

ITEM: 6.7	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A037/23 150 WOODBRIDGE AVE, WOODBRIDGE
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A037/23
150 WOODBRIDGE AVE, WOODBRIDGE**

ITEM NUMBER: 6.7	CITY WARD #: 2
APPLICANT:	City of Vaughan (Public Library Board)
AGENT:	Organica Studio +
PROPERTY:	150 Woodbridge Ave, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Special Policy Areas" by Schedule 8 - Land Use and "Low-Rise Mixed-Use," Volume 2, Section 11.11, Woodbridge Centre Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed renovation to the existing Woodbridge Library. The proposed renovation is to remove a small portion of the existing library (glass atrium) and incorporate the existing outdoor courtyard (colonnade) into a new and enclosed space.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned WMS-S (4-6)-D (1.5-1.8)-1052,191 and subject to the provisions of Exception 14.1052 and 14.191 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 1.8 metres is required. [Section 8.3.2, Table 8-5]	To permit a minimum interior side yard setback of 0.0 metres.[East side]
2	A maximum lot coverage of 50% is permitted. [Section 8.3.2, Table 8-5]	To permit a maximum lot coverage of 93.2%.
3	A minimum of 1.0 parking space is required for the addition. [Section 6.3.5, Table 6-2]	To permit 0.0 parking spaces for the addition.
4	A minimum of 1.0 Type A Barrier-free parking space is required for the addition. [Section 6.4.3, Table 6-4]	To permit 0.0 Barrier-free parking spaces for the addition.
5	A minimum 10% landscaping is required. [Section 8.3.2, Table 8-5]	To permit a minimum of 4.2% landscaping.
6	A minimum 4 Storeys is required. [Schedule A]	To permit a 1 storey addition.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 1, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	May 18, 2023	
Date Applicant Confirmed Posting of Sign:	May 10, 2023	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Our proposal is to expand the front of the existing library to encompass the area of the open courtyard/colonnade. This area is already part of the library externally and will now be enclosed to permit greater internal area use. Providing additional parking will not be possible as there are already six spots (regular) and 2 (barrier-free) reserved for the library within the shared parking lot at rear. There is also available street parking which users can access on Woodbridge Avenue.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Development Engineering (DE) Department does not object to the variance application A037/23.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
No comments.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comments.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

