

ITEM: 6.6	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A046/23 138 THORNRIE DRIVE, THORNHILL
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A046/23
138 THORNRIIDGE DRIVE, THORNHILL**

ITEM NUMBER: 6.6	CITY WARD #: 5
APPLICANT:	Liangyan Shui
AGENT:	Frank Feng
PROPERTY:	138 Thornridge Drive, Thornhill
ZONING DESIGNATION:	See below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed addition to the existing dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted lot coverage is 23%. [Section 7.2.2. Table 7-3, Footnote (2)]	To permit a maximum lot coverage of 25.86%.

HEARING INFORMATION

DATE OF MEETING: Thursday, May 11, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.

INTRODUCTION

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 27, 2032
Date Applicant Confirmed Posting of Sign:	April 18, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The Maximum Lot Coverage is 23% required from zoning By-law. The proposed lot coverage is 25.86% as the proposed addition to the existing building in the rear yard.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	N/A
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed addition to existing residence is 71.57 m² in the subject property, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A046/23, subject to the following condition(s):

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Recommended condition of approval.

PFH Recommended Conditions of Approval:	Obtain a tree removal/protection permit from the forestry division
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	TBD
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

		undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
3	Parks, Forestry and Horticulture Operations zachary_quizzetti@vaughan.ca	Obtain a tree removal/protection permit from the forestry division

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

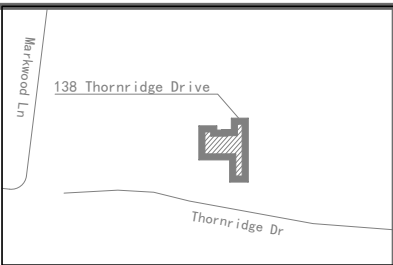
<p>CONSTRUCTION NOTES (UNLESS NOTED OTHERWISE)</p> <p>ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH:</p> <p>- THE ONTARIO BUILDING CODE - ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.</p>
<p>EXCAVATION AND BACKFILL</p> <ol style="list-style-type: none"> EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 300mm (12") IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450mm (18"). BACKFILL WITHIN 600mm (24") OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250mm (10") DIAMETER.
<p>DAMP-PROOFING AND DRAINAGE</p> <ol style="list-style-type: none"> IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENT SHALL BE DAMP-PROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED. 100mm (4") DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB, AND SHALL BE COVERED WITH CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO STORM WATER SEWER. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR. THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. DOWNSPUTS SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION. MASONRY FOUNDATION WALLS SHALL BE PARGEWIT 1/4" OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMP-PROOFING. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING.
<p>WOOD FRAME CONSTRUCTION</p> <p>REFER TO STRUCTURAL DRAWINGS</p> <ol style="list-style-type: none"> ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION. WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05mm POLYETHYLENE.
<p>CONCRETE SLABS</p> <ol style="list-style-type: none"> ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.
<p>FLOORS</p> <p>F FLOORS</p> <p>- FLOOR FINISH (TBD) - 19mm (3/4") T&G PLYWOOD SUBFLOOR - FLOOR JOISTS REFER TO ARCH. PLANS - 13mm GYPSUM BOARD</p> <p>NOTE: UNLESS INDICATED ON STRUCTURAL DRAWINGS,</p> <ol style="list-style-type: none"> HEADER JOISTS BETWEEN 1200mm AND 3200mm IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 3200mm SHALL BE SIZED BY CALCULATIONS. TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800mm AND 2000mm. TRIMMER JOISTS SUPPORTED HEADER EXCEEDS 2000mm SHALL BE SIZED BY CALCULATIONS. 38X38mm CROSS BRIDGING REQUIRED NOT MORE THAN 2100mm FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING. JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS, AND HEADERS. NON-LOADBEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS.

