

ITEM: 6.13	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A328/22 3940 HWY 7, VAUGHAN
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	X	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

March 2, 2023	Adjourned to permit time to address Development Planning recommendations.
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A328/22
3940 Hwy 7 Vaughan ON L4L 1A6**

ITEM NUMBER: 6.13	CITY WARD #: 3
APPLICANT:	CP REIT Ontario Properties Limited (Trustee)
AGENT:	Angela Wang
PROPERTY:	3940 Hwy 7, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	DA.22.015
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested variances to permit Tesla Electric Vehicle (EV) charging stations and associated electrical switchboard and electrical transformer to be placed on the landscaped area of the parking lot. Relief is also required to facilitate related Site Plan Application DA.22.015

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned GMU – General Mixed Use Zone and subject to the provisions of Exception 14.287 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The proposed Charging station components are located on the landscaping strip. The landscaped area shall be used for no other purpose than landscaping. Section 8.2 Table 8-3	To permit the Charging station components to be located on the landscaping strip.

HEARING INFORMATION

DATE OF MEETING: Thursday, May 11, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 27, 2023
Date Applicant Confirmed Posting of Sign:	April 19, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	As EV charging stations need to be located within parking lots, placing them within the landscaped area is the most efficient location as they would not take away from available parking spaces. Further, while it is noted that landscaped areas have their value, EV charging stations also have their own intrinsic value and would provide net benefits overall by being within the landscaped area.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering Department does not object to the Minor Variance application A328/22 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.015) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Recommended condition of approval.

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT COMMENTS

It will be the owner/agent's responsibility to ensure all permit processes are completed and additional external electrical inspections are completed with the appropriate closing documents.

Fire Department Recommended Conditions of Approval:

None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering lan.reynolds@vaughan.ca	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.015) from the Development Engineering (DE) Department.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

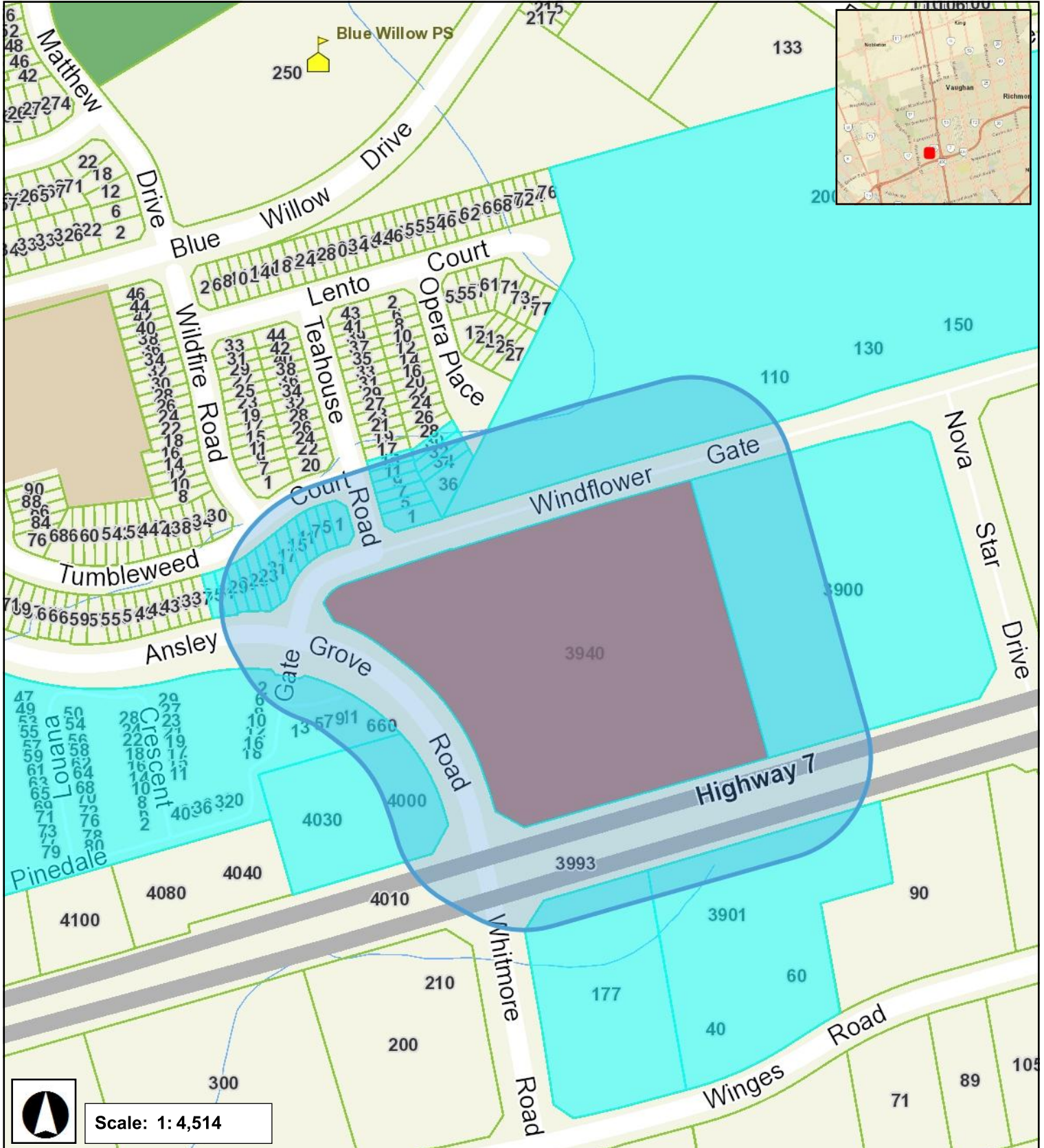
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A328/22

3940 HIGHWAY 7, VAUGHAN

Langstaff Road



THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

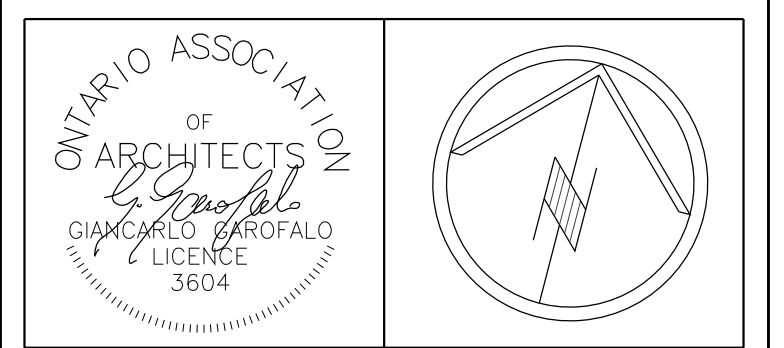
**ZONING BY-LAW 1-88-
VARIANCE REQUESTED:**

