

ITEM: 6.4	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A038/23 326 JEVLAN DRIVE, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
A146/21	08/12/2021	APPROVED; COA

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A038/23
326 JEVLAN DRIVE, WOODBRIDGE**

ITEM NUMBER: 6.4	CITY WARD #: 3
APPLICANT:	1114308 Ontario Limited
AGENT:	None
PROPERTY:	326 Jevlan Drive, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Employment Commercial Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	DA.22.020.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit to the construction of a proposed industrial building and to facilitate related site plan application DA.22.020.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EMU, Employment-Commercial Mixed-Use Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
	N/A	

The subject lands are zoned C7, Service Commercial Zone and subject to the provisions of Exception 9(462H) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
1	A strip of land not less than 9.0 metres in width shall be provided along a lot line of an arterial road and shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip. [Section 6.1.6]	To permit a strip of land not less than 2.9 metres in width along a lot line of an arterial road that shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip.

HEARING INFORMATION

DATE OF MEETING: Thursday, May 11, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 27, 2023
Date Applicant Confirmed Posting of Sign:	April 23, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Given the required road widening, we are requesting a decrease in the minimum width of the landscape abutting Weston Road.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On April 24, 2023, Development Planning provided:</p> <p>Development Planning ('DP') staff have discussed the above noted minor variance application in relation to Site Development File DA.20.020 with senior management and provide you the following comments:</p> <ol style="list-style-type: none"> 1) There appears to be some small discrepancies between the site plan submitted through Committee of Adjustment and the site plan submitted in the 3rd submission of DA.20.020. 2) The arborist report submitted through the minor variance application is of an earlier version. 3) DP recommends you resubmit the most updated site plan and arborist report that was reviewed through DA.20.020 to ensure the information approved by Committee is consistent with that reviewed by Vaughan staff. <p>On April 25, 2023, the applicant provided a revised site plan.</p> <p>On April 30, 2023, Committee of Adjustment staff requested that the applicant confirm changes between original site plan and plan submitted on April 25 for the purposes of scoping zoning review.</p> <p>On May 2, 2023, the applicant confirmed changes (denoted in red on plan)</p> <p>On May 3, 2023, Zoning staff confirmed required variances consistent with what was issued in the public notice.</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No

COMMITTEE OF ADJUSTMENT COMMENTS

Adjournment Fees:

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	None
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Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.22.020 be addressed to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to variance application A038/23 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.22.020) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Recommended condition of approval.

PFH Recommended Conditions of Approval:	Acquire a tree removal permit from the Forestry division.
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	That all comments on Site Development Application File DA.22.020 be addressed to the satisfaction of the Development Planning Department.
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.22.020) from the Development Engineering (DE) Department.
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Acquire a tree removal permit from the Forestry division

