

ITEM: 6.13	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A066/23 18 ALOUETTE STREET, THORNHILL
------------	--

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A066/23
18 ALOUETTE STREET, THORNHILL**

ITEM NUMBER: 6.13	CITY WARD #: 4
APPLICANT:	City of Vaughan
AGENT:	Cosburn Nauboris Ltd.
PROPERTY:	18 Alouette Street, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Parks" by Volume 2, Section 11.2 Carrville Centre Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed shade structure in the park.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned OS1 – Public Open Space Zone and subject to the provisions of Exception 14.1063 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum exterior side yard setback required is 4.5 metres. [Section 4.15.1 a) and Table 12-3]	To permit a minimum exterior side yard setback 0.35 metres to a shade structure.

The subject lands are zoned OS2 – Open Space Park and subject to the provisions of Exception 9(1438) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The minimum exterior side yard setback required is 15.0 metres. [Section 3.10 b) ii) and Schedule 'A']	To permit a minimum exterior side yard setback 0.35 metres to a shade structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 1, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 18, 2023	
Date Applicant Confirmed Posting of Sign:	May 17, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	New park Design approved by city of Vaughan Parks	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>		
<small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>		
<small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed shade structure in the subject property is 114 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City’s Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)</p> <p>The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system.</p>	

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.	
The Development Engineering Department does not object to the Minor Variance application A066/23, subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comment at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

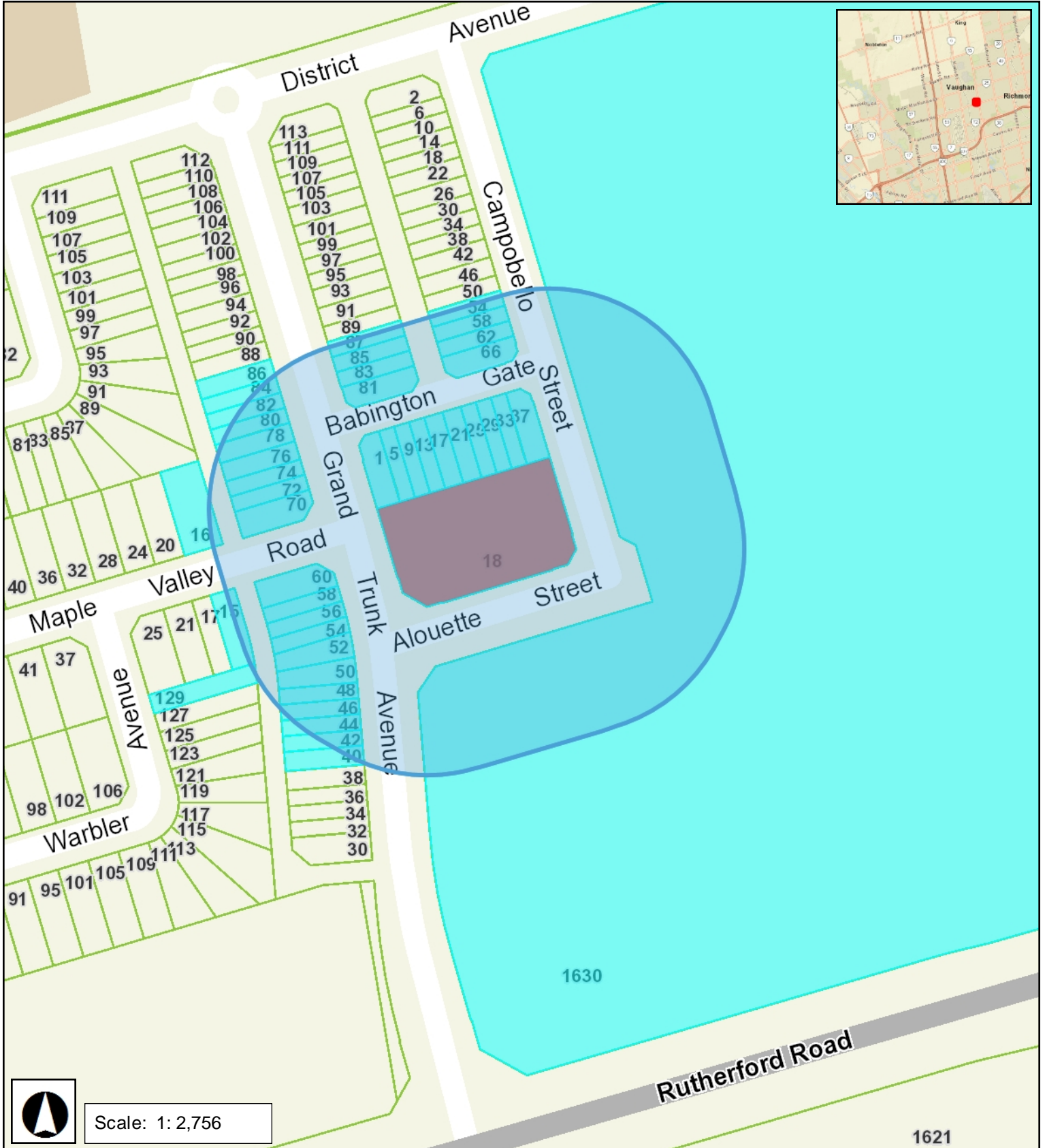
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

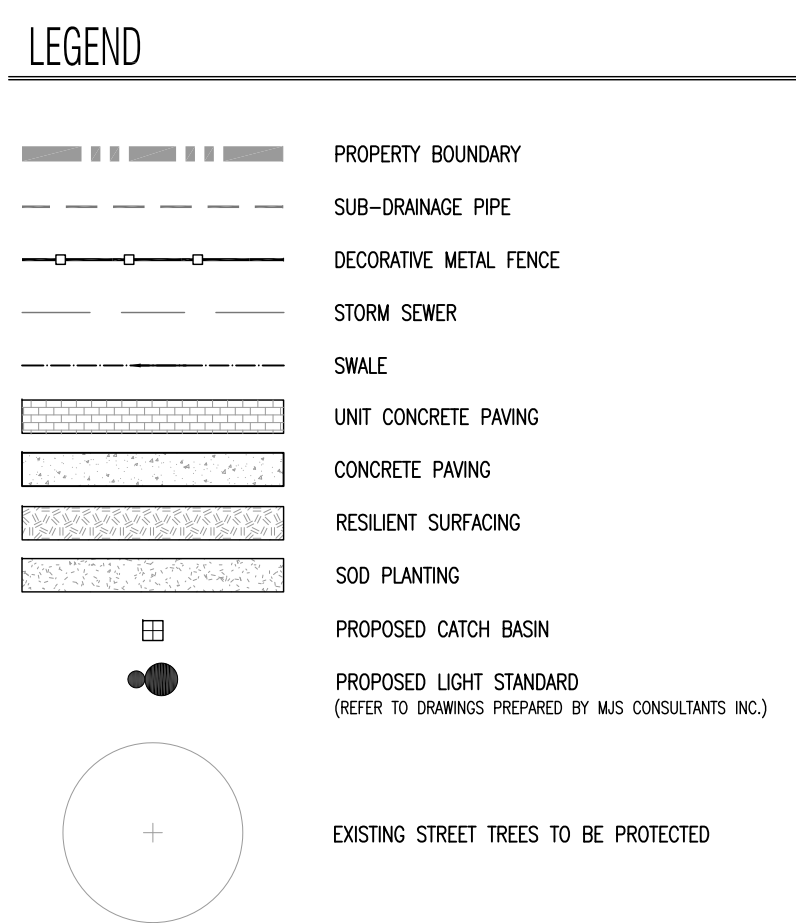
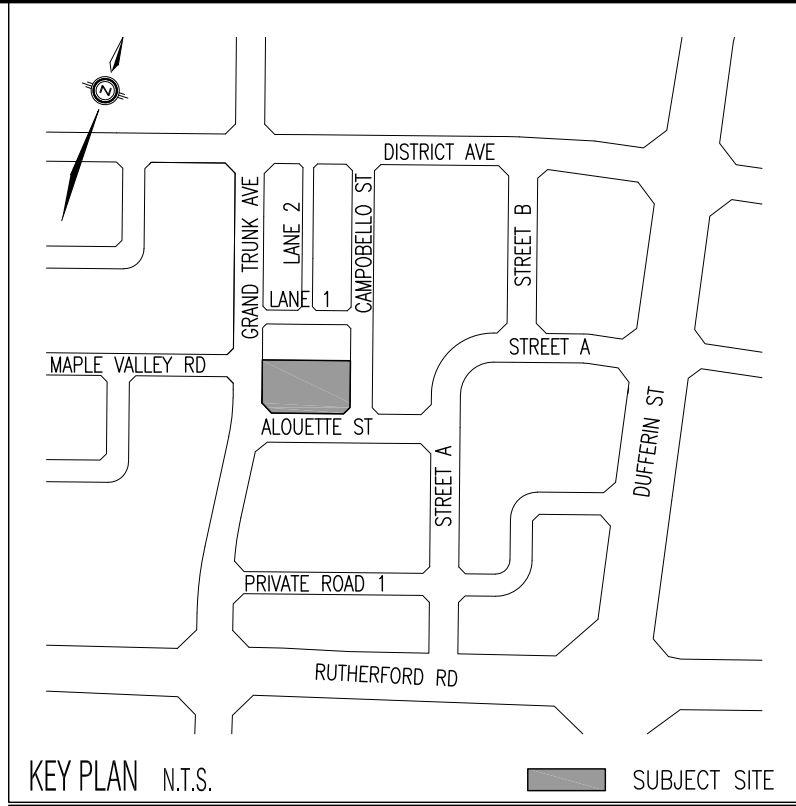
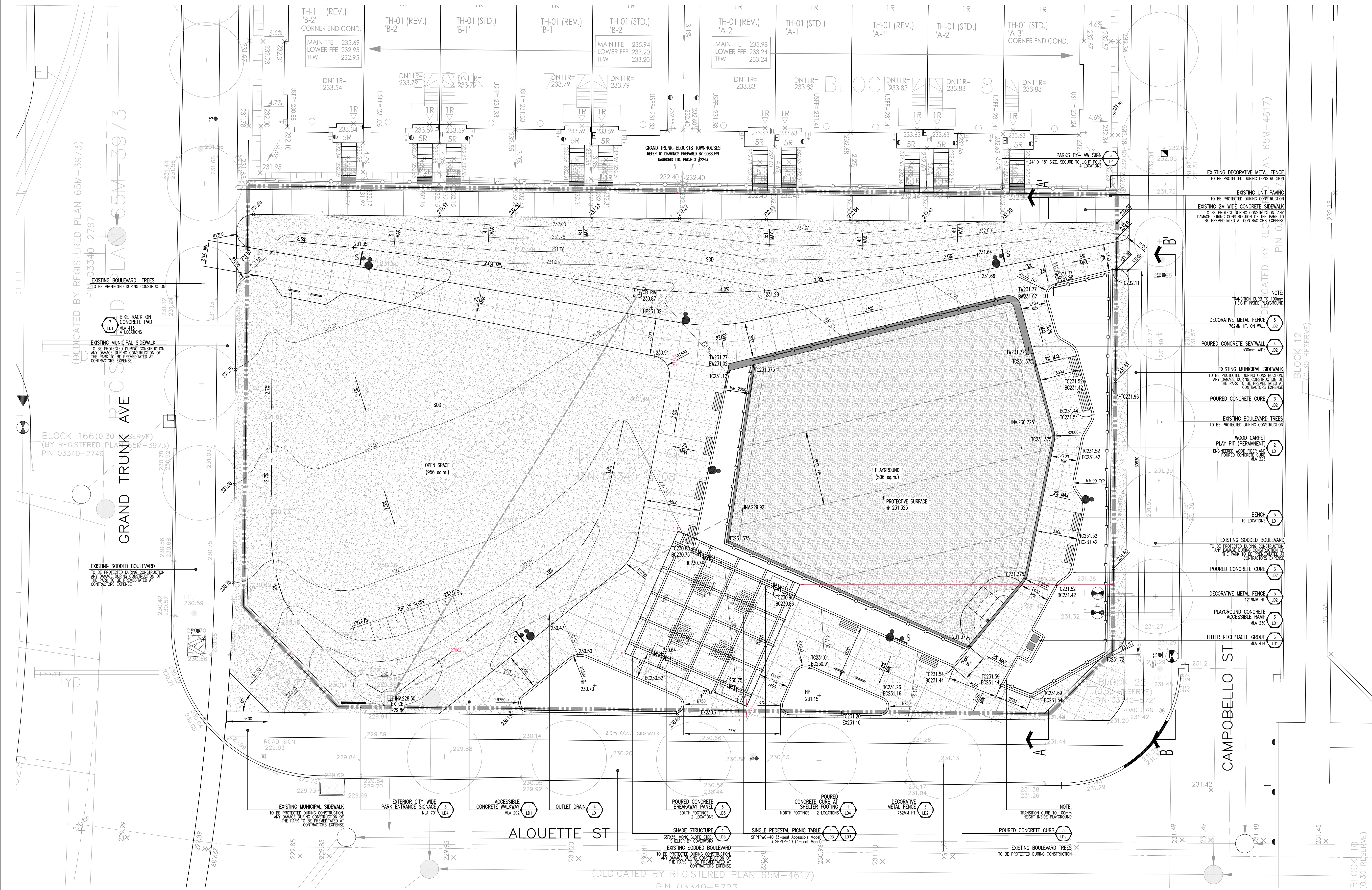
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
1	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS





