

ITEM: 6.3	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A023/23 16 Cavalier Cres, Thornhill
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Sandy & Lisa Falconi	14 Cavalier Crescent	05/23/2023	Letter of Objection
Public	Alireza Mohammad Pour	3 Idleswift Drive	01/29/2023	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A198/21	02/10/2022	Approved; COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
May 11, 2023 Hearing	Adjourned to accommodate public notice and submission of an Arborist Report



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A023/23  
16 CAVALIER CRES, THORNHILL**

<b>ITEM NUMBER: 6.3</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	Mansour Sorayaei and Farahnaz Ebneali Heidari
<b>AGENT:</b>	Ali Shams
<b>PROPERTY:</b>	16 Cavalier Crescent, Thornhill
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1E(EN) – First Density Residential Zone in an Established Neighbourhood, under Zoning By-law 001-2021 as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23 % is permitted. [Section 7.2.2, Table 7-3, Note 2].	To permit a maximum lot coverage of 23.97%.
2	A maximum height of 8.5 metres is permitted. [Section 4.5.1.b.]	To permit a maximum height of 9.46 m for a dwelling.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, June 1, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION	
<p>That the general intent and purpose of the by-law will be maintained.</p> <p>That the general intent and purpose of the official plan will be maintained.</p> <p>That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.</p> <p>That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS	
<b>Date Public Notice Mailed:</b>	April 27, 2023, May 18, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	April 19, 2023, May 18, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The reason to apply for lot coverage variance is that my clients live with their parents and their children. They will need more space to accommodate all family members in the house for a long term. Height of the building is complying with height requirement of 9.50 meters under Zoning by-law 01-88, however a small portion of the building is exceeding the height requirement of 8.50 meters under by-law 01-2021 which is the new by-law and more restricting in terms of height.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant <b>prior</b> to issuance of public notice</small>	<p>On April 27, 2023, Committee of Adjustment staff provided:</p> <p>Planning Department have brought it to our attention that you require an arborist report for 16 Cavalier Crescent.</p> <p>Arborist reports are required to be submitted prior to scheduling a Committee of Adjustment hearing date.</p> <p>Forestry Department has also requested the submission of an arborist report.</p> <p>Applicant submitted Arborist Report on May 8, 2023.</p>
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>  <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>  <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING) COMMENTS	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None



DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
<p>As the proposed residence in the subject property is 452.05 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)</p> <p>The Owner / Applicant shall apply and obtain the necessary Curb Cut / Reinstating Permit through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.</p> <p>The proposed work by the Owner/ Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p> <p>The Development Engineering Department does not object to the Minor Variance application A023/23, subject to the following condition(s):</p>	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Recommended condition of approval below.	
<b>PFH Recommended Conditions of Approval:</b>	Obtain a tree removal permit from the forestry division.
DEVELOPMENT FINANCE COMMENTS	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p> <p>Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.</p>	
<b>Development Finance Recommended Conditions of Approval:</b>	None
BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

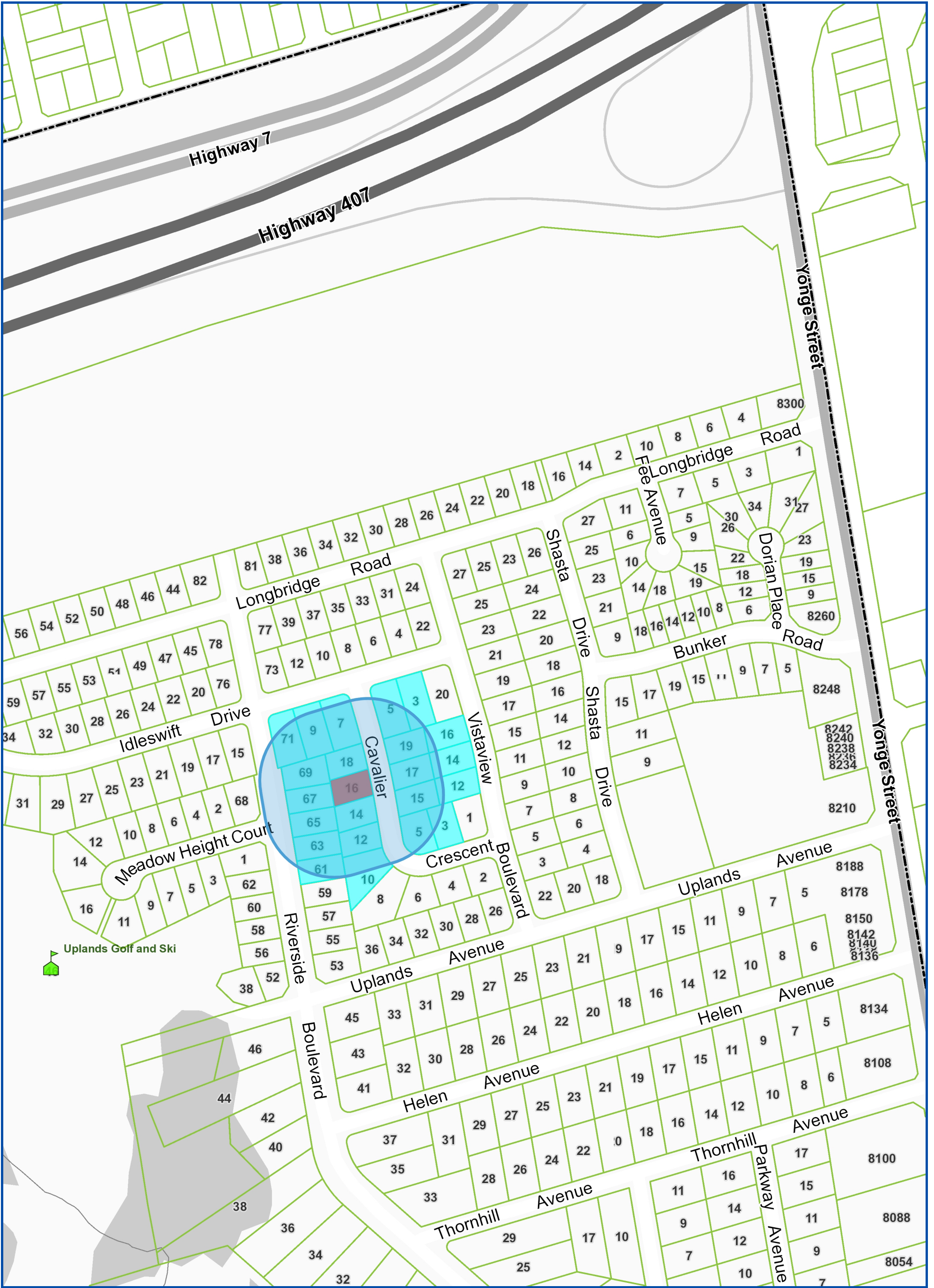
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.
2	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	Obtain a tree removal permit from the forestry division

IMPORTANT INFORMATION – PLEASE READ
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>

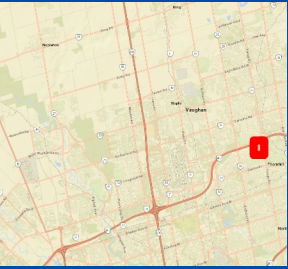
IMPORTANT INFORMATION – PLEASE READ	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will <b>not</b> receive notice.</p>	

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title:

16 Cavalier Crescent, Thornhill

## NOTIFICATION MAP - A023/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:  
Infrastructure Delivery  
Department  
April 20, 2023 5:53 AM