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION – PLEASE READ

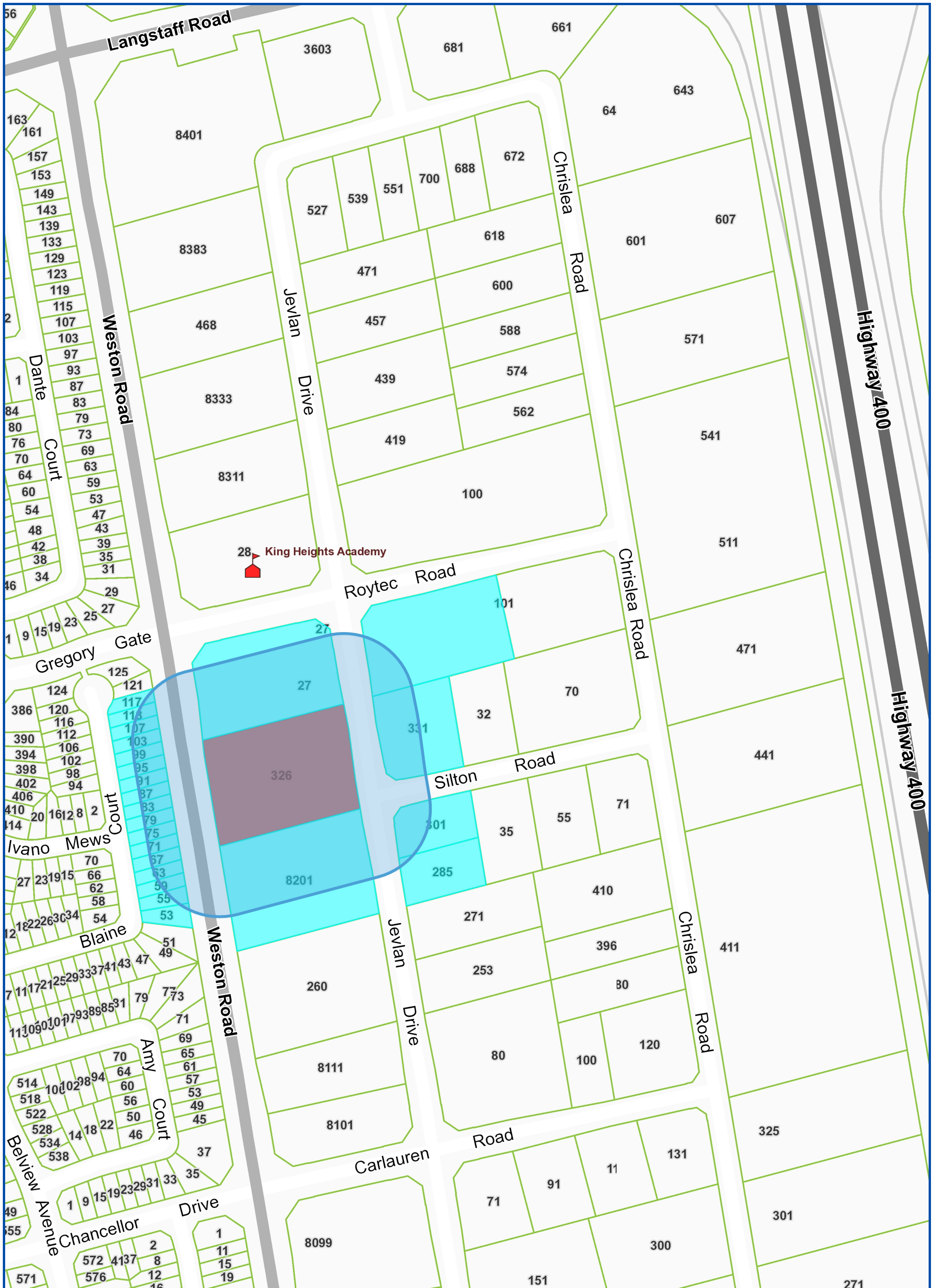
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

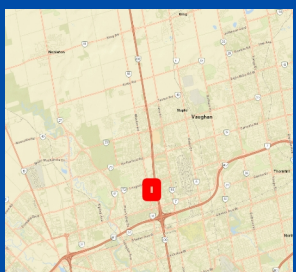
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

326 Jevlan Drive, Woodbridge

NOTIFICATION MAP - A038/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
April 25, 2023 11:20 AM