Base Information

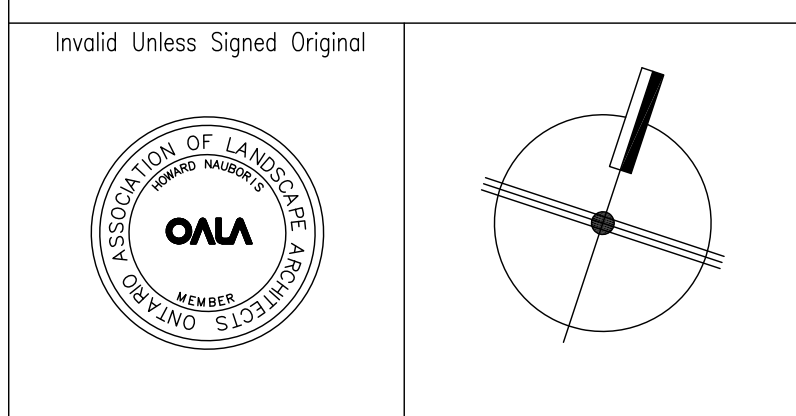
Base information received in digital format from Schoeffers Consulting Engineers, project no. 2014-4413, drawing no. GR-1, dated and received November 13, 2017.

Servicing information received in digital format from Urban Works Engineering Corp. project no.21-0017VA, drawing no. SS-01 dated and received June 29, 2021.

Electrical information received in digital format from MJS Consulting Inc., drawing no. E-1 dated February 1, 2022 and received February 2, 2022.

9	Issued for Building Permit	MB	22 06 16
8	Addendum #03	DP	22 05 03
7	Issued for Tender	MB	22 04 08
No	Revision	By	Yr Mo Da

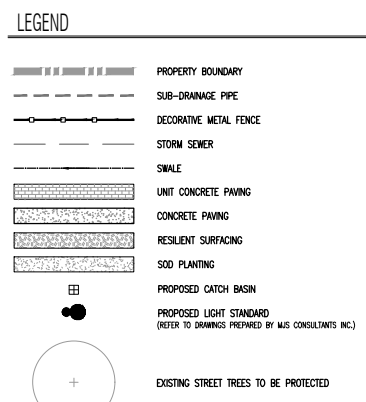
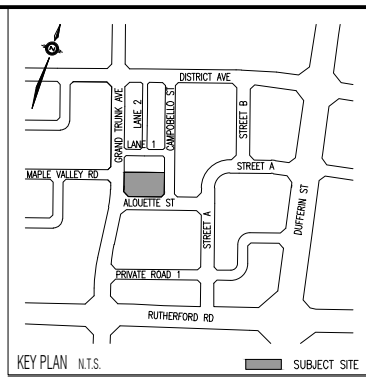
All drawings and designs are the property of Cosburn Associates Limited and may not be used or reproduced without permission. This drawing must not be scaled.



cosburn nauboris LTD
landscape architects
cosburnnauboris.ca

ALOQUETTE PARK
NINE-TEN WEST LIMITED
CITY OF VAUGHAN

LAYOUT AND GRADING PLAN			
Drawn by	MR	Scale	1:150
Checked by	HN	Plot Date	2022-06-16
Approved by	HN	Project	2335
			L1 Drawing No.



Base Information

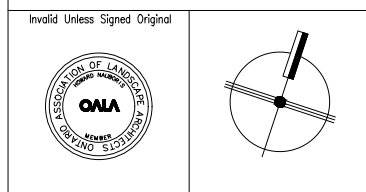
Base information received in digital format from Schaeffers Consulting Engineers, project no. 2014-4413, drawing no. GR-1, dated and received November 13, 2017.

Servicing information received in digital format from Urban Works Engineering Corp. project no. 21-0017VA, drawing no. SS-01 dated and received June 29, 2021.

Electrical information received in digital format from MJS Consulting Inc., drawing no. E-1 dated February 1, 2022 and received February 2, 2022.

11	Bench and Footing Clarification	MB	22 10 19
10	Issued for Construction	MB	22 06 30
9	Issued for Building Permit	MB	22 06 16
8	Addendum #03	DP	22 05 03
7	Issued for Tender	MB	22 04 06
No	Revision	By	Yr Mo Da

All drawings and designs are the property of Cosburn Associates Limited and may not be used or reproduced without permission. This drawing must not be scaled.