Projection:  
NAD 83  
UTM Zone  
17N

Legend

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-  MUNICIPAL OFFICES
-  COMMUNITY CENTRES
- SCHOOLS

 Public

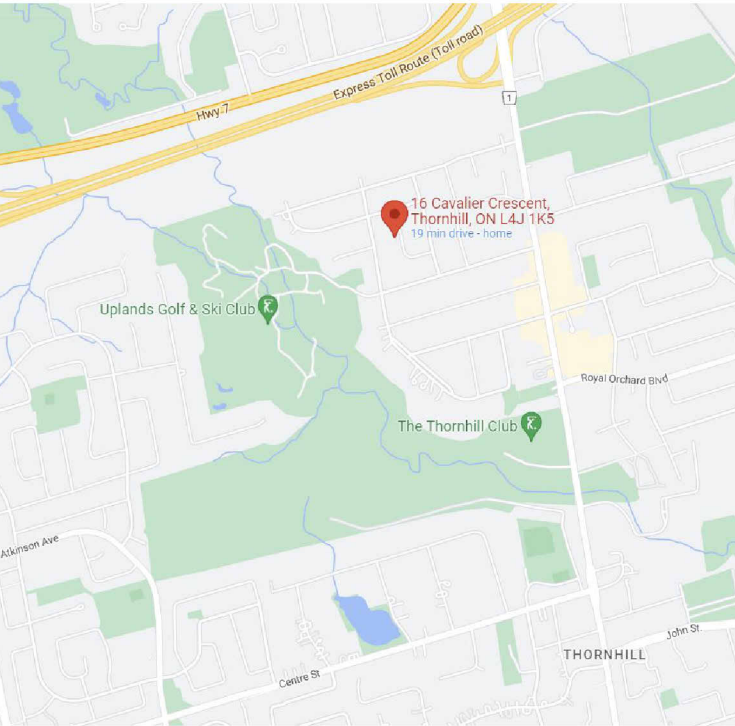
 Catholic

 Private
-  EMERGENCY SERVICES
-  LIBRARIES
-  SHOPPING CENTRES
-  ENTERTAINMENT & CULTURE
-  Parcels





LOCATION MAP



Sheet List	
Sheet Number	Sheet Name
A0.1	STATISTICS
A0.2	SITE PLAN
A1.1	BASEMENT FLOOR PLAN
A1.2	FIRST FLOOR PLAN
A1.3	LOFT FLOOR PLAN
A1.4	SECOND FLOOR PLAN
A1.5	ROOF PLAN
A2.1	FRONT(EAST) ELEVATION
A2.2	REAR(WEST) ELEVATION
A2.3	SIDE(SOUTH) ELEVATION
A2.4	SIDE(NORTH) ELEVATION
A3.1	LANDSCAPE CALCULATIONS

VARIANCE #1

VARIANCE #2

16 CAVALIER CRESCENT, THORNHILL, ON L4J 1K5		
ZONING BY LAW 01-2021		
CONSTRUCTION OF A NEW 2-STOREY SINGLE-FAMILY DWELLING		
ZONING DESIGNATION	R1E (EN) FIRST DENSITY RESIDENTIAL ZONE (ESTABLISHED NEIGHBORHOOD)	
SITE STATISTICS		
MINIMUM LOT AREA	845 S.M.	
EXISTING LOT AREA	912.01 S.M. [9816.8 S.FT.]	
REQ. MINIMUM LOT...	30.0 M	
EXISTING LOT FRONTAGE	24.40 M [80'-1"]	
MINIMUM FRONT YARD	7.28 M	
AVERAGE GRADE	191.73 M	
HEIGHT OF EXISTING HOUSE	4.65 M	
LOT REQUIREMENTS		
	MAXIMUM PERMITTED	PROPOSED
LOT COVERAGE		
DWELLING		22.99% 209.73 S.M. [2257.5 S.FT]
COVERED DECK		0.34% 3.1 S.M.
COVERED PORCH		0.64% 5.90 S.M.
TOTAL LOT COVERAGE	23% 209.76 S.M. [2257.86 S.FT]	23.97% 218.37 S.M. [2350.5 S.FT]
REAR CONCRETE DECK (not included in lot coverage calculations)		5.1% 46.47 S.M. [500.20 S.FT]
HEIGHT	8.50 M	9.45 M
NUMBER OF STOREYS	2 STOREYS	2 STOREYS
DRIVEWAY	9.0 M	5.48 M
SETBACKS	MINIMUM REQUIRED	PROPOSED
FRONT (EAST) YARD	9.28-2.0=7.28 M	7.38 M
REAR (WEST) YARD	7.5 M	14.63 M
SIDE (SOUTH) YARD	1.50 M	2.23 M
SIDE (NORTH) YARD	1.50 M	2.20 M
GROSS FLOOR AREA CALCULATIONS		
	PROPOSED	
GROUND FLOOR	161.23 S.M. [1735.5 S.FT]	
LOFT FLOOR	38.55 S.M. [415 S.FT]	
SECOND FLOOR	198.65 S.M. [2138 S.FT]	
TOTAL	398.43 S.M. [4288.5 S.FT]	
BASEMENT	161.48 S.M. [1738 S.FT]	
STATISTICS		

GENERAL NOTES

NOTE:

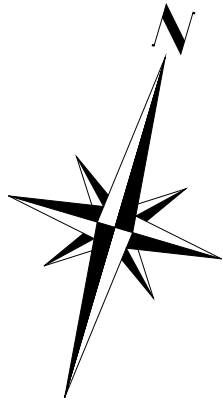
THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF THE CONSULTANT(S)

USE AND REPRODUCTION OF THIS DRAWING WITHOUT THE CONSENT OF THE CONSULTANT(S) IS NOT ALLOWED

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S) DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

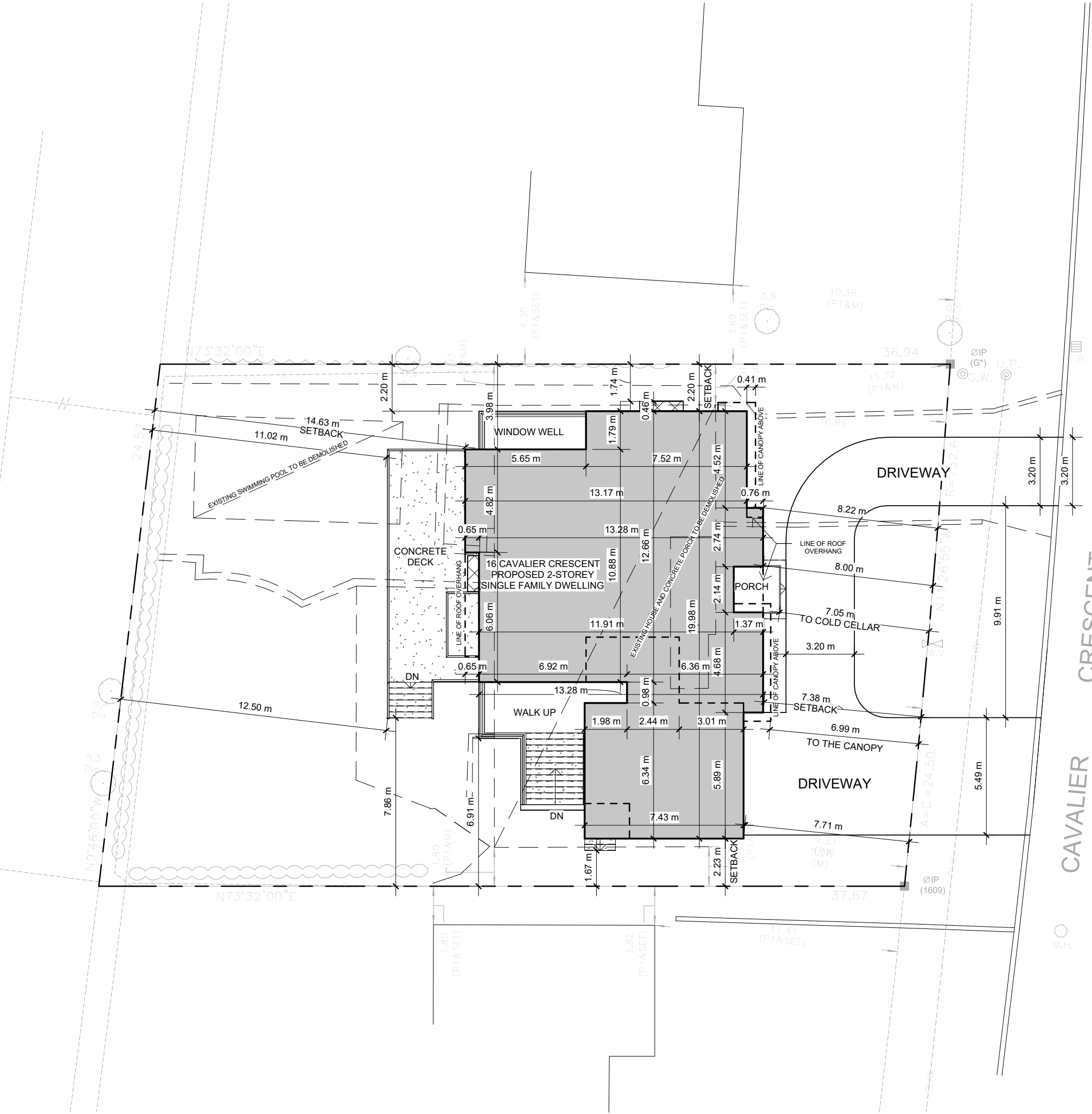
3	2023-04-06	REVISED AS PER NOTICE	CITY
2	2023-03-07	REVISED AS PER NOTICE	CITY
1	2023-01-30	SUBMITTED FOR REVIEW	CITY
NO	DATE	REVISION DESCRIPTION	TO
DESIGNED BY MINIMAL DESIGN STUDIO INC. EMAIL: ALI.SHAMS.CA@GMAIL.COM PHONE: 647.885.8880			
PROJECT NAME  16 CAVALIER CRESCENT			
PROJECT ADDRESS  16 CAVALIER CRES THORNHILL, ON L4J 1K5			
SHEET NAME  STATISTICS			
SCALE			
DRAWING NO A0.1			
STAMP		NORTH	