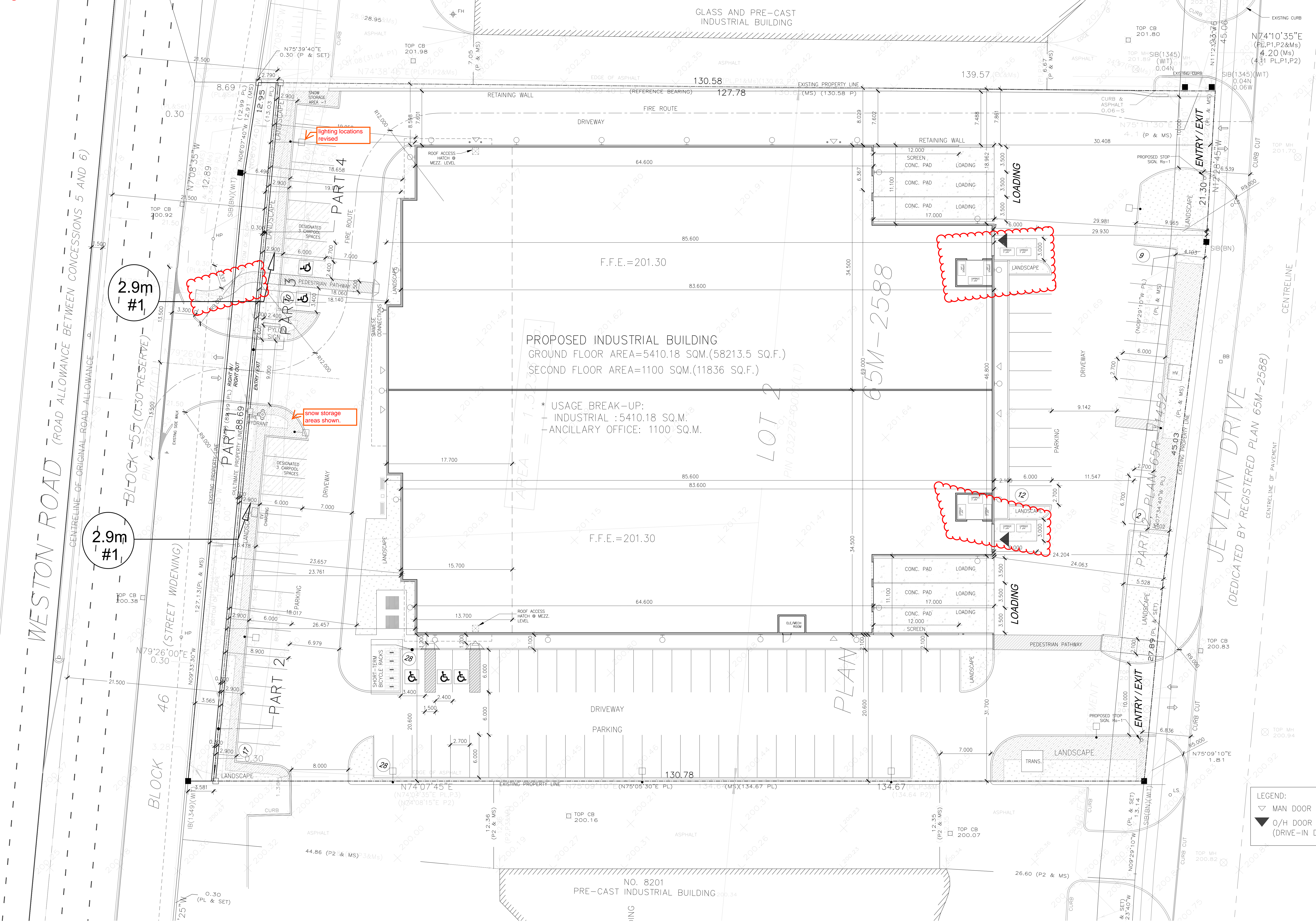
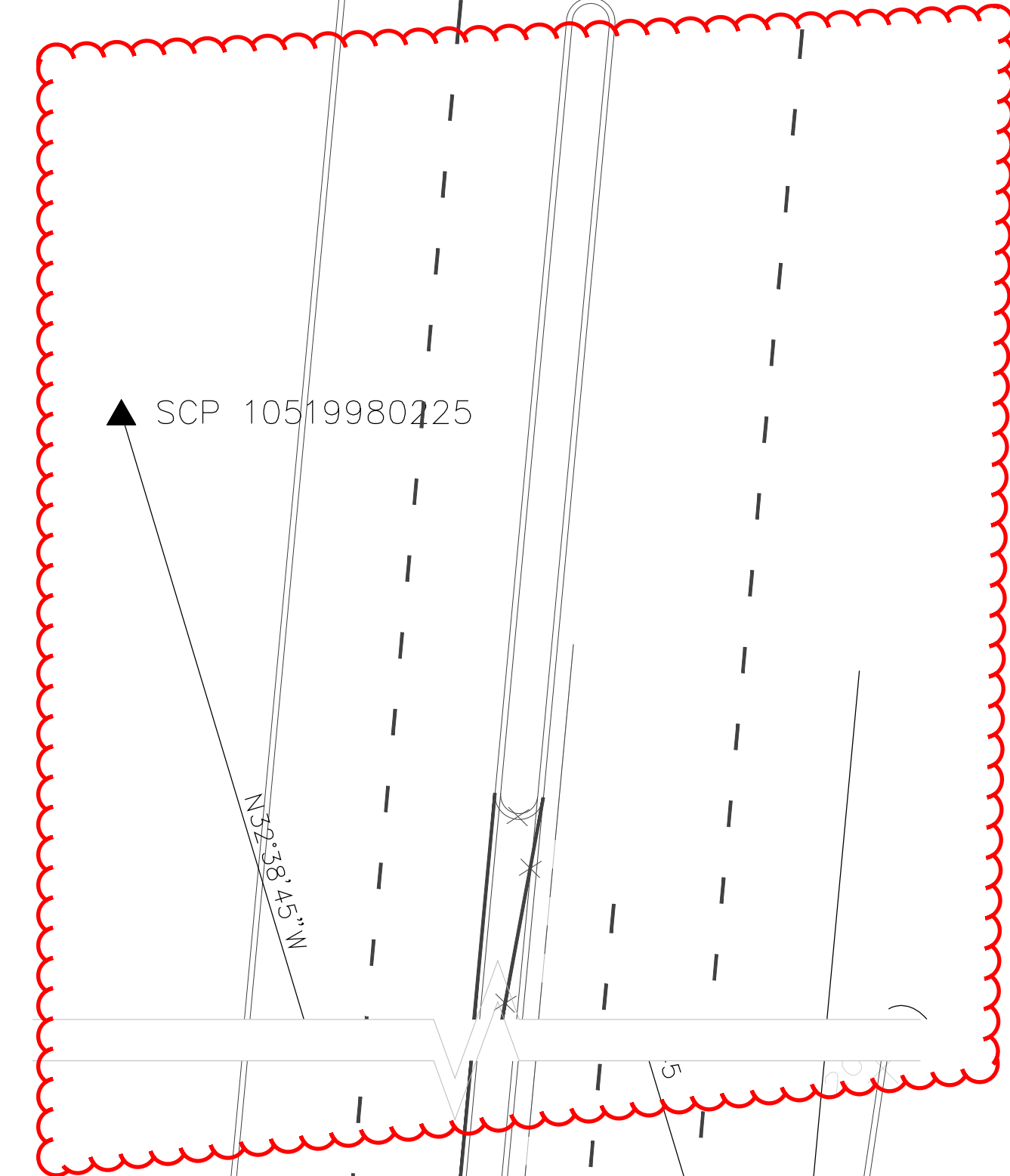
Projection:
NAD 83
UTM Zone
17N