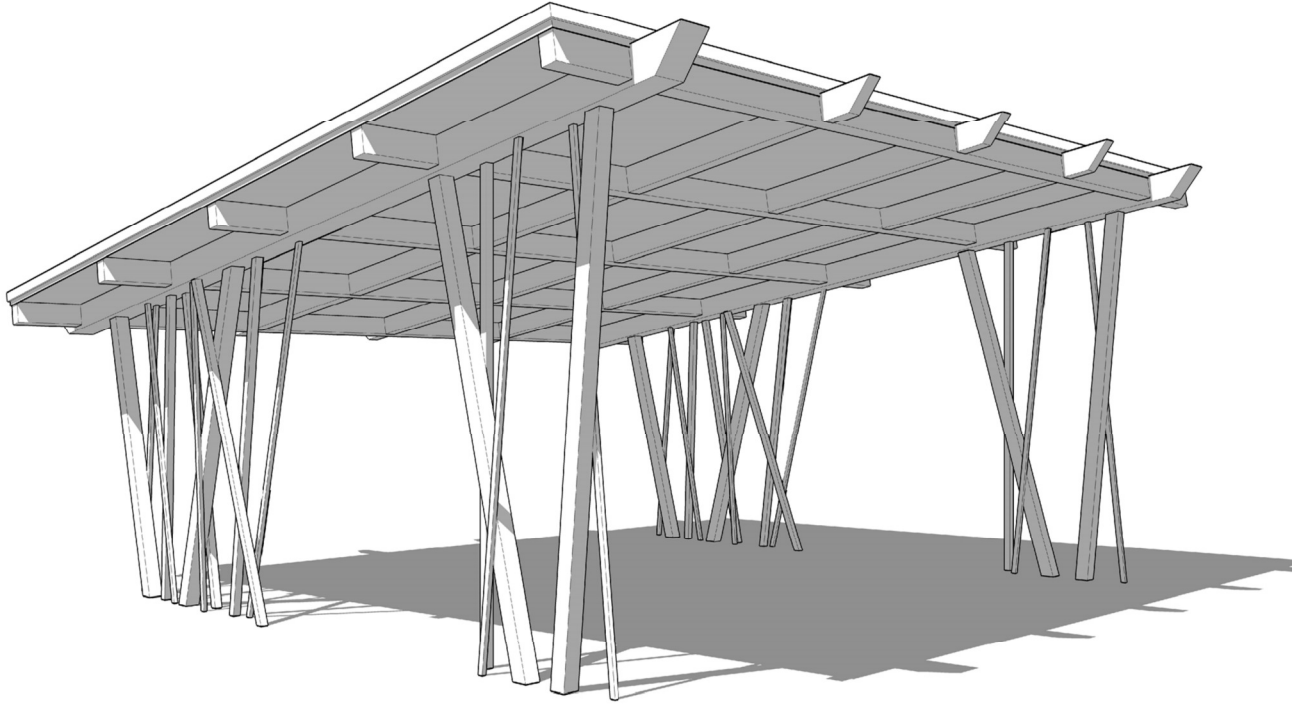


cosburn nauboris LTD
landscape architects
20 crown steel dr. suite 2
markham on L3R 9X9
1.905.940.4443
cosburnnauboris.ca

ALOUETTE PARK
NINE-TEN WEST LIMITED
CITY OF VAUGHAN

LAYOUT AND GRADING PLAN			
Drawn by	MR	Scale	1:150
Checked by	HN	Plot Date	2022-11-02
Approved by	HN	Project	2335
			L1 Drawing No.

35' x 35' MONO SLOPE STEEL SHELTER



CARRVILLE DISTRICT RETAIL

CITY OF VAUGHAN, ON

OCTOBER 2021

Henderson®
www.hendersonplay.com

COVERWORX
Recreational Architecture
A Division of Ross & Barr Inc.

35' X 35' MONOSLOPE STEEL SHELTER

STRUCTURE IS A 35' WIDE x 35' STRUCTURAL STEEL TUBULAR FRAME. IT VARIES IN HEIGHT AT UNDERSIDE OF RAFTER FROM 10' 0" TO 15' 3", WITH 22 GAUGE CORRUGATED METAL ROOF DECK AND NO WALLS.

NOTES:

DESIGN STANDARDS

ONTARIO 2012 BUILDING CODE COMPENDIUM

CAN/CSA S16.01 - LIMITS STATES DESIGN OF STEEL STRUCTURES

STRUCTURAL STEEL TO CONFORM TO ASTM A500 OR CSA G40.21-350W CLASS C FOR HSS SECTIONS

BOLTS TO ASTM A325

PLATES, GUSSETS TO ASTM A36 OR G40.21-300W

MEMBER SIZES

COLUMNS	= HSS 6" x 6" x 3/16" (MARK C1, C2, C3 & C4)
RAFTERS	= HSS 12" x 12" x 3/16" (MARK RA1)
PURLINS (ROOF JOISTS)	= HSS 10" x 6" x 3/16" (MARK P1 TO P5)
BOLTS	= 3/4" DIAMETER A325
ANCHOR BOLTS	= FOUR - 3/4" DIAMETER x 16" LONG (EACH COLUMN)
BASE PLATES	= 12" x 12" x 5/8"

DESIGN LOADS

ROOF AREA = 1,225 SQ FEET

ROOF DEAD LOAD = 12 PSF

ROOF SNOW LOAD = 27 PSF

Ss = 23 psf, Sr = 8 psf, Cb = 0.8, Cw = 1.0, Cs = 1.0, Ca = 1.0

WIND LOAD

Q 1/50 = 9 PSF, CE = 0.9, IW = 1.0

SEISMIC LOAD

Site Class = D (Assumed & to be confirmed by Geotechnical Engineer at time of excavation for footings)

Mv = 1.0, Ie = 1.0, Rd = 1.5, Ro = 1.3, Sa(0.2) = 0.19



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

CITY OF VAUGHAN, ON

NOTES

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S1

CONTENTS AND QUANTITIES

FOUNDATION

Item	Size	Quantity
ANCHOR BOLT BRACING TEMPLATE	12" x 12"	8
F1554 ANCHOR BOLT	3/4-10 x 16"	32
F436 FLAT WASHER	3/4"	64
A563 HEX NUT	3/4-10	64

FRAMING

Item	Size	Quantity
COLUMN (C 1)	6" x 6" x 3/16" x 11'-0 3/4"	2
COLUMN (C 2)	6" x 6" x 3/16" x 12'-9 1/4"	2
COLUMN (C 3)	6" x 6" x 3/16" x 14'-5 7/8"	2
COLUMN (C 4)	6" x 6" x 3/16" x 15'-0 3/8"	2
RAFTER BEAM (RA 1)	12" x 12" x 3/16" x 35'-6"	2
PURLIN (P 1)	10" x 6" x 5/16" x 28'-0"	5
PURLIN (P 2)	10" x 6" x 3/16" x 2'-6"	10
PURLIN (P 3)	10" x 6" x 3/16" x 7'-6"	6
PURLIN (P 4)	10" x 6" x 3/16" x 7'-6"	6
PURLIN (P 5)	10" x 6" x 3/16" x 1'-9"	6
DECORATIVE COLUMN (L 1)	2" x 1 1/2" x 1/8" x 11'-0 3/4"	2
DECORATIVE COLUMN (L 2)	3" x 3" x 1/8" x 11'-3 3/4"	2
DECORATIVE COLUMN (L 3)	2" x 1 1/2" x 1/8" x 11'-3 3/4"	2
DECORATIVE COLUMN (L 4)	3" x 3" x 1/8" x 11'-7 3/4"	2
DECORATIVE COLUMN (L 5)	2" x 1 1/2" x 1/8" x 11'-8 1/2"	2
DECORATIVE COLUMN (L 6)	3" x 3" x 1/8" x 12'-4 1/2"	2
DECORATIVE COLUMN (L 7)	2" x 1 1/2" x 1/8" x 13'-0 1/2"	2
DECORATIVE COLUMN (L 8)	3" x 3" x 1/8" x 12'-7 1/4"	2
DECORATIVE COLUMN (L 9)	3" x 3" x 1/8" x 14'-1 3/4"	2
DECORATIVE COLUMN (L 10)	2" x 1 1/2" x 1/8" x 14'-7"	2
DECORATIVE COLUMN (L 11)	2" x 1 1/2" x 1/8" x 14'-10"	2
A325 HEX HEAD BOLT	3/4-10 x 1 1/2"	100
A325 HEX HEAD BOLT	3/4-10 x 2 1/2"	16
FLAT WASHER	3/4"	116
1 1/4" TEK SCREW - Frame Color	12-24 x 1 1/4" TEK 5	44

ROOFING

Item	Size	Quantity
ROOF PANEL	22 Ga. Multi-Rib x 32'-2"	12
EAVE TRIM	2" x 2" x 9'-4"	8
RAKE TRIM	2 1/2" x 2" x 9'-4"	8
1 1/4" TEK SCREW	12-24 x 1 1/4" TEK 5	250
7/8" TEK SCREW	1/4-14 x 7/8" TEK 1	450

FINISHING

Item	Size	Quantity
TOUCH-UP PAINT	-	1

COLORS:

FRAME:

ROOF:



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

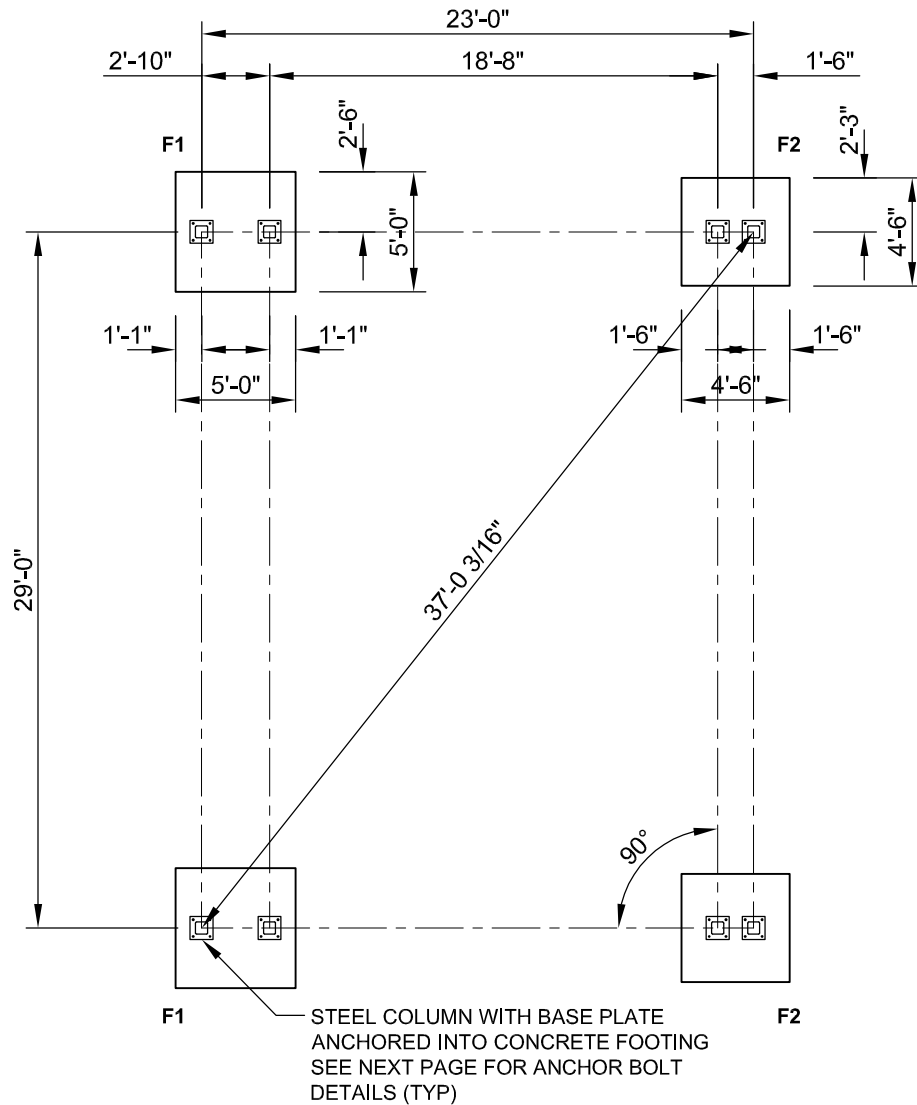
CITY OF VAUGHAN, ON

MATERIAL LIST

Henderson®
www.hendersonplay.com

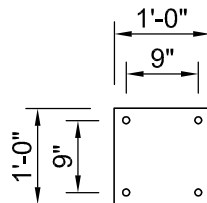


scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S2



FOOTING LAYOUT PLAN

SCALE: 1/8" = 1'-0"



BASE PLATE ANCHOR LAYOUT

SCALE: 1/2" = 1'-0"

NOTE:

SEE DWGS S12, S13 FOR FOOTING
DETAILS



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

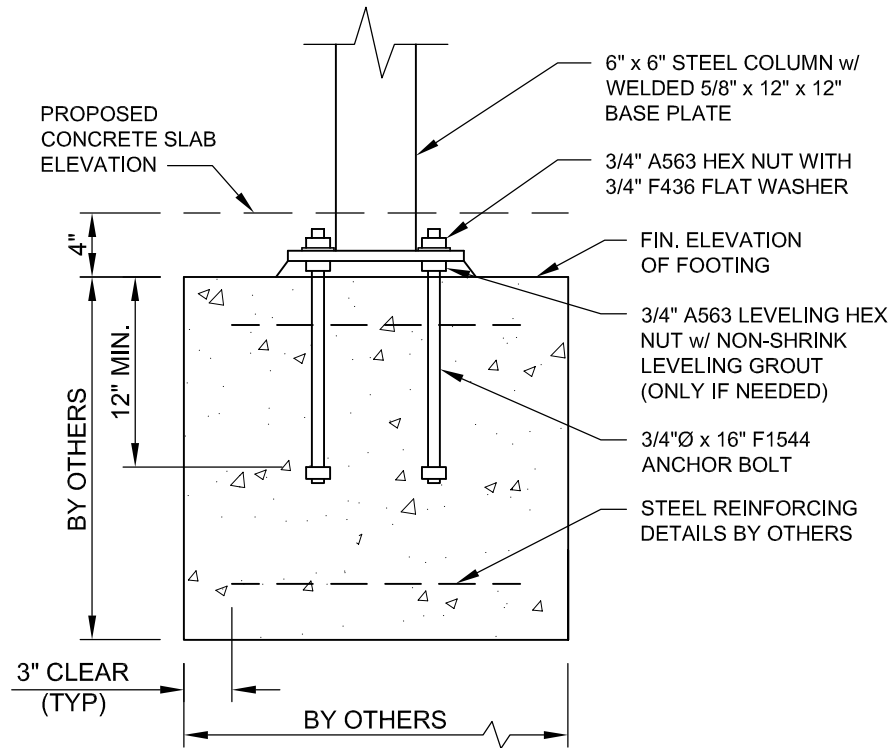
CITY OF VAUGHAN, ON

FOOTING LAYOUT PLAN AND BASE PLATE DETAIL

Henderson®
www.hendersonplay.com

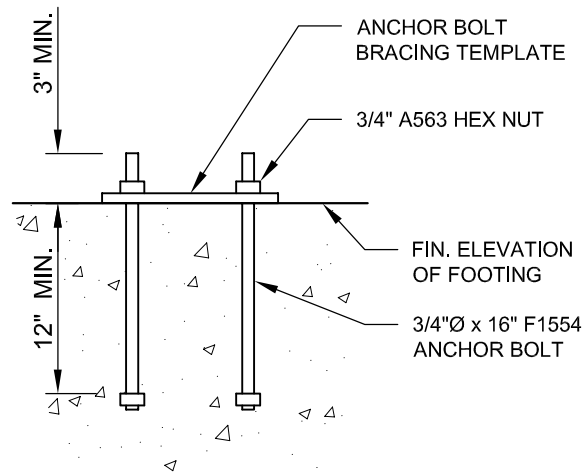


scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S3



FOOTING DETAIL

SCALE: 1" = 1'-0"



ANCHOR BOLT BRACING TEMPLATE

SCALE: 1" = 1'-0"



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

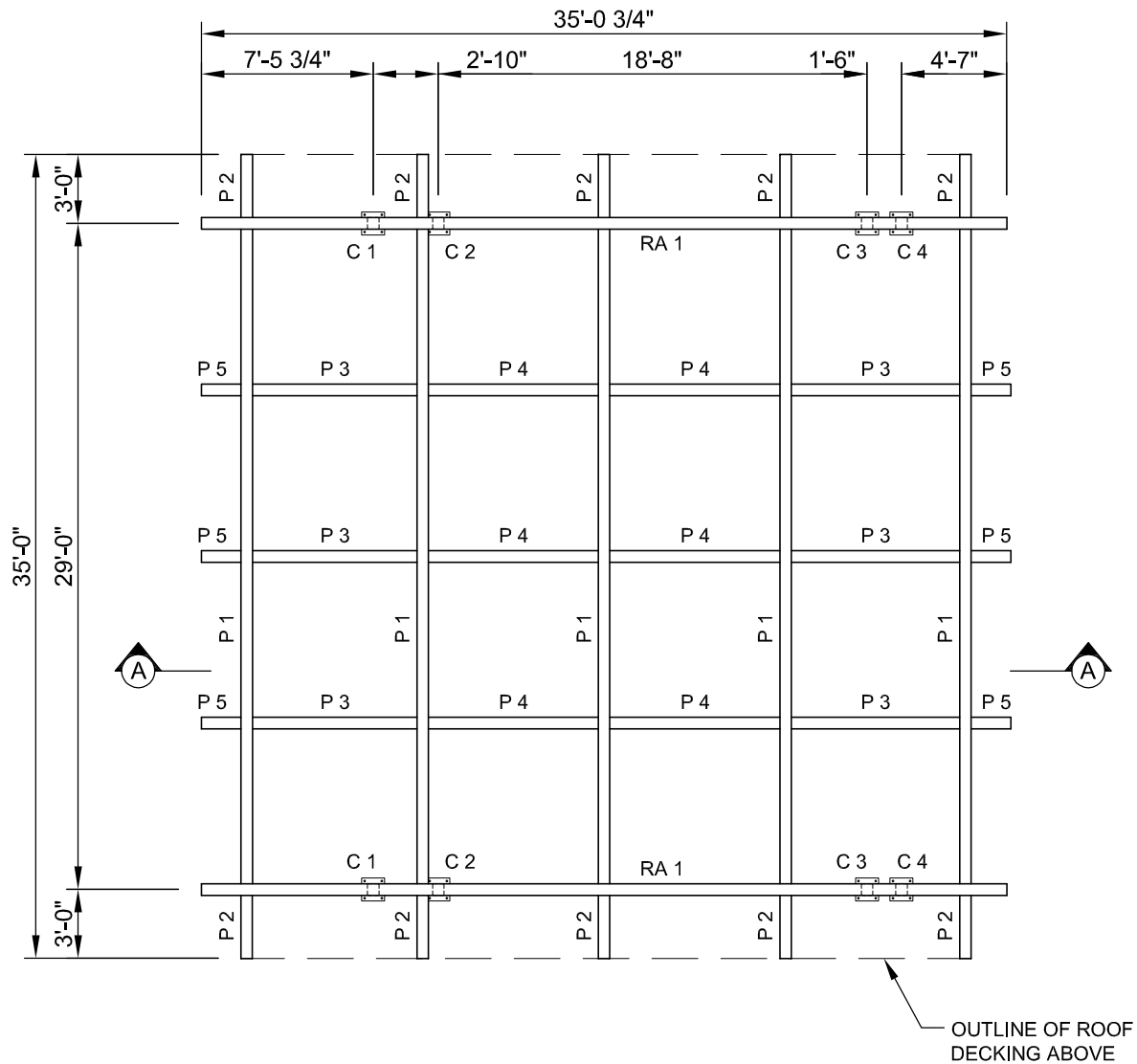
CITY OF VAUGHAN, ON

ANCHOR BOLT DETAILS

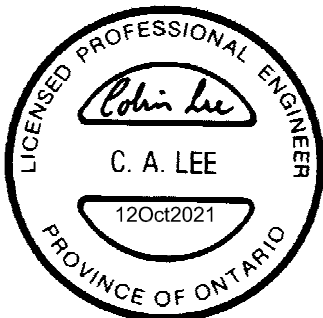
Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S4