RIVERSIDE BOULEVARD

CAVALIER CRESCENT



## GENERAL NOTES

NOTE:

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WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ANY DISCREPANCIES AND ERRORS TO BE REPORTED TO THE CONSULTANT(S) DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

3	2023-04-06	REVISED AS PER NOTICE	CITY
2	2023-03-07	REVISED AS PER NOTICE	CITY
1	2023-01-30	SUBMITTED FOR REVIEW	CITY
NO	DATE	REVISION DESCRIPTION	TO

DESIGNED BY  
**MINIMAL DESIGN STUDIO INC.**  
EMAIL: ALI.SHAMS.CA@GMAIL.COM  
PHONE: 647.885.8880

PROJECT NAME  
**16 CAVALIER CRESCENT**

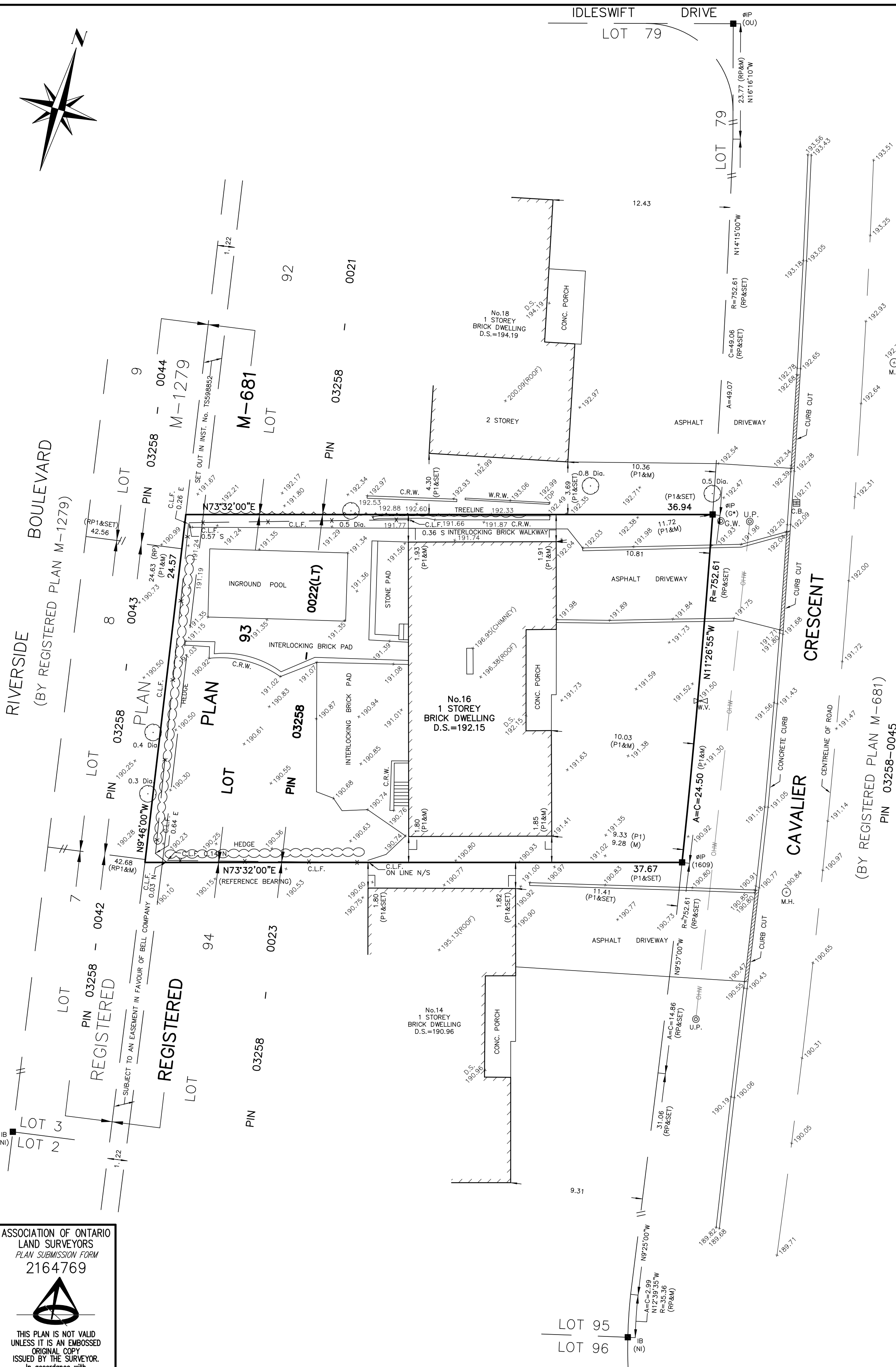
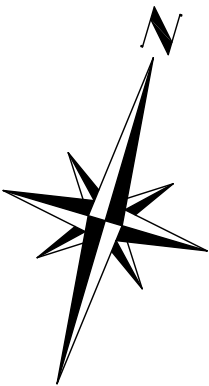
PROJECT ADDRESS  
**16 CAVALIER CRES  
THORNHILL, ON L4J 1K5**

SHEET NAME  
**SITE PLAN**

SCALE  
**1/16" = 1'-0"**

DRAWING NO  
**A0.2**

STAMP	NORTH



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1 - PLAN OF SURVEY OF**  
**LOT 93**  
**REGISTERED PLAN M-681**  
**CITY OF VAUGHAN**  
**REGIONAL MUNICIPALITY OF YORK**  
SCALE 1:200  
MANDARIN SURVEYORS LIMITED, O.L.S. ©  
**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND	
□	DENOTES MONUMENT SET
■	DENOTES MONUMENT FOUND
SIB	DENOTES STANDARD IRON BAR
IB	DENOTES IRON BAR
ØIP	DENOTES ROUND IRON PIPE
RP	DENOTES REGISTERED PLAN M-681
RP1	DENOTES REGISTERED PLAN M-1279
P1	DENOTES PLAN OF SURVEY BY PAUL KIDD SURVEYING LTD., O.L.S.
PIN	DATED APRIL 10, 2000
M	DENOTES PROPERTY IDENTIFIER NUMBER
N,S,E,W	DENOTES MEASURED
C.L.F.	DENOTES NORTH, SOUTH, EAST, WEST
1609	DENOTES CHAIN LINK FENCE
○*	DENOTES PAUL KIDD SURVEYING LTD., O.L.S.
OU	DENOTES SPEIGHT, VAN NOSTRAND & GIBSON LTD., O.L.S.
NI	DENOTES ORIGIN UNKNOWN
OHV	DENOTES NOT IDENTIFIABLE
D.S.	DENOTES OVERHEAD WIRES
CONC.	DENOTES FINISHED SILL ELEVATION AT ENTRY
Ø.U.P.	DENOTES CONCRETE
W.V.	DENOTES UTILITY POLE
Ø.M.H.	DENOTES WATER VALVE
Ø.C.B.	DENOTES MAN HOLE
Ø	DENOTES CATCH BASIN
Ø	DENOTES CONIFEROUS TREE
Ø	DENOTES DECIDUOUS TREE

ALL TIES TO CONCRETE FOUNDATION, UNLESS NOTED OTHERWISE.  
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE  
SOUTHERLY LIMIT OF LOT 93 AS SHOWN ON REGISTERED PLAN M-681,  
HAVING A BEARING OF N73° 32' 00" E.

**BENCHMARK NOTE**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY  
OF VAUGHAN BENCHMARK No.2-1, HAVING AN ELEVATION OF 190.530 METRE.  
LANGSTAFF PUBLIC SCHOOL AT THE WEST SIDE OF YOUNG STREET APPROX  
805 METRES SOUTH OF HIGHWAY #7. TABLET SET HORIZONTALLY IN EAST  
FACE OF EAST CONCRETE FOUNDATION WALL, 9.8 METRES FROM NORTH  
EAST CORNER AND 15 cm. BELOW BRICKWORK.