RECEIVED

By Christine Vigneault at 4:35 pm, May 02, 2023

**ZONING BY-LAW 1-88-
VARIANCE REQUESTED:**

**#1 To Permit 2.9m Landscape strip
on Weston road side.**



PROPOSED INDUSTRIAL BUILDING
GROUND FLOOR AREA=5410.18 SQM.(58213.5 SQ.F.)
SECOND FLOOR AREA=1100 SQM.(11836 SQ.F.)

USAGE BREAK-UP:
INDUSTRIAL : 5410.18 SQ.M.
ANCILLARY OFFICE: 1100 SQ.M.

All material herein remains property of the architect noted below.
Giancarlo Garofalo Architect Inc.
www.ggarchitect.ca
943 St. Clair Ave. West
Toronto, Ontario M6C 1C7
T: 416.531.1265
F: 416.531.4753
e: info@ggarchitect.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

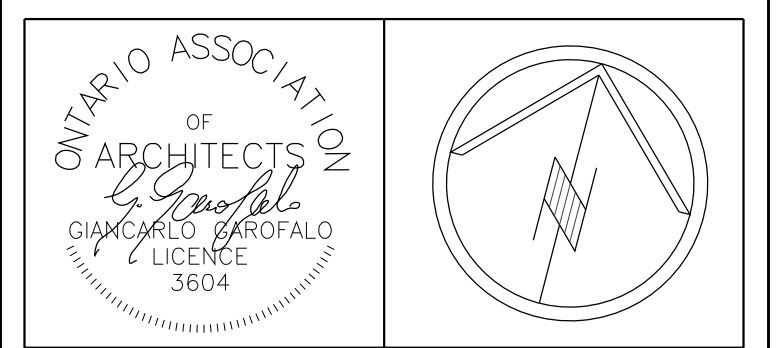
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

AREA STATISTICS

	SQ.M.	SQ.FT.
ORIGINAL LOT AREA	13,238.17	142,442.7
LOT AREA AFTER STREET WIDENING	12,891.54	138,712.97
BUILDING AREA	5410.18	58,213.50
COVERED AREA	41,978	451,836
GROSS FLOOR AREA	5410.18	58,213.5
MAIN FLOOR	5410.18	58,213.5
SECOND FLOOR	1100	11,836
TOTAL GROSS FLOOR AREA	6510.18	69,050
FLOOR SPACE INDEX	0.50	
PARKING REQUIRED:		
- INDUSTRIAL USE @ 1.5 SPACES/100 SQ.M.=81 SPACES		
- ANCILLARY OFFICE USE @ 2 SPACES/100 SQ.M.=22 SPACES		
TOTAL PARKING REQUIRED = 103 SPACES		
PARKING PROVIDED = 106 SPACES		
(INCLUDING 5 ACCESSIBLE SPACES)		
* BIKE RACKS: 5 RINGS-INVERTED U BIKE RACK (FOR 10 BIKES)		
LANDSCAPING REQUIRED AS PER 6.1.6-MIN. 5% OF THE LOT AREA (INCLUDING 5 ACCESSIBLE SPACES)		
SNOW STORAGE AREA CALCULATIONS:		
SNOW STORAGE AREA-1	= 52.85sq.m.	
SNOW STORAGE AREA-2	= 111.62sq.m.	
SNOW STORAGE AREA-3	= 109.47sq.m.	
SNOW STORAGE AREA-4	= 73.08sq.m.	
SNOW STORAGE AREA-5	= 90.88sq.m.	
TOTAL SNOW STORAGE AREA PROVIDED=338.46sq.m.		
(@ 2.60% OF THE SITE AREA)		