FRAMING PLAN
SCALE: 1/8" = 1'-0"



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

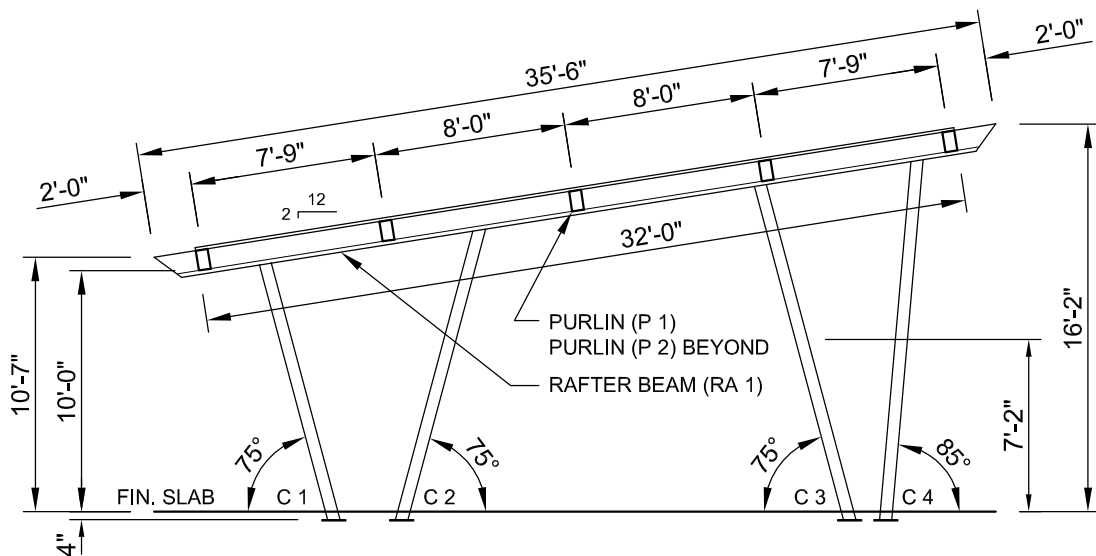
CITY OF VAUGHAN, ON

FRAMING PLAN

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S5



(A) FRAMING SECTION
SCALE: 1/8" = 1'-0"



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

CITY OF VAUGHAN, ON

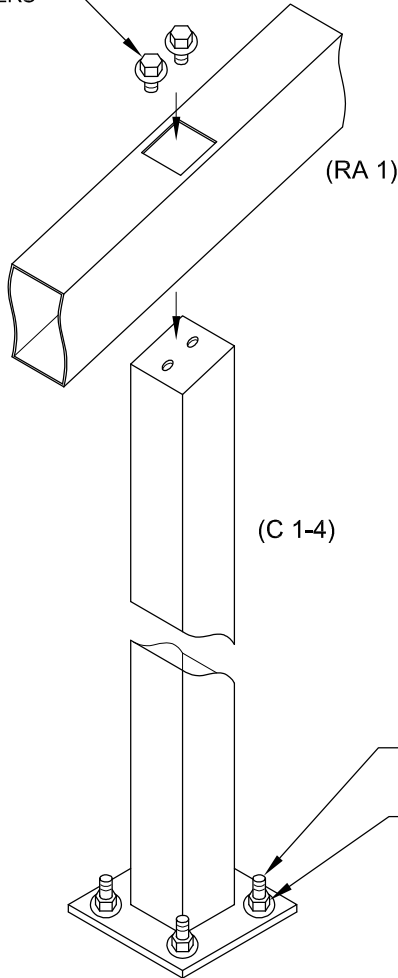
FRAMING SECTION

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S6

(2) 3/4" x 2 1/2" HEX BOLTS
WITH 3/4" FLAT WASHERS

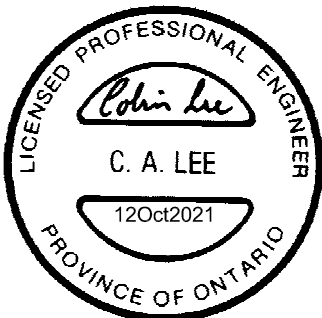


Ø3/4" x 16" F1554
ANCHOR BOLT

3/4" A563 HEX NUT WITH
3/4" F436 FLAT WASHER

COLUMN & RAFTER BEAM INSTALLATION

SCALE: 3/4" = 1'-0"