<p>GENERAL PARTITION NOTES</p> <ol style="list-style-type: none"> ALL GYPSUM BOARD PARTITIONS ARE DIMENSIONED TO ONE FACE UNLESS OTHERWISE NOTED. ALL MASONRY & CONCRETE WALLS ARE DIMENSIONED TO THE FACE OF THE MASONRY OR CONCRETE. ALL CONCRETE BLOCK (CMU) WALLS EXTEND FULL HEIGHT TO THE UNDERSIDE OF THE STRUCTURE UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION JOINT AND LATERAL RESTRAINTS AT TOP OF WALLS AS REQUIRED, TYPICAL. ALL FIRE RATED OR SOUND INSULATED GYPSUM BOARD PARTITIONS EXTEND FULL HEIGHT TO THE UNDERSIDE OF THE STRUCTURE. GYPSUM BOARD IS TYPICALLY 13mm NOM. (1/2 mm ACTUAL) THICKNESS UNLESS OTHERWISE INDICATED. FIRE-RATED WALL TYPES ARE INDICATED ON THE DRAWINGS. WHERE GWB IS USED IN FIRE RATED WALLS, USE ONLY DESIGNATED TYPES PER PARTITION SCHEDULE OR APPROVED EQUALS. ALL PERIMETER JOINTS OR PENETRATIONS THROUGH SOUND INSULATED OR FIRE RATED PARTITIONS SHALL BE SEALED TO CONFORM TO MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES W.R.T AUTHORITIES HAVING JURISDICTION. GYPSUM BOARD COVERING CONCRETE OR MASONRY WALLS SHALL EXTEND TO 100 mm ABOVE THE CEILING LINE WHERE APPLICABLE. INSTALL SLIP JOINTS AT TOPS OF ALL WALLS ABUTTING STRUCTURE. CONTRACTOR TO VERIFY AND PROVIDE STUD SIZES AND STEEL THICKNESS ADEQUATE FOR HEIGHTS OF PARTITIONS, TYPICAL. ALL PIPE CHASES ARE TO BE ACOUSTICALLY ISOLATED. PROVIDE BLOCKING AS REQUIRED, REFER TO SPECIFICATIONS. EXPOSED CMU WALL TERMINATIONS TO HAVE "BULL NOSED" EDGES. USE 16mm IMPACT RESISTANT BOARD IN LIEU OF 16mm GWB WHERE NOTED. VERIFY ALL VENT SIZES AND LOCATIONS WITH MECHANICAL DRAWINGS. REFER TO SPECIFICATIONS FOR GENERAL CONSTRUCTION REQUIREMENT FOR PARTITION WALLS.
<p>ROOF</p> <p>R ROOF ROOF (R60)</p> <p>- 3-TAP ARCHITECTURAL ASPHALT SHINGLES - 13 mm (1/2") PLYWOOD SHEATHING - ENG. ROOF TRUSSES - PROVIDE TWO ROWS OF PEEL AND STICK ICE AND WATER SHIELD ALONG EAVES - REMAINDER OF ROOF TO BE PROTECTED W/ NON-PERFORATED #15 ASPHALT ROOFING FELT - ALL VALLEYS TO BE PROTECTED WITH PEEL AND STICK ICE AND WATER SHIELD UNDER PRE-FINISHED METAL VALLEY FLASHING - PRE-ENGINEERED TRUSSES - R60 INSULATION - 13mm DRYWALL</p> <p>Note: 1. FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 13mm (1/2") INTO ROOF SHEATHING. 2. EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000mm WIDE SHINGLE (OR 6 OR 11mm STAPLES). 3. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLLING ROOFING, OR 1 LAYER OF SHEET METAL MIN. 900mm (24") WIDE. 4. SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 0.33mm GALVANIZED STEEL, 0.33mm COPPER, 0.35 ZINC OR 0.48 ALUMINUM. 5. EAVE PROTECTION SHALL EXTEND 900mm (36") UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 300mm (12") FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 100mm (4") HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO.15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.</p>
<p>NOTCHING & DRILLING OF TRUSSES, JOIST AND RAFTERS</p> <ol style="list-style-type: none"> HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 50mm (2") FROM EDGES. NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN ACTUAL THE 1/2 DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST DEPTH. WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS F LOAD BEARING, AND 40mm IF NON-LOAD BEARING. ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.
<p>COLUMNS, BEAMS AND LINTELS</p> <p>REFER TO STRUCTURAL DRAWINGS</p>