- D.A. FILE # DA.22.020
- YORK REGION FILE # SP.22.V.0167



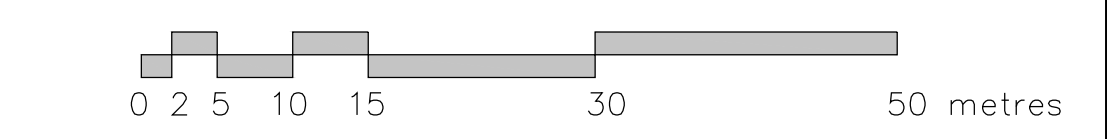
No.	Description	Date
1	Issued for OWNER'S REVIEW	20230423
2	Issued for OWNER'S REVIEW	20230424
3	Issued for OWNER'S REVIEW	20230424
4	Issued for REVIEW	20230707
5	Issued for REVIEW	20231022
6	Issued for REVIEW	20231027
7	Issued for Coordination	20230426
8	Issued for Coordination	20230426
9	Issued for SPA	20230911
10	SITE BOUNDARY UPDATED	20230911
11	ISSUED FOR COORDINATION	20230929
12	ISSUED FOR COORDINATION	20230929
13	ISSUED FOR COORDINATION	20231115
14	Issued for SPA-2nd Submission	20231128
15	Issued for SPA-3rd Submission	20230303
16	Issued for CoA	20230425

326 Jevlan Dr.
Woodbridge, ON L4L 8E3
Proposed Industrial Building

**SITE PLAN &
STATISTICS**

Project number
Date
Drawn by
Checked by G.G.

A1
Scale as noted



SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval w/conditions
Building Standards (Zoning)	X	X		General Comments

Date: April 14th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A038-23**

Related Files:

Applicant 1114308 Ontario Limited

Location 326 Jevlan Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

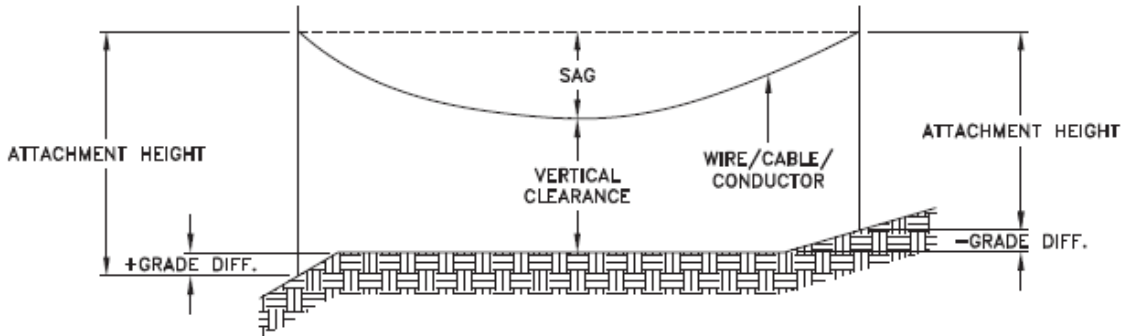
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: May 3, 2023
Applicant: 1114308 Ontario Limited
Location: 326 Jevlan Drive
 PLAN 65M2588 Lot 2
File No.(s): A038/23

Zoning Classification:

The subject lands are zoned EMU, Employment-Commercial Mixed-Use Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
	N/A	

The subject lands are zoned C7, Service Commercial Zone and subject to the provisions of Exception 9(462H) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A strip of land not less than 9.0 metres in width shall be provided along a lot line of an arterial road and shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip. [Section 6.1.6]	To permit a strip of land not less than 2.9 metres in width along a lot line of an arterial road that shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	The application is related to DA.22.020 which is transitioned under section 1.6.2.4.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: May 2, 2023
Name of Owner: 1114308 Ontario Limited
Location: 326 Jevlan Drive
File No.(s): A038/23

Proposed Variance(s) (By-law 001-2021):
None

By-Law Requirement(s) (By-law 001-2021):
None

Proposed Variance(s) (By-law 1-88)

1. To permit a strip of land not less than 2.9 m in width along a lot line of an arterial road that shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said strip.

