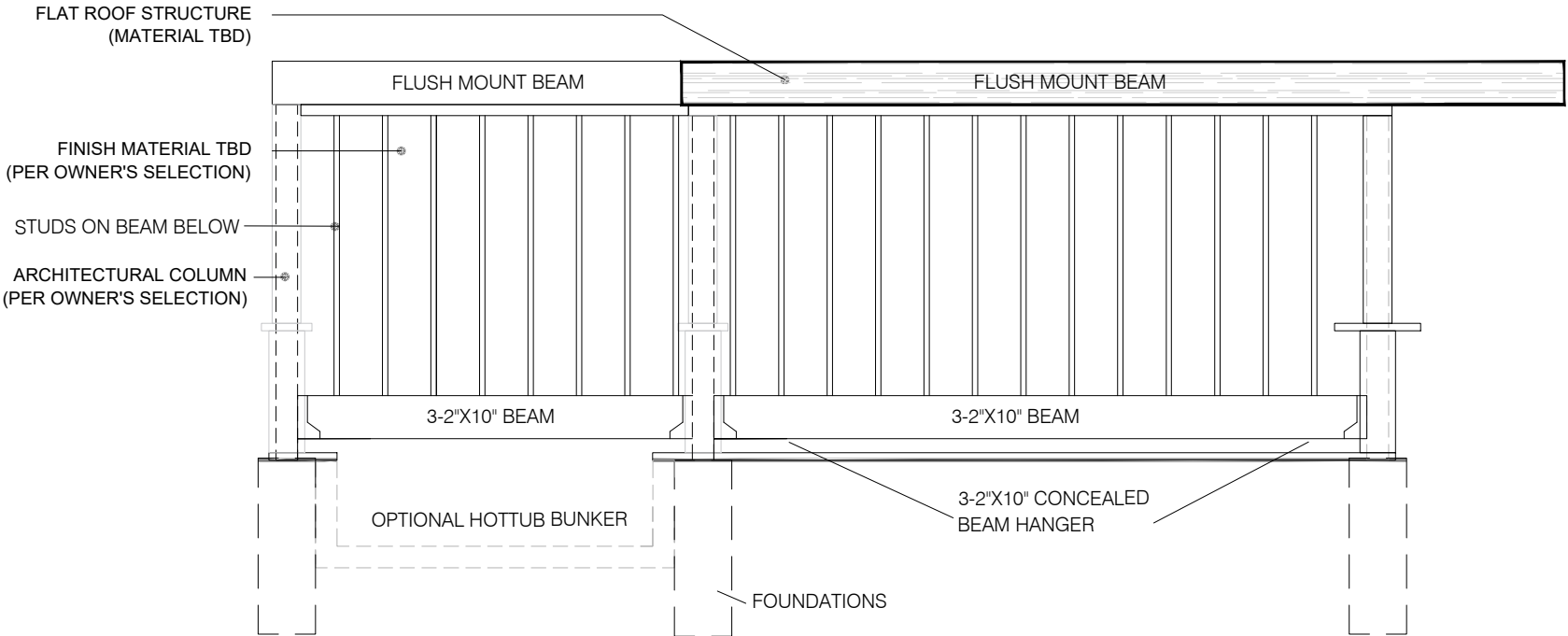
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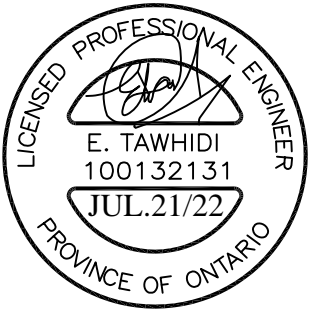
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DETAIL 1

A9.01:50



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GENERAL NOTES

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9 Naylor St, Vaughan, ON L6A 3Y3

DRAWING TITLE:
ELEVATION

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SHEET NO:
A9.0

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	General Comments w/conditions
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review.
Building Standards (Zoning)	X	X		General Comments

Date: March 3rd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A029-23**

Related Files:

Applicant Bijal Patel & Seema Mahithia

Location 9 Naylor Street

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

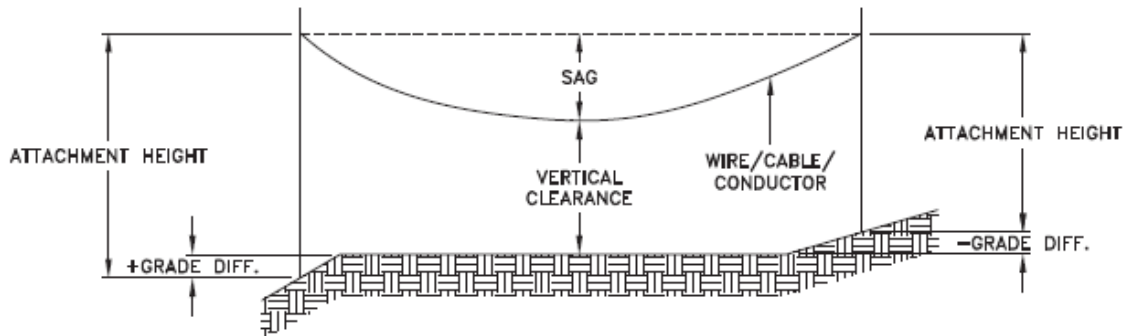
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

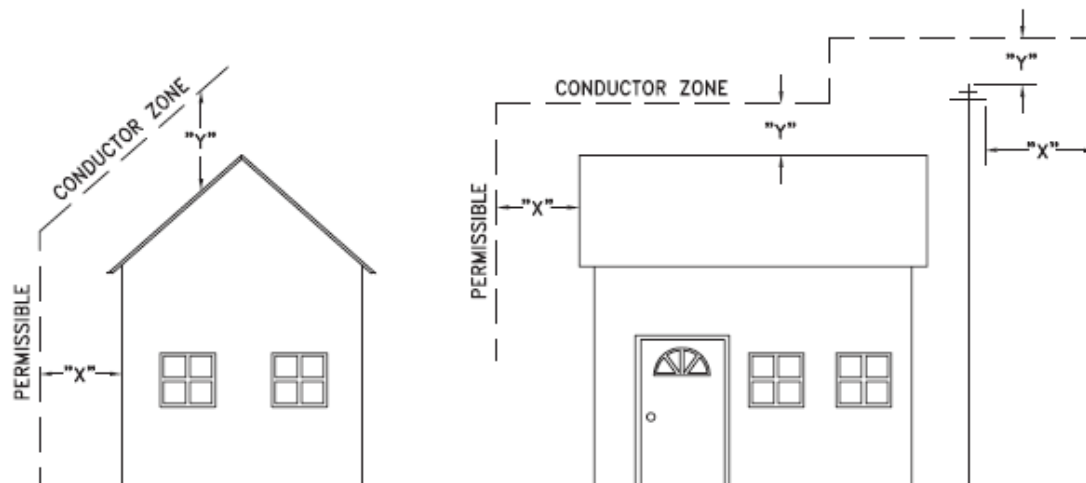
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: May 3, 2023

Applicant: Bijal Patel & Seema Mahithia

Location: 9 Naylor Street
PLAN RP4626 Lot 79

File No.(s): A029/23

Zoning Classification:

The subject lands are zoned R1E(EN) –Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted lot coverage is 20% of the lot area. Section 7.2.2 Table 7-3	To permit a maximum lot coverage of 26.56% of the lot area.
2	The maximum permitted height for the residential accessory structure(cabana) is 3.0m. Section 4.1.4 1	To permit a maximum height of 3.05m for the residential accessory structure (cabana).
3	The minimum required exterior side yard setback for the residential accessory structure is 9.0m. Section 7.2.2 Table 7-3	To permit an exterior side yard setback of 4.63m for the residential accessory structure.
4	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m. Section 6.7.4 4	To permit a cumulative width of both accesses to a circular driveway as measured at the street line of 11.8m

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 14-001952 for Single Detached Dwelling - New (Infill Housing) L of C Included , Issue Date: Aug 19, 2014
Building Permit No. 22-127323 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

March 6, 2023

CFN 68446.09
X-Ref CFN 66751

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A029.23
Plan RP4626 Lot 79
9 Naylor Street
City of Vaughan, Region of York
Owner: Bijal Patel & Seema Mahithia**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on February 24, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a maximum lot coverage of 26.55% of the lot area, whereas the maximum permitted lot coverage is 23% of the lot area;
- To permit a maximum height of 3.05 m for the accessory structure (cabana), whereas the maximum permitted height for the accessory structure (cabana) is 3.0 m.

The noted variances are being requested to facilitate the construction of a cabana in the rear yard of an existing residential dwelling.

Ontario Regulation 166/06

A portion of the subject lands are located within TRCA's Regulated Area due to a stream corridor and Regional Storm flood plain associated with a tributary of the Don River that is located to the South (rear) of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's

satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As described above, there is a stream corridor and Regional Storm flood plain to the south of the subject property.