**PART 2 (SURVEY REPORT)**  
1. REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: SUBJECT TO AN  
EASEMENT IN FAVOUR OF BELL COMPANY SET OUT IN INST. No. TS598852  
2. ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES AROUND  
THE NORTHERLY, SOUTHERLY AND WESTERLY LIMITS OF THE SUBJECT  
PROPERTY.  
NOTE ALSO THE LOCATION OF OVERHEAD WIRE.  
3. THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

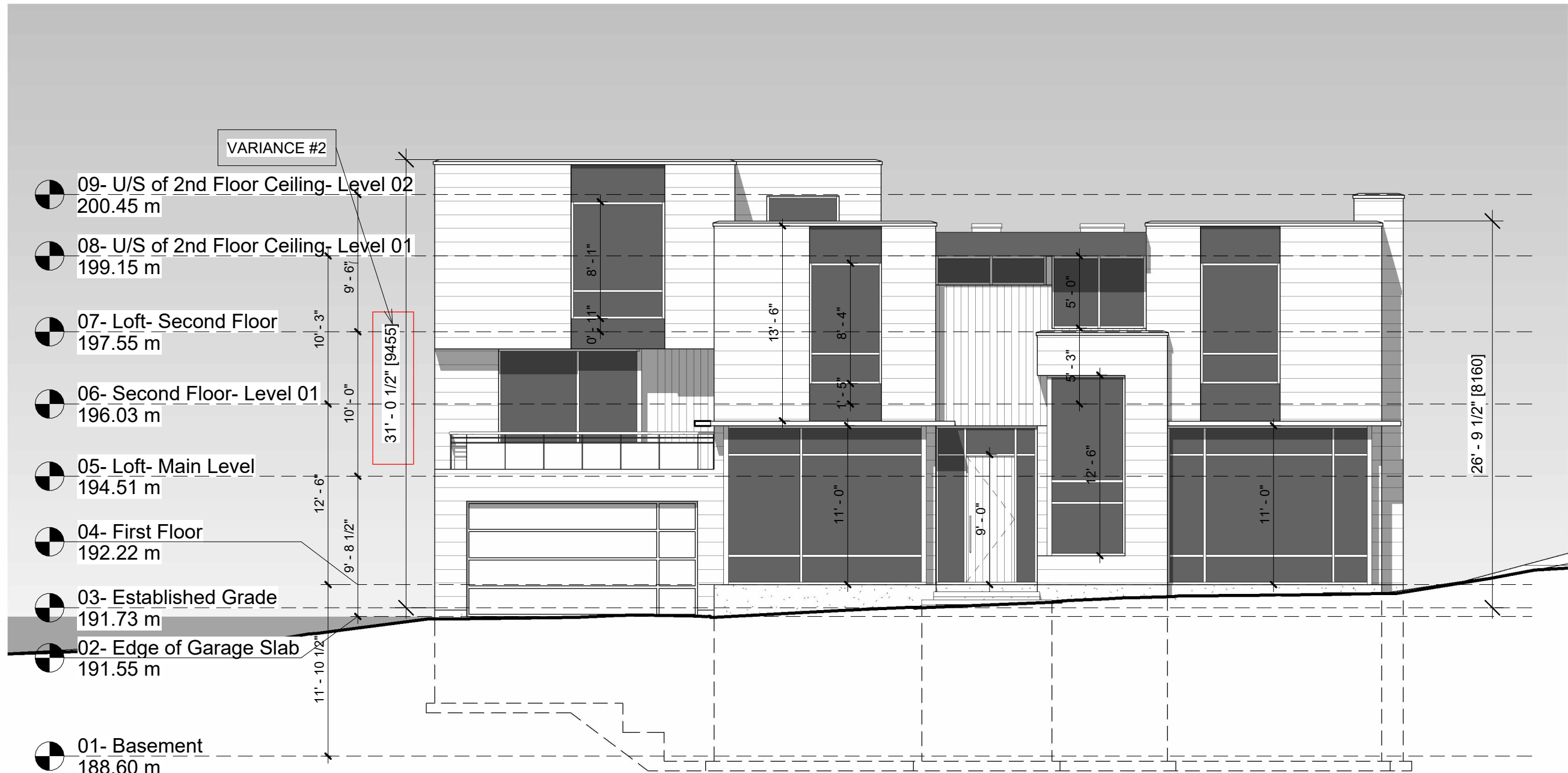
THIS REPORT WAS PREPARED FOR PROJECT QHRC AND THE UNDERSIGNED  
ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF FEBRUARY, 2023

FEBRUARY 28, 2023  
DATE  
Z. ZENG  
ONTARIO LAND SURVEYOR

**MANDARIN SURVEYORS LIMITED**  
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR  
WWW.MANDARINSURVEYOR.COM  
2400 MIDLAND AVENUE #121 PHONE: (647)430-1366 FAX: (647)799-4068  
TORONTO, ONTARIO, M1S 1X7 E-MAIL: MANDARINSURVEYOR@GMAIL.COM  
SURVEY BY: S.Z. CAD No: 21-190SRPR JOB No: 2021-190

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2164769  
THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR.  
In accordance with  
Regulation 1026, Section 29(3).



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NOTE:

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3	2023-04-06	REVISED AS PER NOTICE	CITY
2	2023-03-07	REVISED AS PER NOTICE	CITY
1	2023-01-30	SUBMITTED FOR REVIEW	CITY
NO	DATE	REVISION DESCRIPTION	TO

DESIGNED BY  
MINIMAL DESIGN STUDIO INC.  
EMAIL: ALI.SHAMS.CA@GMAIL.COM  
PHONE: 647.885.8880

PROJECT NAME  
16 CAVALIER CRESCENT

PROJECT ADDRESS  
16 CAVALIER CRES  
THORNHILL, ON L4J 1K5

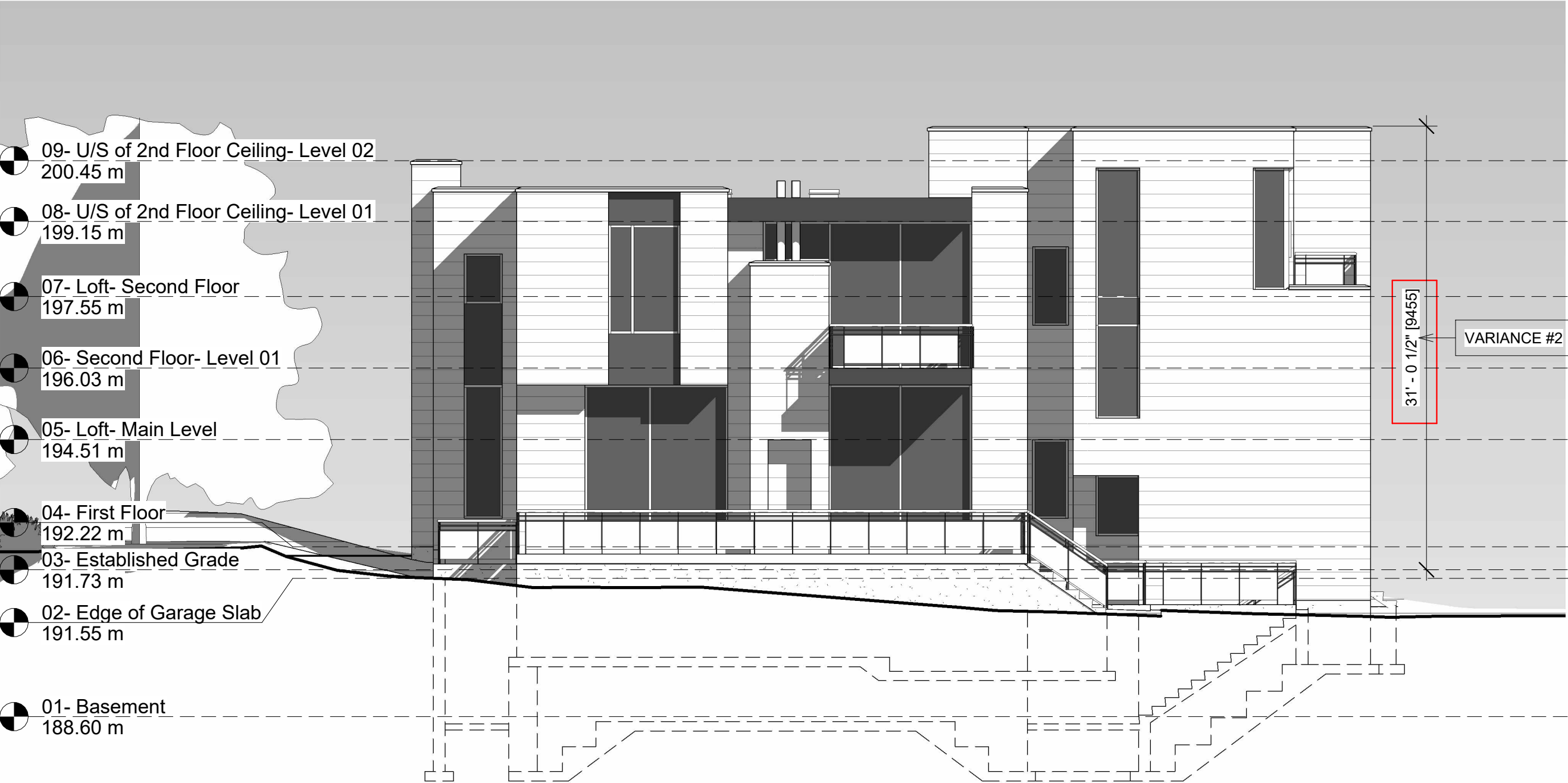
SHEET NAME  
FRONT(EAST) ELEVATION

SCALE  
1/8" = 1'-0"