By-law Requirement(s) (By-law 1-88)

1. A strip of land not less than 9.0 m in width shall be provided along a lot line of an arterial road and shall be used for no purpose other than landscaping. This shall not prevent the provisions of access driveways across the said strip. [S 6.1.6]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use"

Comments:

The Owner is requesting permission to reduce the width of a landscaping strip along Weston Road to facilitate Minor Site Development Application File DA.22.020. File DA.22.020 proposes to construct a 2-storey industrial building with ancillary office spaces. Minor site alterations (i.e., parking spaces, curbs, parking lines) resulted in the requested relief. Development Planning confirms DA.22.020 has been reviewed by City staff, who have signed off on the proposed changes. Delegated approval by the Director of Development Planning will be issued once the deficiencies in zoning have been resolved.

Development Planning has no objection to the Variance, as the reduced strip of land maintains a similar curb appeal and streetscape appearance to that of the adjacent employment commercial properties. It should be noted that this Variance only applies to By-law 1-88, as the up-to-date landscape strip provisions of By-law 001-2021 are met.

In support of this minor variance application, the Owner has submitted an Arborist Report, prepared by D. Andrew White, dated September 12, 2022 (updated February 2023). Urban Design staff reviewed the proposed changes and are generally satisfied.

The Development Planning Department is of the opinion that the requested Variance is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to a condition.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That all comments on Site Development Application File DA.22.020 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Roberto Simbana, Planner
David Harding, Senior Planner

Lenore Providence

Subject: FW: [External] RE: A038/23 (326 Jevlan Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>

Sent: April-18-23 3:12 PM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A038/23 (326 Jevlan Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Region has completed its review of Minor Variance A038/23 and has no comment.

Many thanks,

Christine Meehan, B.U.R.P.I., B. B. A | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1

1-877-464-9675 | christine.meehan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A146/21	08/12/2021	APPROVED; COA

NOTICE OF DECISION
Minor Variance Application A146/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, August 12, 2021

Applicant: Quintessa Homes Corporation

Agent Francesco Fiorani

Property: **326 Jevlan Drive, Woodbridge**

Zoning: The subject lands are zoned C7 Service Commercial and subject to the provisions of Exception No. 9(462H) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use", with a maximum permitted height of 5-storeys and floor space index ('FSI') of 2.5 times the area of the lot.

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed commercial industrial building.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. An "Employment Use" as defined under Section 2.0 of By-law 1-88 a.a. is not a permitted use under the current zoning designation.	1. An "Employment Use" as defined under Section 2.0 of By-law 1-88 a.a. is not a permitted use under the current zoning designation.
2. Section 6.1 "General Provisions" of By-law 1-88 a.a. is not permitted under the current zoning designation.	2. To permit "General Provisions" under Section 6.1 of Zoning By-law 1-88 a.a.
3. A maximum building height of 11.0 metres is permitted to the highest point of the building. (Schedule A)	3. To permit a maximum building height, as defined, of 15.0 metres to the highest point of the building.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A146/21 on behalf of Quintessa Homes Corporation be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96).

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

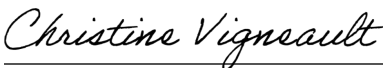
Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of the Thursday, August 12, 2021 meeting for submission details.
Name: Nello Corsetti Address: 79 Blaine Court Nature of Correspondence: Letter of Objection	None

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		OPPOSED
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	August 12, 2021
DATE OF NOTICE:	August 20, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	September 1, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



No.	Description	Date
1	Issued for OWNER'S REVIEW	20160309
2	Revised for OWNER'S REVIEW	20160304
3	Issued for OWNER'S REVIEW	20160414
4	Revised for OWNER'S REVIEW	20160503

326 Jewlan Dr.
Woodbridge, On L4L 8E3
Proposed Industrial Building

SITE PLAN & STATISTICS

Project number
DATE: MAR 2016
Drawn by: L.P.
Checked by: G.G.

