

ITEM: 6.2	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A025/23 153 POLO CRESCENT, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A025/23
153 POLO CRESCENT, WOODBRIDGE**

ITEM NUMBER: 6.2	CITY WARD #: 3
APPLICANT:	Angela Coluccio and Fabio Oliveira
AGENT:	Robert Pasutto
PROPERTY:	153 Polo Crescent, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed pavilion, an existing shed and reduced landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum side yard setback of 2.4m is required to the proposed residential accessory structure. [4.1.2.b]	To permit a minimum side yard setback of 1.0m to the proposed residential accessory structure.
2	A minimum interior side yard setback of 1.5m is required to the existing residential structure (storage shed). [Table 7-3]	To permit a minimum side yard setback of 0.39m is required to the existing residential structure (storage shed).
3	A maximum height of 3.0m is permitted for the proposed residential accessory structure. [4.1.4.1]	To permit a maximum residential accessory structure height of 3.20m.
4	In the R1A Zone, any portion of a yard in excess of 135 m2 shall be comprised of a minimum of 60% soft landscape. [4.19.1.1].	To permit a minimum of 41.53% 54.3% of the area of the rear yard in excess of 135 sq. m. to be comprised of soft landscaping. *Landscaping % increased, variance confirmed by applicant using Zoning Review Waiver

HEARING INFORMATION

DATE OF MEETING: Thursday, June 1, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	May 18, 2023
Date Applicant Confirmed Posting of Sign:	May 15, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The pavilion that I would like to build is larger than what is allowed under the by-law. I would like to build a pavilion so I can have some shade in the backyard for my family to enjoy. Underneath the pavilion we will be adding a closed room for a bathroom for our guests and an outdoor bbq area to serve our guests.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On May 12, 2023, Development Planning provided the following:</p> <p>Development Planning has now completed our review of the Minor Variance application. Our Urban Design division has also provided the attached comments that must be addressed. Development Planning is not in a position to support the variance for the proposed reduction to the rear yard soft landscaping. We believe that the proposal for 41.5% soft landscaping is not considered minor in this case. Please explore the possibility of retaining more soft landscaping throughout the yard. Some options include retaining more soft landscaping west of the pool and increasing the softscape areas adjacent to the dwelling.</p> <p>We also support the recommendation for adding hedge plantings between the cabana and the existing fence to assist in mitigating the impact the cabana will have on the neighbouring property.</p> <p>On May 23, 2023 the applicant provided a revised submission increasing the soft landscaping from 41.53% to 54.3% to address Planning recommendations.</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes
Adjournment Fees:	

COMMITTEE OF ADJUSTMENT COMMENTS

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	Should the application require adjournment from the June 1 hearing, an adjournment fee in the amount of \$591.00 is required to reschedule the application.
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Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed structures in the subject property is more than 10 m² (in-ground pool is 50.16 m² and pavilion is 32.52 m²), the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A025/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Homeowner has acknowledged they will install tree protection for the front city tree at a site meeting May 5th 2023 10:20 a.m.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

DEVELOPMENT FINANCE COMMENTS

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

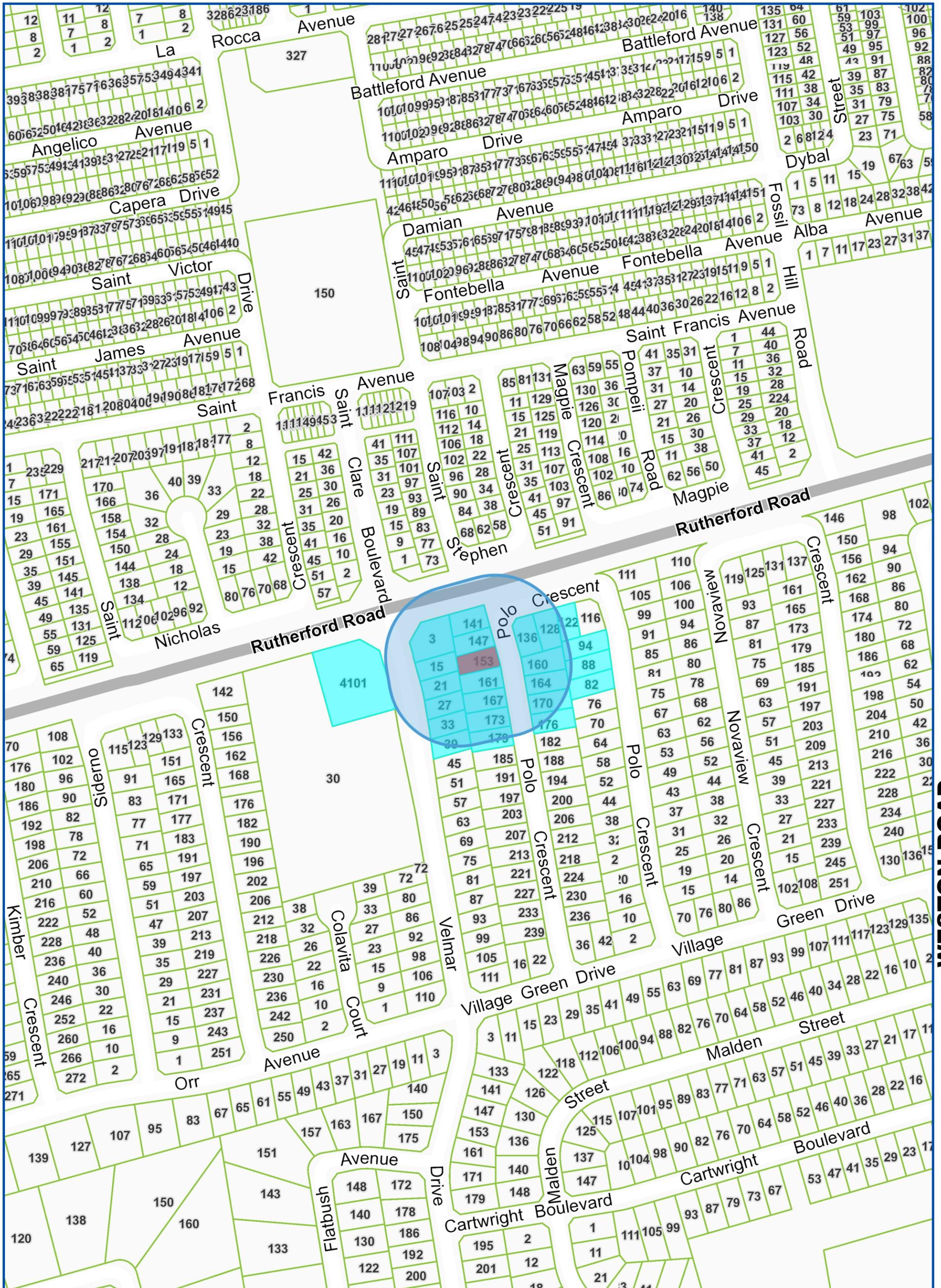
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

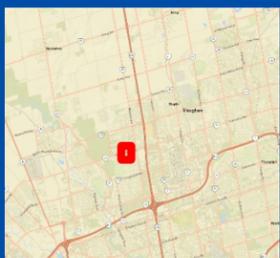
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

153 Polo Crescent, Woodbridge

NOTIFICATION MAP - A025/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



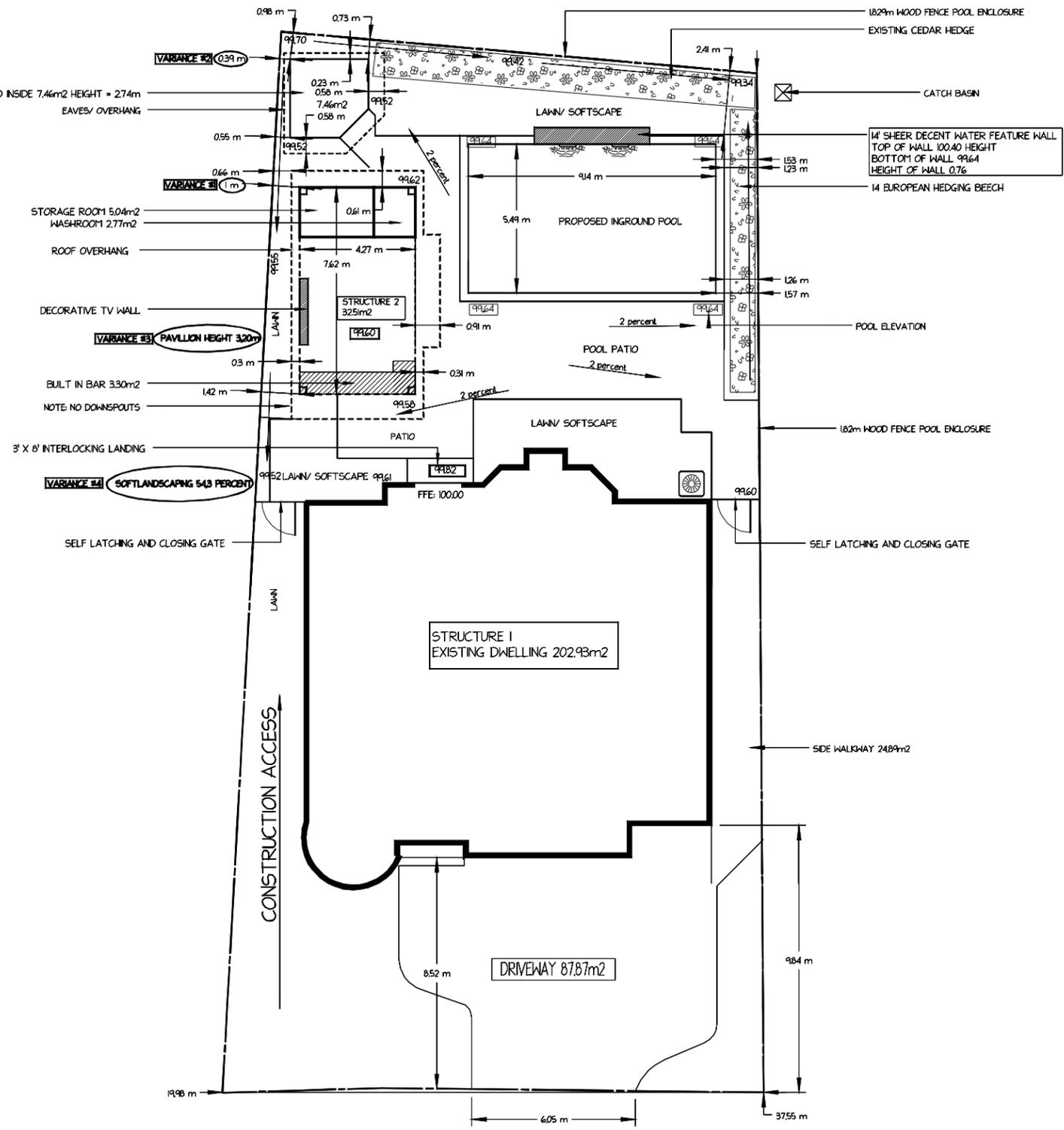
Created By:

Infrastructure Delivery
Department
May 8, 2023 10:40 AM

Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 1:33 pm, May 24, 2023

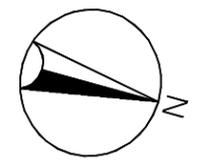


153 POLO CRESCENT
WOODBIDGE ON
LOT # 21

NOTES:
FULL LOT 720.12m²
STRUCTURE 1: 202.93m²
STRUCTURE 2: 325m²
STRUCTURE 3: 7.46m²
REAR LOT: 289.82m² = 100 PERCENT
MINUS PERMIABLE ALLOWANCE 135m² = 46.82m²
REAR SOFT = 84.08 m² = 54.3 PERCENT
REAR HARD = 70.73 m² = 45.7 PERCENT
PROPOSED POOL = 50.16m²