DRAWING NO  
A2.1

STAMP	NORTH
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EMAIL: ALI.SHAMS.CA@GMAIL.COM

PHONE: 647.885.8880

PROJECT NAME

16 CAVALIER CRESCENT

PROJECT ADDRESS

16 CAVALIER CRES

THORNHILL, ON L4J 1K5

SHEET NAME

REAR(WEST) ELEVATION

SCALE

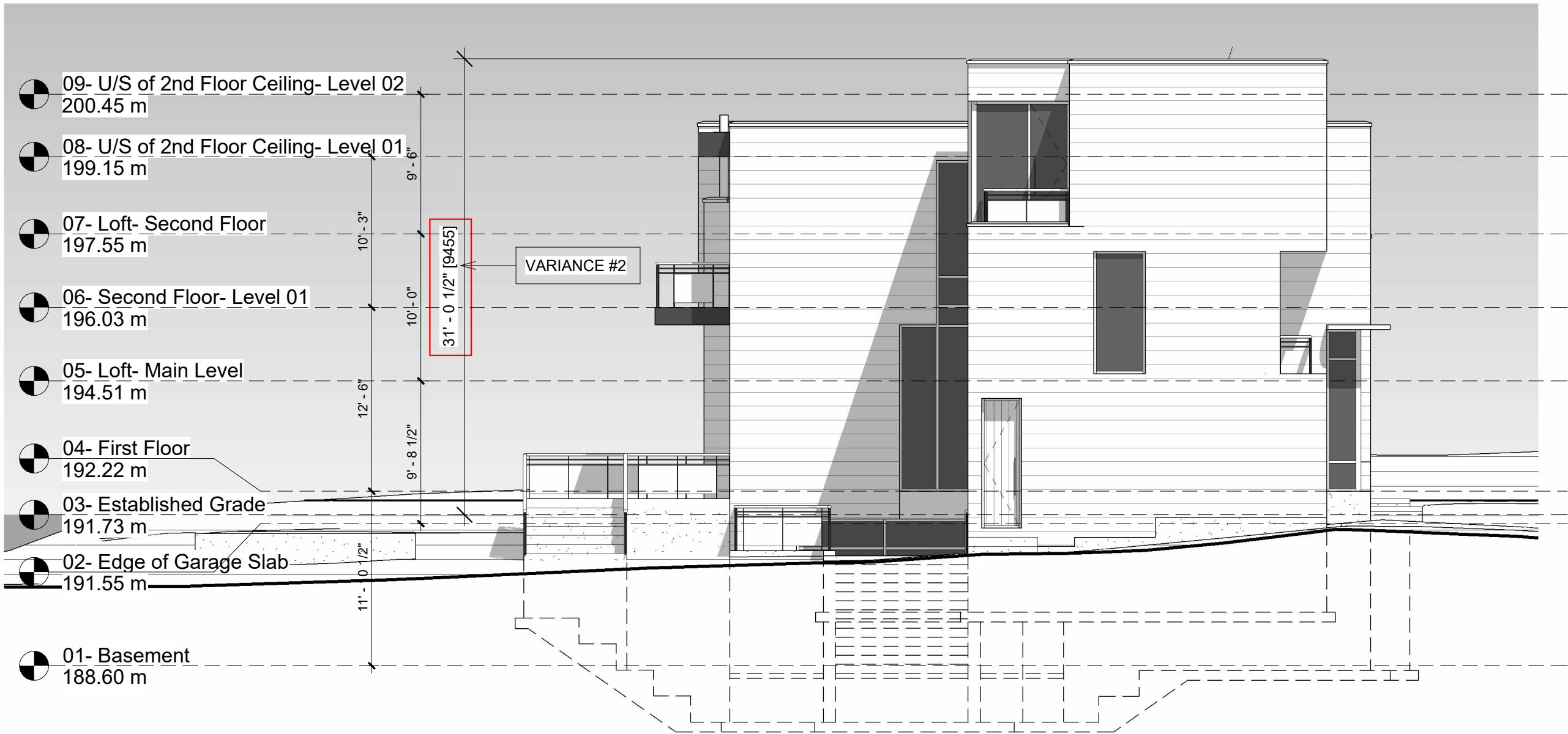
1/8" = 1'-0"

DRAWING NO

A2.2

STAMP	NORTH
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1	2023-01-30	SUBMITTED FOR REVIEW	CITY
NO	DATE	REVISION DESCRIPTION	TO

DESIGNED BY  
**MINIMAL DESIGN STUDIO INC.**  
EMAIL: ALI.SHAMS.CA@GMAIL.COM  
PHONE: 647.885.8880

PROJECT NAME  
**16 CAVALIER CRESCENT**

PROJECT ADDRESS  
**16 CAVALIER CRES  
THORNHILL, ON L4J 1K5**

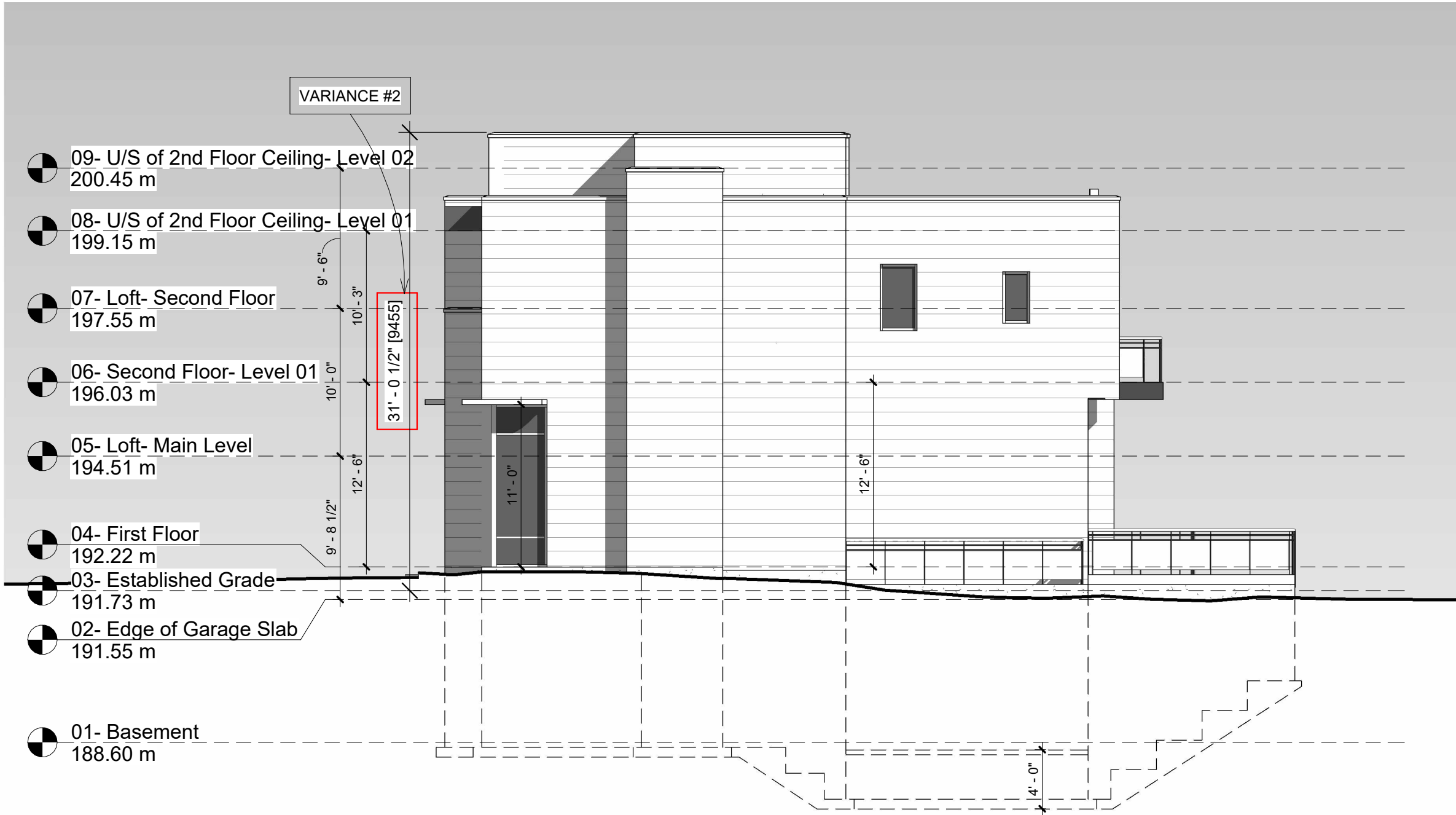
SHEET NAME  
**SIDE(SOUTH) ELEVATION**

SCALE  
**1/8" = 1'-0"**

DRAWING NO  
**A2.3**

STAMP NORTH





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2	2023-03-07	REVISED AS PER NOTICE	CITY
1	2023-01-30	SUBMITTED FOR REVIEW	CITY
NO	DATE	REVISION DESCRIPTION	TO

DESIGNED BY

MINIMAL DESIGN STUDIO INC.