**#1 To Permit 2.9m Landscape strip
on Weston road side.**

AREA STATISTICS

	SQM	SQ.FT
ORIGINAL LOT AREA	13,238.17	142,442.7
LOT AREA AFTER STREET WIDENING	12,891.54	138,712.97
BUILDING AREA	5410.18	58,213.50
COVERAGE @ 41.97%		
GROSS FLOOR AREA	5410.18	58,213.5
MAIN FLOOR	5410.18	58,213.5
SECOND FLOOR	1100	11,836
TOTAL GROSS FLOOR AREA	6510.18	69,049.5
FLOOR SPACE INDEX	0.50	
PARKING REQUIRED:		
- INDUSTRIAL USE @ 1.5 SPACES/100 SQ.M = 81 SPACES		
- ANCILLARY OFFICE USE @ 2 SPACES/100 SQ.M = 22 SPACES		
TOTAL PARKING REQUIRED = 103 SPACES		
PARKING PROVIDED = 106 SPACES		
(INCLUDING 5 ACCESSIBLE SPACES)		
* BIKE RACKS: 5 RINGS-INVERTED U BIKE RACK (FOR 10 BIKES)		
LANDSCAPING REQUIRED AS PER 6.1.6-MIN. 5% OF THE LOT AREA		
PROPOSED LANDSCAPE AREA: 988 SQ.M. @ 7.66%		
SNOW STORAGE AREA CALCULATIONS:		
SNOW STORAGE AREA-1 = 52.85sq.m.		
SNOW STORAGE AREA-2 = 111.62sq.m.		
SNOW STORAGE AREA-3 = 109.47sq.m.		
SNOW STORAGE AREA-4 = 73.08sq.m.		
SNOW STORAGE AREA-5 = 90.88sq.m.		
TOTAL SNOW STORAGE AREA PROVIDED = 336.46sq.m. @ 2.60% OF THE SITE AREA.		

- D.A. FILE # DA.22.020
- YORK REGION FILE # SP.22.V.0167



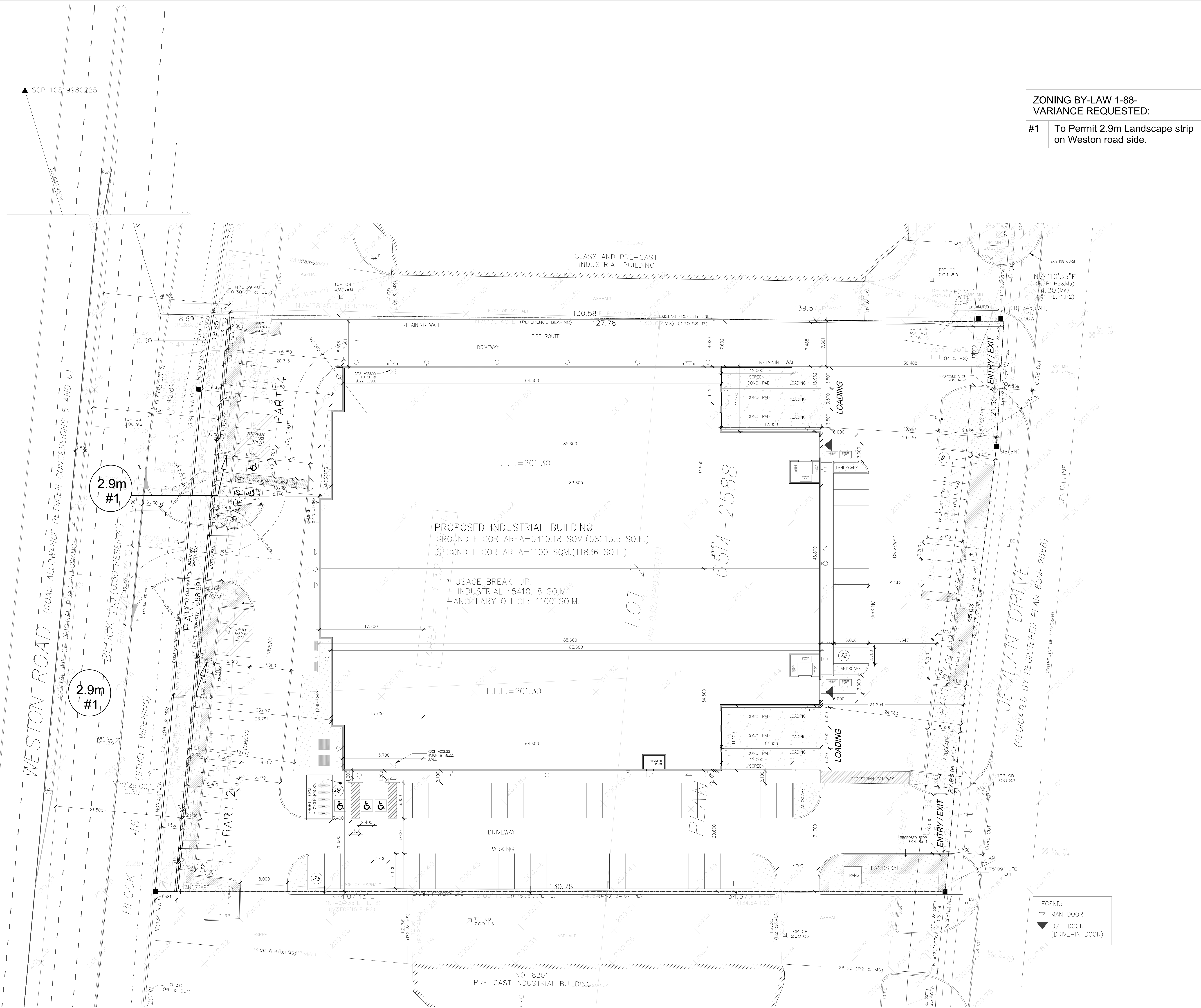
No.	Description	Date
1	Issued for OWNER'S REVIEW	20230423
2	Issued for OWNER'S REVIEW	20230424
3	Issued for OWNER'S REVIEW	20230424
4	Issued for REVIEW	20230707
5	Issued for REVIEW	20231022
6	Issued for REVIEW	20231027
7	Issued for Coordination	20230405
8	Issued for Coordination	20230420
9	Issued for SPA	20230503
10	SITE BOUNDARY UPDATED	20230511
11	ISSUED FOR COORDINATION	20230429
12	ISSUED FOR COORDINATION	20230521
13	ISSUED FOR COORDINATION	20231115
14	Issued for SPA 2nd Submission	20231128
15	Issued for SPA 3rd Submission	20230303
16	Issued for CoA	20230425