DOWNSPOUT 
DRAINAGE 
EXISTING GRADES 00.00
PROPOSED GRADES 00.00

NOTES:
-NO GRADE CHANGES OR
HARDSCAPING WITHIN 0.6m
OF THE PROPERTY LINE WILL
BE MADE
- ALL STRUCTURES INCLUDE EVES

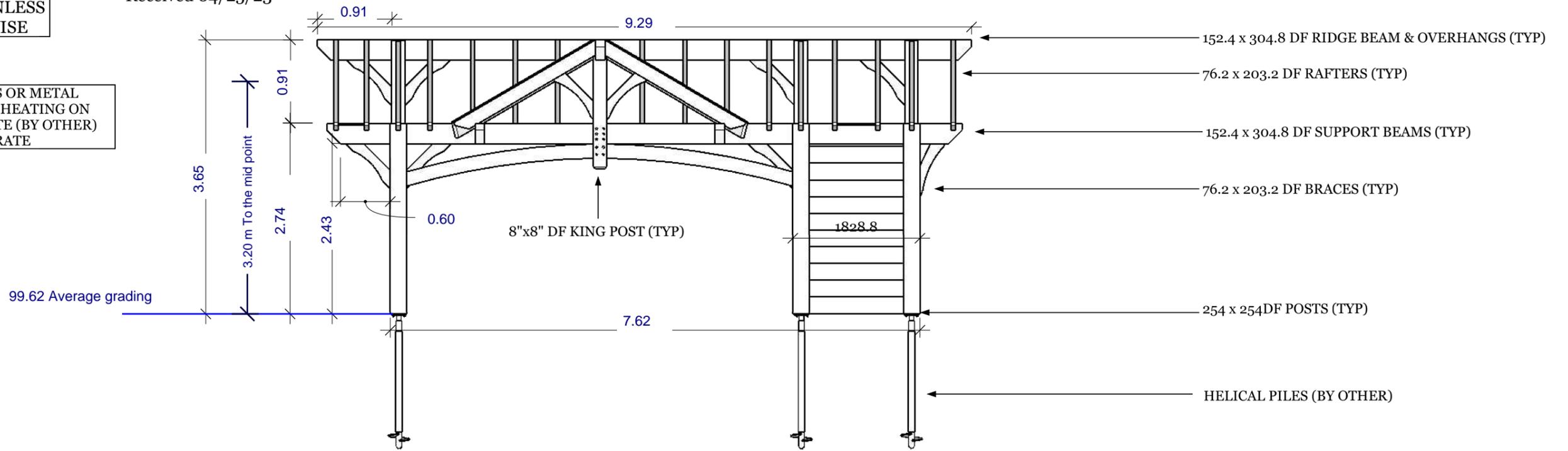


SCALE: 1:200
DATE: 2023-05-23
DESIGN: POOL PERMIT PLAN

ALL LUMBER IS #1 DOUGLAS FIR UNLESS NOTED OTHERWISE

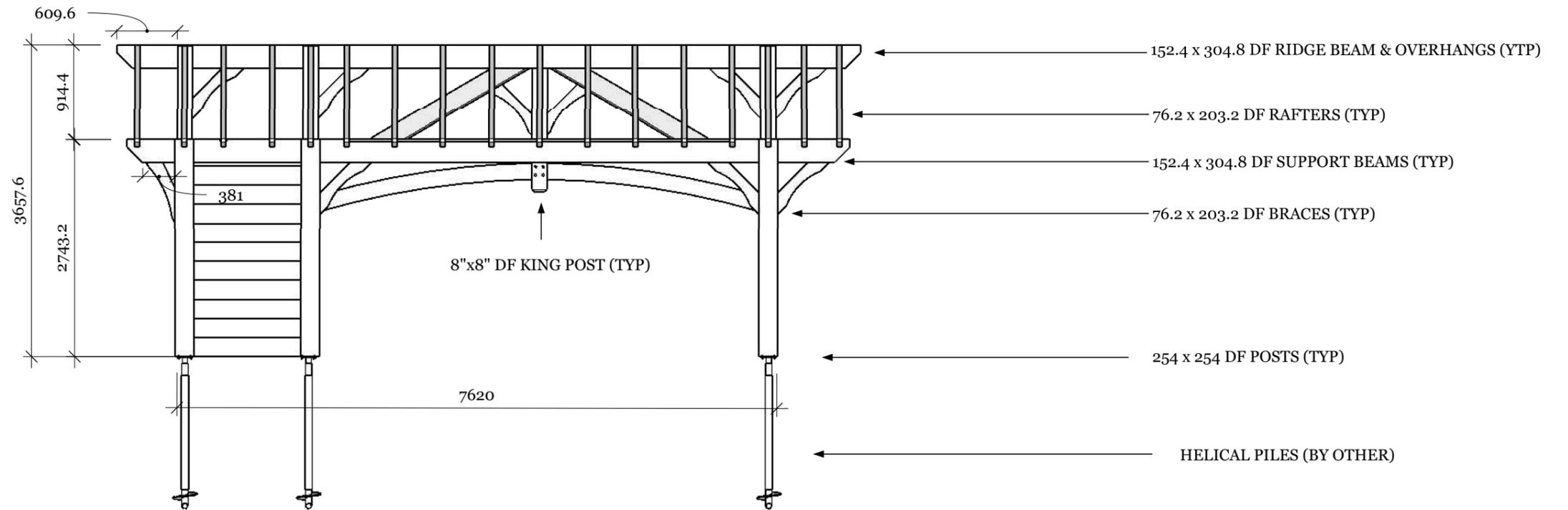
ASPHALT SHINGLES OR METAL ON 1/2" PLYWOOD SHEATING ON 1/6" PINE SUBSTRATE (BY OTHER) OR 2/6" PINE SUBSTRATE

Received 04/25/23



FRONT ELEVATION

25.4=1625.6



REAR ELEVATION

25.4=1625.6



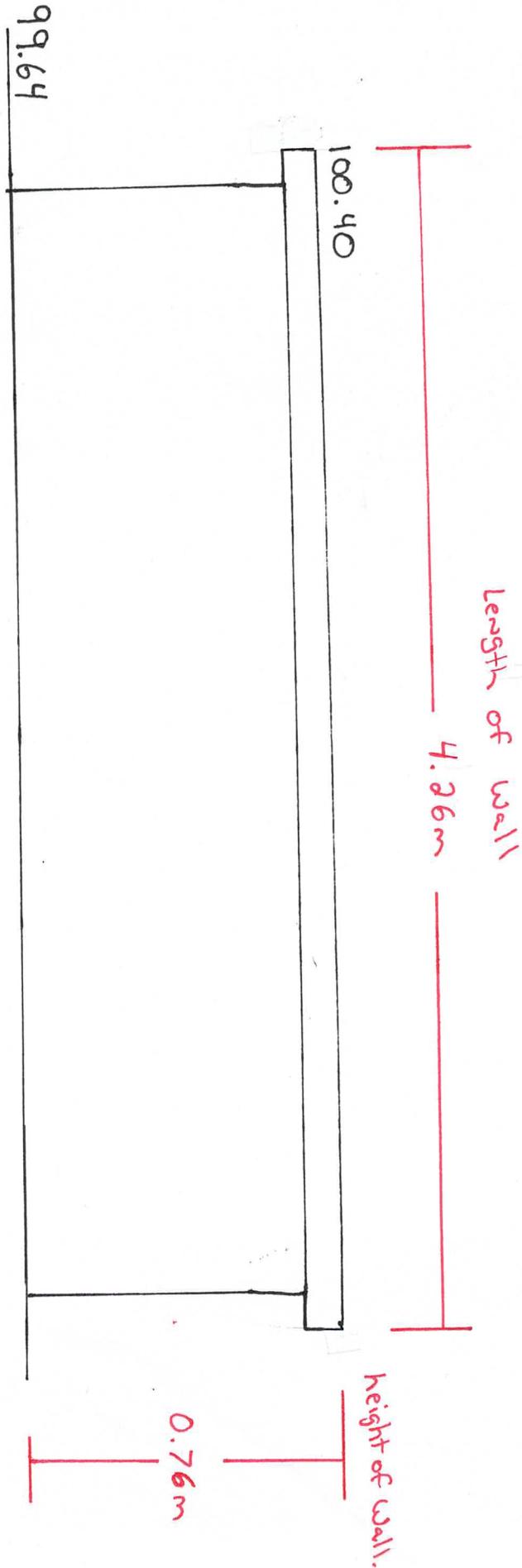
REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

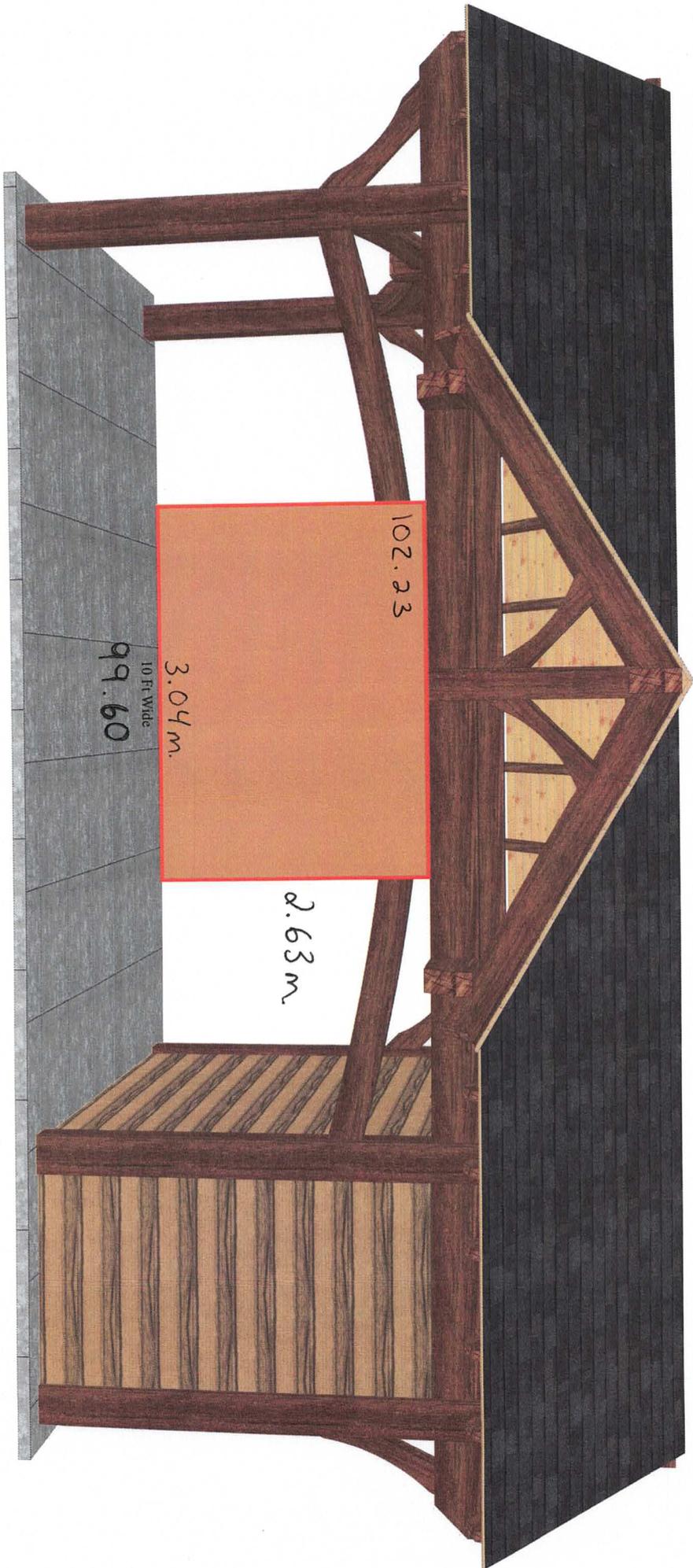
DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