TRCA policies require a 6 metre setback from a Regional Storm flood plain for non-habitable accessory structures (i.e., swimming pools, sheds, decks landscaping etc). Based on a review of the circulated plans, the proposed variances do not impact the required setbacks from the flood plain. As such, TRCA has no concerns with the proposed variances.

A permit pursuant to Ontario Regulation 166/06 is required for the proposed works. A list of the materials required to initiate the permit application process are included in Appendix 'A'.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A029.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

Appendix 'A': TRCA Permit Application Requirements

In order to initiate our permit application process for the proposed works, the following materials would need to be submitted to our office via my email:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses [link](#)
2. The following plans/drawings:
 - Site plan showing location and dimension of all proposed works;
 - Grading Plan, if no changes in grading is proposed, please add a note to the site plan indicating the same;
 - Landscape plan, if any planting is proposed, please ensure they are native non-invasive to TRCA's jurisdiction. For native species within TRCA jurisdiction, please see species ranked L1 to L5 on the following table: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2022/10/18104147/Flora-Species-Native-to-the-TRCA-Jurisdiction-October-2022.pdf>
 - Erosion and Sediment Control Plan;
3. The legal survey of the subject property;
4. Permit Review fee of \$240 (Minor Ancillary- Residential), consistent with TRCA's fee schedule: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2022/11/24150738/DevelopmentPermittingFeeSchedule-20221124.pdf>. An online payment link will be provided upon receiving the complete application.

From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A029/23 (9 Naylor Street) - REVISED- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, May 12, 2023 11:55:32 AM
Attachments: [image002.png](#)
[image004.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A054/14	03/13/14	Approved as amended: COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A054/14

APPLICANT: ALINA OSTROWSKA & GIUSEPPE PREZIO

PROPERTY: Part of Lot 19, Concession 4, (Lot 79, Registered Plan 4626) municipally known as 9 Naylor Street, Maple

ZONING: The subject lands are zoned R1V, Residential, under By-law 1-88, as amended.

PURPOSE: To permit the construction of a single family dwelling, as follows:

PROPOSAL:

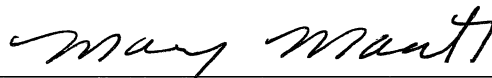
1. To permit a maximum building height of ^{11.0 m}~~11.74 m~~ (top of flat roof).
2. To permit a maximum lot coverage of 24.19 % (dwelling /garage = 19.49% covered entries/back terrace = 4.7%).
3. To permit a minimum exterior side yard setback of 6.10 m.
4. To permit a minimum front yard setback of 9.0 m.

BY-LAW REQUIREMENT:

1. A maximum building height of 9.5 m is permitted.
2. A maximum lot coverage of 20% is permitted.
3. A minimum exterior side yard setback of 9.0 m is required.
4. A minimum front yard setback of 12.37 m (existing 13.74 m – 10%) is required.

Sketches are attached illustrating the request.

MOVED BY:



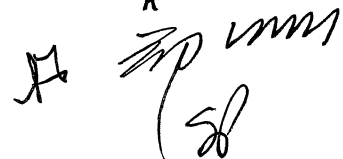
SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.


THAT Application No. A054/14, ALINA OSTROWSKA & GIUSEPPE PREZIO, be APPROVED, in accordance with the sketches attached

as amended 

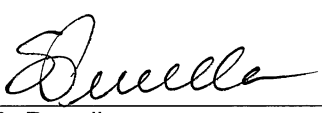



THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.


CARRIED.

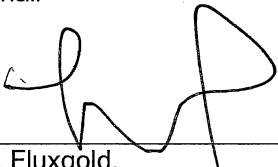
CHAIR: 

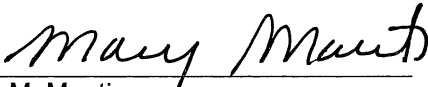
Signed by all members present who concur in this decision:


A. Perrella,
Chair


H. Zheng,
Vice Chair

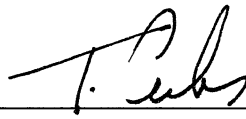

J. Cesario,
Member


L. Fluxgold,
Member


M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	MARCH 13, 2014
Last Date of Appeal:	APRIL 2, 2014