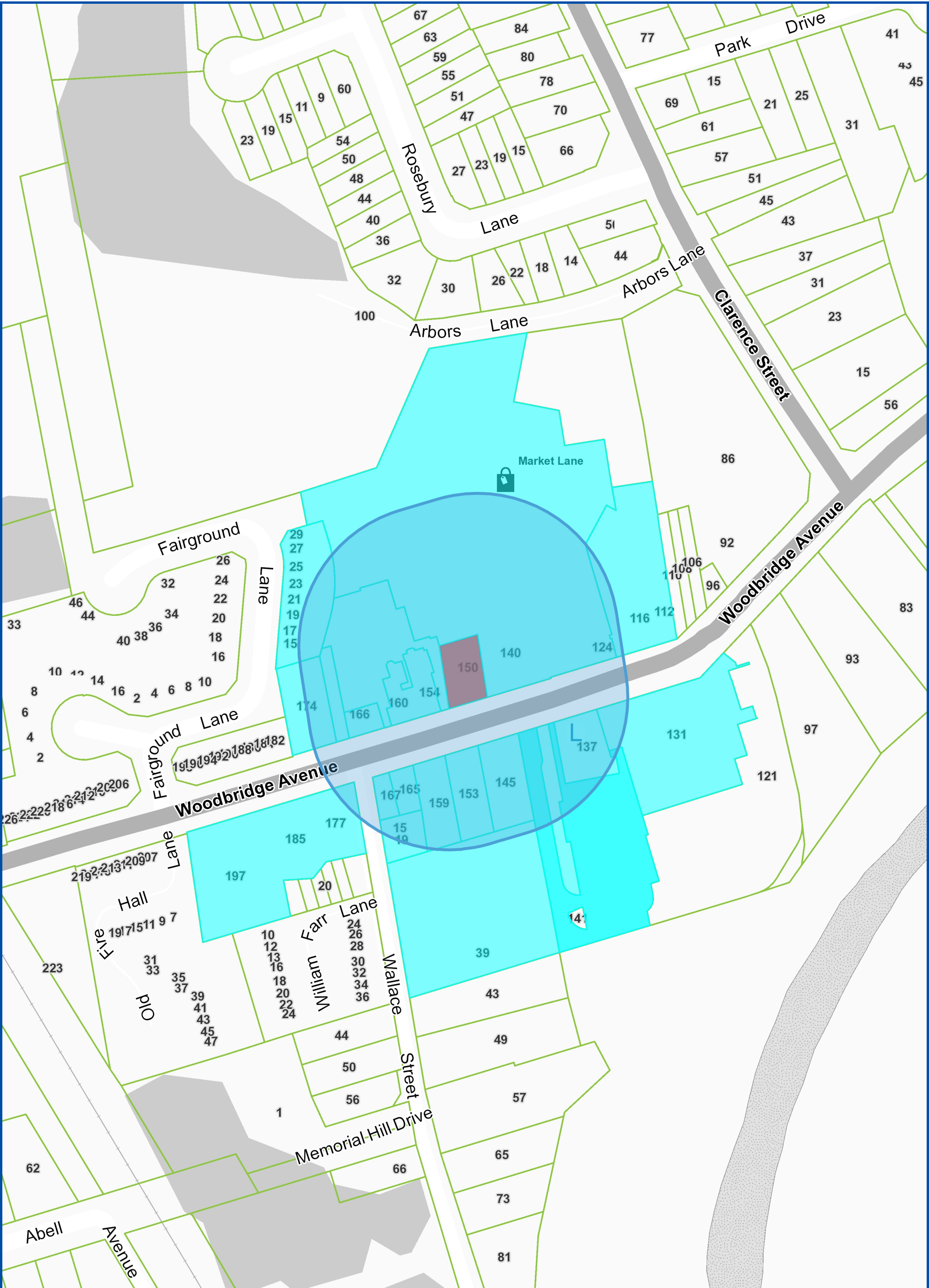
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

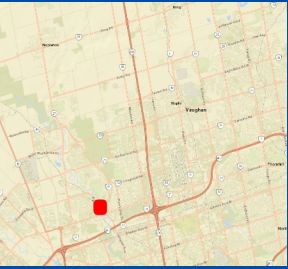
IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

NOTIFICATION MAP - A037/23

150 Woodbridge Avenue, Woodbridge

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:
Infrastructure Delivery
Department
May 9, 2023 11:44 AM

Projection:
NAD 83
UTM Zone
17N

By Christine Vigneault at 4:42 pm, May 24, 2023

SITE INFORMATION:
ZONING B-LAW: 1-88
ZONING DESIGNATION: C4 (COMMERCIAL,

PROPOSED BUILDING METRICS		
EXIST BASEMENT FLOOR AREA	473.10 sq.m.	5,092.40 sf.
PROPOSED GROUND FLOOR AREA	496.13 sq.m.	5,372.59 sf.
PROPOSED GROSS FLOOR AREA	972.23 sq.m.	10,465.00 sf.
PROPOSED LOT DENSITY (F/S)	0.5%	
PROPOSED LOT COVERAGE	93.2%	
PROPOSED LOT AREA	1.0 ha.	
PROPOSED FRONT YARD LANDSCAPING	23 sq.m.	247.57 sf.
PROPOSED REAR YARD LANDSCAPING	0.00m	0.00'
PROPOSED FRONT YARD SETBACK	2.22m	7.28'
PROPOSED REAR YARD SETBACK	0.00m	0.00'
PROPOSED SIDE YARD SETBACK 1	0.00m	0.00'
PROPOSED SIDE YARD SETBACK 2	0.00m	0.00'
PROPOSED BARRIER-FREE PARKING	0.0 PARKING SPACES	