RECEIVED

By Christine Vigneault at 9:29 am, May 17, 2023

water feature wall
153 Polo Crescent





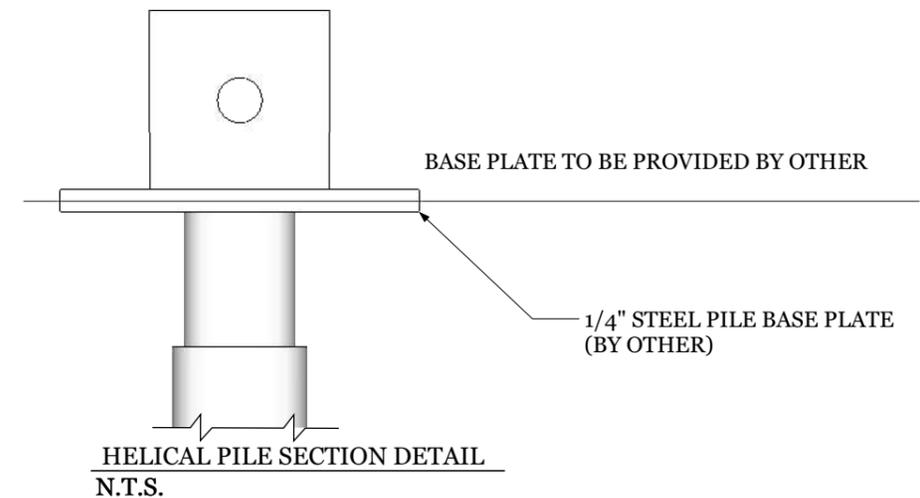
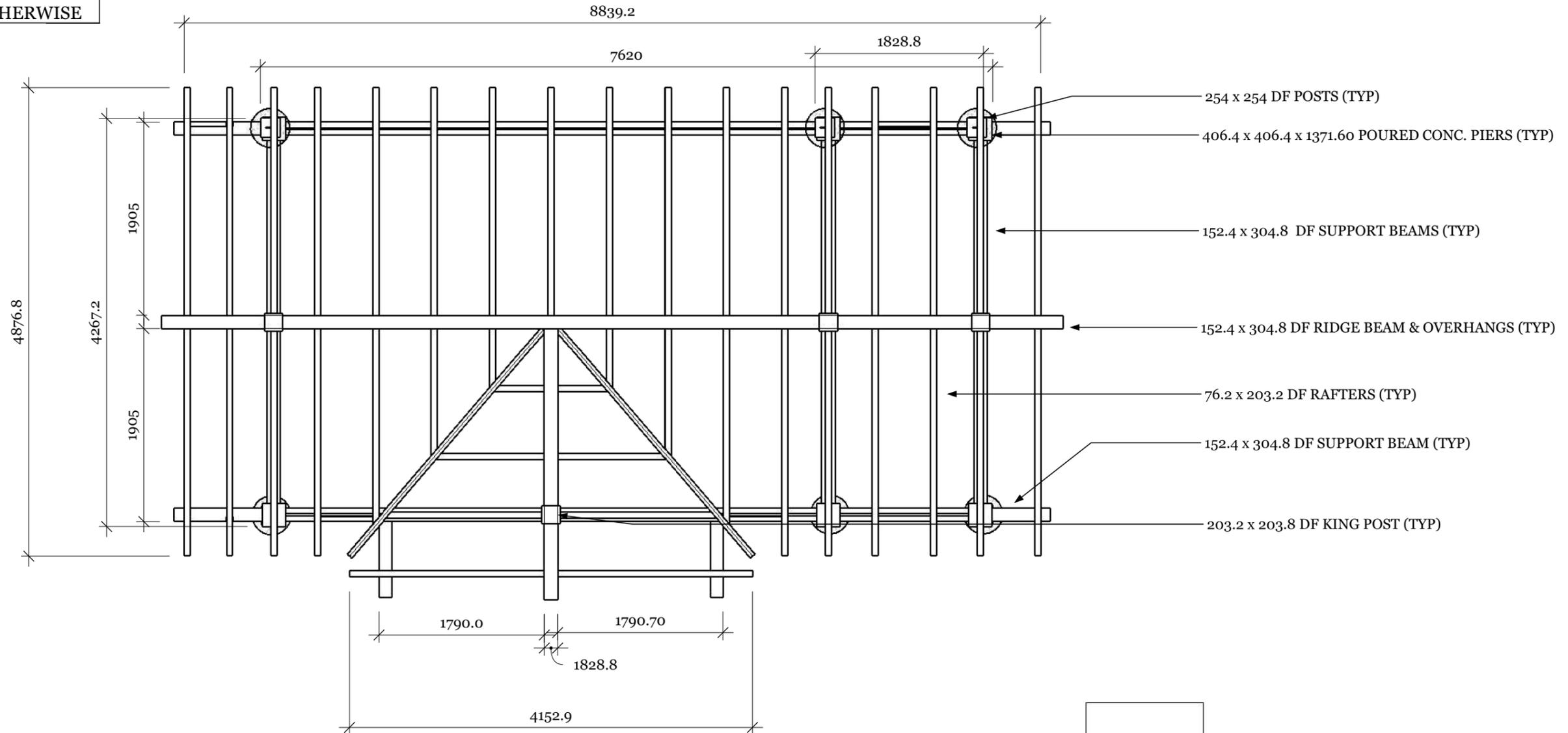
102.23

3.04 m.

2.63 m.

99.60
10 Ft Wide

ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE



PLAN VIEW
6.35=25.4

The ELITE
ENGINEERING GROUP Inc.
58 ROSSITER ROAD
INGERSOLL, ONTARIO - N5C 4E1
519.280.5384
www.eliteengineeringgroup.com

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

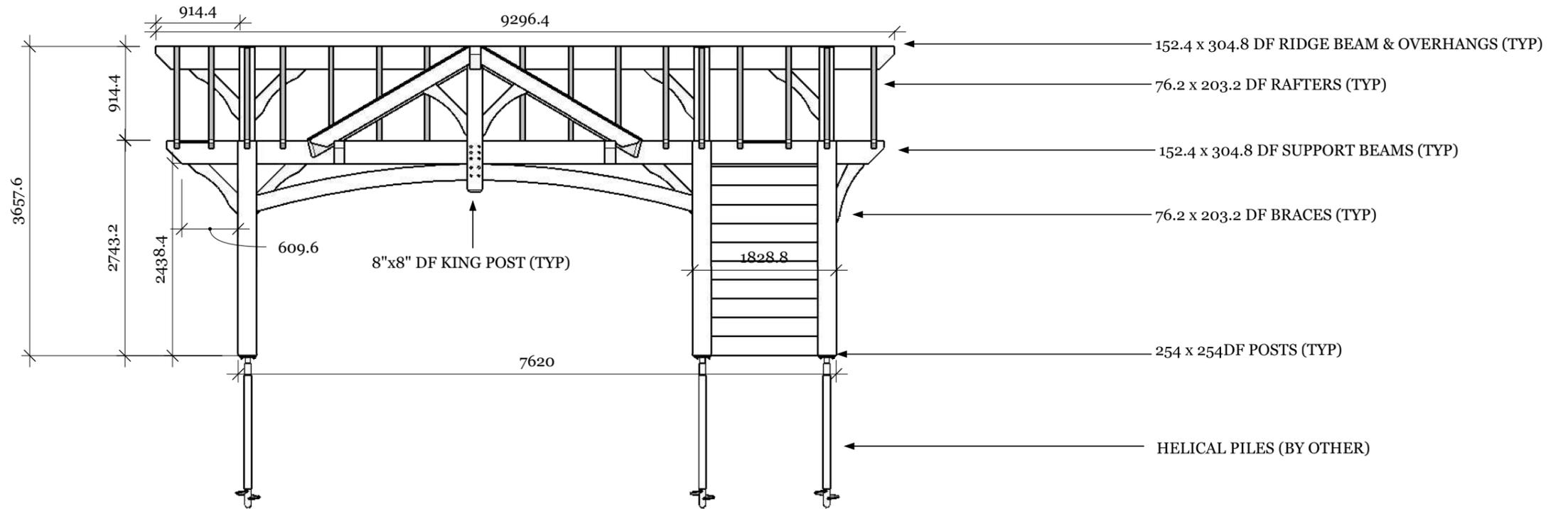
TIMBERKITS™
by Country Log Homes

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: Plan & Pier Footing Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

A 01

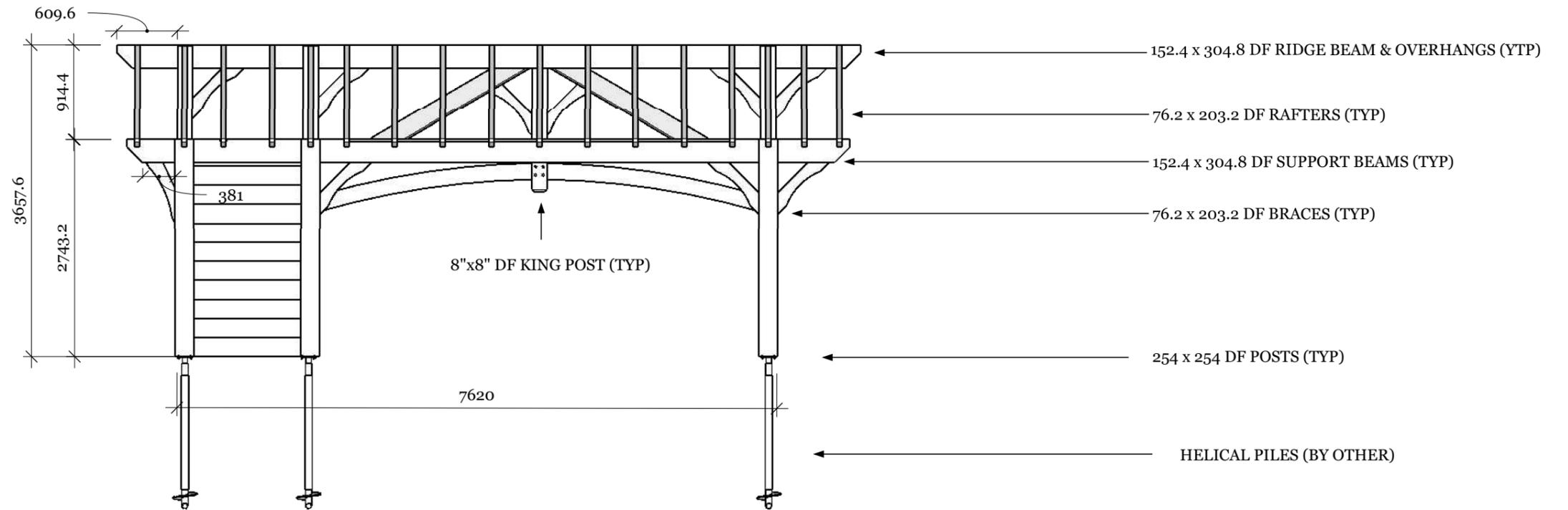
ALL LUMBER IS #1 DOUGLAS FIR UNLESS NOTED OTHERWISE