EMAIL: ALI.SHAMS.CA@GMAIL.COM

PHONE: 647.885.8880

PROJECT NAME

16 CAVALIER CRESCENT

PROJECT ADDRESS

16 CAVALIER CRES

THORNHILL, ON L4J 1K5

SHEET NAME

SIDE(NORTH) ELEVATION

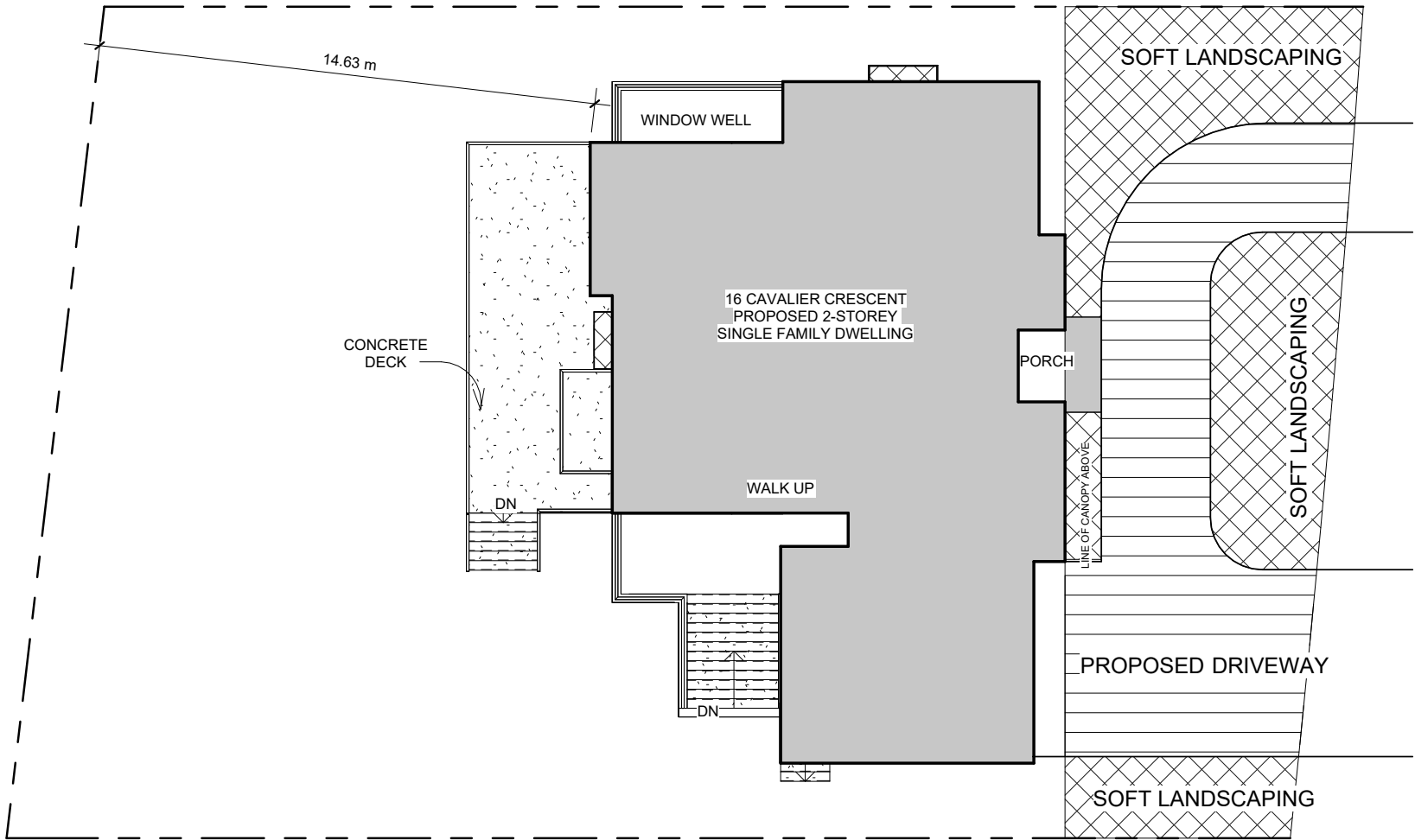
SCALE

1/8" = 1'-0"

DRAWING NO

A2.4

STAMP	NORTH
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## FRONT YARD LANDSCAPING CALCULATIONS

AREA OF FRONT YARD:	186.1 M <sup>2</sup>
AREA OF DRIVEWAY:	90.40 M <sup>2</sup>
AREA OF LANDSCAPING:	95.70 M <sup>2</sup> [51.42% OF FRONT YARD AREA]
AREA OF SOFT LANDSCAPING	92.72 M <sup>2</sup> [96.88% OF LANDSCAPING AREA]
AREA OF HARD LANDSCAPING	2.98 M <sup>2</sup> [1.85% OF LANDSCAPING AREA]

## GENERAL NOTES

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1	2023-01-30	SUBMITTED FOR REVIEW	CITY
NO	DATE	REVISION DESCRIPTION	TO

DESIGNED BY  
**MINIMAL DESIGN STUDIO INC.**  
EMAIL: ALI.SHAMS.CA@GMAIL.COM  
PHONE: 647.885.8880

PROJECT NAME  
**16 CAVALIER CRESCENT**

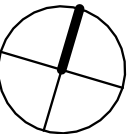
PROJECT ADDRESS  
**16 CAVALIER CRES  
THORNHILL, ON L4J 1K5**

SHEET NAME  
**LANDSCAPE CALCULATIONS**

SCALE  
**1/16" = 1'-0"**

DRAWING NO  
**A3.1**

STAMP	NORTH
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SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** April 14<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A023-23**

**Related Files:**

**Applicant** Mansour Sorayaei & Farahnaz Ebneali Heidari

**Location** 16 Cavalier Crescent

**COMMENTS:**

- |                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have no comments or objections to its approval.   |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have the following concerns (attached below).   |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

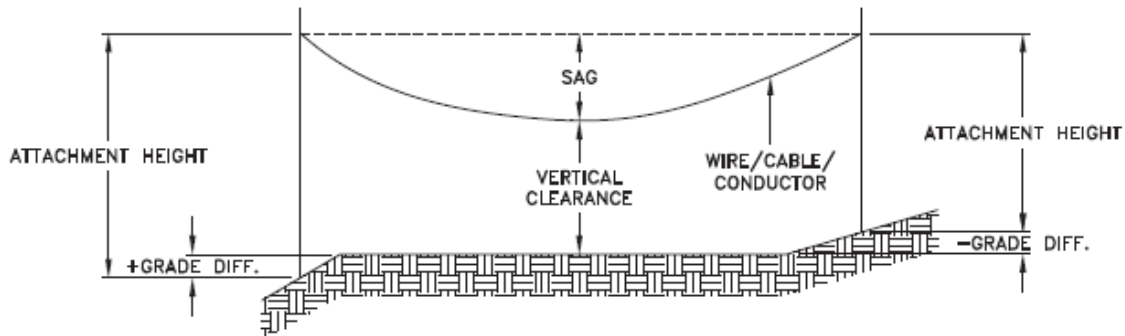
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