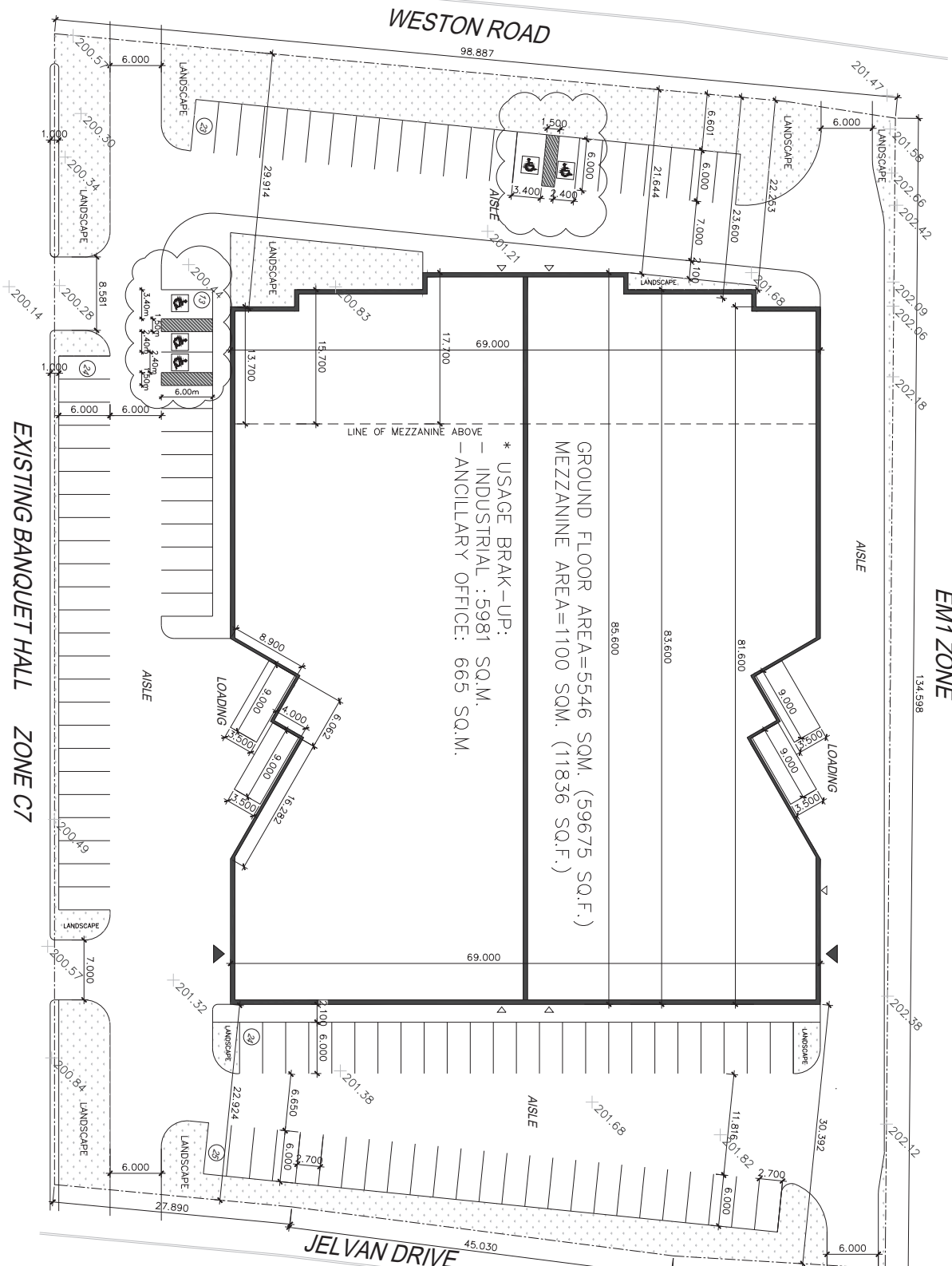
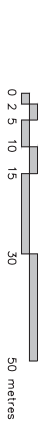
Scale: as noted

AREA STATISTICS

	SQ.M	SQ FT
LOT AREA:	13,232.04	142,376.8
BUILDING AREA:	5,546	59,675
COVERARGE	41.92 %	
GROSS FLOOR AREA:		
MAIN FLOOR	5546	59,675
MEZZANINE	1100	11,836
TOTAL GROSS FLOOR AREA=	6646	71,511
FLOOR SPACE INDEX:	0.5	
BASEMENT AREA:		

PARKING REQUIRED:
- INDUSTRIAL USE @ 0.15 SPACES/100 SQ.M = 90 SPACES
- ANCILLARY OFFICE USE @ 0.2 SPACES/100 SQ.M = 13 SPACES
TOTAL PARKING REQUIRED = 103 SPACES
PARKING PROVIDED = 109 SPACES
(INCLUDING 5 ACCESSIBLE SPACES)
PROPOSED LANDSCAPE AREA: 1516 SQ.M @ 11.45%