ASPHALT SHINGLES OR METAL ON 1/2" PLYWOOD SHEATING ON 1/6" PINE SUBSTRATE (BY OTHER) OR 2/6" PINE SUBSTRATE



FRONT ELEVATION

25.4=1625.6



REAR ELEVATION

25.4=1625.6

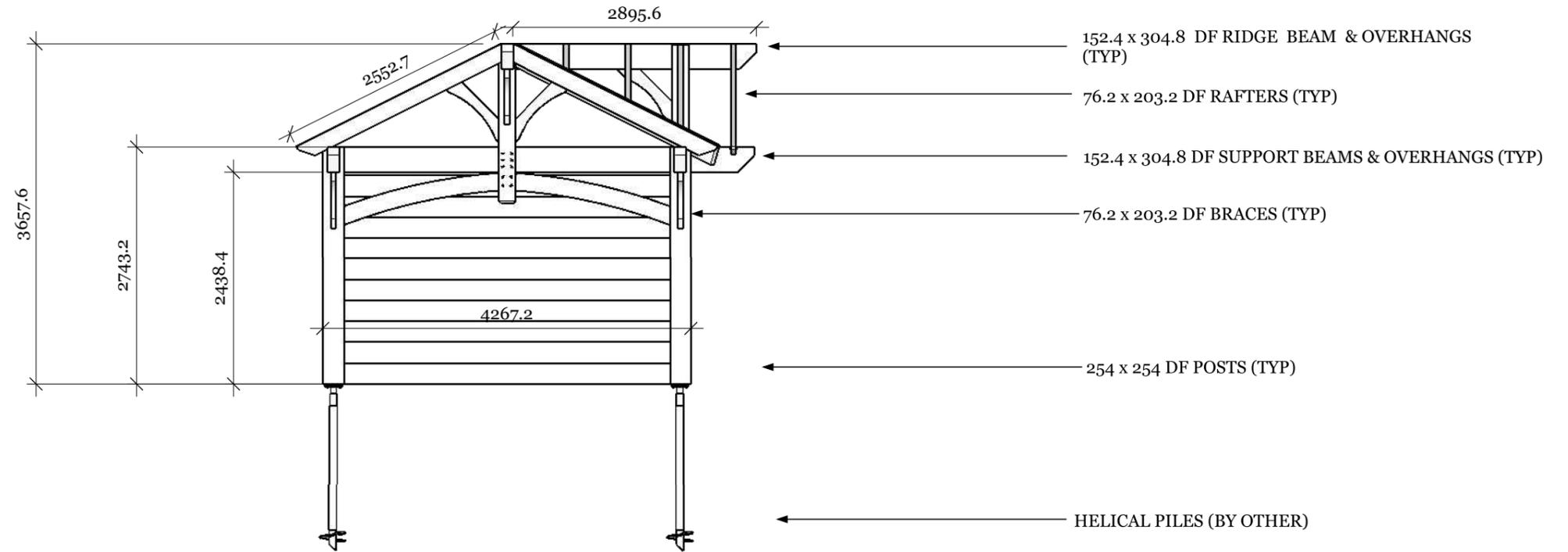


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

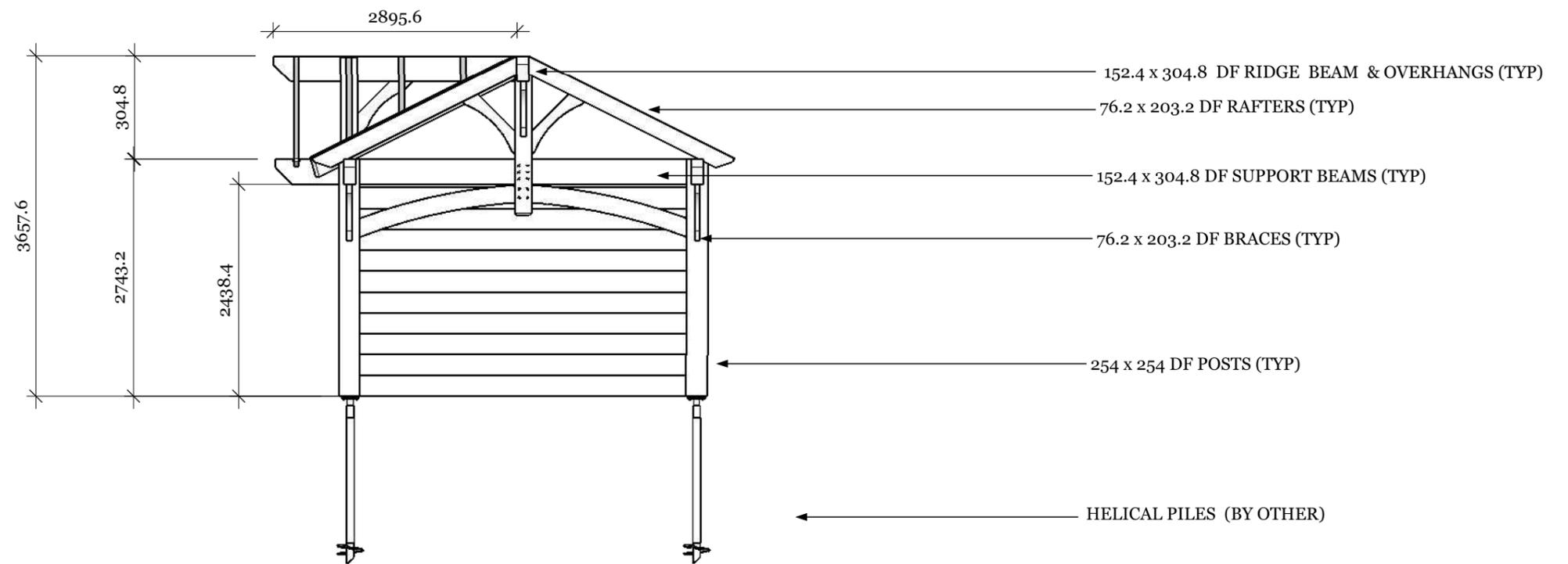
ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE

ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
1/6" PINE SUBSTRATE (BY OTHER)
OR 2/6" PINE SUBSTRATE



SIDE ELEVATION

25.4=1625.6



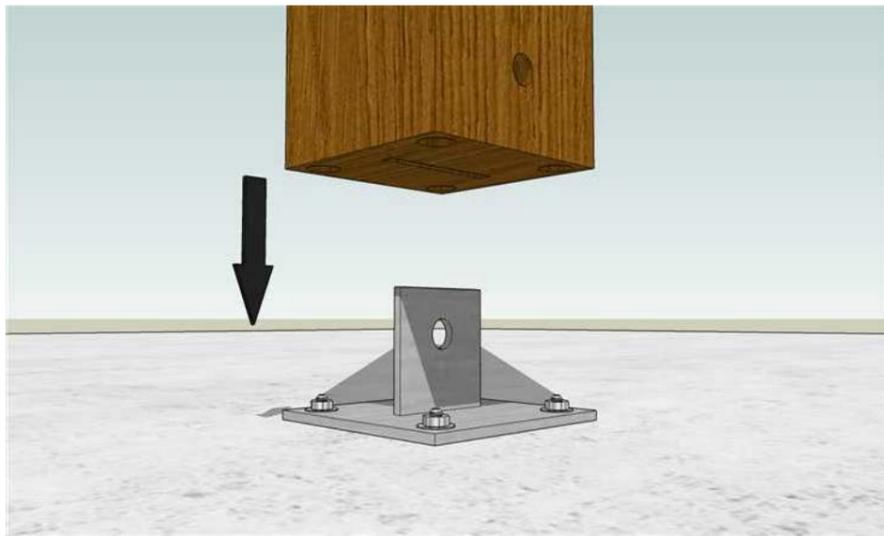
SIDE ELEVATION

25.5=1625.6

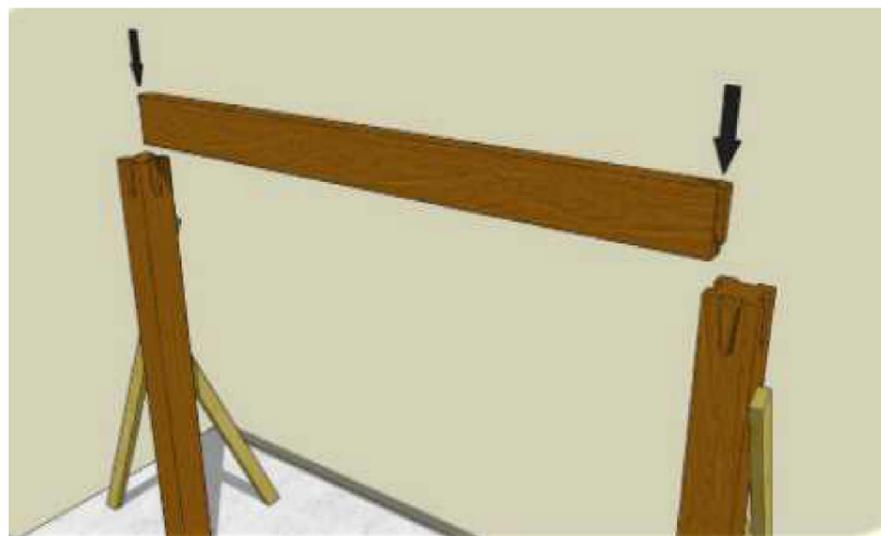


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

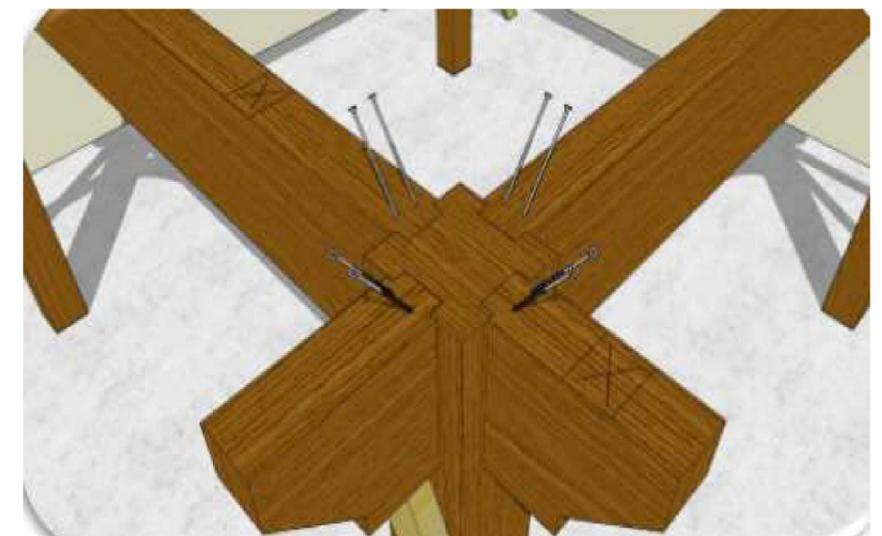
DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:



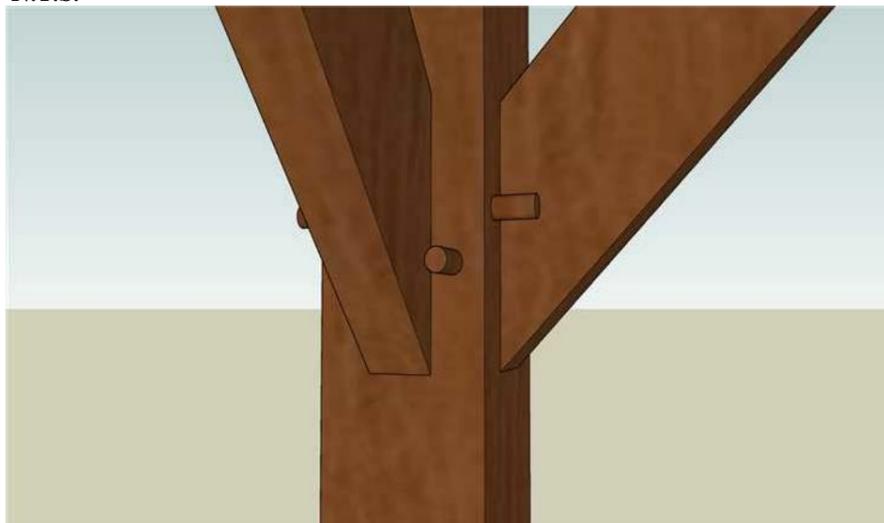
POST/ANCHOR PLATE CONNECTION
N.T.S.



POST/SUPPORT BEAM CONNECTION (DOVE TAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



POST/OVERHANG CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



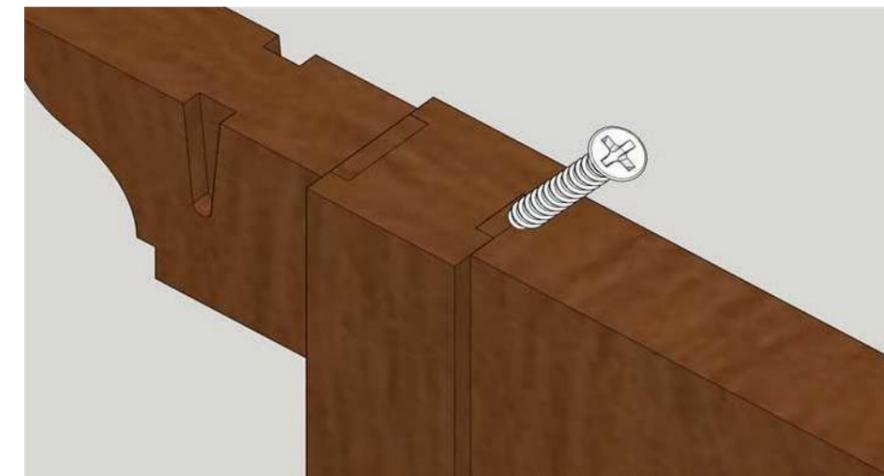
MORTICE BRACE/POST CONNECTION
N.T.S. (Straight tenon connection secured with 1" x 1 1/2" oak dowel)



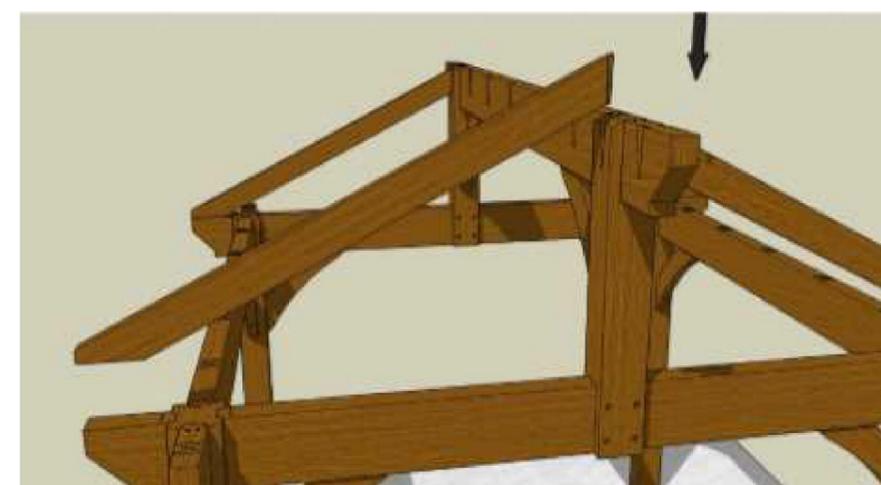
KING POST/SUPPORT BEAM CONNECTION
N.T.S.



KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



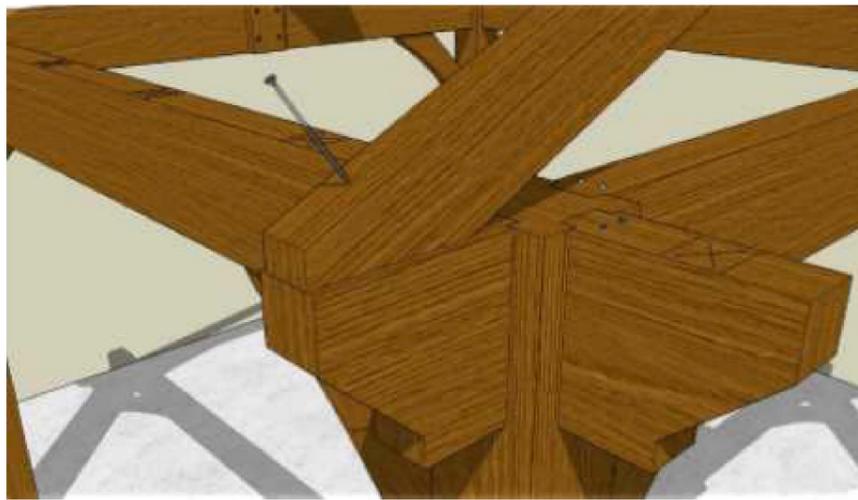
QUEEN RAFTER/KING POST CONNECTION (DOVETAIL CONNECTION)
N.T.S.



QUEEN RAFTER/SUPPORT BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" timber screw used for additional reinforcement)

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: General Connection Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:



QUEEN RAFTER/OVERHANG CONNECTION
N.T.S. (11" timber screw threw queen rafter to post overhang)



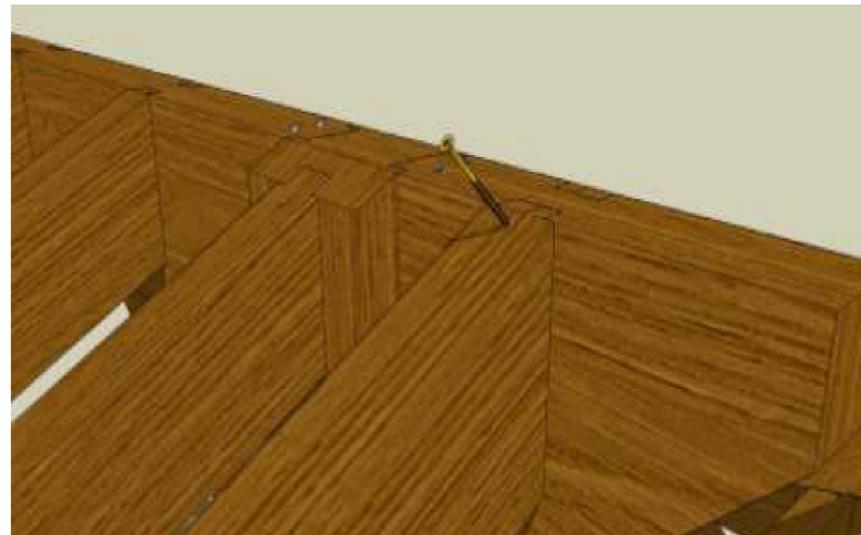
QUEEN BRACES/QUEEN RAFTER CONNECTION
N.T.S. (11" timber screw threw queen brace to king post)



RAFTERS/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



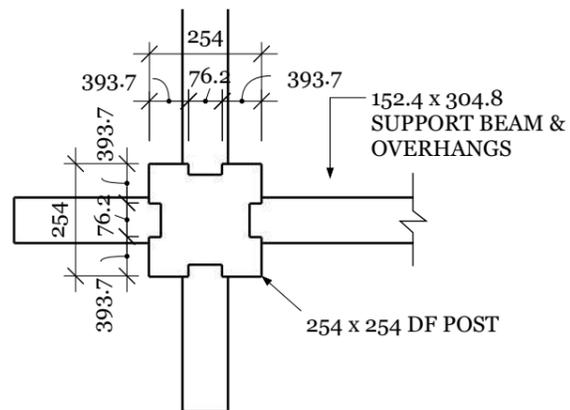
SUPPORT BEAM/RAFTER CONNECTION
N.T.S. (11" timber screw for additional reinforcement)



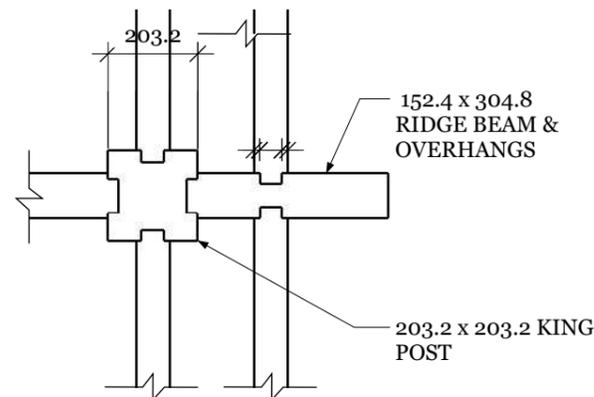
RIDGE BEAM OVERHANG/RAFTER CONNECTION
N.T.S. (6" timber screw for additional reinforcement)



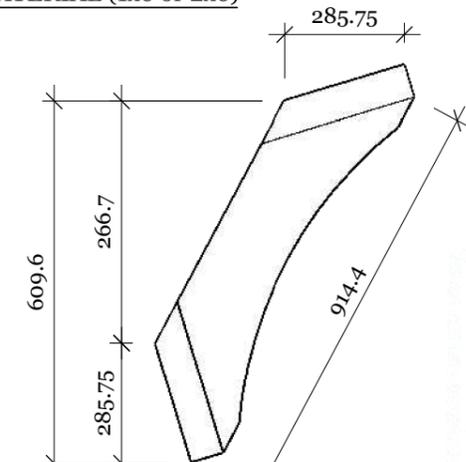
T&G ROOFING MATERIAL (1x6 or 2x6)
N.T.S.



POST/SUPPORT BEAM CONNECTION
19.05=25.4



KING POST/RIDGE BEAM CONNECTION
19.05=25.4

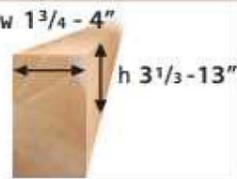
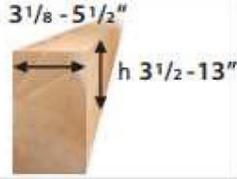
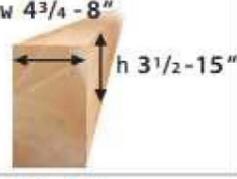
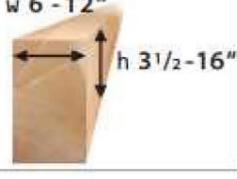


MORTISE BRACE DETAIL
19.05=25.4



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

		Timber width (inches)											
		1 3/4"	2"	3"	4"	5"	6"	7"	8"	9"	10"	11"	12"
50 B 50 N		min. w 1 3/4 x h 3 1/2" max. w 4 x h 13"			w 1 3/4 - 4"			T 3 1/2 - 9"					
		528 - 1'672 lbs											
80 B 80 N		min. w 3 1/8 x h 3 1/2" max. w 5 1/2 x h 13"			w 3 1/8 - 5 1/2"			T 3 1/2 - 9"					
		726 - 2'178 lbs											
120 B 120 N		min. w 4 3/4 x h 3 1/2" max. w 8 x h 15"			w 4 3/4 - 8"			T 3 1/2 - 10 1/4"					
		1'100 - 3'630 lbs											
160 B		min. w 6 x h 3 1/2" max. w 12 x h 16"			w 6 - 12"			T 3 1/2 - 12"					
		1'232 - 4'620 lbs											



Min. / max. section
(width x height)



Optimal timber widths



Min. / max. working loads (lbs)
depending on dimensions

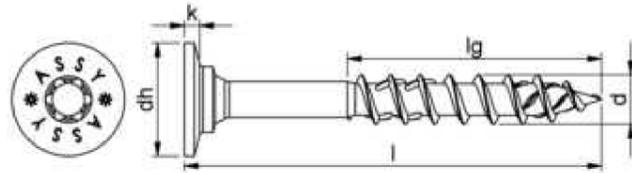


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8X100 177.580100



Nominal diameter (d)	8 mm
Length (l)	100 mm
Thread length (lg)	60 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes

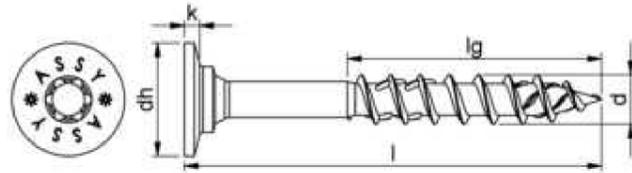


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8x160 177.580160



Nominal diameter (d)	8 mm
Length (l)	160 mm
Thread length (lg)	80 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes

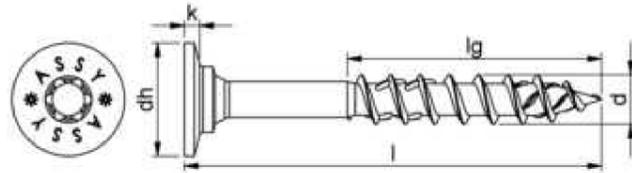


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8X300 177.580300



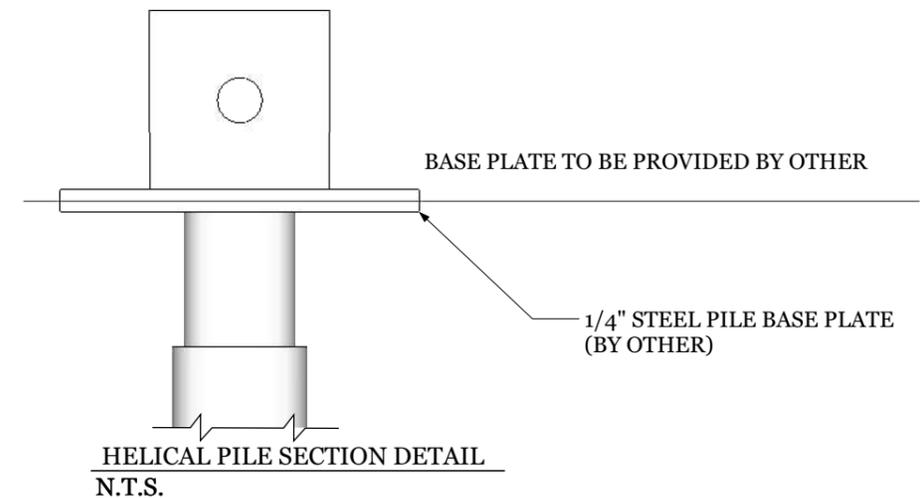
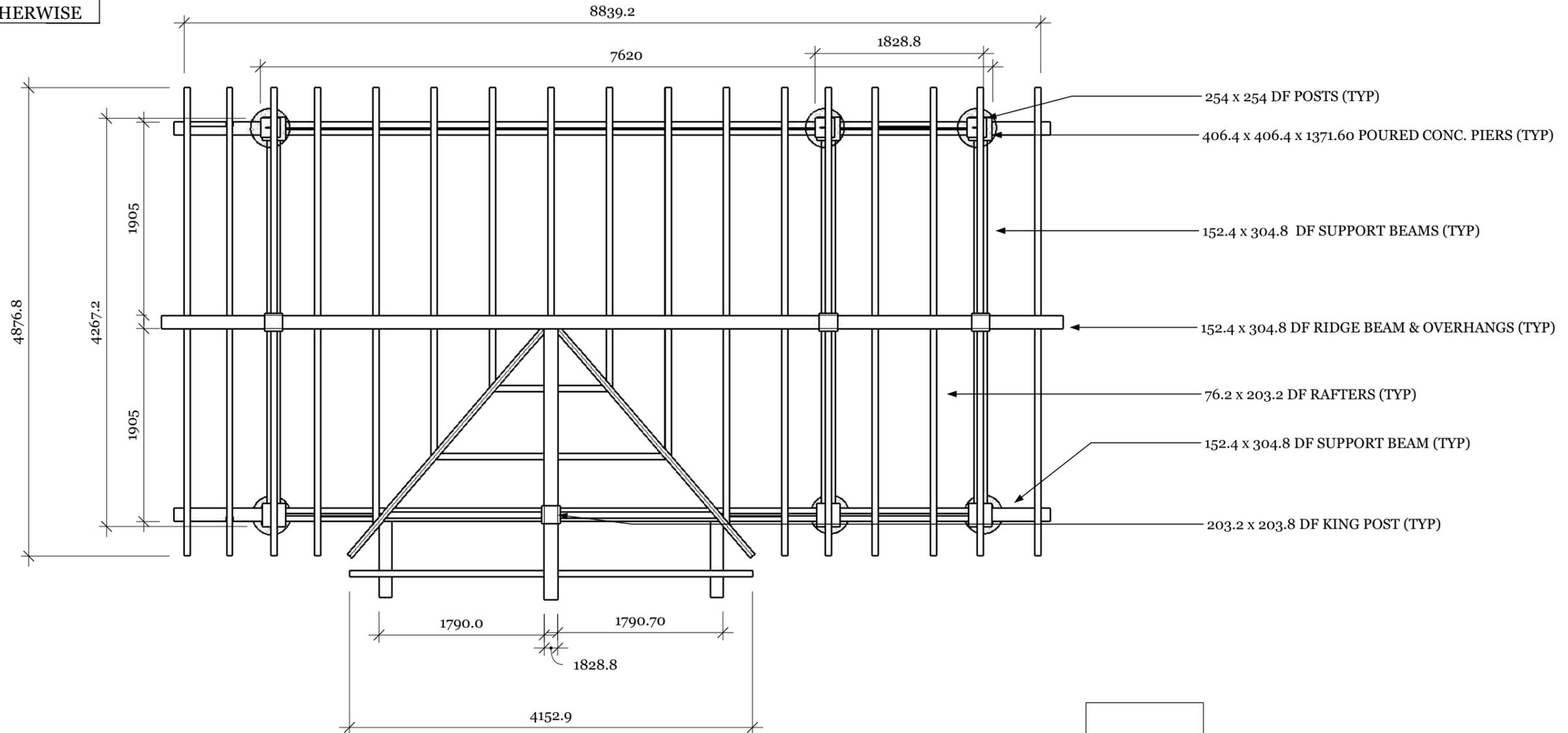
Nominal diameter (d)	8 mm
Length (l)	300 mm
Thread length (lg)	100 mm
Head type	Washer head II
Head diameter (d _n)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE



PLAN VIEW
6.35=25.4

The ELITE
ENGINEERING GROUP Inc.
58 ROSSITER ROAD
INGERSOLL, ONTARIO - N5C 4E1
519.280.5384
www.eliteengineeringgroup.com

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

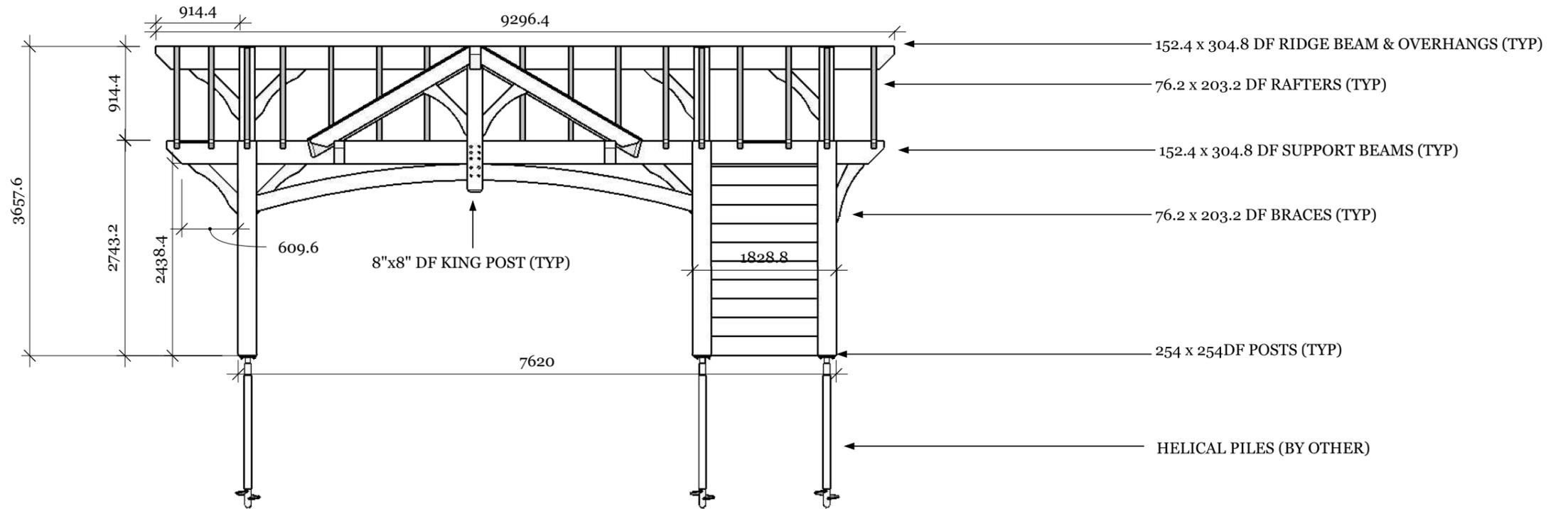
TIMBERKITS™
by Country Log Homes

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: Plan & Pier Footing Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

A 01

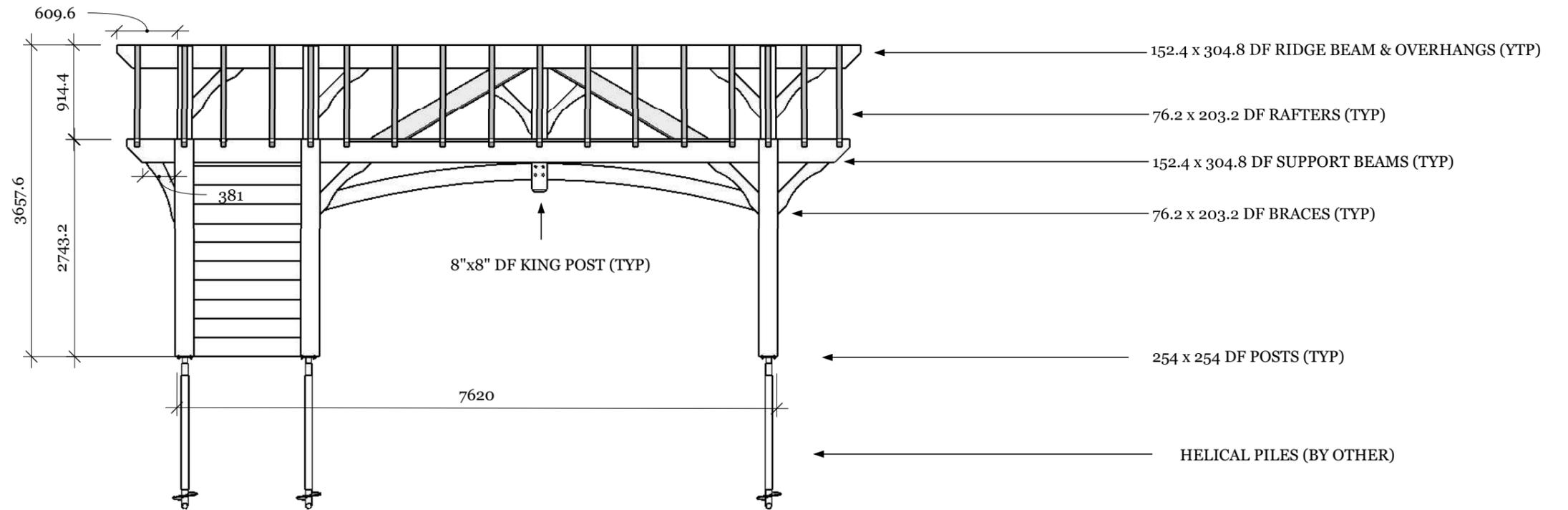
ALL LUMBER IS #1 DOUGLAS FIR UNLESS NOTED OTHERWISE

ASPHALT SHINGLES OR METAL ON 1/2" PLYWOOD SHEATING ON 1/6" PINE SUBSTRATE (BY OTHER) OR 2/6" PINE SUBSTRATE



FRONT ELEVATION

25.4=1625.6



REAR ELEVATION

25.4=1625.6

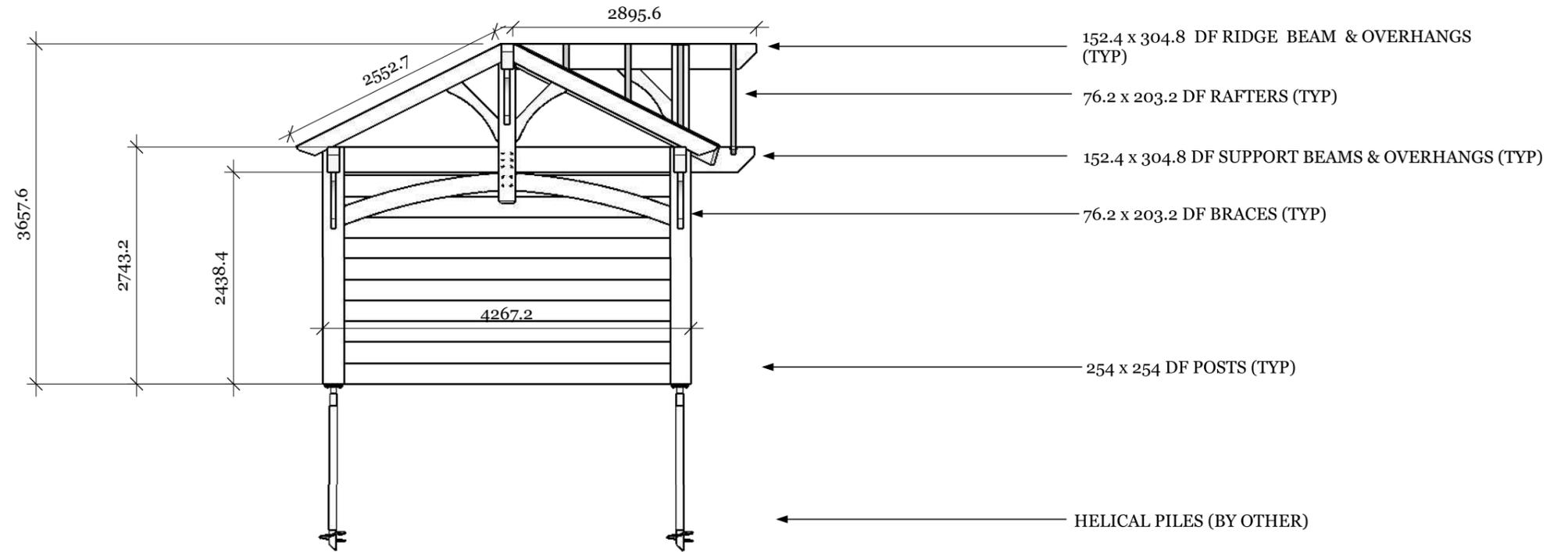


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

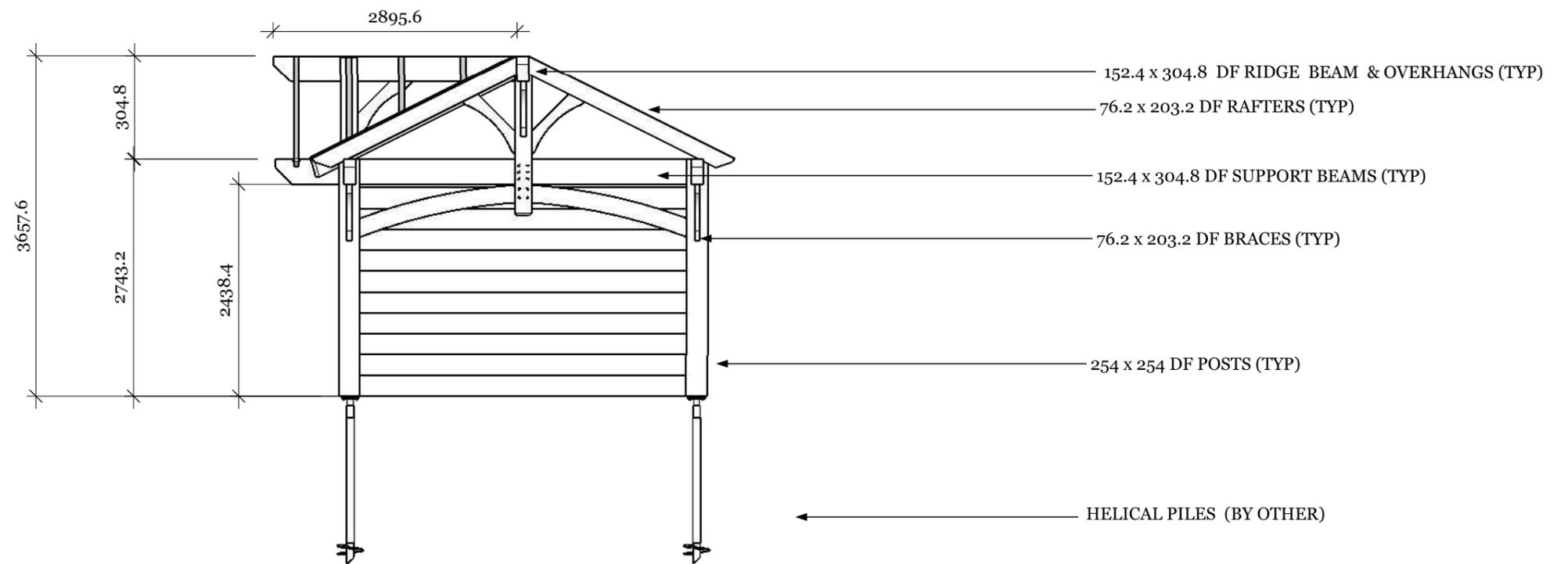
ALL LUMBER IS #1
DOUGLAS FIR UNLESS
NOTED OTHERWISE