<p>STAIRS, HANDRAILS AND GUARDS</p> <p>STAIRS</p> <p>A. INTERIOR AND EXTERIOR STAIRS. - MAXIMUM RISE 200mm (7-7/8") - MINIMUM RUN 210mm (8-1/4") - MINIMUM TREAD 235mm (9-1/4") - MAXIMUM NOSING 25mm (1") CURVED STAIRS: - MIN. RUN 150mm (6") - MIN. AVERAGE RUN 200mm (7-7/8")</p> <p>B. STAIR WIDTH: - INTERIOR: 860mm (2'-10") BTW. WALL FACES. - EXTERIOR: 900mm (3'-0") BTW. WALL FACES.</p> <p>C. LANDINGS AS WIDE AND LONG AS WIDTH OF STAIRS.</p> <p>D. HEAD ROOM: - INTERIOR: 1950mm (6'-5") MINIMUM - EXTERIOR: 2050mm (6'-9") MINIMUM</p> <ol style="list-style-type: none"> CURVED STAIRS SHALL HAVE A MIN. RUN OF 150mm (6") AT ANY POINT AND A MINIMUM AVERAGE RUN OF 200mm (7-7/8"). WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90° WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 3" 11" ALONG THE RUN OF THE STAIR. A LANDING MINIMUM 900mm (2'-11") IN LENGTH IS AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL REQUIRED ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS. <p>HANDRAILS AND GUARDS</p> <p>A. HANDRAIL: - 32" MIN. AND 36" MAX. ABOVE NOSING. - 1-1/2" MIN. CLEARANCE FROM WALL.</p> <p>B. GUARDS: FINISHED NON-CLIMBABLE GUARD 100mm-890mm (4"-35") ABOVE FINISHED FLOOR W/ 100mm (4") MAXIMUM SPACING BTW. PICKETS. - INTERIOR: MIN. 900mm (36") HIGH AROUND LANDINGS AND FLOOR AREAS OF MORE THAN TWO RISERS. - EXTERIOR: MIN. 1050mm (42") HIGH WHEN LEVEL DIFFERENCE > 1800mm (6'-0") MIN. 900mm (36") HIGH WHEN LEVEL DIFFERENCE > 1800mm (6'-0")</p> <ol style="list-style-type: none"> A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm (2') ABOVE THE ADJACENT LEVEL. <p>RAMPS</p> <p>MAXIMUM SLOPE FOR PEDESTRIAN RAMP 1:10</p>																				
<p>INSULATION & WEATHERPROFING</p> <table border="1"> <tr><td>CEILING WITH ATTIC SPACE</td><td>R60</td></tr> <tr><td>ROOF WITHOUT ATTIC SPACE</td><td>R31</td></tr> <tr><td>EXTERIOR WALL (NEW)</td><td>R22</td></tr> <tr><td>BASEMENT WALL</td><td>R20 ci</td></tr> <tr><td>EXPOSED FLOOR</td><td>R31</td></tr> <tr><td>SLABS ON GRADE</td><td>R10</td></tr> <tr><td>(HEATED OR <= 600mm (24") BELOW GRADE)</td><td></td></tr> <tr><td>WINDOW AND SLIDING GLASS DOORS</td><td>0.28 (U-VALUE)</td></tr> <tr><td>SKYLIGHT</td><td>0.49 (U-VALUE)</td></tr> <tr><td>SUPPLY DUCTS IN UNHEATED SPACE</td><td>R12</td></tr> </table> <ol style="list-style-type: none"> INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15mm POLY IS SUFFICIENT FOR FIBREGLASS TYPE INSULATIONS. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT. CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING. WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR. EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6" 7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT. 	CEILING WITH ATTIC SPACE	R60	ROOF WITHOUT ATTIC SPACE	R31	EXTERIOR WALL (NEW)	R22	BASEMENT WALL	R20 ci	EXPOSED FLOOR	R31	SLABS ON GRADE	R10	(HEATED OR <= 600mm (24") BELOW GRADE)		WINDOW AND SLIDING GLASS DOORS	0.28 (U-VALUE)	SKYLIGHT	0.49 (U-VALUE)	SUPPLY DUCTS IN UNHEATED SPACE	R12
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SKYLIGHT	0.49 (U-VALUE)																			
SUPPLY DUCTS IN UNHEATED SPACE	R12																			
<p>ACCESS TO ATTIC SPACE AND CRAWL SPACE</p> <ol style="list-style-type: none"> ACCESS HATCH MIN. 545 X 588mm TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 10 SQM OR MORE IN AREA AND MORE THAN 600mm IN HEIGHT. ACCESS HATCH MINIMUM 500 X 700mm TO BE PROVIDED TO EVERY CRAWL SPACE. 																				
<p>CAULKING AND SEALING</p> <ol style="list-style-type: none"> THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES. ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED. DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER. 																				

<p>SMOKE ALARM AND CARBON MONOXIDE DETECTOR</p> <ol style="list-style-type: none"> AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL, 900mm OR MORE ABOVE AN ADJACENT LEVEL. SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 5mm OF EVERY BEDROOM DOOR AND NO MORE THAN 15M TRAVEL DISTANCE FROM ANY POINT ON A FLOOR. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE.
<p>NATURAL VENTILATION</p> <ol style="list-style-type: none"> EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS. UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1 SQM OF VENTILATION FOR EACH 50 SQM. MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE: BATHROOMS: 0.09 SQM (3SF) OTHER ROOMS: 0.28 SQM (3SF) UNFINISHED BASEMENT: 0.2% OF FLOOR AREA
<p>PLUMBING</p> <p>- A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.</p>
<p>ELECTRICAL</p> <ol style="list-style-type: none"> AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS. STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS. BASEMENTS REQUIRE A LIGHT FOR EACH 30 SQM CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.
<p>MECHANICAL VENTILATION</p> <ol style="list-style-type: none"> A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM 5.0 L/S FOR EACH OTHER ROOM. A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