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

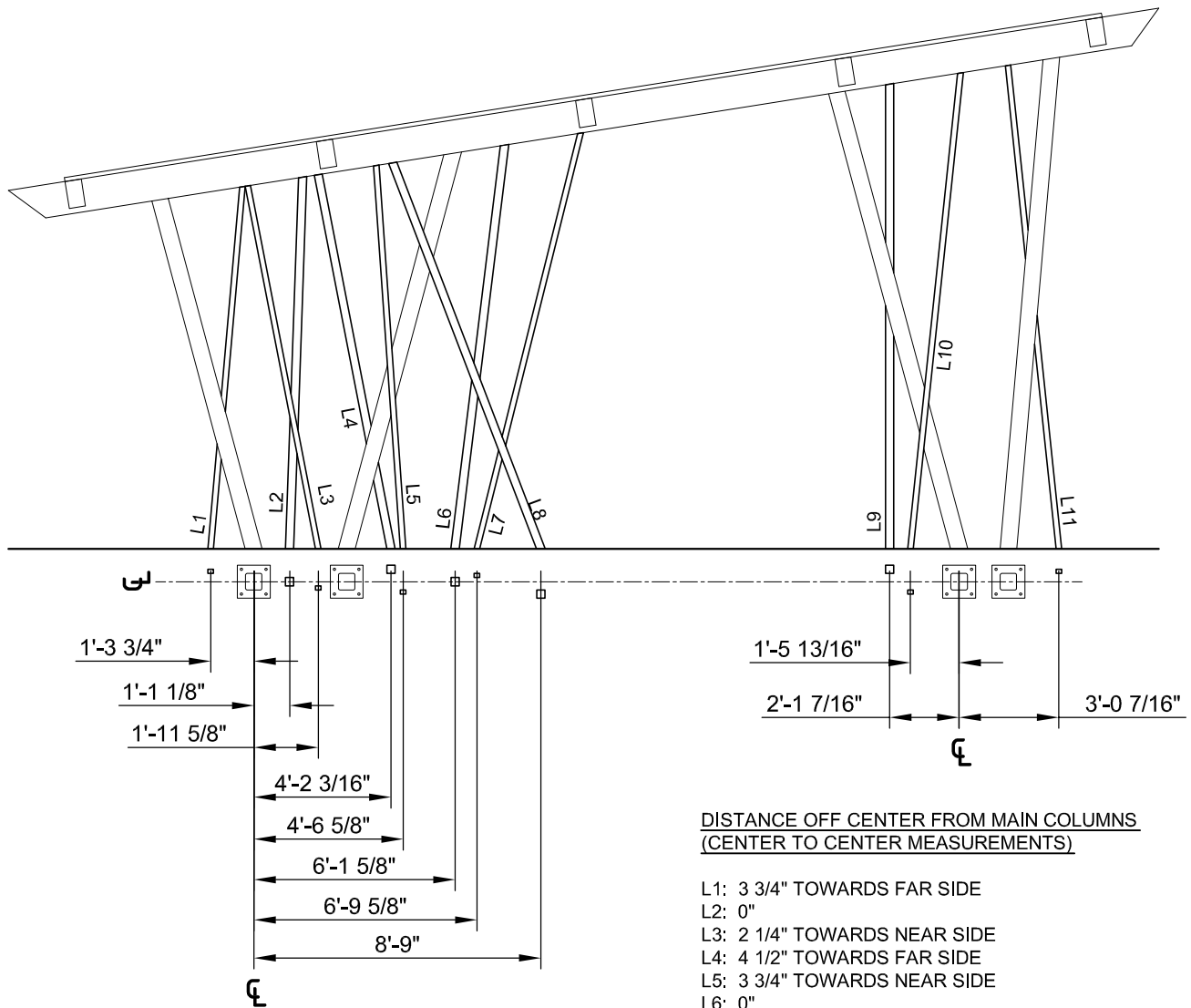
CITY OF VAUGHAN, ON

COLUMN & RAFTER BEAM INSTALLATION

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S7



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

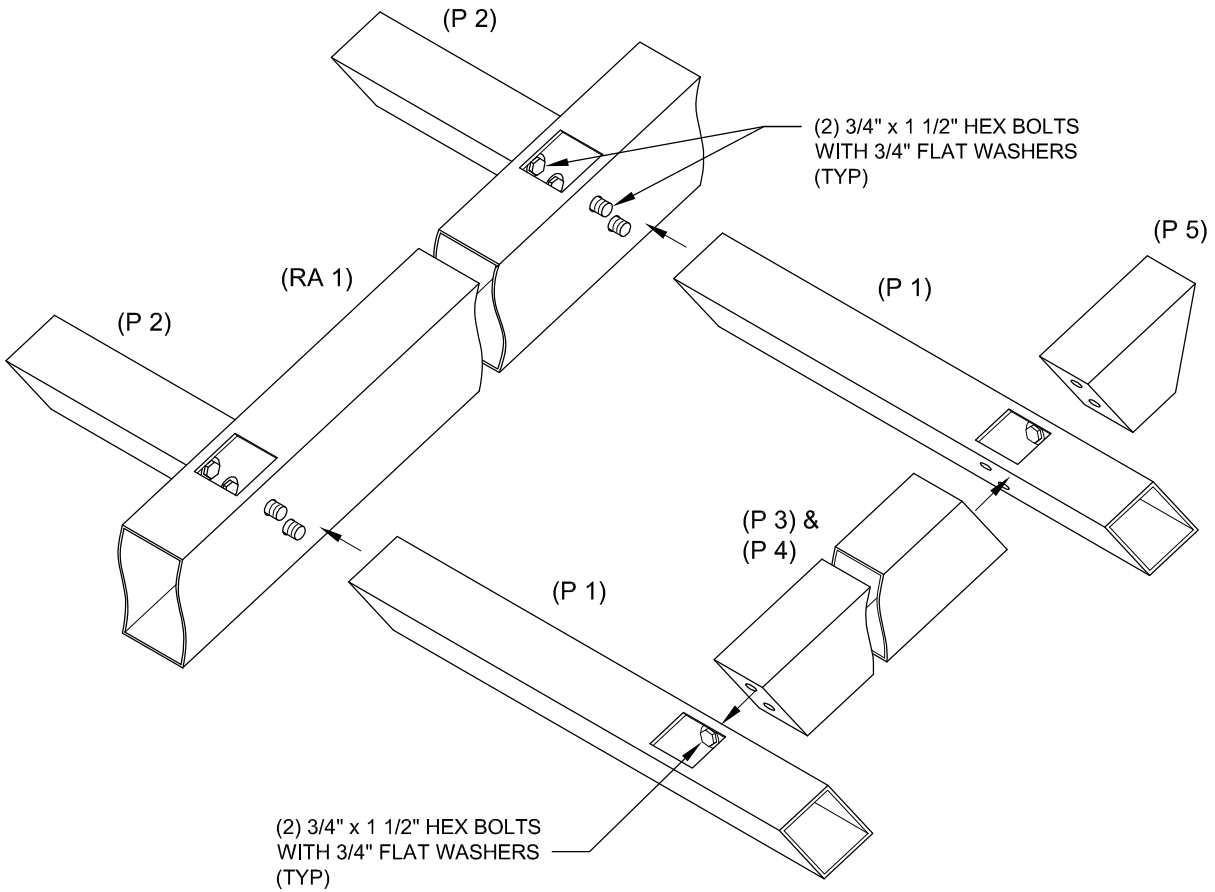
CITY OF VAUGHAN, ON

DECORATIVE COLUMNS INSTALLATION

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S8



PURLIN INSTALLATION

SCALE: 3/4" = 1'-0"



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

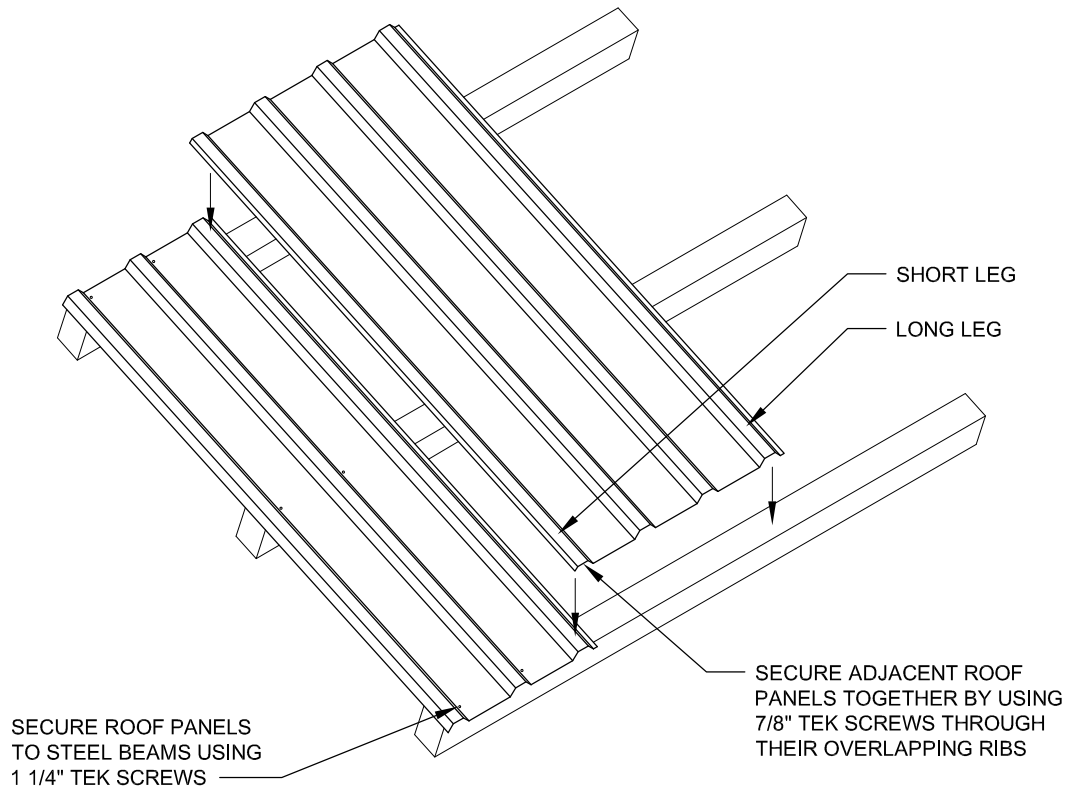
CITY OF VAUGHAN, ON

PURLIN INSTALLATION

Henderson®
www.hendersonplay.com

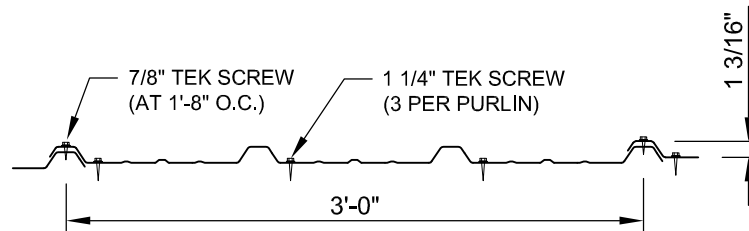


scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S9



ROOF PANEL INSTALLATION

SCALE: 3/8" = 1'-0"



FASTENING PATTERN



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

CITY OF VAUGHAN, ON

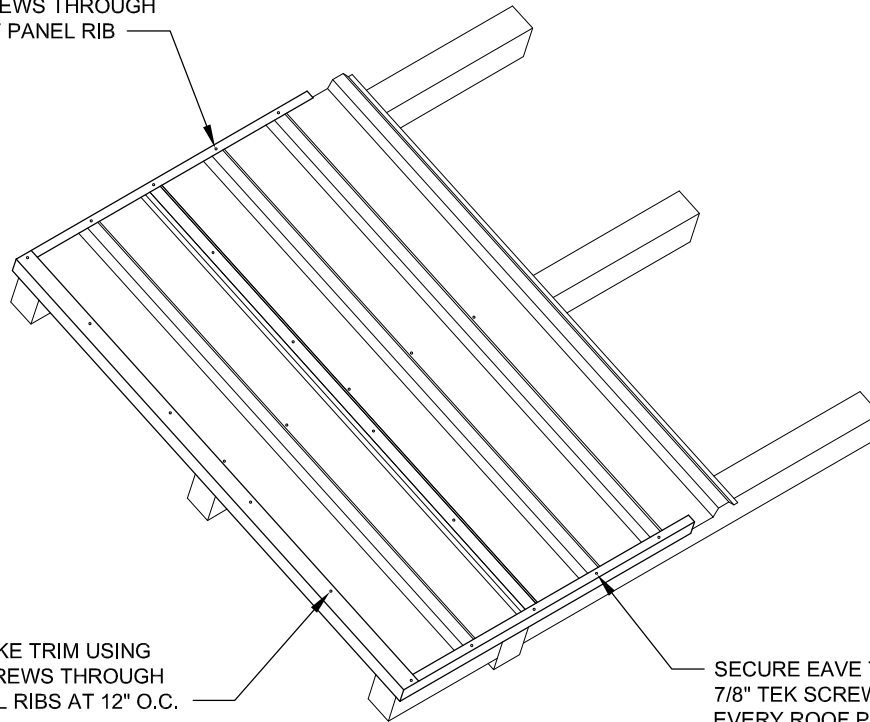
ROOF PANEL & FASTENING INSTALLATION

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S10

SECURE EAVE TRIM USING
7/8" TEK SCREWS THROUGH
EVERY ROOF PANEL RIB



SECURE RAKE TRIM USING
7/8" TEK SCREWS THROUGH
ROOF PANEL RIBS AT 12" O.C.