326 Jevlan Dr.
Woodbridge, ON L4L 8E3
Proposed Industrial Building

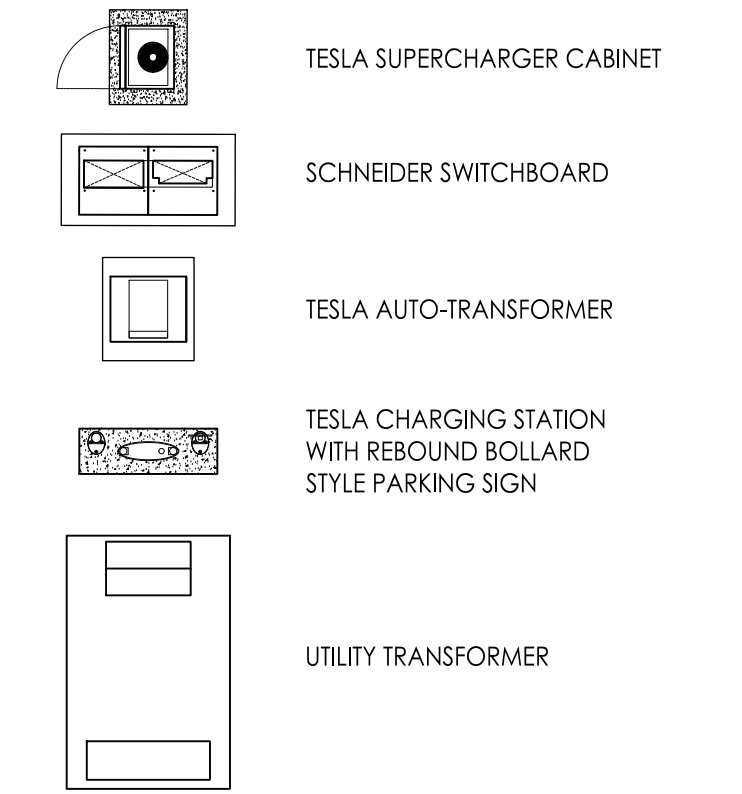
SITE PLAN & STATISTICS

Project number
Date
Drawn by
Checked by G.G.

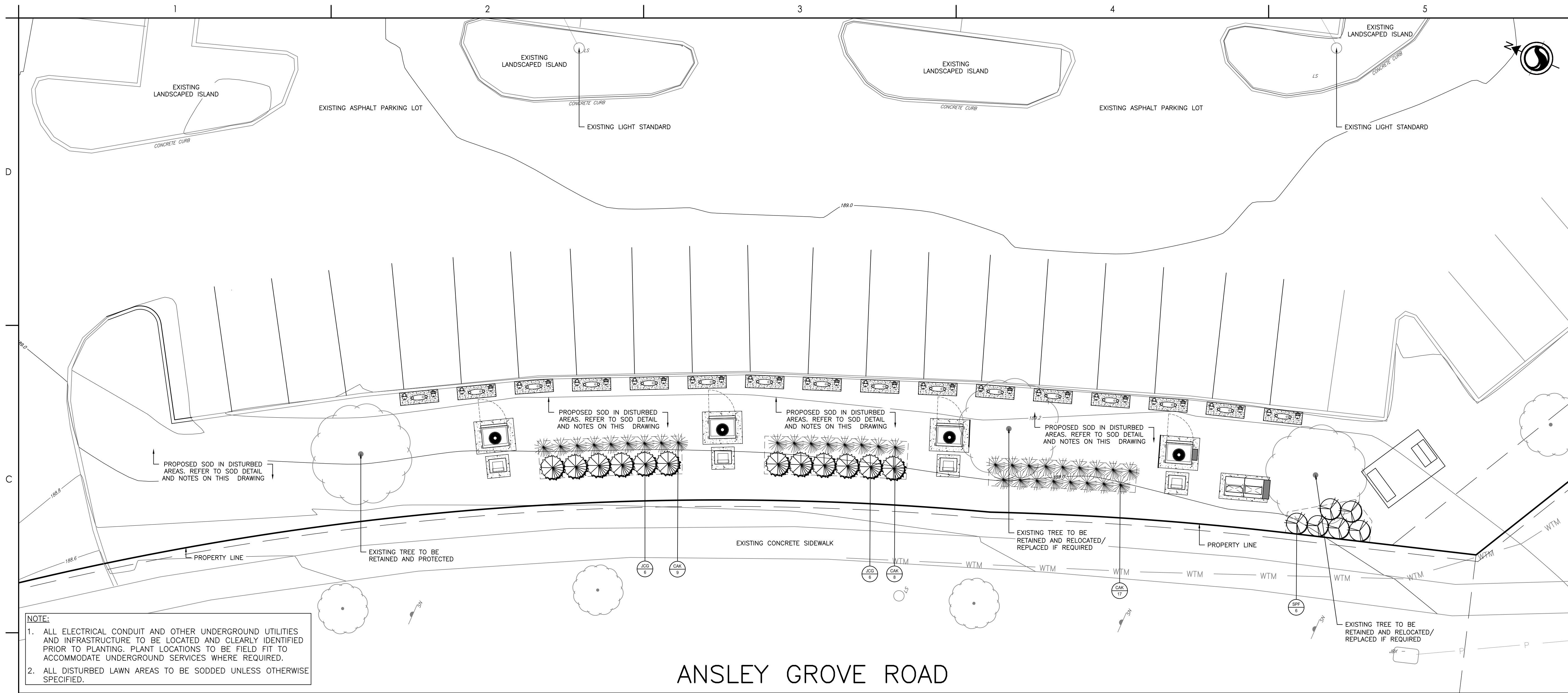
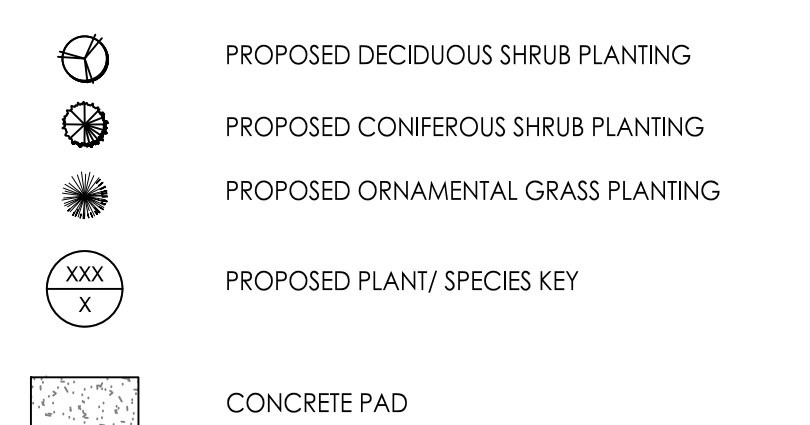
A1
Scale as noted