<p>GENERAL NOTES</p> <p>A. GENERAL:</p> <ol style="list-style-type: none"> READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH MECHANICAL DRAWINGS AND OTHER CONTRACT DOCUMENTS AS PROVIDED. PROTECT EXISTING BUILDINGS, TREES, FENCING, UTILITY POLES, CABLES, ACTIVE UNDERGROUND SERVICES AND PAVING ON THE SITE OR ANY ADJOINING PROPERTIES FROM DAMAGE. ANY DAMAGE RESULTING FROM THIS CONSTRUCTION WORK SHALL BE MADE GOOD TO THE APPROVAL OF THE ARCHITECT AT NO COST TO THE OWNER. PRIOR TO CONSTRUCTION LOCATE AND NOTE EXISTING SERVICES AND EXISTING FACILITIES. <p>B. REFERENCE STANDARDS:</p> <ol style="list-style-type: none"> ONTARIO BUILDING CODE 2012. ALL CSA CODES AND ASTM STANDARDS REFERENCED BELOW REFER TO THOSE EDITIONS AND REVISIONS OF CODES/ STANDARDS REFERENCED IN ONTARIO BUILDING CODE 2006. COMPLY WITH LOCAL BY-LAWS, CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS SET BY AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. <p>C. SPECIAL PROVISIONS:</p> <ol style="list-style-type: none"> NO SUBSTITUTIONS ARE PERMITTED IN THE EVENT OF UNAVAILABILITY OF THE SPECIFIED PRODUCT, SUBJECT TO WRITTEN PERMISSION OBTAINED FROM ARCHITECT/ENGINEER, CONTRACTOR ENSURES THAT SUBSTITUTIONS CAN BE BOTH PHYSICALLY AND DIMENSIONALLY INCORPORATED IN THE WORK WITH NO LOSS OF INTENDED FUNCTION OR CONSTRUCTION TIME AND AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR REIMBURSES ALL PARTIES FOR ADDITIONAL TIME COSTS INVOLVED IN EXECUTING THE REVISIONS IN RECORD. <p>D. DESIGN GENERAL:</p> <ol style="list-style-type: none"> ALL CONCRETE MEMBERS ARE DESIGNED IN ACCORDANCE WITH A23.3 - 'CODE FOR THE DESIGN OF CONCRETE STRUCTURES FOR BUILDINGS' USING LIMIT STATE DESIGN. ALL DESIGN LOADINGS GIVEN ON THE DRAWINGS ARE SPECIFIED WORKING LOADS. ALL EXPOSED METALWORK IS TO BE EITHER GALVANIZED OR STAINLESS STEEL OR DURABLE NON-FERROUS UNLESS SPECIFIED OTHERWISE. THE EXPOSED ENDS OF CUT GALVANIZED MATERIALS ARE TO BE PROPERLY TREATED TO PREVENT OXIDATION, DETERIORATION OR STAINING. <p>E. EXISTING CONDITIONS, DEMOLITION, FOUNDATIONS AND RELATED WORK:</p> <ol style="list-style-type: none"> NOTIFY SPECIFIED DESIGN CONSULTANT IN ADVANCE OF THE TIME OF COMMENCEMENT OF EXCAVATION/DEMOLITION FOR HIS ATTENDANCE AND REVIEW. EXPOSED SURFACES OF REMOVED AREA TO BE DRY UNDISTURBED MATERIAL. LEVEL, FREE FROM LOOSE OR ORGANIC MATTER. PROTECT BOTTOMS OF EXPOSED AREAS FROM SOFTENING, DETERIORATION OR DEGRADATION DUE TO EXPOSURE OR OTHER CONSTRUCTION. TEMPORARILY PROTECT ALL EXPOSED ROOF AREAS AND ADJACENT STRUCTURES. PROTECT EXTG AND NEW CONSTRUCTION FROM FREEZING. BEFORE PLACING CONCRETE FOR FOUNDATIONS, OBTAIN APPROVAL FROM PROFESSIONAL STRUCTURAL ENGINEER. CONSULT AND NOTIFY OF CONSTRUCTION SCHEDULING. <p>F. TEMPORARY WORK:</p> <ol style="list-style-type: none"> PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT OF THIS CONTRACT. PROVIDE ALL TEMPORARY SIGNAGE AND TEMPORARY FIRE WATCH AS REQUIRED.
<p>ADDITIONAL NOTES</p> <ol style="list-style-type: none"> PROVISION OF SAFE ACCESS TO THE BUILDING WITH APPROPRIATE PROTECTION TO ALLOW SAFE PUBLIC ACCESS TO ALL ENTRANCES; PROTECT ADJACENT AND ABUTTING BUILDINGS OUTSIDE THE PRESCRIBED SCOPE OF WORK FROM DAMAGE, DUST AND DISTURBANCE; REMOVE ALL EXISTING CONTENTS, WASTE, DEMOLISHED MATERIALS AND RUBBISH FROM SITE AND DISPOSE OF AT LEGAL DUMPING SITES; PAY ALL DISPOSAL COSTS; AND MAINTAIN A CLEAN AND SAFE SITE PRE-, DURING AND POST-CONSTRUCTION.



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TELEPHONE: (905)947-6900 FAX: (905)305-4370

A	ISSUED FOR REVIEW	MAR 23, 2023
NO.	ISSUED/REVISED	DATE

Owner & Address

138 Thornridge Dr.
Thornhill, ONTARIO

Drawing Title

NOTES

Project No. DES18-06-03A

Drawn by J.H

Checked by F.F

Date MAR 23, 2023

Drawing No.

A0.0

Scale AS SHOWN

SITE GRADING PLAN OF
LOT 41
 REGISTERED PLAN 4061
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

Received
 March 29, 2023

BENCHMARK NOTE:

ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF VAUGHAN BENCHMARK No. 2 - 6 HAVING AN ELEVATION OF 192.673M.

METRIC:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTE:

THIS IS NOT A PLAN OF SURVEY THE BOUNDARY INFORMATION ARE COMPILED FROM VARIOUS SOURCES AND SHALL NOT BE USED FOR MORTGAGE OR TRANSACTION PURPOSES

UNDERGROUND SERVICES:

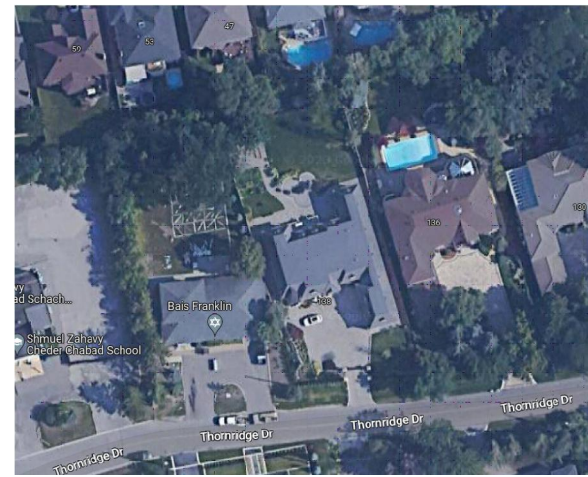
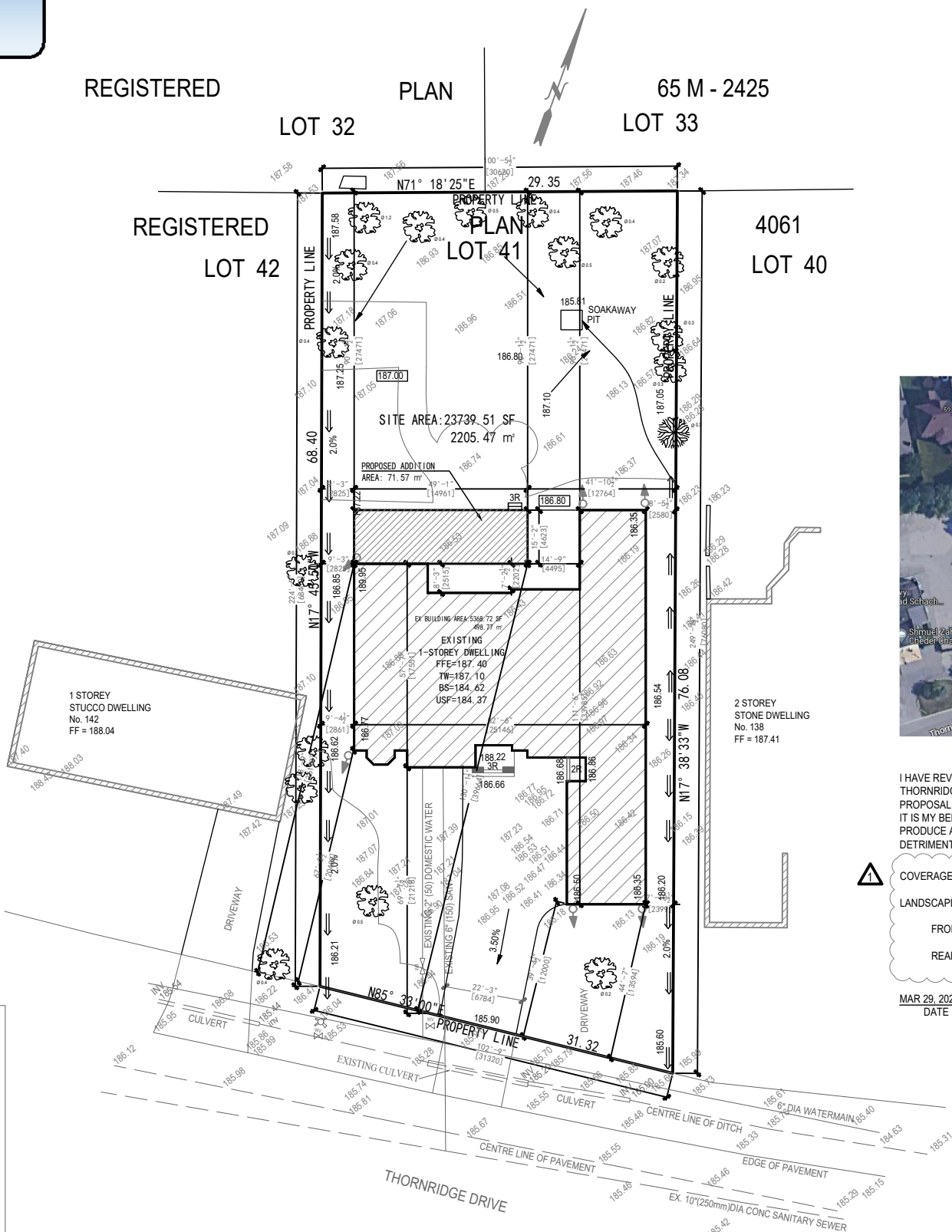
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE. THE UNDERNAMED COMPANY AND EACH UTILITY ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ON-SITE LOCATE PRIOR TO ANY EXCAVATION.

NOTS:

1. ALL FOOTING FORMWORK ELEVATION ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
2. PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE CERTIFY THAT THE TOP OF FOUNDATIONS IS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE CITY.
3. ALL RAINWATER LEADERS TO DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT FRONT OF HOUSE.