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
APRIL 2, 2015

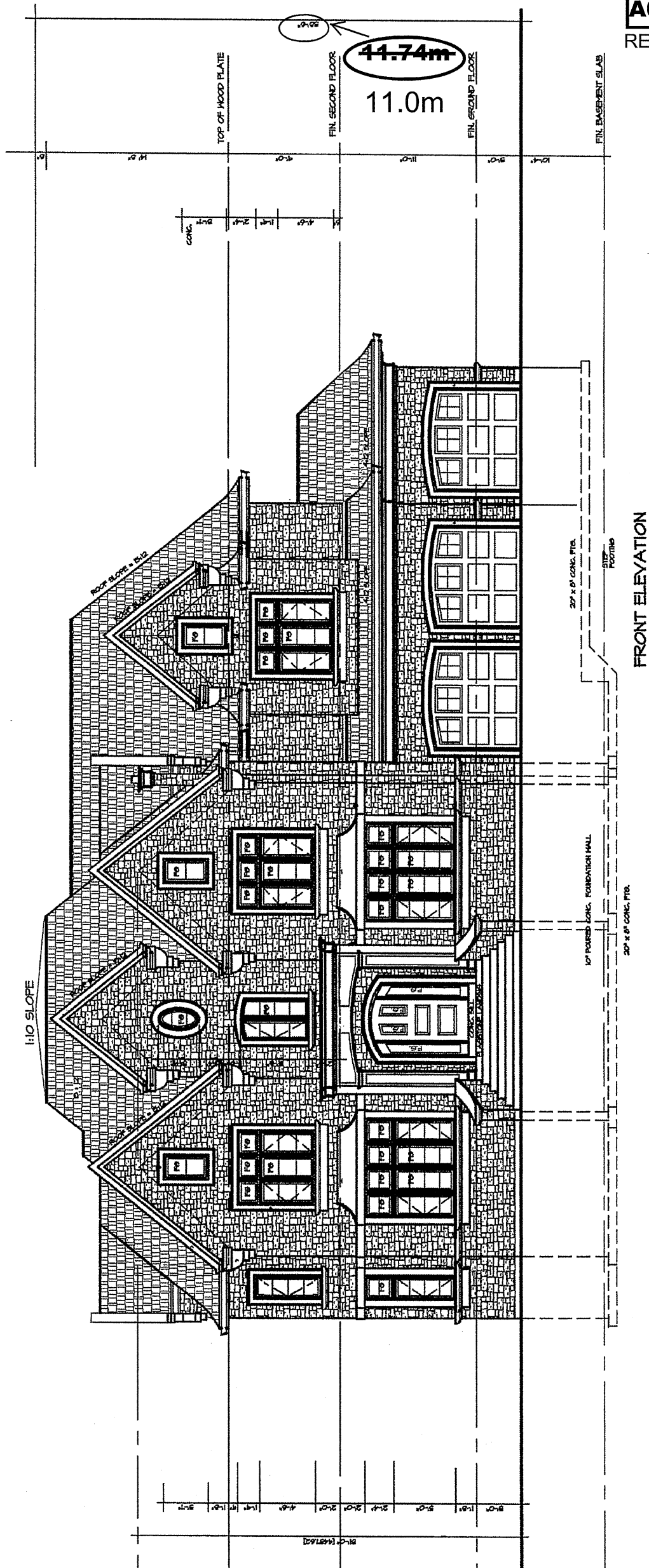
REVISED March 13, 2014

REVISED March 13, 2014

BUILDING HEIGHT

11.0m

Building height requested: ~~38.5 ft = 11.74 meters~~



A054/14

T 78
1. 03335-0147
GISTE

N10°18'00"W

BOARD FENCE

LOT 79
P.I.N. 03335-0146

N10°18'00"W

JACKSON STREET
(BY REGISTERED PLAN 4626)
-0145

**FRONT YARD & SIDE YARD
SETBACK**

Front yard setback
requested: 29.53 ft = 9 meters
Exterior side yard
setback requested: 20 ft = 6.10 meters