Electrical Component Legend



Landscape Legend



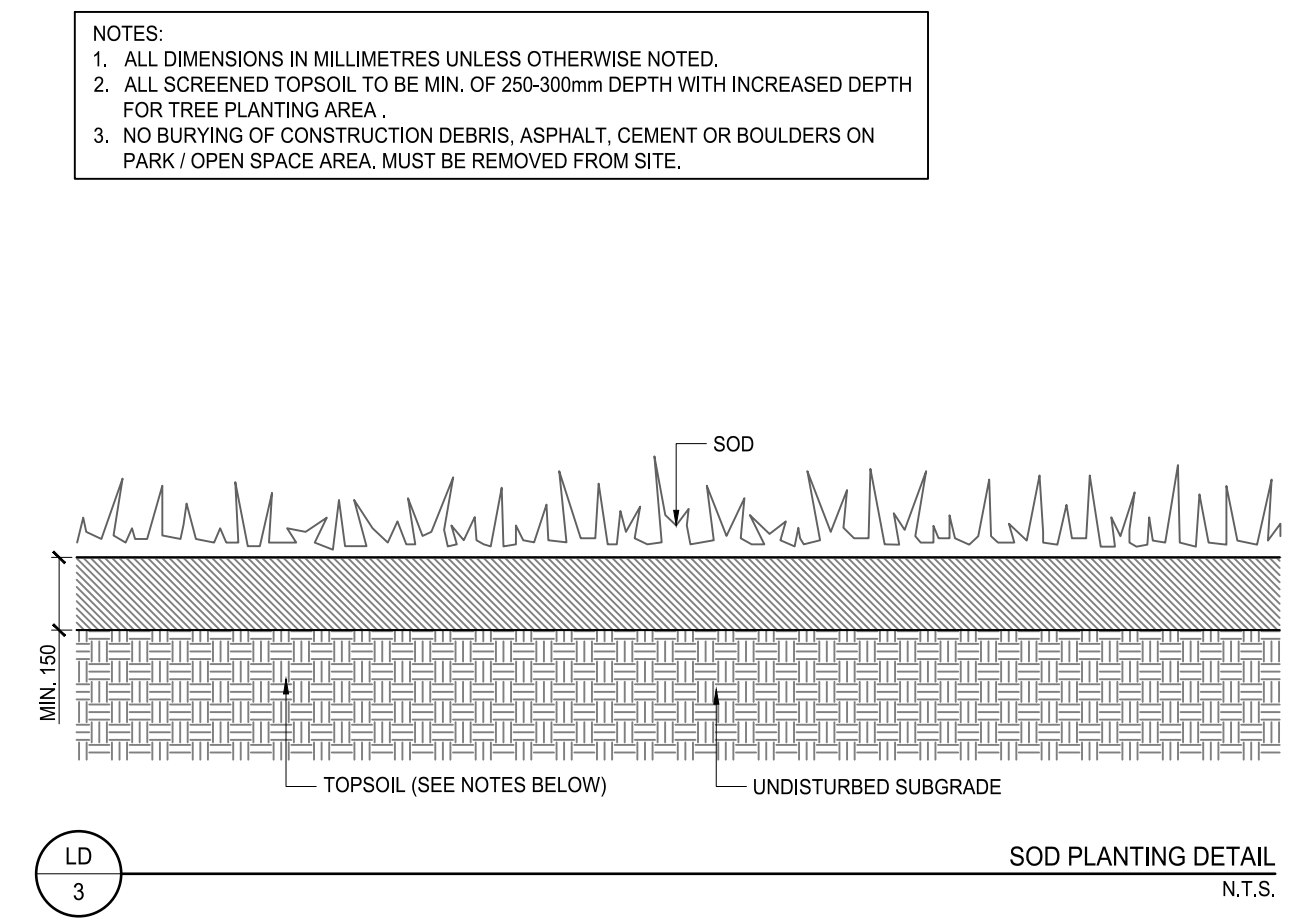
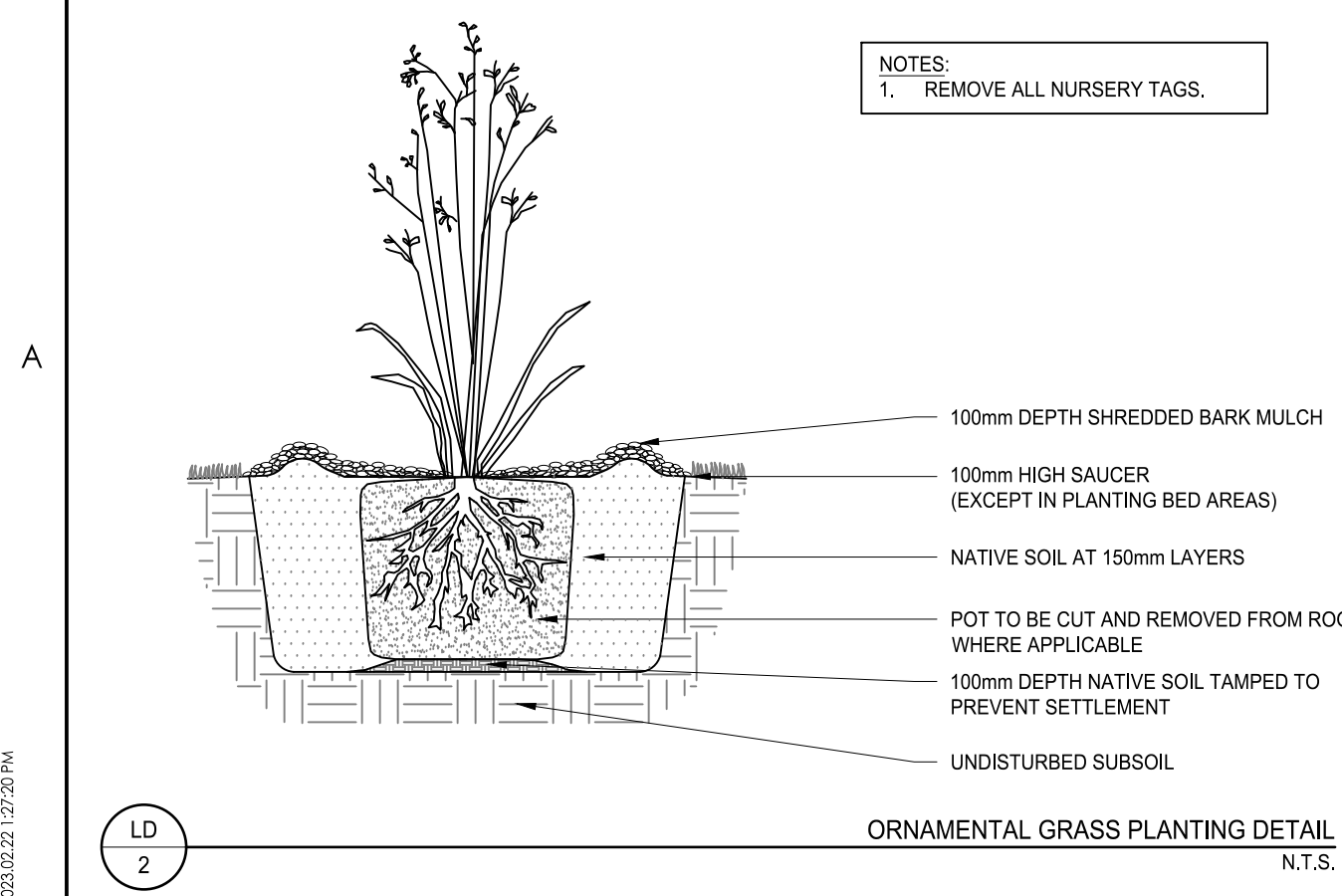
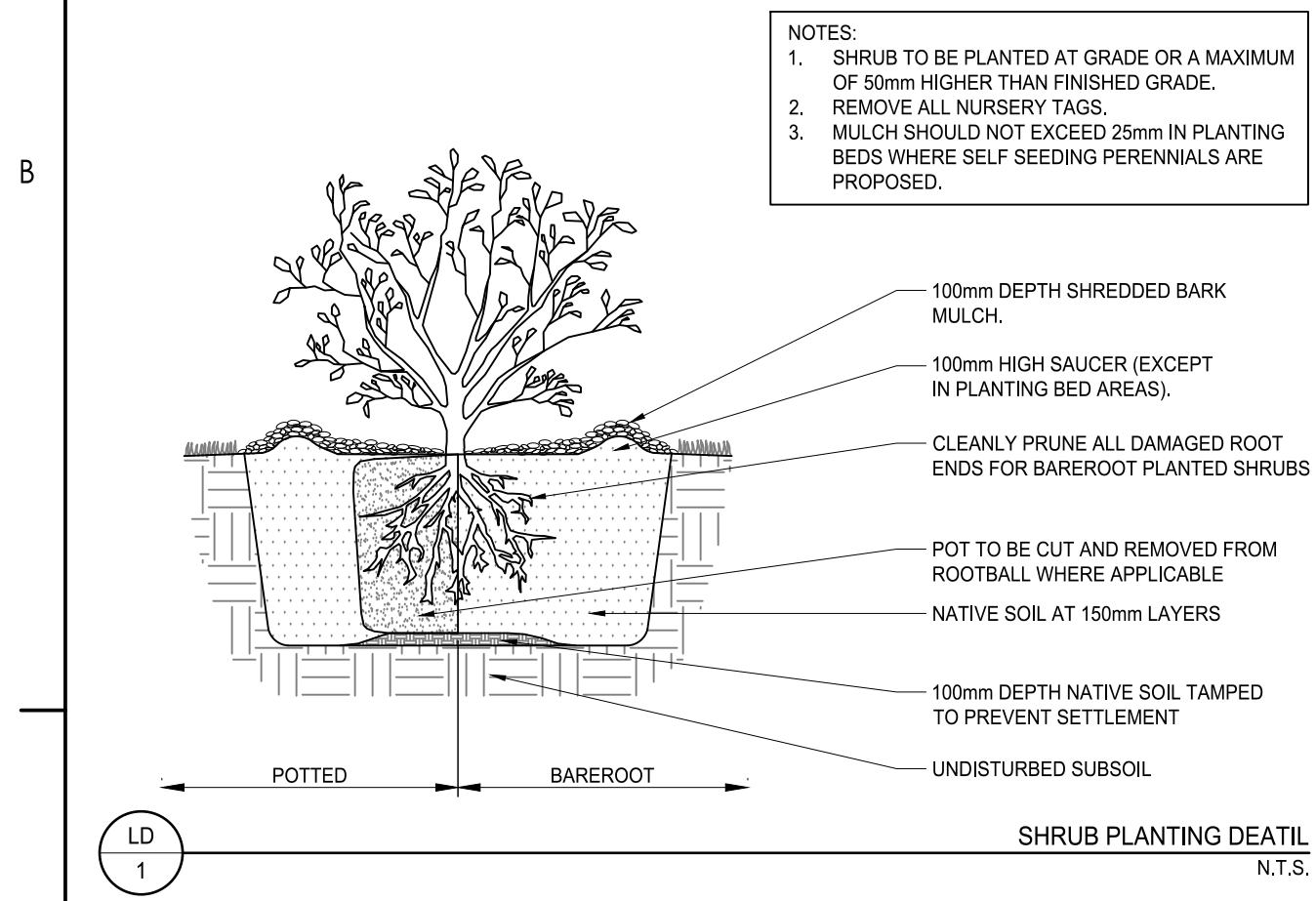
NOTE:
1. ALL ELECTRICAL CONDUIT AND OTHER UNDERGROUND UTILITIES AND INFRASTRUCTURE TO BE LOCATED AND CLEARLY IDENTIFIED PRIOR TO PLANTING. PLANT LOCATIONS TO BE FIELD FIT TO ACCOMMODATE UNDERGROUND SERVICES WHERE REQUIRED.
2. ALL DISTURBED LAWN AREAS TO BE SODDED UNLESS OTHERWISE SPECIFIED.