ASPHALT SHINGLES OR METAL
ON 1/2" PLYWOOD SHEATING ON
1/6" PINE SUBSTRATE (BY OTHER)
OR 2/6" PINE SUBSTRATE



SIDE ELEVATION

25.4=1625.6



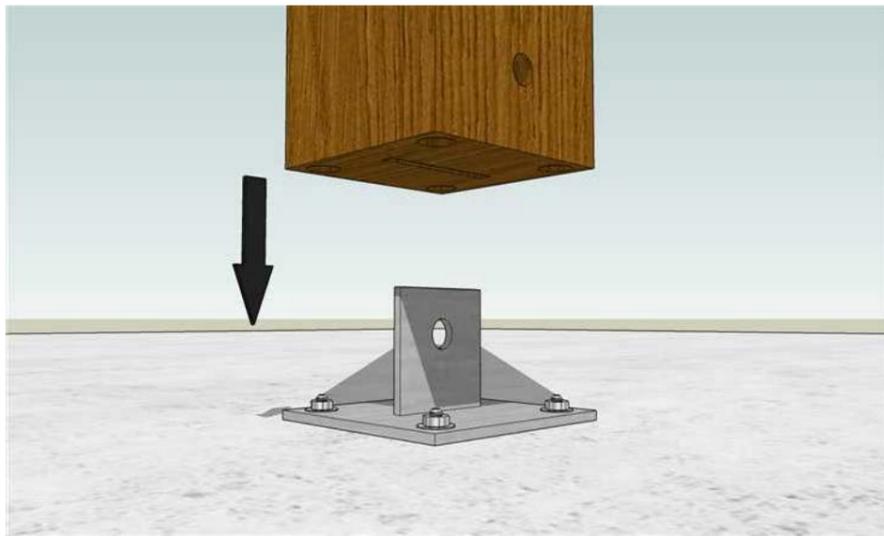
SIDE ELEVATION

25.5=1625.6



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23
2	S.B	ENGINEER REVIEW	02/03/23

DRAWING NAME: Elevations				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:



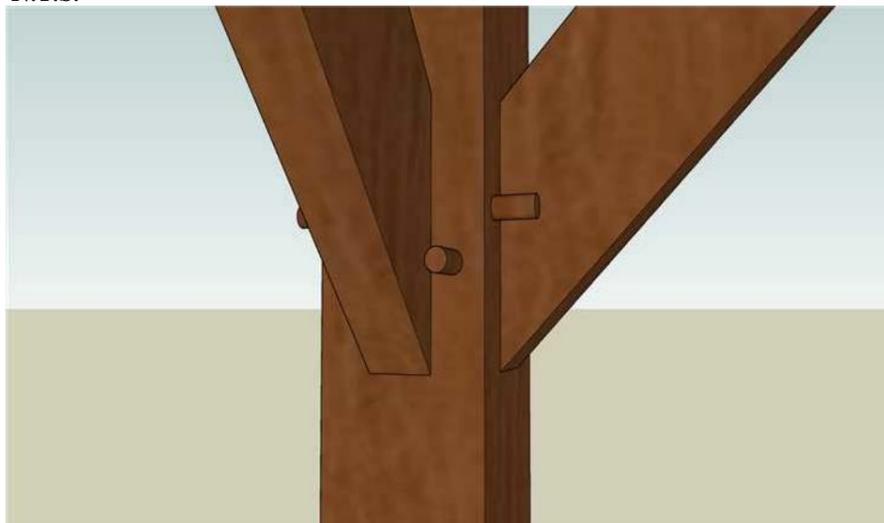
POST/ANCHOR PLATE CONNECTION
N.T.S.



POST/SUPPORT BEAM CONNECTION (DOVE TAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



POST/OVERHANG CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



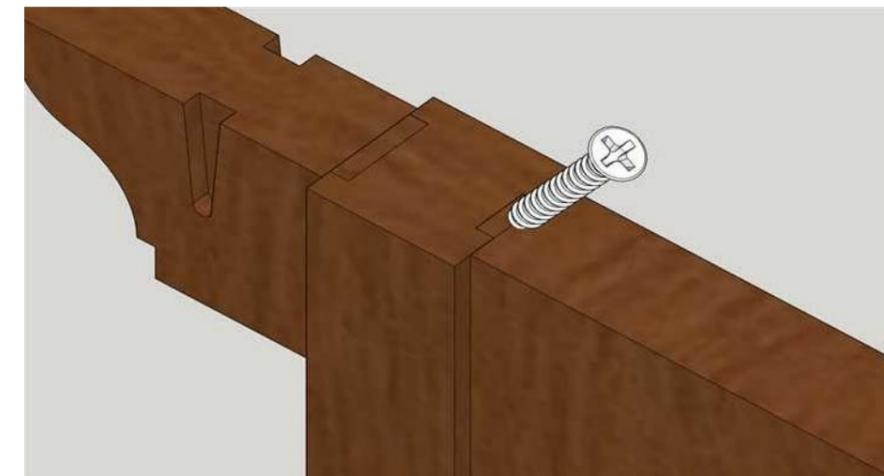
MORTICE BRACE/POST CONNECTION
N.T.S. (Straight tenon connection secured with 1" x 1 1/2" oak dowel)



KING POST/SUPPORT BEAM CONNECTION
N.T.S.



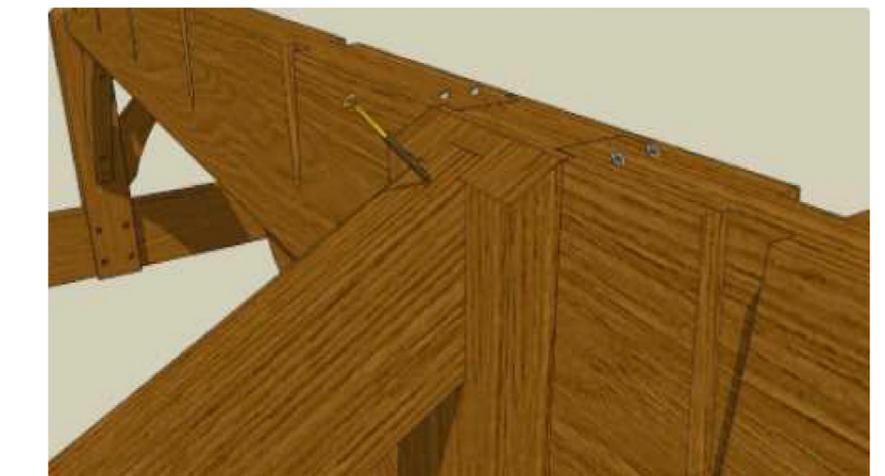
KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



KING POST/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" Timber screws as additional reinforcement)



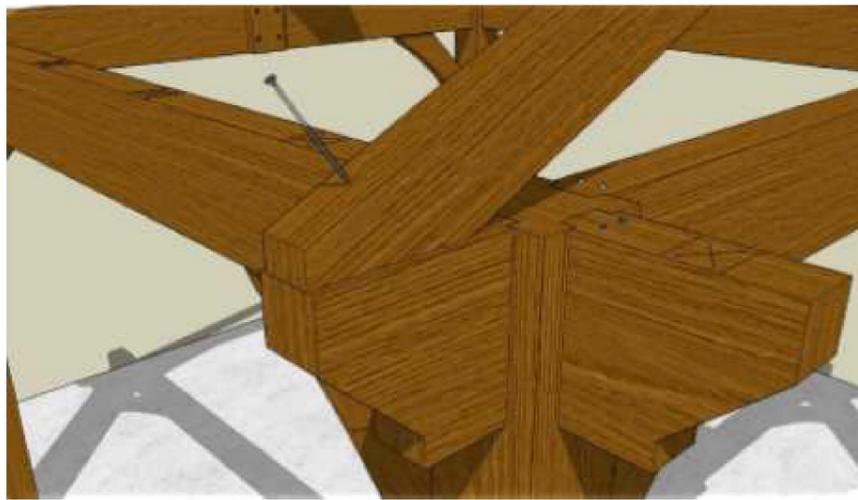
QUEEN RAFTER/KING POST CONNECTION (DOVETAIL CONNECTION)
N.T.S.



QUEEN RAFTER/SUPPORT BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S. (6" timber screw used for additional reinforcement)

REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: General Connection Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:



QUEEN RAFTER/OVERHANG CONNECTION
N.T.S. (11" timber screw threw queen rafter to post overhang)



QUEEN BRACES/QUEEN RAFTER CONNECTION
N.T.S. (11" timber screw threw queen brace to king post)



RAFTERS/RIDGE BEAM CONNECTION (DOVETAIL CONNECTION)
N.T.S.



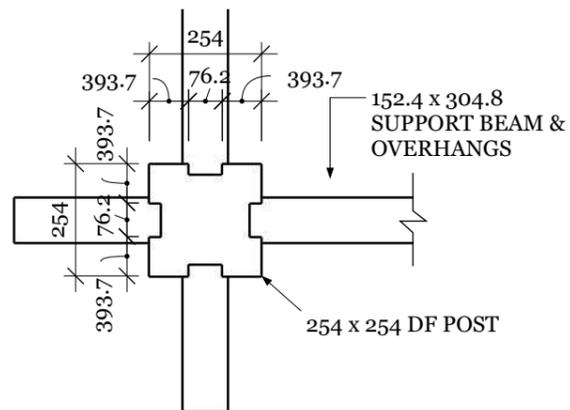
SUPPORT BEAM/RAFTER CONNECTION
N.T.S. (11" timber screw for additional reinforcement)



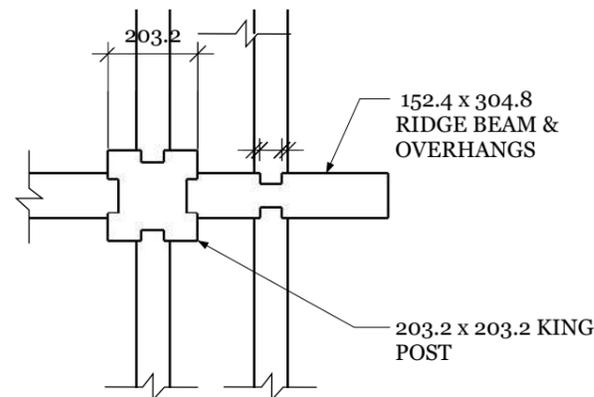
RIDGE BEAM OVERHANG/RAFTER CONNECTION
N.T.S. (6" timber screw for additional reinforcement)



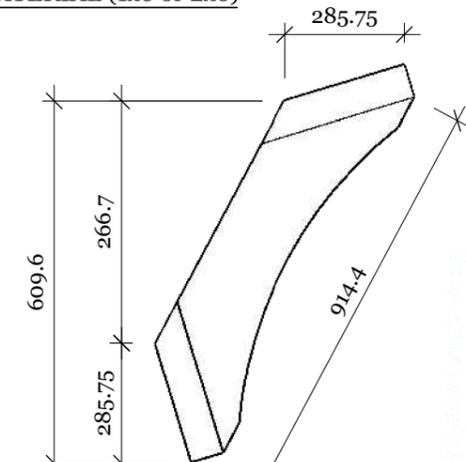
T&G ROOFING MATERIAL (1x6 or 2x6)
N.T.S.