SECURE EAVE TRIM USING
7/8" TEK SCREWS THROUGH
EVERY ROOF PANEL RIB

TRIM INSTALLATION

SCALE: 3/8" = 1'-0"



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

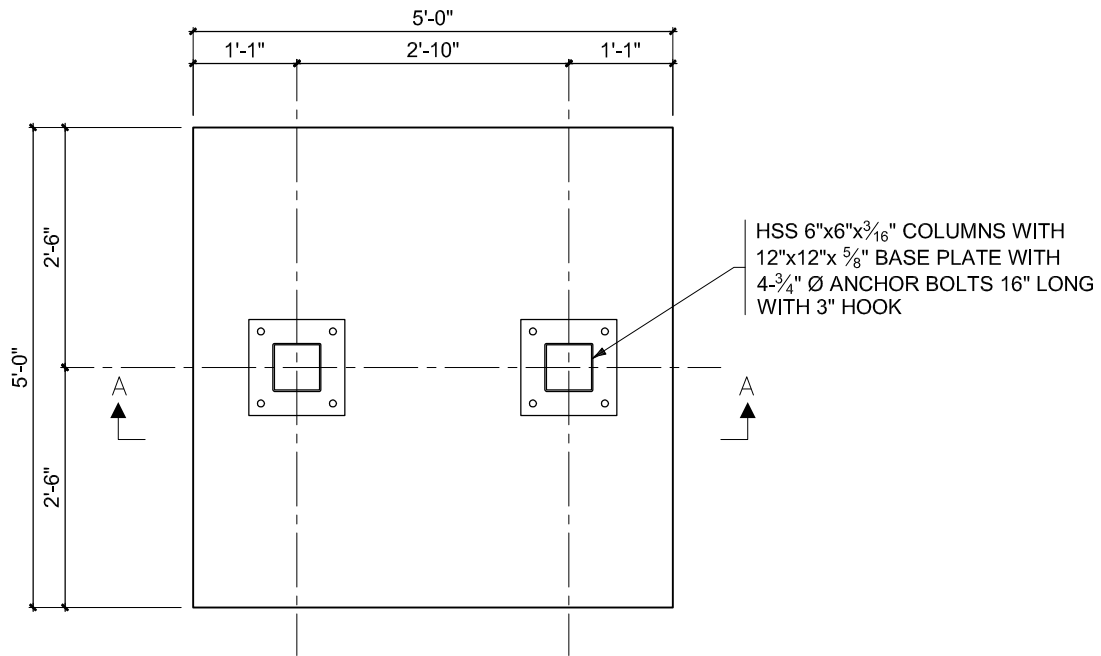
CITY OF VAUGHAN, ON

TRIM INSTALLATION

Henderson®
www.hendersonplay.com

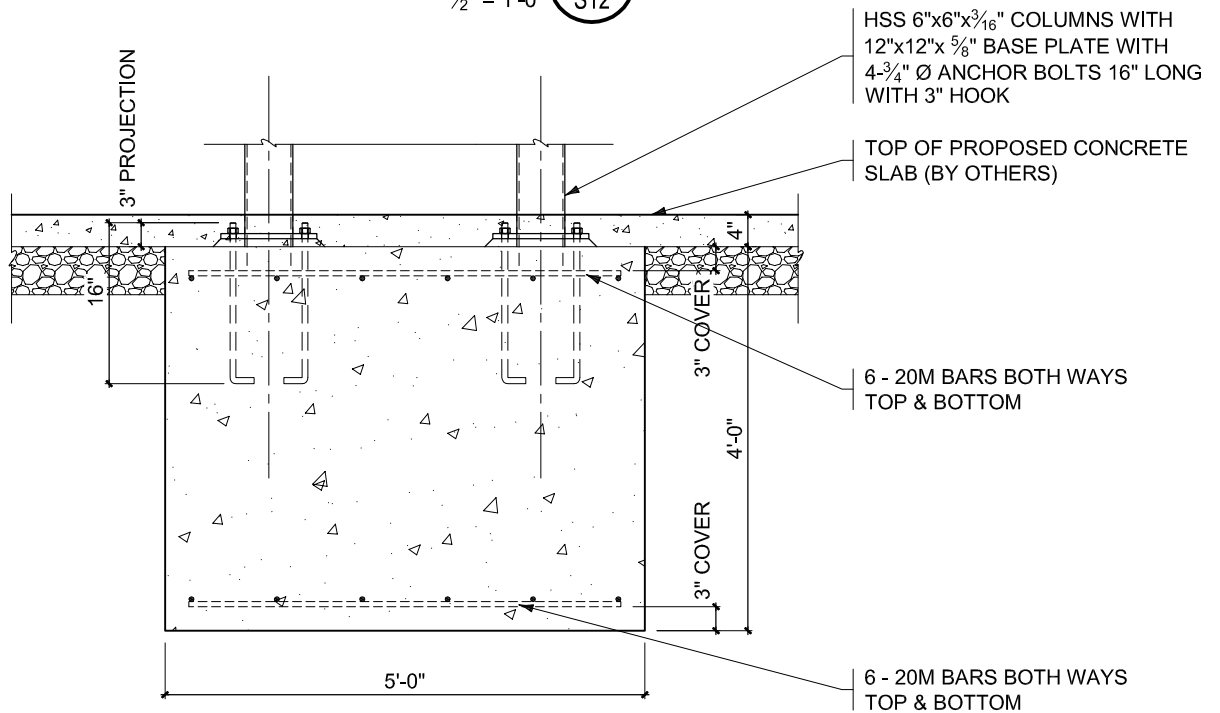


scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S11



PLAN F1 FOOTING

$\frac{1}{2}" = 1'-0"$ 1
S12



SECTION A-A

$\frac{1}{2}" = 1'-0"$ 2
S12



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

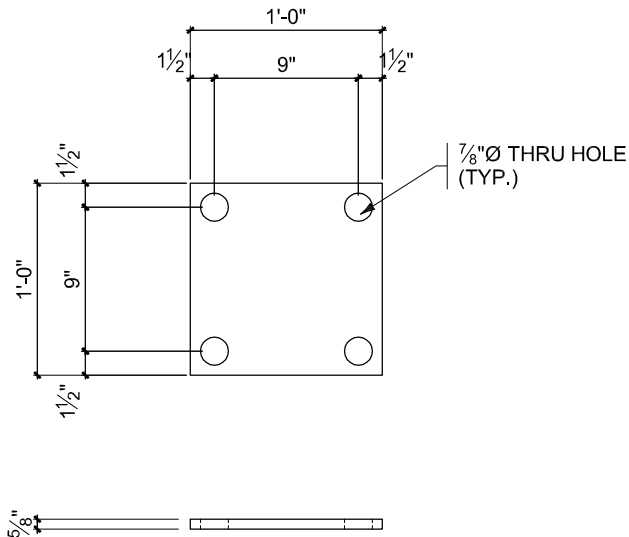
CITY OF VAUGHAN, ON

F1 FOOTING DETAILS

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S12



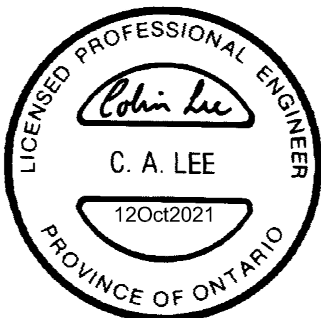
BASE PLATE DETAIL

1" = 1'-0"



NOTES:

1. FOOTING TO BE FOUNDED ON FIRM UNDISTURBED GROUND CAPABLE OF SUPPORTING A MINIMUM OF 110 kPa (2,250 psf) AT ULS AND 75 kPa (1,500 psf) AT SLS. GEOTECHNICAL ENGINEER TO INSPECT EXCAVATION AND CONFIRM ASSUMED BEARING CAPACITY PRIOR TO POURING CONCRETE. IF SOIL CONDITIONS VARY FROM AS DESCRIBED ABOVE, CONTACT STRUCTURAL ENGINEER AND DO NOT POUR CONCRETE FOOTINGS, UNTIL WRITTEN AUTHORIZATION IS RECEIVED FROM STRUCTURAL ENGINEER.
2. PROVIDE 3" COVER TO REINFORCING BARS.
3. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa AT 28 DAYS WITH 5-8% AIR ENTRAINMENT.
4. FOR ANCHOR BOLT LAYOUT SEE DWG. S3.
5. REINFORCING STEEL & EXCAVATION FOR FOOTING TO BE INSPECTED BY STRUCTURAL ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR TO GIVE ENGINEER A MINIMUM OF 48 HOURS NOTICE.
6. DO NOT POUR CONCRETE ON FROZEN GROUND.
7. SIDES OF FOOTING TO BE FORMED.