NOTE: CLOUDED STATISTICS ARE VARIANCES REQUESTED FOR THIS APPLICATION AS PER BY-LAW 01-2021

EXISTING/PROPOSED WOOD FENCE

NO	DESCRIPTION	DATE
1	ISSUED FOR REVIEW AND APPROVAL TO HERITAGE	2023.02.06
2	ISSUED FOR WORKS VARIANCE APPLICATION	2023.03.03
3	ISSUED FOR WORKS VARIANCE APPLICATION	2023.03.03
4	ISSUED FOR SITE COORDINATION	2023.04.13
5	ISSUED FOR WORKS VARIANCE APPLICATION R1	2023.04.14
6	ISSUED FOR ZONING REVIEW (R2)	2023.05.08
7	ISSUED TO COUNCIL FOR COMMENT	2023.05.08

WOODBRIDGE LIBRARY

SCALE	As Indicated
DATE	5/24/2023 10:56:48 AM
DRAWN	YS
CHECKED	PA
PROJECT NUMBER	22077
SHEET	

A2.1

FILE NAME: X:\Organica Projects\2023\22077 - 150 Woodbridge Ave. - Vaughan Public Library (Revit Model)\22077 - 150 Woodbridge Ave. - Set in Building - STRAIGHT ROOF.rvt
PLOT DATE: 5/24/2023 10:56:48 AM

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X			No Comments Recieved to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: May 25th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A037-23**

Related Files:

Applicant Vaughan City Public Library Board

Location 150 Woodbridge Ave

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

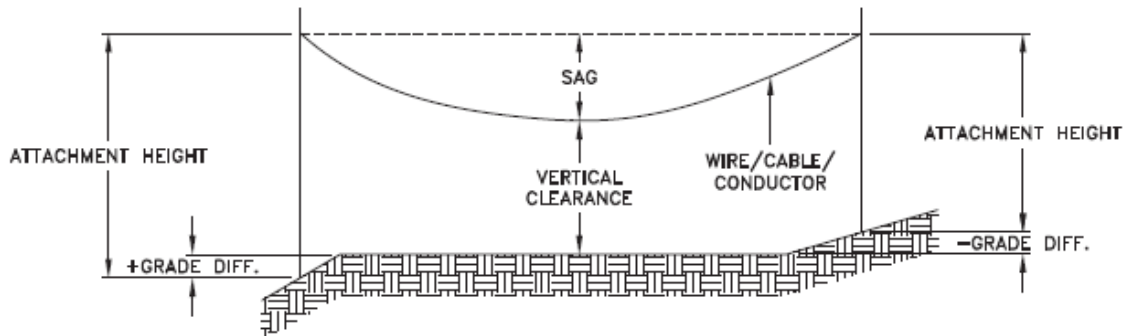
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

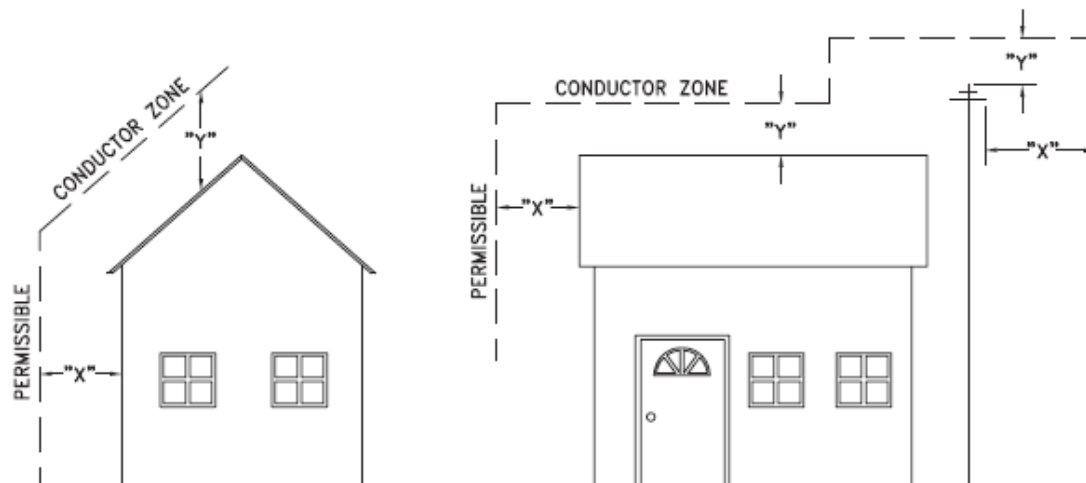
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment

From: Gregory Seganfreddo, Building Standards Department

Date: May 11th, 2023

Applicant: Vaughan City Public Library Board

Location: 150 Woodbridge Avenue
PLAN RP546 Part of Lot C

File No.(s): A037/23

Zoning Classification:

The subject lands are zoned WMS-S (4-6)-D (1.5-1.8)-1052,191 and subject to the provisions of Exception 14.1052 and 14.191 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 1.8 metres is required. [Section 8.3.2, Table 8-5]	To permit a minimum interior side yard setback of 0.0 metres.[East side]
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3	A minimum of 1.0 parking space is required for the addition. [Section 6.3.5, Table 6-2]	To permit 0.0 parking spaces for the addition.
4	A minimum of 1.0 Type A Barrier-free parking space is required for the addition. [Section 6.4.3, Table 6-4]	To permit 0.0 Barrier-free parking spaces for the addition.
5	A minimum 10% landscaping is required. [Section 8.3.2, Table 8-5]	To permit a minimum of 4.2% landscaping.
6	A minimum 4 Storeys is required. [Schedule A]	To permit a 1 storey addition.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

1. None required.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 25, 2023

Name of Owner: Vaughan City Public Library Board

Location: 150 Woodbridge Avenue

File No.(s): A037/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum interior side yard setback of 0.0 m.
2. To permit a maximum lot coverage of 93.2%.
3. To permit 0.0 parking spaces for the addition.
4. To permit 0.0 Barrier-free parking spaces for the addition.
5. To permit a minimum of 4.2% landscaping.
6. To permit a 1 storey addition.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum interior side yard setback of 1.8 m is required.
2. A maximum lot coverage of 50% is permitted.
3. A minimum of 1.0 parking space is required for the addition.
4. A minimum of 1.0 Type A Barrier-free parking space is required for the addition.
5. A minimum 10% landscaping is required.
6. A minimum 4 storeys is required.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Special Policy Areas" by Schedule 8 - Land Use, "Low-Rise Mixed-Use," by Schedule 2 – Land Use Plan and "Woodbridge Commercial Core" by Schedule 5 – Distinct Character Areas, Volume 2, Section 11.11, Woodbridge Centre Secondary Plan

Comments:

The Owner is requesting relief to permit the construction of a one-storey addition to the existing one-storey Woodbridge Public Library with the above-noted variances. The addition is proposed where the outdoor courtyard facing Woodbridge Avenue and part of the building abutting the courtyard currently are. The glass atrium is the largest portion of the building to be removed. The addition will provide a new library entrance and lounge area. As per Site Plan Control By-law 123-2013, City of Vaughan projects are exempt from Site Plan Control and will not be subject to conditions of Site Plan Approval. The addition has been reviewed by the Heritage Vaughan Committee whose recommendation was approved by Council on April 18, 2023.