POST/SUPPORT BEAM CONNECTION
19.05=25.4



KING POST/RIDGE BEAM CONNECTION
19.05=25.4

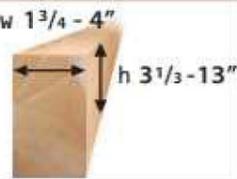
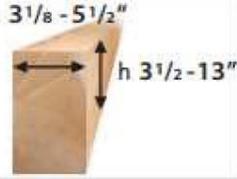
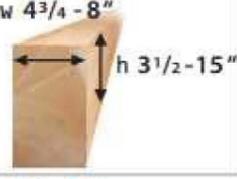
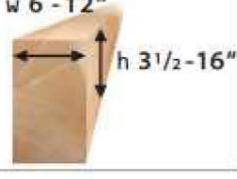


MORTISE BRACE DETAIL
19.05=25.4



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

		Timber width (inches)											
		1 3/4"	2"	3"	4"	5"	6"	7"	8"	9"	10"	11"	12"
50 B 50 N	 w 1 3/4 - 4" h 3 1/3 - 13"				min. w 1 3/4 x h 3 1/2" max. w 4 x h 13"				T 3 1/2 - 9"				
					w 1 3/4 - 4"						528 - 1'672 lbs		
80 B 80 N	 w 3 1/8 - 5 1/2" h 3 1/2 - 13"				min. w 3 1/8 x h 3 1/2" max. w 5 1/2 x h 13"				T 3 1/2 - 9"				
					w 3 1/8 - 5 1/2"						726 - 2'178 lbs		
120 B 120 N	 w 4 3/4 - 8" h 3 1/2 - 15"				min. w 4 3/4 x h 3 1/2" max. w 8 x h 15"				T 3 1/2 - 10 1/4"				
					w 4 3/4 - 8"						1'100 - 3'630 lbs		
160 B	 w 6 - 12" h 3 1/2 - 16"						T 3 1/2 - 12"				min. w 6 x h 3 1/2" max. w 12 x h 16"		
											w 6 - 12" 1'232 - 4'620 lbs		



Min. / max. section
(width x height)



Optimal timber widths



Min. / max. working loads (lbs)
depending on dimensions

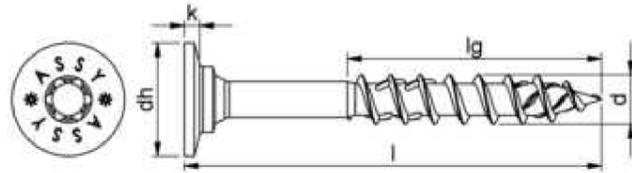


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

Fabio Oliveira - 25'x14' Three Gabled Pavilion 153 Polo Crescent, Woodbridge, ON				
DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8X100 177.580100



Nominal diameter (d)	8 mm
Length (l)	100 mm
Thread length (lg)	60 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes

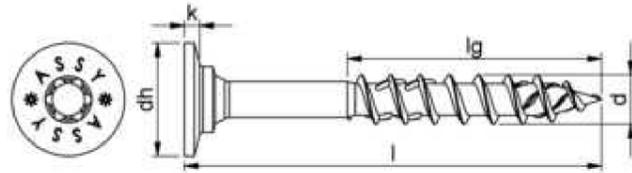


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8x160 177.580160



Nominal diameter (d)	8 mm
Length (l)	160 mm
Thread length (lg)	80 mm
Head type	Washer head II
Head diameter (d _h)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes

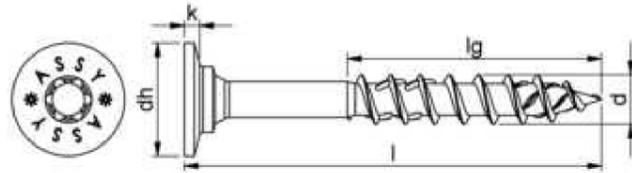


REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

Product Datasheet

ASSY 4.0 WHII TS RW40 ZN M8X300 177.580300



Nominal diameter (d)	8 mm
Length (l)	300 mm
Thread length (lg)	100 mm
Head type	Washer head II
Head diameter (d _n)	18.4 mm
Head height (k)	2.5 mm
Internal drive	RW40
Thread type	Wood screw thread
Thread design	Partial thread
End milling cutter	Yes
Thread format	Coarse thread
Core diameter	5.3 mm
Shape of tip	Tip with hilltop milling cutter
Angle of the tip	34 Degree
Material	Hardened steel
Surface	Zinc plated
Colour	Silver
Max. screw-in angle	90 Degree
Min. screw-in angle	0 Degree
Suitable for use in the following materials	Wood Derived timber product Softwood Board ply wood (BSP) Hardwood LVL
Area of application	Structural woodwork On rafter insulation Element construction Timber construction Timber panel construction Roof
Additional accessory	Bit lock
Approval	ETA-11/0190
RoHS-compliant	Yes



REV NO.	BY:	REVISION:	DATE:
1	S.B	ENGINEER REVIEW	01/14/23

DRAWING NAME: Dovetail Details				
DRAWN BY: S.B	CHECKED BY: S.K	SCALE: As Shown	DATE: 01/14/23	PROJECT NO.:

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/with conditions
Building Standards (Zoning)	X	X		General Comments *Zoning Review Waiver Submitted

Date: May 8th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A025-23**

Related Files:

Applicant Angela Coluccio and Fabio Oliveira

Location 153 Polo Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

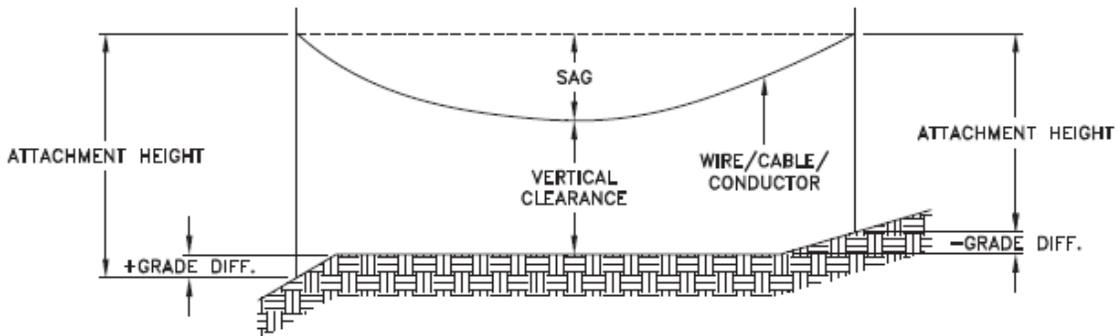
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

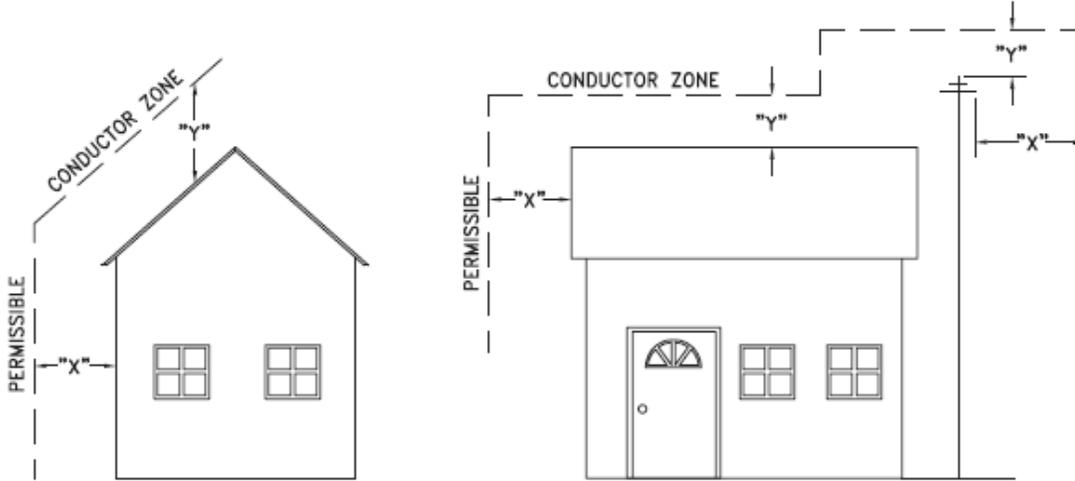
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: May 04, 2023
Applicant: Angela Coluccio and Fabio Oliveira
Location: 153 Polo Crescent
 PLAN 65M3625 Lot 21
File No.(s): A025/23

Zoning Classification:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum side yard setback of 2.4m is required to the proposed residential accessory structure. [4.1.2.b]	To permit a minimum side yard setback of 1.0m to the proposed residential accessory structure.
2	A minimum interior side yard setback of 1.5m is required to the existing residential structure (storage shed). [Table 7-3]	To permit a minimum side yard setback of 0.39m is required to the existing residential structure (storage shed).
3	A maximum height of 3.0m is permitted for the proposed residential accessory structure. [4.1.4.1]	To permit a maximum residential accessory structure height of 3.20m.
4	In the R1A Zone, any portion of a yard in excess of 135 m2 shall be comprised of a minimum of 60% soft landscape. [4.19.1.1].	To permit a minimum of 41.53% of the area of the rear yard in excess of 135 sq. m. to be comprised of soft landscaping.

The subject lands are zoned R1 – Residential under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	na	

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
10	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Replaced with Zoning Review Waiver

ZONING REVIEW WAIVER

I,

Name of authorized owner or agent

Agree to proceed with an application(s) to the Committee of Adjustment without the benefit of having my revised submission reviewed by a Zoning Examiner within the City of Vaughan Building Standards Department, for the purposes of confirming the variances required to facilitate my proposal.

I assume full responsibility for identifying, correctly and completely, all variances associated with my proposal/application.

I also recognize and acknowledge that any errors may result in:

- a) a potential delay in the processing of my application(s);
- b) an inability to obtain a building permit;
- c) the need for additional application(s) to the Committee of Adjustment; and
- d) additional fees (adjournment/recirculation).

Date:

Signature: *Robert Pasutto*

IMPORTANT

By completing this Zoning Review Waiver, you are conducting a zoning review of your revised submission and assuming responsibility for identifying **all** variances required to facilitate your proposed development. If you would like zoning staff to conduct this review your file will require adjournment to a future hearing date.

Helpful Tips:

Review your original zoning report provided by your file manager. This report may be used as a tool to complete your review on the next page.

You may want to consider copying and pasting the variances, confirmed in your zoning report, into the charts on the next page as a starting point and update as required.

If new variances are required, you will need to review the applicable By-law to determine requirements. If you are submitting a Zoning Review Waiver Form, staff cannot assist you with completing your review.

Ensure that **all** variances are included in the charts below, even variances that are not changing from the zoning report must be included. The omission of a variance may result in delays in processing, inability to obtain a building permit after approval, requirement of additional applications and fees.

See next page to complete your review.

REVISED SUBMISSION - ZONING REVIEW (WAIVER SUBMITTED)

Completed By:

Date:

File No.(s):

Property:

In the chart below, identify all variances required under Zoning By-law 001-2021:

ZONING BY-LAW 001-2021		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

In the chart below, identify all variances required under Zoning By-law 1-88:

ZONING BY-LAW 1-88		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Zoning Review Waivers can only be submitted if your application has received an initial zoning review. Staff cannot be consulted to complete your Zoning Review Waiver. The owner/ agent can obtain a zoning review of their revised application, through the Committee of Adjustment submission process in accordance with the Committee of Adjustment internal deadlines. Should an applicant/agent/representative wish to proceed to a hearing without a revised submission being reviewed by a zoning examiner they must complete this waiver to assume full responsibility for identifying required variances.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: May 24, 2023
Name of Owners: Angela Coluccio and Fabio Oliveira
Location: 153 Polo Crescent
File No.(s): A025/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum side yard setback of 1.0 m to the proposed residential accessory structure.
2. To permit a minimum side yard setback of 0.39 m is required to the existing residential structure (storage shed).
3. To permit a maximum residential accessory structure height of 3.20 m.
4. To permit a minimum of 54.3% of the area of the rear yard in excess of 135 m² to be comprised of soft landscaping.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum side yard setback of 2.4 m is required to the proposed residential accessory structure.
2. A minimum interior side yard setback of 1.5 m is required to the existing residential structure (storage shed).
3. A maximum height of 3.0 m is permitted for the proposed residential accessory structure.
4. In the R1A Zone, any portion of a yard in excess of 135 m² shall be comprised of a minimum of 60% soft landscape.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the existing shed, the construction of a cabana and the addition of rear yard hard landscaping, with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 3 for the proposed cabana. The cabana is a partially open structure with an enclosed room on the west side and a wall segment abutting the south interior lot line. The cabana, as a partially open structure, presents less mass overall relative to a fully enclosed structure and the south wall presents minimal mass to the abutting property. The minimum interior side yard setback is measured at a pinch-point that expands to 1.42 m at its greatest extent. The 0.2 m increase in height for the cabana is minor in nature and not anticipated to pose adverse use or massing impacts to the neighbouring properties. As such, the cabana will not pose adverse massing and privacy impacts to the neighbouring properties and provides an appropriate area for maintenance access.

The Development Planning Department has no objection to Variance 2 for the shed. The reduction to the interior side yard setback is measured at a pinch point that expands to approximately 0.55 m at its greatest extent. The shed also complies with the height requirements in the Zoning By-law. As such, the shed will not pose adverse massing and privacy impacts to the neighbouring properties and an appropriate area for maintenance access is maintained.

The Owners have revised their application to provide additional rear yard soft landscaping upon recommendations from the Development Planning Department. The Development Planning Department has no objection to Variance 4 for the revised rear yard soft landscaping. The reduction in soft landscaping is minor in nature and will maintain an appropriate balance of soft landscaping to facilitate drainage, reduce urban heat island effects, and facilitate the establishment of vegetation. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

In support of the application, the Owners have submitted an Arborist Report prepared by Al Miley & Associates, dated October 13, 2022. The report inventoried one tree, which is proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A025/23 (153 Polo Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 11, 2023 5:23:18 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None