1 STOREY
BRICK
No. 11

GARAGE

ASPHALT DRIVEWAY

EAVES
METAL
FRAME
SHED

5.38

45.31

N73°58'00"E

9.0m

INTERLOCK

DRIVEWAY
INTERLOCK

13.74

31.35

45.86

CULVERT 0.30m

CULVERT 0.30m
CULVERT 0.15m

ISLAND

6.10m

APPROXIMATE CENTRELINE OF PAVEMENT

EDGE OF PAVEMENT

BOLLARD

CULVERT 0.30m

14' DECIDUAE

31.28

POST AND
WIRE FENCE

0.25m
4x0.30m

0.30m

0.30m

0.30m

1.00m

N74°57'35"E

22.47

3x1.20m

BOTTOM OF BANK

BOARD

TOP OF BANK

INTERLOCK

WOOD
DECK

CORRIDOR

BRICK
GARAGE

INTERLOCK

9.24

10.04

6.10

0.30m

0.30m

0.30m

0.30m

0.30m

0.30m

0.30m

0.30m

A054/14

A054/14

13335-0147

78

GISTE

N10°18'00"W

-BOARD FENCE

RED PLAIN

LOT 79

P.I.N. 03335-0146

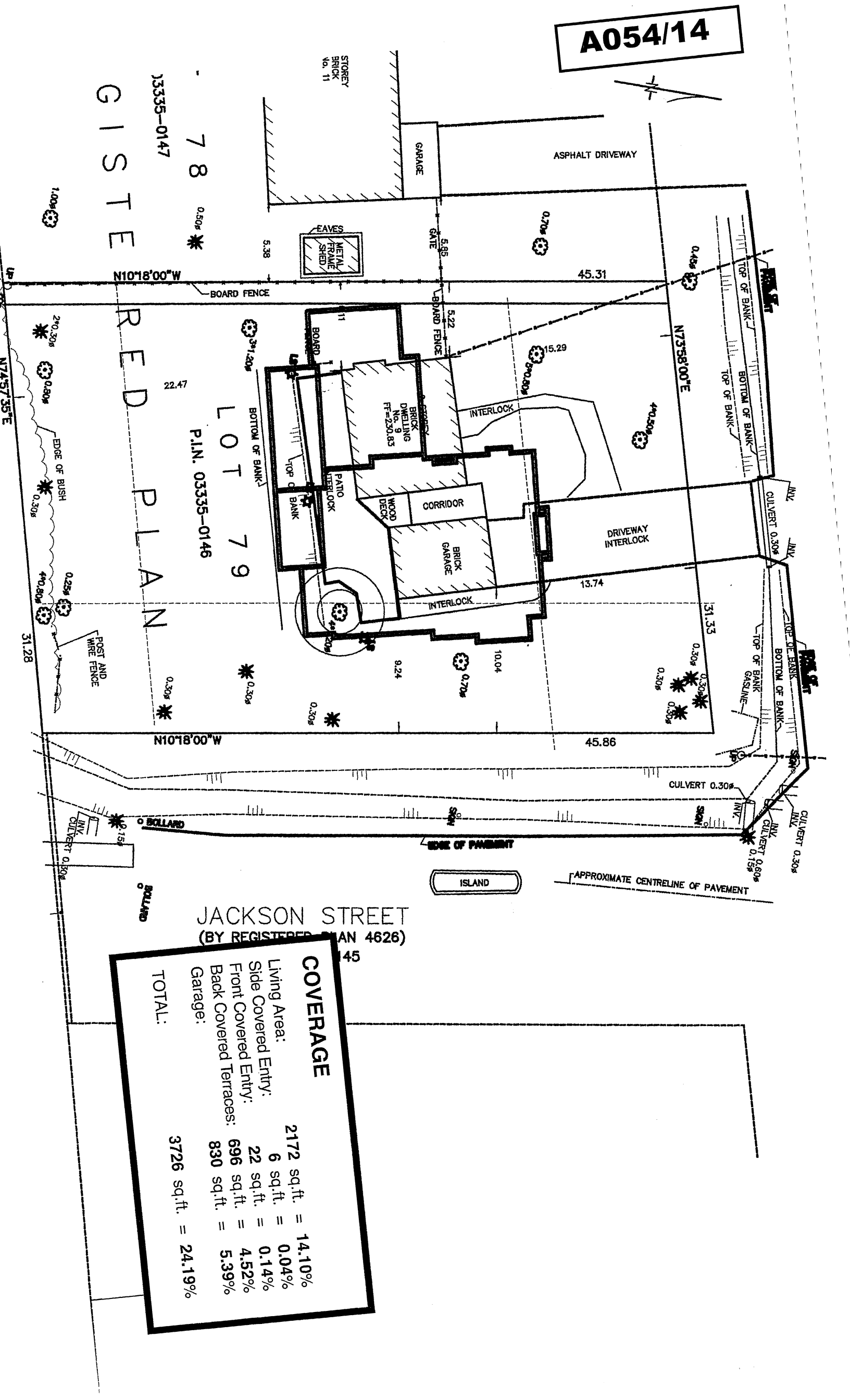
N10°18'00"W

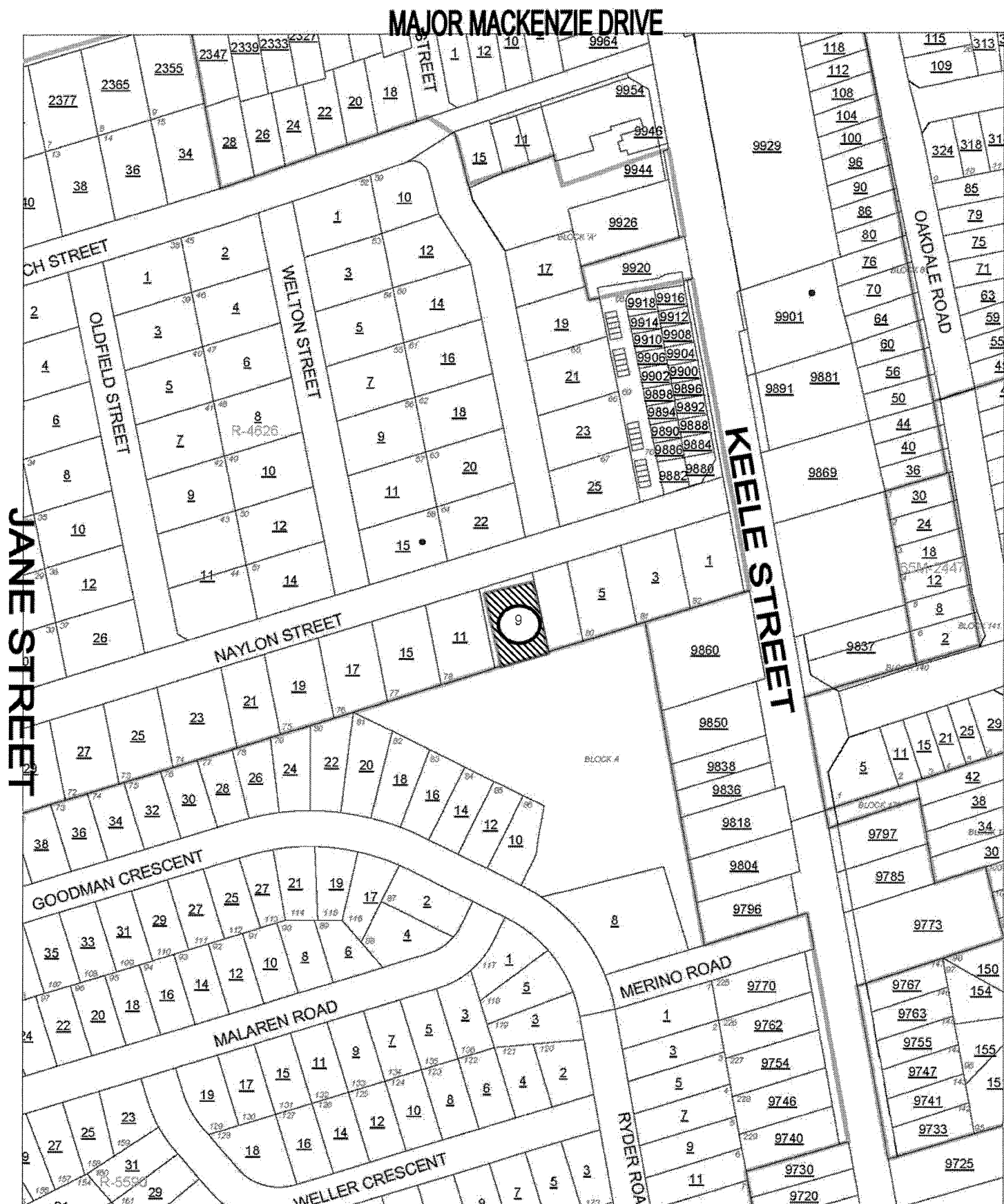
JACKSON STREET
(BY REGISTERED MAN 4626)

145

COVERAGE

Living Area:	2172 sq.ft.	= 14.10%
Side Covered Entry:	6 sq.ft.	= 0.04%
Front Covered Entry:	22 sq.ft.	= 0.14%
Back Covered Terraces:	696 sq.ft.	= 4.52%
Garage:	830 sq.ft.	= 5.39%
TOTAL:	3726 sq.ft.	= 24.19%





RUTHERFORD ROAD



COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A054/14
	APPLICANT:	ALINA OSTROWSKA & GIUSEPPE PREZIO
		Subject Area Municipally known as 9 Naylor Street, Maple