ANSLEY GROVE ROAD

SYM	Qty	Botanical Name	Common Name	CAL (mm)	HT (cm)	Root	Remarks
DECIDUOUS SHRUBS:							
SPF	6	<i>Spiraea japonica 'Goldflame'</i>	Goldflame Spirea		60	3 Gal.	
CONIFEROUS SHRUBS:							
JCG	12	<i>Juniperus chinensis Gold Coast 'Aurea'</i>	Gold Coast Juniper		50	3 Gal.	
GRASSES:							
CAK	34	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass			1 Gal.	

PLANTING NOTES:

- TREE PROTECTION: ALL EXISTING TREES, UNLESS NOTED FOR REMOVAL, SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE WITH APPROVED FENCING INSTALLED AT THE EXISTING DRIP LINE. DO NOT ALTER GRADES, COMPACT SOIL, OR STORE MATERIALS WITHIN THE DRIP LINE OF ANY EXISTING TREE TO BE PRESERVED. DO NOT DISTURB OR EXPOSE ROOTS OF ANY EXISTING TREE. ANY POTENTIAL IMPACTS TO EXISTING TREES DUE TO CONSTRUCTION SHOULD BE REVIEWED ON SITE BY AN I.S.A CERTIFIED ARBORIST.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THIS DRAWING. ANY DISCREPANCIES BETWEEN QUANTITIES SHALL BE REPORTED TO TESLA FOR DIRECTION.
- PLANT MATERIAL COLLECTED FROM WILD SOURCES WILL NOT BE ACCEPTED. TESLA RESERVES THE RIGHT TO REQUIRE THAT SUPPLIER INVOICES BE SUBMITTED FOR INSPECTION AND APPROVAL PRIOR TO ACCEPTANCE.
- TESLA RESERVES THE RIGHT TO REFUSE ACCEPTANCE OF ANY PLANT MATERIAL DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE. ANY PLANT MATERIAL REJECTED BY TESLA WILL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND SERVICES PRIOR TO EXCAVATION OF TREE PITS AND PLANTING BEDS.
- ON SITE LAYOUT MAY REQUIRE ADJUSTMENT OF PLANT MATERIALS DUE TO EXISTING SITE CONDITIONS AND UNDERGROUND INFRASTRUCTURE/UTILITIES. THE CONTRACTOR SHALL FIELD FIT PLANTS TO BE IN ACCORDANCE WITH GENERAL DESIGN INTENT. DRAWING MAY BE SCALED FOR APPROXIMATE LAYOUT OF INDIVIDUAL TREES AND PLANTING BEDS. CONTRACTOR IS NOT TO PROCEED IN UNCERTAINTY AND SHALL CONTACT TESLA FOR DIRECTION IF MAJOR CHANGES ARE REQUIRED.
- ALL PLANT MATERIALS WILL BE PLANTED IN AN APPROVED TOPSOIL THAT WILL SUSTAIN THE LONG-TERM HEALTH AND VIGOUR OF THE PLANT MATERIAL. NO TOXIC MATERIALS OR DEBRIS SHALL BE PRESENT IN TOPSOIL USED FOR PLANTING WORKS.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) FOR SIZE, VARIETY, AND CONDITION AS INDICATED ON THE PLANT SCHEDULE SHOWN ON THESE DRAWINGS. ANY PLANT MATERIALS THAT DO NOT CONFORM (IN THE SOLE OPINION OF TESLA) WILL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
- DO NOT MAKE SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT THE PRIOR WRITTEN PERMISSION OF TESLA.
- REMOVE DEAD AND/OR DAMAGED BRANCHES ON TREES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND APPROPRIATE TIMING FOR EACH SPECIES.
- PLANTS ARE NOT TO BE INSTALLED DURING EXTREME HEAT, DROUGHT, OR OTHER UNDESIRABLE CONDITIONS. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER INSTALLATION AND AS REQUIRED TO PREVENT MORTALITY THROUGHOUT THE DURATION OF THE WARRANTY PERIOD.
- DO NOT PLANT IN DRAINAGE SWALES. WHERE PROPOSED DRAINAGE SWALES CONFLICT WITH PROPOSED PLANTINGS, CONTACT TESLA FOR DIRECTION.
- ALL PLANTS ARE TO BE PLANTED IN ACCORDANCE WITH THE PLANTING DETAILS SHOWN ON THIS DRAWING.
- COMPOSTED WOOD CHIP MULCH OR AN APPROVED EQUIVALENT SHALL BE SPREAD UNIFORMLY IN ALL PLANTING BEDS AND AROUND THE BASE OF ALL TREES AND SHRUBS TO A DEPTH OF 100mm. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TRUNKS; ALLOW A 50mm MULCH FREE RING AROUND TRUNKS. SHRUBS TO BE IN CONTINUOUSLY MULCHED BEDS.
- ALL LANDSCAPE WORKS WILL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING INSPECTION AND SUBSTANTIAL COMPLETION. PLANT MATERIAL, WHICH IS NOT IN A HEALTHY GROWING CONDITION AT THE END OF THE END OF THE WARRANTY PERIOD, SHALL BE REPLACED TO THE SATISFACTION OF TESLA / OWNER.
- ANY STAKES, TIES AND RODENT GUARDS SHALL BE REMOVED ONE YEAR AFTER PLANTING.
- CONTRACTOR TO IDENTIFY WITH TESLA ANY MAINTENANCE REQUIREMENTS NECESSARY FOR WARRANTY PURPOSES.



- SOD NOTES:**
- ANY LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-SODDED AND REPAIRED TO ORIGINAL CONDITION OR BETTER.
 - SOD TO BE DELIVERED TO PROJECT WITHIN 24 HOURS BEING HARVESTED AND LAID WITHIN 36 HOURS THEREAFTER.
 - ROUGH GRADED AND COMPACTED SOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 100mm (4") FREE OF ALL STONES, ROOTS, BRANCHES, LARGER THAN 25mm (1") DIAMETER. TOPSOIL TO BE SPREAD AT A MINIMUM OF 150mm COMPACTED TO 85% S.P.D.
 - PLACE SOD ON PREPARED TOPSOIL WITH STAGGERED JOINTS AND BUTT TIGHTLY. MACHINE ROLL TO ENSURE CONTACT WITH TOPSOIL. REPAIR MINOR GRADE DEFICIENCIES AND IRREGULARITIES.
 - WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION TO A MINIMUM OF 100mm DEPTH WITHIN TOPSOIL. SOD MUST BE CUT A MINIMUM OF TWO TIMES FOR FINAL ACCEPTANCE PER THE OPINION OF TESLA.

Rev	By	Appd	Date
B	JJ	ASJ	2023.02.22
A	JJ	ASJ	2022.03.09
Revision			
File Name:	133560629_LP5	JJ	JJ
		Dwn.	Dign.
		Chkd.	YYYY.MM.DD