LEGEND:

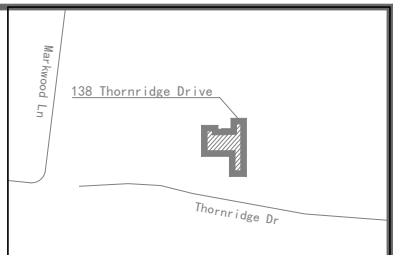
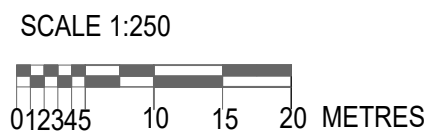
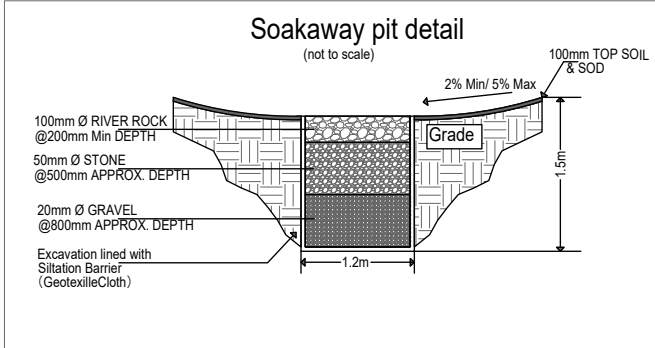
INV	DENOTES	INVERT ELEVATION
OR	DENOTES	TREE
188.22	DENOTES	EXISTING ELEVATION
186.80	DENOTES	PROPOSED ELEVATION
FFE	DENOTES	FINISHED FIRST FLOOR ELEVATION
TW	DENOTES	TOP OF WALL ELEVATION
BS	DENOTES	BASEMENT SLAB
USF	DENOTES	UNDERSIDE OF FOOTING ELEVATION
→	DENOTES	SWALE FLOW DIRECTION
2.0%	DENOTES	SWALE SLOPE
⊗	DENOTES	WATER VALVE
→	DENOTES	WATER FLOW DIRECTION
○	DENOTES	SPOUT



I HAVE REVIEWED THE PLANS FOR NEW ADDITION OF EXISTING 1 STOREY DWELLING LOCATED AT 138 THORNTRIDGE DR AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL WITH ALL ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED ELEVATIONS AND GRADIENTS AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

△ COVERAGE: 25.86%
 LANDSCAPING: 69.27%
 FRONT YARD: 36.21%, OF WHICH 61.30% IS SOFT LANDSCAPING
 REAR YARD: 37.93%, OF WHICH 67.27% IS SOFT LANDSCAPING

MAR 29, 2023 DATE
 FRANK FENG PROFESSIONAL ENGINEER



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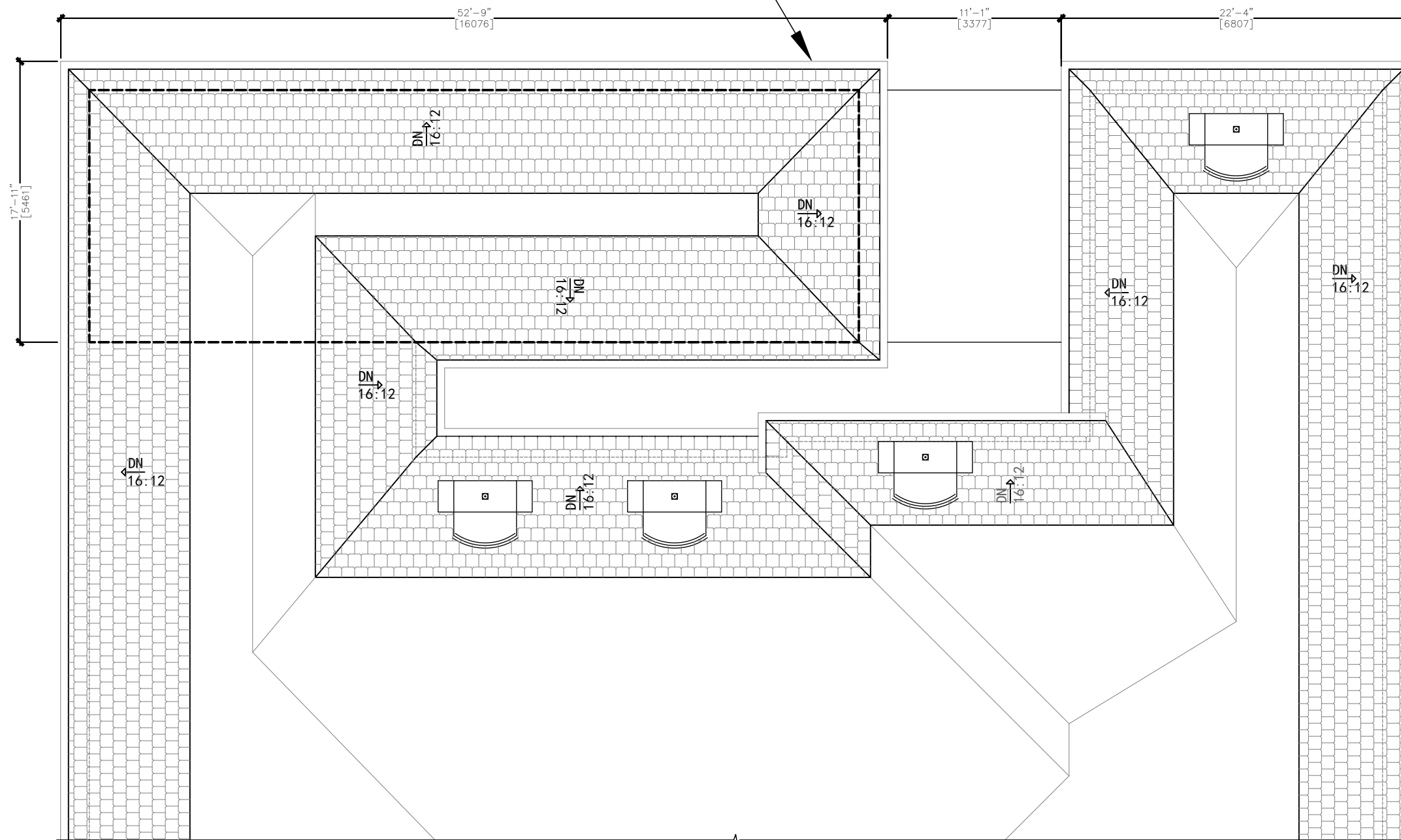
CONSTRUCTION NORTH	TRUE NORTH