CARRVILLE DISTRICT RETAIL

35'x35' MONO SLOPE STEEL SHELTER

CITY OF VAUGHAN, ON

BASE PLATE DETAIL AND CONCRETE NOTES

Henderson®
www.hendersonplay.com



scale:	AS NOTED	date:	October 2021
dwn by:	C.A.L.	design by:	C.A.L.
project No.	2277	dwg No.	S14

GRAND TRUNK AVE

CAMPOBELLO ST

ALOUETTE ST

TOTAL LOT AREA
=2,865 M2

PLAYGROUND

TOTAL STRUCTURE AREA
=114 M2

25.13

27.06

0.354

SHADE STRUCTURE
35'X35' MONO SLOPE STEEL
SHELTER BY COVERWORX

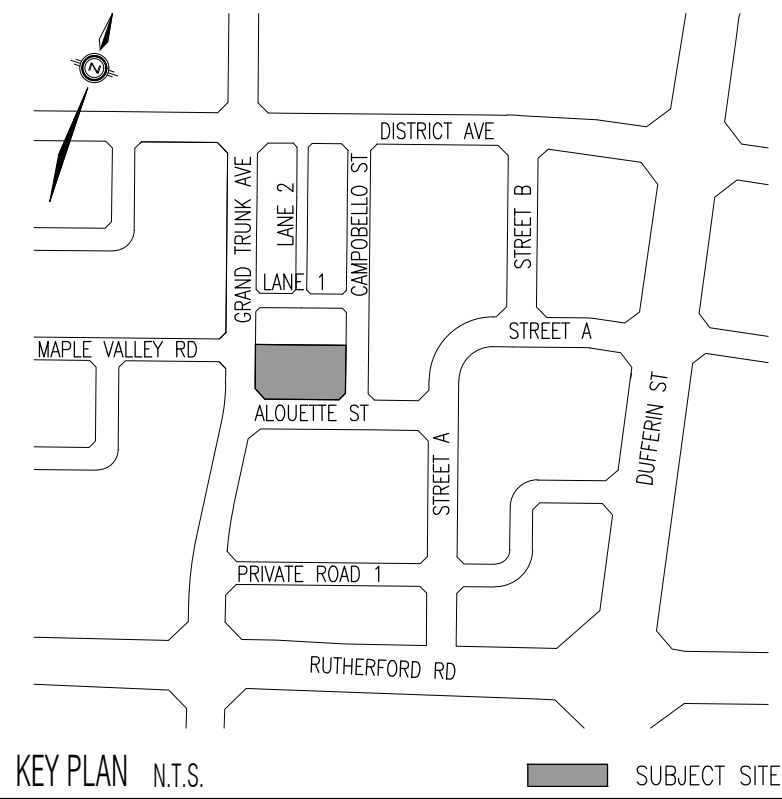
Zoning Classification:

The subject lands are zoned OS1 – Public Open Space Zone and subject to the provisions of Exception 14.1063 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum exterior side yard setback required is 4.5 metres. [Section 4.15.1 a) and Table 12-3]	To permit a minimum exterior side yard setback 0.354 metres to a shade structure.

The subject lands are zoned OS2 – Open Space Park and subject to the provisions of Exception 9(1438) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	The minimum exterior side yard setback required is 15.0 metres. [Section 3.10 b) ii) and Schedule 'A']	To permit a minimum exterior side yard setback 0.354 metres to a shade structure.



LEGEND

---	PROPERTY BOUNDARY
---	SUB-DRAINAGE PIPE
---	DECORATIVE METAL FENCE
---	STORM SEWER
---	SWALE
---	UNIT CONCRETE PAVING
---	CONCRETE PAVING
---	RESILIENT SURFACING
---	SOD PLANTING
---	PROPOSED CATCH BASIN
---	PROPOSED LIGHT STANDARD (REFER TO DRAWINGS PREPARED BY MJS CONSULTANTS INC.)
---	EXISTING STREET TREES TO BE PROTECTED

Base Information

Base information received in digital format from Schaeffers Consulting Engineers, project no. 2014-4413, drawing no. GR-1, dated and received November 13, 2017.

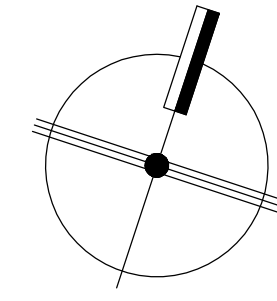
Servicing information received in digital format from Urban Works Engineering Corp. project no.21-0017VA, drawing no. SS-01 dated and received June 29, 2021.

Electrical information received in digital format from MJS Consulting Inc., drawing no. E-1 dated February 1, 2022 and received February 2, 2022.

11	Bench and Footing Clarification	MB	22	10	19
10	Issued for Construction	MB	22	06	30
9	Issued for Building Permit	MB	22	06	16
8	Addendum #03	DP	22	05	03
7	Issued for Tender	MB	22	04	08
No	Revision	By	Yr	Mo	Da

All drawings and designs are the property of Cosburn Associates Limited and may not be used or reproduced without permission. This drawing must not be scaled.

Invalid Unless Signed Original



cosburn nauboris LTD

o r o s o W S

ALOUETTE PARK
NINE-TEN WEST LIMITED
CITY OF VAUGHAN

LAYOUT AND GRADING PLAN

Drawn by	MR	Scale	1:150	L1
Checked by	HN	Plot Date	2023-04-20	
Approved by	HN	Project	2335	
				Drawing No.

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X			No Comments Received to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: May 25th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A066-23**

Related Files:

Applicant Cosburn Nauboris Ltd.

Location 18 Alouette Street

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

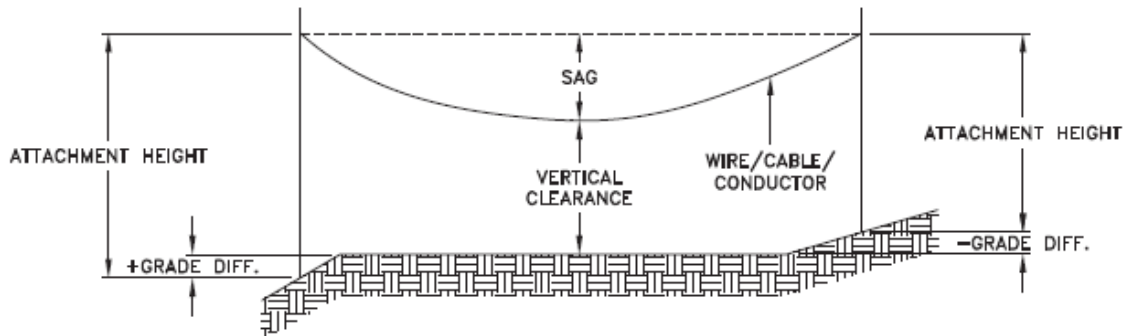
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

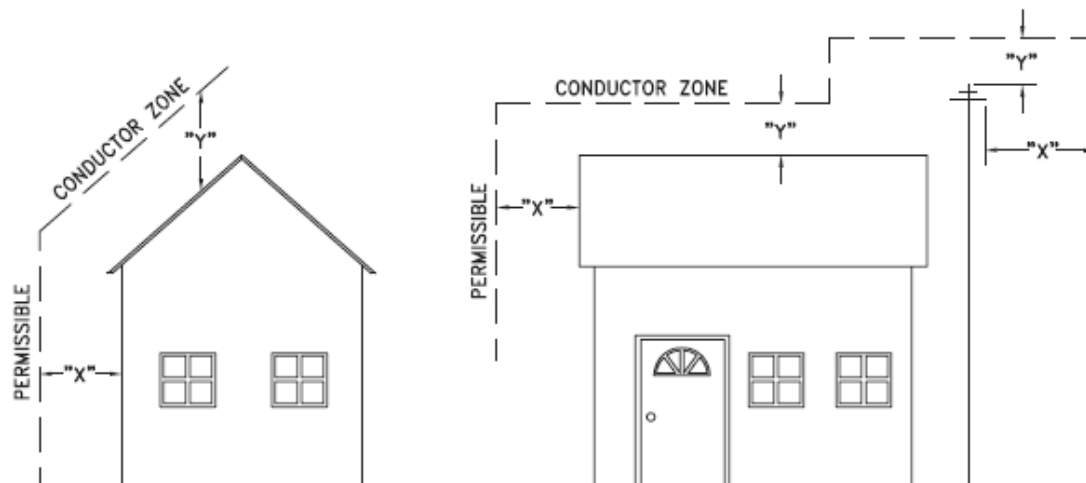
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: April 19, 2023

Applicant: Cosburn Nauboris Ltd.

Location: 18 Alouette Street
PLAN 65M4617, Block 9

File No.(s): A066/23

Zoning Classification:

The subject lands are zoned OS1 – Public Open Space Zone and subject to the provisions of Exception 14.1063 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum exterior side yard setback required is 4.5 metres. [Section 4.15.1 a) and Table 12-3]	To permit a minimum exterior side yard setback 0.354 metres to a shade structure.

The subject lands are zoned OS2 – Open Space Park and subject to the provisions of Exception 9(1438) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The minimum exterior side yard setback required is 15.0 metres. [Section 3.10 b) ii) and Schedule 'A']	To permit a minimum exterior side yard setback 0.354 metres to a shade structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-121271 for Recreation Facility (Government) - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments		
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
2	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.	

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 23, 2023

Name of Owner: Cosburn Nauboris Ltd.

Location: 18 Alouette Street

File No.(s): A066/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum exterior side yard setback of 0.354 m to a shade structure.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum exterior side yard setback required is 4.5 m. [Section 4.15.1 a) and Table 12-3]

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum exterior side yard setback of 0.354 m to a shade structure.

By-Law Requirement(s) (By-law 1-88):

1. The minimum exterior side yard setback required is 15 m. [Section 3.10 b) ii) and Schedule 'A']

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Parks", Volume 2, Section 11.2 Carrville Centre Secondary Plan.

Comments:

The Owner is requesting permission to reduce the minimum exterior side yard setback to a shade structure to facilitate the previously approved application (File 19T-00V17) that permitted the development of 204 single detached dwellings, 102 semi-detached dwellings, ninety townhomes, school, community centre and park. Council approved the above noted file on June 27, 2017.

Development Planning has no objection to the Variance, which is to permit an unenclosed shade structure in the park being constructed as part of the above-noted subdivision file. The shade structure, which is proposed to have a flat roof, is at an angle to the city right-of-way, providing a spatial separation of about 5 metres between the property line and edge of the travelled portion of Alouette Street at its nearest point. The reduced exterior setback is measured at a pinch point which increases in distance to the northwest. It should be noted that the shade structure abuts and is anticipated to provide occupants with direct visibility of the playground. Parks Infrastructure Planning and Development Department has confirmed the proposed site plan is consistent with what has been approved by their department.

The Development Planning Department is of the opinion that the requested Variance is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:

Roberto Simbana, Planner
David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None