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**



1325 Lawrence Avenue East
Toronto, Ontario, M3A 1C6
Canada

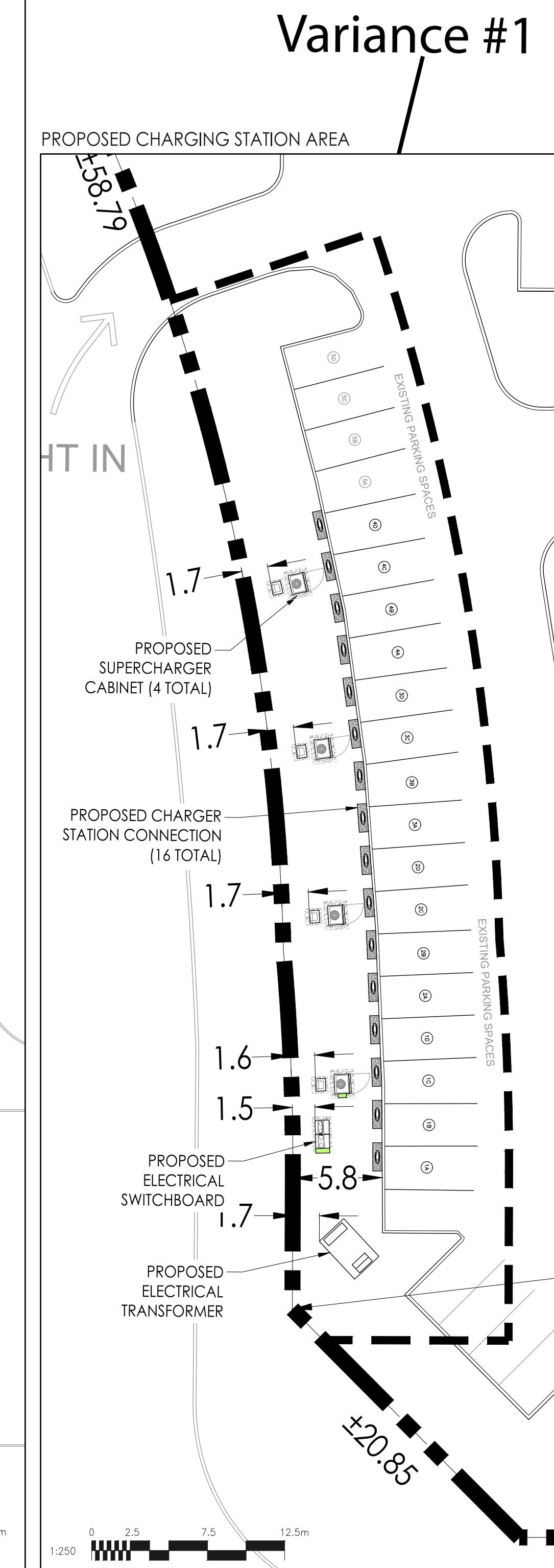
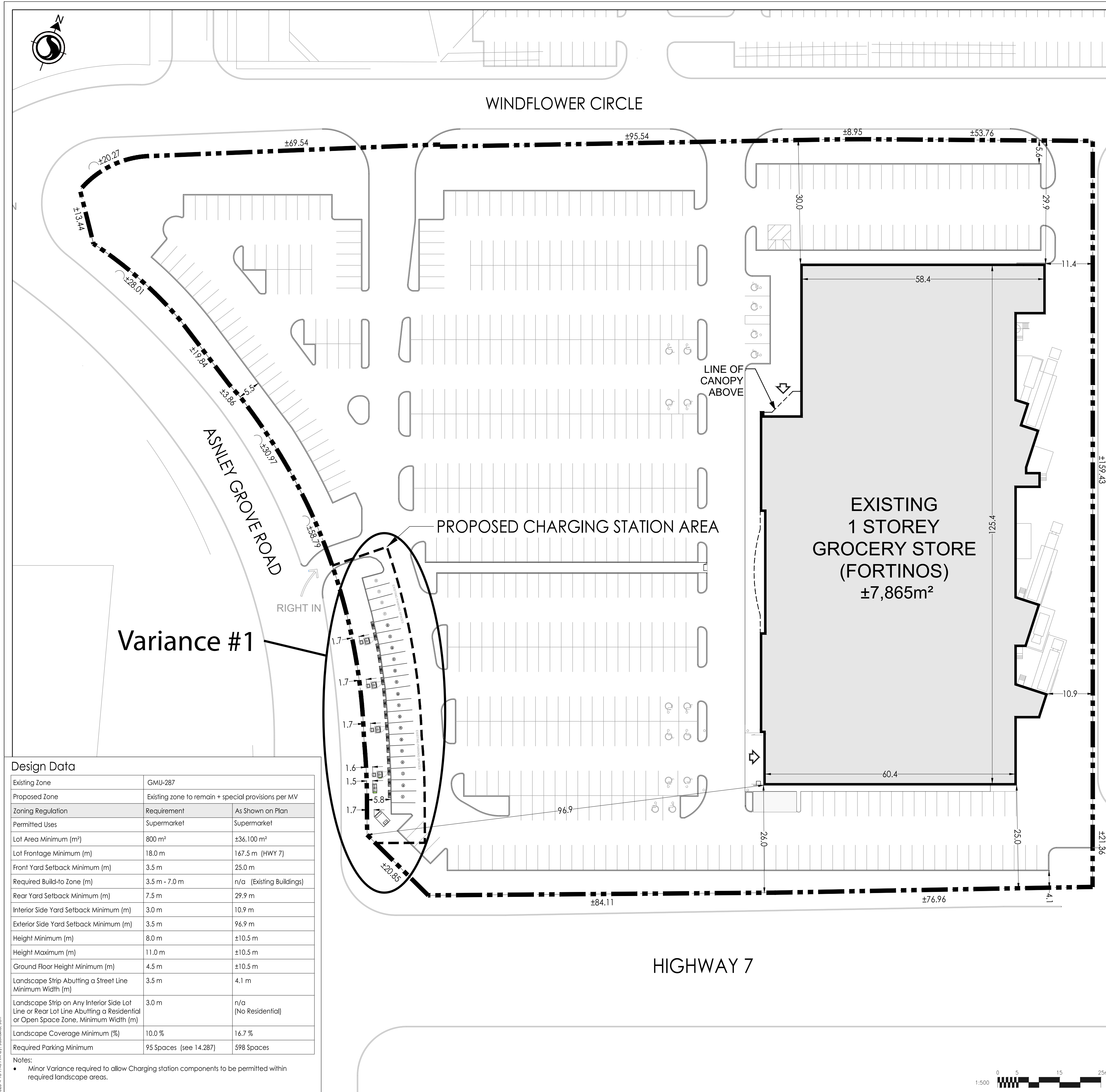
Client/Project
TESLA MOTORS CANADA ULC

3940 HIGHWAY 7
ELECTRIC VEHICLE CHARGING STATIONS

Vaughan, Ontario, Canada

Title
LANDSCAPE PLAN

Project No. 133560629	Scale 1:100
Revision Sheet B 1 of 1	Drawing No. L-100



Design Data

Existing Zone	GMU-287	
Proposed Zone	Existing zone to remain + special provisions per MV	
Zoning Regulation	Requirement	As Shown on Plan
Permitted Uses	Supermarket	Supermarket
Lot Area Minimum (m ²)	800 m ²	±36,100 m ²
Lot Frontage Minimum (m)	18.0 m	167.5 m (HWY 7)
Front Yard Setback Minimum (m)	3.5 m	25.0 m
Required Build-to Zone (m)	3.5 m - 7.0 m	n/a (Existing Buildings)
Rear Yard Setback Minimum (m)	7.5 m	29.9 m
Interior Side Yard Setback Minimum (m)	3.0 m	10.9 m
Exterior Side Yard Setback Minimum (m)	3.5 m	96.9 m
Height Minimum (m)	8.0 m	±10.5 m
Height Maximum (m)	11.0 m	±10.5 m
Ground Floor Height Minimum (m)	4.5 m	±10.5 m
Landscape Strip Abutting a Street Line Minimum Width (m)	3.5 m	4.1 m
Landscape Strip on Any Interior Side Lot Line or Rear Lot Line Abutting a Residential or Open Space Zone, Minimum Width (m)	3.0 m	n/a (No Residential)
Landscape Coverage Minimum (%)	10.0 %	16.7 %
Required Parking Minimum	95 Spaces (see 14.287)	598 Spaces

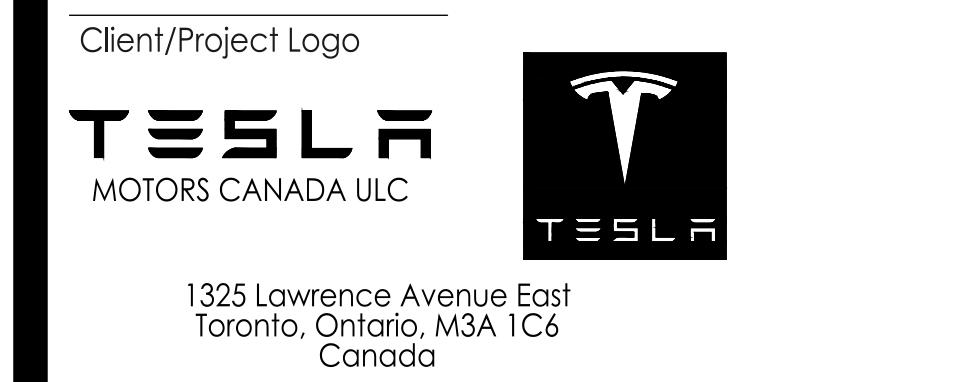
Notes:

- Minor Variance required to allow Charging station components to be permitted within required landscape areas.