A	△ ISSUED FOR REVIEW	MAR 29, 2023
NO.	ISSUED/REVISED	DATE

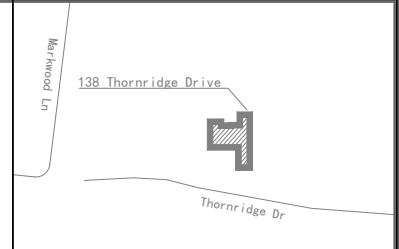
Owner & Address	138 Thornridge Dr. Thornhill, ONTARIO	
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Drawing Title	LOT GRADING PLAN	
Project No.	DES18-06-03A	
Drawn by	J.H.	
Checked by	F.F.	
Date	MAR 29, 2023	
Drawing No.	A1.0	
Scale	AS SHOWN	

PROPOSED ADDITION AREA 71.57 m²



1 PROPOSED ROOF PLAN
SCALE 1/8"=1'-0"

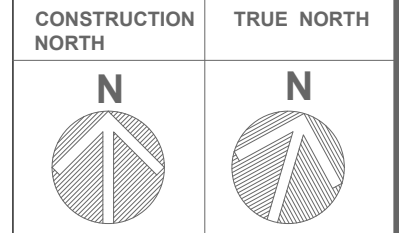


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Owner & Address
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Thornhill, ONTARIO

Drawing Title
PROPOSED ROOF PLAN

Project No.
DES18-06-03A

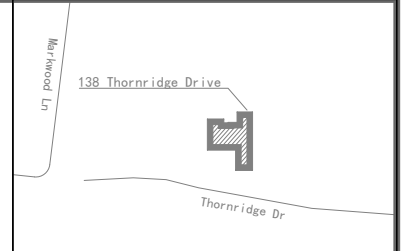
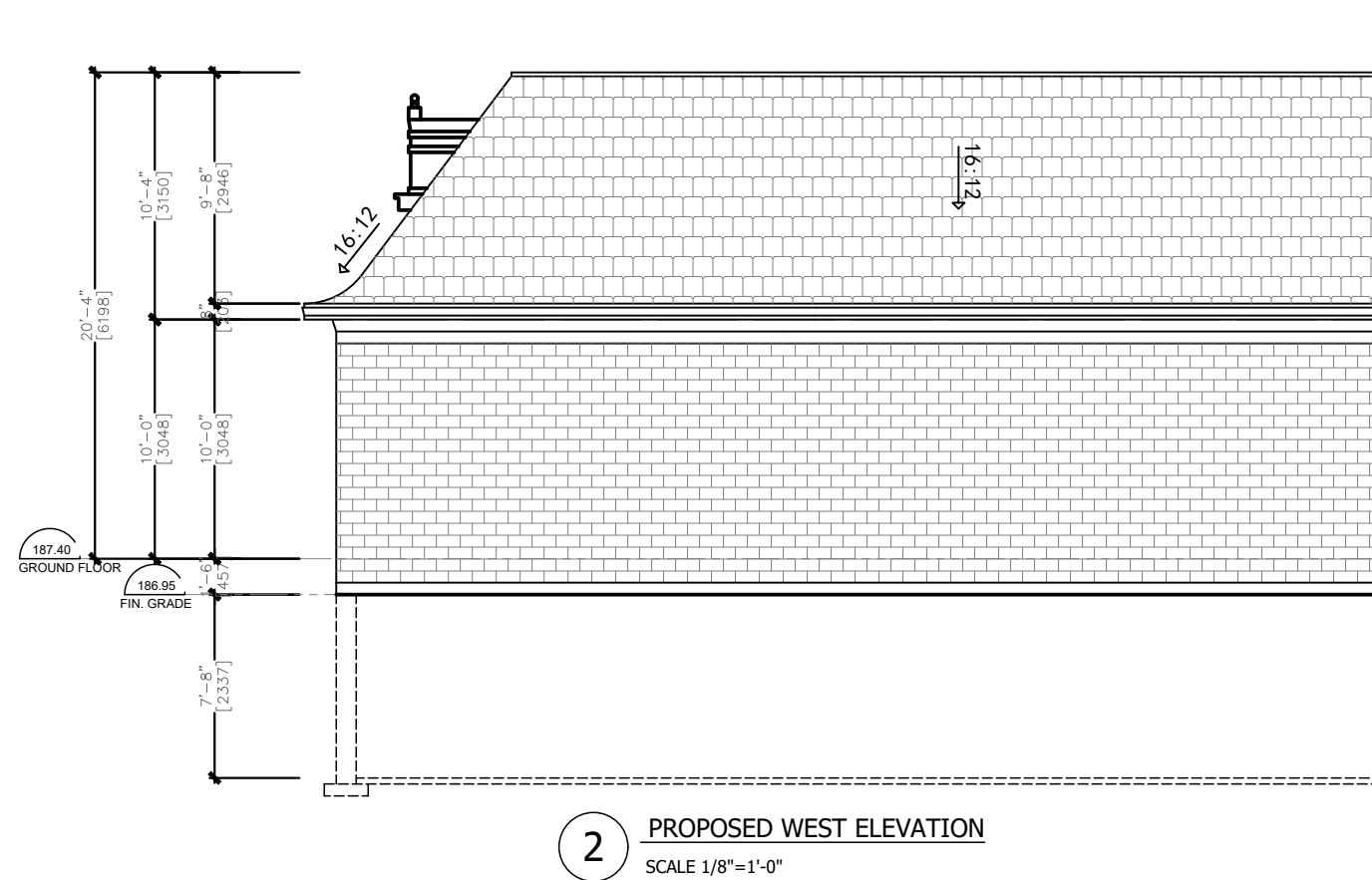
Drawn by
J.H