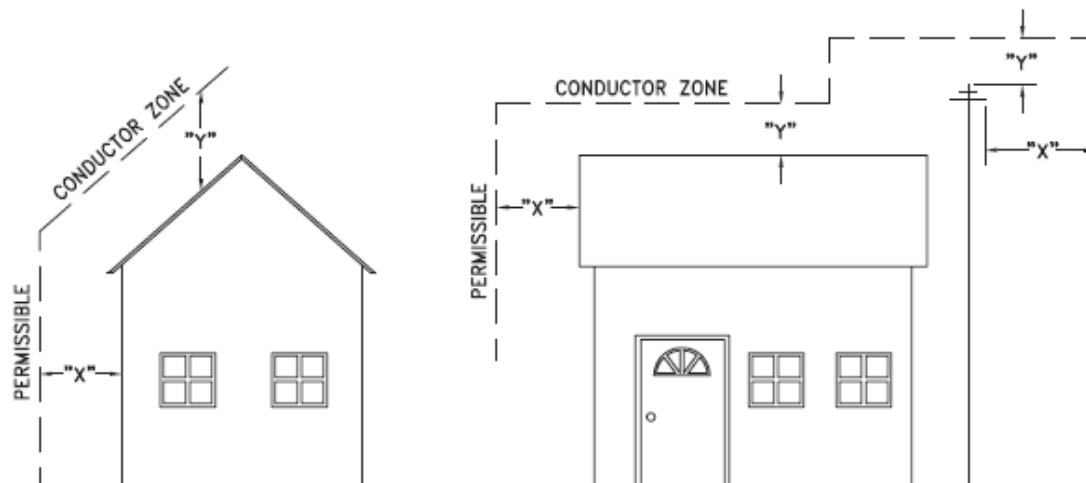
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment

**From:** Lindsay Haviland, Building Standards Department

**Date:** April 17, 2023

**Applicant:** Mansour Sorayaei & Farahnaz Ebneali Heidari

**Location:** 16 Cavalier Crescent  
Plan M681 Lot 93

**File No.(s):** A023/23

**Zoning Classification:**

The subject lands are zoned R1E(EN) – First Density Residential Zone in an Established Neighbourhood, under Zoning By-law 001-2021 as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23 % is permitted. [Section 7.2.2, Table 7-3, Note 2].	To permit a maximum lot coverage of 23.97%.
2	A maximum height of 8.5 metres is permitted. [Section 4.5.1.b.]	To permit a maximum height of 9.46 m for a dwelling.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

A building permit is required for the construction of the proposed dwelling.

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Senior Manager of Development Planning

**Date:** May 22, 2023

**Name of Owners:** Mansour Sorayaei and Farahnaz Ebneali Heidari

**Location:** 16 Cavalier Crescent

**File No.(s):** A023/23

---

**Proposed Variance(s) (By-law 01-2021):**

- 1) To permit a maximum lot coverage of 23.97%
- 2) To permit a maximum building height of 9.46 m for the dwelling.

**By-Law Requirement(s) (By-law 01-2021):**

- 1) A maximum lot coverage of 23% is permitted. [Section 7.2.2, Table 7-3, Note 2]
- 2) A maximum height of 8.5 m is permitted. [Section 4.5.1.b.]

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to demolish an existing 1-storey dwelling and construct a two-storey single dwelling in an established large-lot neighbourhood.

At the request of the Development Planning Department the Owners have improved upon the reliefs being sought to ensure the dwelling remains compatible with other newly built dwellings in the immediate area. Variances 1 and 2 represent a modest increase and will ensure the new dwelling is consistent with other two-storey dwellings approved in the area. The height variance will be fully utilized by the southern portion of the dwelling due to the proposed side split design. The two-storey dwelling's liveable space footprint represents 22.99% of the maximum lot coverage, while the remaining lot coverage is associated with the proposed covered front porch and rear yard deck which are considered non-livable areas.

In support of the minor variance application the Owners submitted an Arborist Report and Tree Protection Plan, prepared by Al Miley & Associates, dated May 4, 2023, and May 6, 2023, respectively. Urban Design Division of the Development Planning Department has reviewed this documentation and is generally satisfied.

The Development Planning Department is of the opinion that the requested Variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner  
David Harding, Senior Planner

**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A023/23 (16 Cavalier Cres) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, April 18, 2023 9:46:21 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)

---

Hi Christine,

The Region has completed its review of Minor Variance A023/23 and has no comment.

Many thanks,

**Christine Meehan, B.U.R.P.I., B. B. A** | Associate Planner, Programs and Process Improvement,  
Planning and Economic Development, Corporate Services

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 | [christine.meehan@york.ca](mailto:christine.meehan@york.ca) | [www.york.ca](http://www.york.ca)

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Sandy & Lisa Falconi	14 Cavalier Crescent	05/23/2023	Letter of Objection
Public	Alireza Mohammad Pour	3 Idleswift Drive	01/29/2023	Letter of Support

Re: 16 Cavalier Crescent, Thornhill, ON L4J 1K5

Dear Sir/Madam,

I am the owner of 3 Idleswift Dr, a near neighbour to 16 Cavalier Crescent. I am aware that there will be a public hearing to request minor variances to the zoning By-laws to permit the construction of a new two storey house at 16 Cavalier Crescent.

We have seen the site plan and elevations of the proposed new home, and support to the Committee granting the variances necessary for its construction.

Thank you

Alireza Mohammad Pour

 *ALI Mohammadpour*

01/29/23

**RECEIVED**

*By Christine Vigneault at 9:58 am, May 23, 2023*

May 20, 2023

City of Vaughan  
Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan, ON L6A 1T1

To Whom It May Concern:

Re: Minor Variance Application City File: A023/23; 16 Cavalier Crescent

We reside at 14 Cavalier Crescent, beside 16 Cavalier Crescent, the owners of which have applied for the minor variance. We are writing to express our strong opposition to the proposed minor house variance application seeking a maximum lot coverage of 23.97% and a maximum height of 9.46 meters. As concerned residents and stakeholders in our community, we believe that granting such a variance would have detrimental effects on the neighborhood for a number of reasons:

- The proposed maximum height of 9.46 meters exceeds the existing height restrictions for residential properties in our neighborhood. Granting this variance would set a precedent that compromises the integrity and character of our community. It may open the door to further requests for taller structures, leading to a visual imbalance and a loss of the unique charm that attracts residents and visitors alike.
- Additionally, the increased height could potentially block sunlight and create shadowing effects on neighbouring properties. This would not only diminish the aesthetic appeal of the area but also hinder the natural lighting of nearby residences. It is essential to consider the impact such shading may have on the health and well-being of residents, as access to natural light is crucial for physical and mental wellness. As well, both our home and the neighbour to the north of 16 Cavalier Crescent have pools and this will infringe on our privacy. Even if we didn't have a pool, a large height variance would invade our backyard privacy as well as those around this home.
- We are concerned that the footprint variance will infringe on our side yard. While the homes on our street have relatively wide lots, that is the reason why people purchased these homes; for privacy and space. We ask that the new dwelling stay at the maximum 23% lot coverage and not be approved for the 23.97% lot coverage requested.
- The monster homes that are being put up in the Uplands neighbourhood are huge in some cases. They ruin the mature character of the neighbourhood, the construction disrupts the quiet, and it takes away from the incredible sense of community as often these homes remain empty for more than 2 years. This home, for example, was flipped recently so it seems clear that the reason for building this home is for profit, not for living in.
- Moreover, approving these variances would disregard the carefully crafted zoning regulations and guidelines that were put in place to maintain the harmony and character

of our neighborhood. Granting this variance would undermine the purpose of these regulations and set a dangerous precedent for future deviations.

In light of the aforementioned concerns, we respectfully request that the proposed minor house variance application for maximum lot coverage of 23.97% and a maximum height of 9.46 meters be denied. Upholding the existing zoning regulations will help maintain the balance, character, and livability of our neighborhood.

We trust that you will give due consideration to these objections as well as those made by other concerned residents. We are committed to working collaboratively with the local authorities to ensure that any developments are conducted in a manner that promotes the well-being of the community and protects the long-term interests of all stakeholders involved.

Thank you for your attention to this matter. We eagerly anticipate a favourable response that reflects the best interests of our community.

Regards,

Sandy and Lisa Falconi

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A198/21	02/10/2022	Approved; COA



**NOTICE OF DECISION**  
**MINOR VARIANCE APPLICATION A198/21**  
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

DATE OF HEARING:	Thursday, February 10, 2022
APPLICANT:	Yao Quan
AGENT:	Battaglia Architect Inc.
PROPERTY:	16 Cavalier Crescent, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the City's Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned **R1E(EN) – First Density Residential Zone (Established Neighbourhood)** under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m (existing 5.49 m + 3.0 m = 8.49 m), but in no case shall the maximum building height requirement be less than 8.5 m. Maximum permitted building height = 8.5 m. [4.5.1]	To permit a maximum building height of 10.35 metres.
2	For any proposed or new replacement dwelling that exceeds the existing height, and is greater than 9.5 m in height, the minimum interior side yard shall be the greater (more restrictive) of: a. The requirement of the applicable zone; b. The existing interior side yard; or c. 2.2 m. Interior side yard setbacks of 2.2 metres are required for the dwelling.	To permit a minimum interior side yard setback of 1.6 metres (north) and 1.65 metres (south).
3	A maximum lot coverage of 20% is permitted. [Table 7.3]	To permit a maximum lot coverage of 25.10% (22.92% dwelling; 2.18% deck & porch)
4	A maximum encroachment of 0.6 metres is permitted into a minimum required interior side yard of 2.2 metres for a chimney.	To permit a maximum encroachment of 0.7 metres into a minimum required interior side yard of 2.2 metres for a chimney.