2	ISSUED FOR MINOR VARIANCE APPLICATION	JJ	AW	2023.04.18
1	ISSUED FOR MINOR VARIANCE APPLICATION	AB	AW	2022.11.07
Revision		By	Appd	YYYY.MM.DD
File Name: 13356029_J-dib		RT	AW	RT
		Dwn.	Dsgn.	Chkd.
				YYYY.MM.DD

Permit/Seal

Client/Project Logo



1325 Lawrence Avenue East
 Toronto, Ontario, M3A 1C6
 Canada

Client/Project
 TESLA MOTORS CANADA ULC

3940 HIGHWAY 7
 ELECTRIC VEHICLE CHARGING STATIONS
 Vaughan, Ontario, Canada

Title
 SITE PLAN
 FOR MINOR VARIANCE

Project No.	13356029	Scale	AS NOTED
Revision	Sheet	Drawing No.	
2	1 of 1	1	

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: January 16th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A328-22**

Related Files:

Applicant CP REIT Ontario Properties Limited (Trustee)

Location 3940 Hwy 7



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

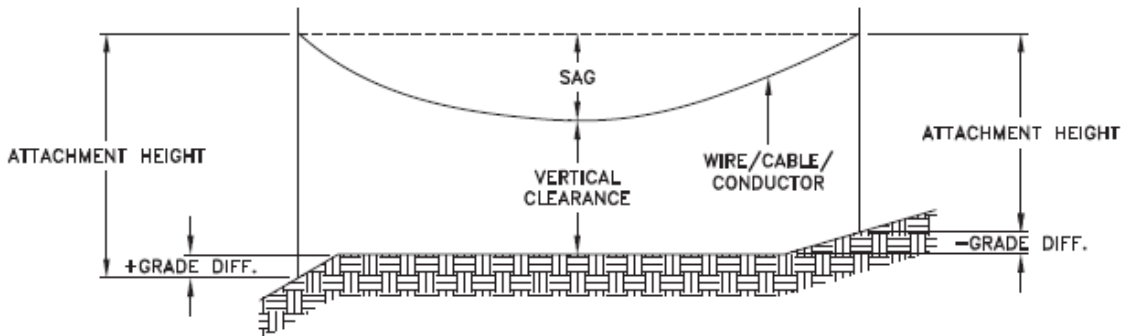
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

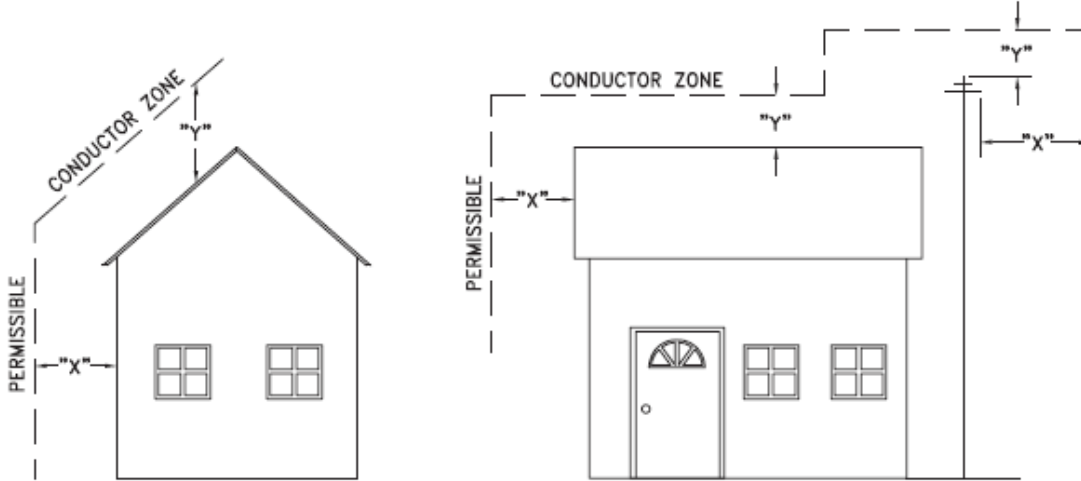
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:20:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: May 1, 2023
Applicant: CP REIT Ontario Properties Limited (Trustee)
Location: 3940 Hwy 7, CONC 6 Part of Lot 6
File No.(s): A328/22

Zoning Classification:

The subject lands are zoned GMU – General Mixed Use Zone and subject to the provisions of Exception 14.287 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The proposed Charging station components are located on the landscaping strip. The landscaped area shall be used for no other purpose than landscaping. Section 8.2 Table 8-3	To permit the Charging station components to be located on the landscaping strip.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-109754 for Tent - New, Issue Date: (Not Yet Issued)
 Building Permit No. 22-132951 for Single Use (Commercial) - Interior Unit Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: May 3, 2023
Name of Owner: CP REIT Ontario Properties Limited (Trustee)
Location: 3940 Highway 7
File No.(s): A328/22

Proposed Variance(s) (By-law 001-2021):

1. To permit the charging station components to be located on the landscaping strip.

By-Law Requirement(s) (By-law 001-2021):

1. The proposed charging station components are located on the landscaping strip. The landscaped area shall be used for no other purpose than landscaping.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"

Comments:

The Owner is requesting relief to permit the construction of 16 Tesla Electric Vehicle ('EV') charging stations with the above noted variances. The Owner submitted Site Development Application DA.22.015 to facilitate the development, which is currently under review. The EV charging stations are proposed within the landscape strip separating Ansley Grove Road from the parking lot on the Subject Lands.

The Development Planning Department has no objection to the proposed variance for locating components of the EV charging stations on the landscape strip. Additional vegetation is proposed on the landscape strip to assist with screening the charging stations. As such, the landscape strip width in conjunction with the vegetation will provide adequate buffering between the existing parking spaces and Ansley Grove Road.

In support of the application, the Owner has submitted an Arborist Report prepared by Stantec Consulting Ltd., dated May 19, 2022. The report inventoried ten trees, one of which is proposed to be removed.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A328/22 (3940 Hwy 7) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentservices@york.ca>

Sent: February-01-23 12:49 PM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A328/22 (3940 Hwy 7) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None