Checked by
F.F

Date
MAR 10, 2023

Drawing No.
A2.0

Scale
AS SHOWN



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Owner & Address
138 Thornridge Dr.
Thornhill, ONTARIO

Drawing Title
PROPOSED WEST ELEVATION

Project No.
DES18-06-03A

Drawn by
J.H

Checked by
F.F

Date
MAR 10, 2023

Drawing No.
A3.1

Scale
AS SHOWN

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

Date: April 14th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A046-23**

Related Files:

Applicant Liangyan Shui

Location 138 Thornridge Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

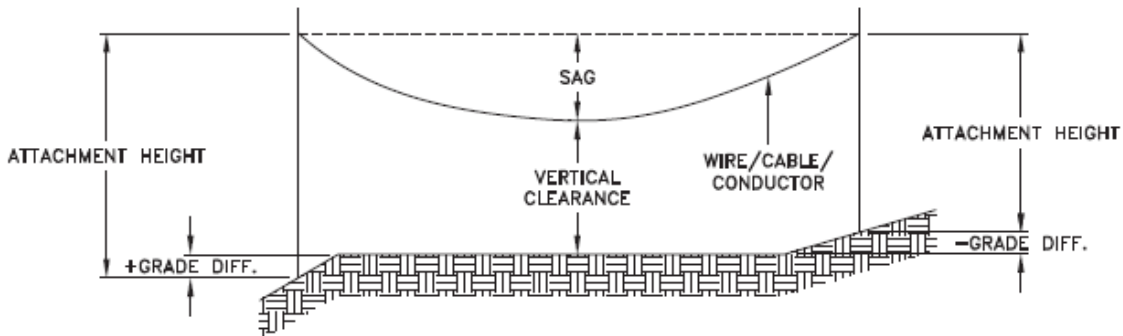
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

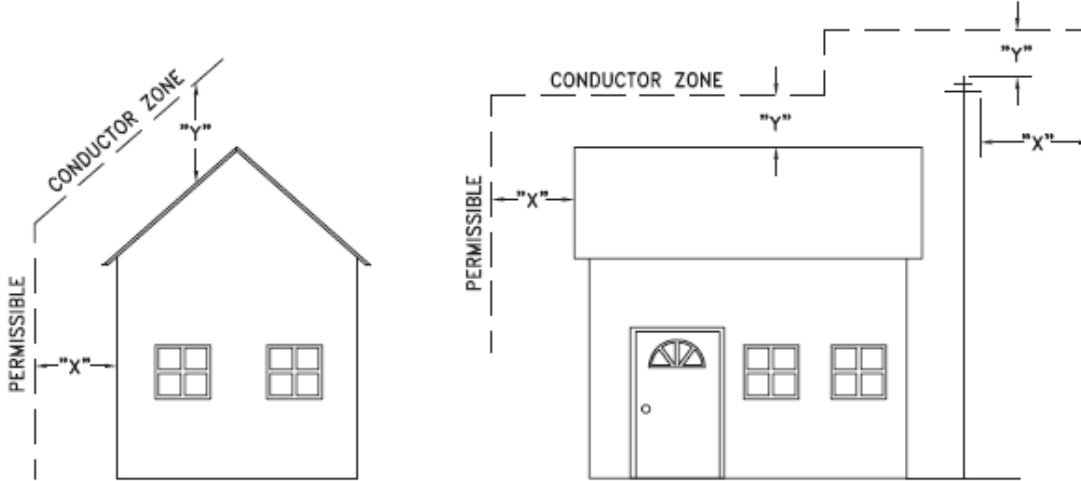
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3.3-6\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Punya Marahatta, Building Standards Department
Date: April 03, 2023
Applicant: Liangyan Shui
Location: 138 Thornridge Drive, Thornhill
 PLAN RP4061 Lot 41
File No.(s): A046/23

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted lot coverage is 23%. [Section 7.2.2. Table 7-3, Footnote (2)]	To permit a maximum lot coverage of 25.86%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This has been reviewed as a single dwelling unit only. Further zoning review and a separate building permit would be required for a secondary suite.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A046/23 (138 Thornridge Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, April 19, 2023 5:58:00 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None