The library is located within the Woodbridge Commercial Core, an area recognized for its distinct character within the larger Woodbridge area. The centre is an important community and commercial hub for the area and is defined by a mix of uses, such as commercial, residential, and institutional uses. The Development Planning Department has no objection to Variances 1, 2, 5 and 6 to permit the addition to the Woodbridge Public Library. Most of the addition is proposed within space that is already covered. Therefore, most of the relief sought from the lot coverage requirement (Variance 2) recognizes an established condition. The existing outdoor courtyard is bordered on the south and east sides by 1 storey colonnades. While the courtyard is uncovered, the colonnades present a mass similar to a covered built form. Therefore, the slight increase to lot coverage beyond what is already existing is not anticipated to adversely impact the character of the neighbourhood. The 0.0 m interior side yard setback and 1-storey height are the current conditions of the existing library. Reduced setbacks are common in the buildings along this segment of Woodbridge Avenue. Variances 1 and 6 propose to maintain continuity with the library's existing built form. The proposed landscaping (Variance 5) is a slight reduction to the existing landscaping as a portion of the planter within the outdoor courtyard will be removed to facilitate the addition. Therefore, the proposed development standards are appropriate for an institutional building in the

context of the neighbourhood and streetscape and are not anticipated to have adverse impacts on the neighbouring properties.

The Development Planning Department has no objection to Variances 3 and 4 for the proposed reduction to the parking spaces. The property does not have on-site parking, nor is there appropriate space to accommodate any. The proposal has been reviewed by the Transportation Engineering Division of the Development Engineering Department and they have no concerns.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I

David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

Committee of Adjustment Application – Minor Variance

Project: Woodbridge Public Library

Address: 150 Woodbridge Avenue, Woodbridge ON

This application is to address the proposed renovation to the existing Woodbridge Library. The proposed renovation is to remove a small portion of the existing library (glass atrium) and incorporate the existing outdoor courtyard (colonnade) into a new and enclosed space. The incorporation of the courtyard will increase the ground floor area by approx. 26.20 sq.m. In order to accommodate the proposal we are seeking relief on the following zoning requirements:

ZONING is WMS- S(4)-D(0.5)Main Street Mixed-Use – Maple Zone.

1. WMS-S(4)-D(0.5) will requires a maximum Density (Floor Space Index) of 0.5. The calculation is the Gross Floor Area Divided by the total lot are. Ground Floor of 473.10 sqm (basement is not included in calculation) / Lot area 535.60 = 0.883 ; Relief is required to allow for a greater Density.
2. WMS zoning has a maximum lot coverage of 50% and the new addition will now propose a maximum lot coverage of 93.2 %;
3. Since the new addition will be closer to the Easterly Lot line, than 0.6 metres (per section 4.15.1 b) relief from the by-law will be required.
4. The minimum parking requirement with the WMS zone would be 1.4 parking spaces per 100 sqm, thus $26.20 \times 1.4 / 100 = 0.36$ rounding up to 1.0 addition parking space required. As per section 6.2.2 found below. (it does not seem like there is any parking a lotted on the property, non the less, relief would be required).
5. The one additional Parking space would also required, 1 additional Barrier-Free Parking Space as per section 6.4.3 and Table 6-4

Christine Vigneault

To: PASQUALE AIELLO

Subject: RE: [External] RE: New File: A037/23 - 150 Woodbridge Avenue - Stage 1, Preliminary Review

Good Afternoon Joshua,

The renovation of the library will be to improve internal circulation, accessibility and increase program functionality. Currently the library suffers from poor internal circulation and does not provide an area on the ground floor for program usage which will benefit those with disabilities. The area that we propose to expand into is the current open courtyard (colonnade), this area is approx. 26 sq.m. This small area would greatly increase the area for the vestibule to allow for much more room than what is currently available and provide better turning areas for those in wheelchairs, as well as provide better circulation in front of the current elevator. Overall, the goal is to increase visibility, lighting, accessibility, and program functionality within the library. This will be achieved through the new space created on the ground floor as well as the expanded space on the mezzanine level. A new higher split sloped roof will provide greater internal heights and natural lighting, the new roof peak will not exceed the height of the current elevator tower. Please feel free to contact me if you require any further details.

Thank you,

Pasquale Aiello

Principal

B. Arch. Sci, Lic. Tech OAA, Int'l Assoc. AIA



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