The subject lands are zoned **R1V, Residential** under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
5	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 25.10% (22.92% dwelling; 2.18% deck & porch)
6	A maximum building height of 9.5 metres is permitted. [Schedule A]	To permit a maximum building height of 10.35 metres.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A198/21** for 16 Cavalier Crescent be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
<p>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “<b>if required</b>”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</p> <p>It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart below for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>		
1	Development Engineering <a href="mailto:farzana.khan@vaughan.ca">farzana.khan@vaughan.ca</a>	<p>1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.</p> <p>2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20% to 28% in order to mitigate potential impacts on the municipal storm water system.</p>
2	Parks, Forestry and Horticulture Operations <a href="mailto:andrew.swedlo@vaughan.ca">andrew.swedlo@vaughan.ca</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

**REASONS:**

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

**PUBLIC WRITTEN & ORAL SUBMISSIONS**

Public correspondence considered by the Committee of Adjustment in the making of this decision.

**WRITTEN SUBMISSIONS:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
Sandy & Lisa Falconi	14 Cavalier Crescent	02/09/2022	Letter of Objection

**ORAL SUBMISSIONS:**

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.


**WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION
<p>Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>February 10, 2022</b>
<b>DATE OF NOTICE:</b>	<b>February 17, 2022</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>March 2, 2022 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.   _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Ontario Land Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may **within 20 days of the making of the decision** appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at [cofa@vaughan.ca](mailto:cofa@vaughan.ca)** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

**ONTARIO LAND TRIBUNAL (OLT):** The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

**City of Vaughan OLT Processing Fee:** \$892.00 per application

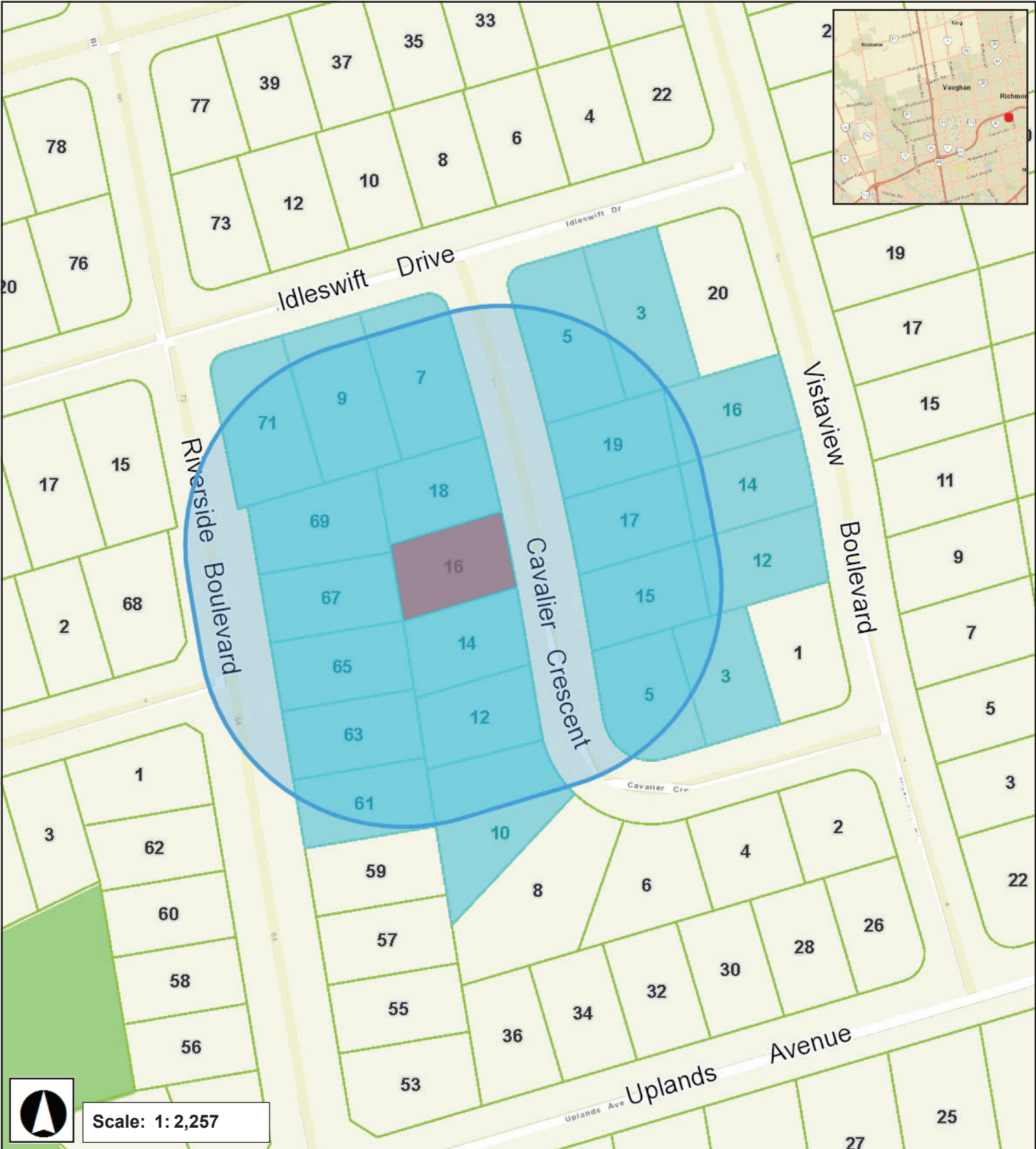
\*Please note that all fees are subject to change.



LOCATION MAP - A198/21

16 CAVALIER CRESCENT, THORNHILL

Highway 7





**A198/21**



SET BACKS		
	Setback	Setback
FRONT YARD	9.01M	1.60M
REAR YARD	9.30M	1.65M

LOT 16, CAVALIER CRESS.

PROPOSED  
2 STOREY DWELLING  
(208.66sq.m)

BALCONY

CONC. PORCH


CONC. DECK

LOT AREA= 910.82 M2  
LOT COVERAGE= 25.10%

RIVERSIDE BOULEVARD

CAVALIER CRESCENT

[illegible]

NO.				DATE	
The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.					
<div><div><div>BATTAGLIA ARCHITECT INC.</div><div>1050 McNicoll Ave, unit 14 Scarborough, ON M1W 2L8 TEL: (416) 491-2946 battaglia.arch@gmail.com</div></div></div>					
PROJECT:		16 CAVALIER CRES. THORNHILL, ON.			
DWG.:		SITE PLAN SITE STATISTIC			
		<div><div><div>DESIGN BUILD</div></div><div>1050 McNicoll Avenue, Unit 14, Scarborough, On. M1W 2L8 T: 416-492-1777 info@qtrccanada.com www.qtrccanada.com</div></div>			
DATE:		JAN. 25, 2022			
SCALE:		1/16" = 1' - 00"			
DRAWN BY:		N.M.			
PROJECT NO.					
DRAWING NO.		A1			



FRONT ELEVATION

NO.		DATE	
The contractor shall check and verify all dimensions and report all errors and omissions to the architect before proceeding with the work. This drawing is the property of the architect and must be returned on completion of the work. Do not scale drawings.			

<div><div><div>BATTAGLIA ARCHITECT INC.</div><div>1050 McNicoll Ave, unit 14 Scarborough, ON M1W 2L8 TEL:(416)491-2946 battaglia.arch@gmail.com</div></div></div>		<div><div>PROJECT:</div><div>16 CAVALIER CRES. THORNHILL, ON.</div></div> <div><div>DWG.:</div><div>FRONT ELEVATION (EAST SIDE)</div></div>	
<div><div><div><div><div></div><div>DESIGN BUILD</div></div></div><div><div>1050 McNicoll Avenue, Unit 14, Scarborough, On, M1W 2L8 T. 416-492-1777 info@qtrccanada.com www.qtrccanada.com</div></div></div></div>		<div><div><div>ONTARIO ASSOCIATION OF ARCHITECTS</div><div><div>JOSEPH D. BATTAGLIA</div><div>LICENCE 5924</div></div></div></div>	
DATE:		JAN. 21, 2022	
SCALE:		1/8" = 1'-00"	
DRAWN BY:		N.M.	
PROJECT NO.			
DRAWING NO.		A8	