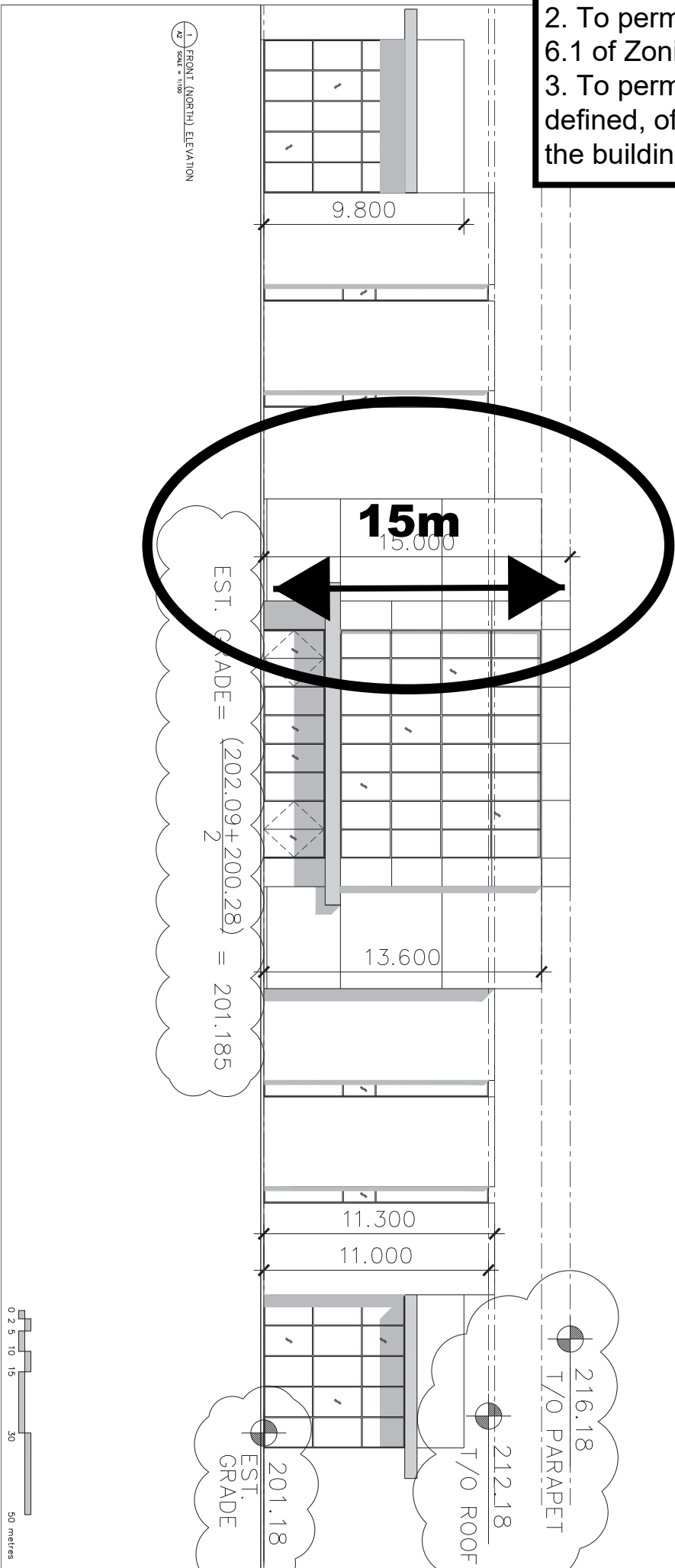
LEGEND:
 MAIN DOOR
 O/H DOOR (DRIVE-IN DOOR)



1 SITE PLAN - A1-1
SCALE = 1:250

Proposal:

1. To permit an "Employment Use" as defined by Section 2.0 of Zoning By-law 1-88 a.a.
2. To permit "General Provisions" under Section 6.1 of Zoning By-law 1-88 a.a.
3. To permit a maximum building height, as defined, of 15.0 metres to the highest point of the building.



All material herein remains property of the architect/author herein.

Giacinto Geroglio Architect Inc.
www.ggero.ca

941 St. Clair Ave. West
Toronto, Ontario M6E 1B5
Tel: 416.531.4728
Fax: 416.531.4728
e: ggero@gero.ca

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND HEIGHTS AND ERRORS AND OMISSIONS TO THE ARCHITECT. DIMENSIONS SHALL NOT BE SCALED. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SO NOTED OTHERWISE BY THE ARCHITECT.

Consultant
Address
Phone
Fax
E-mail

DA # DA-14-080 (RELATED FILE: Z14-035)

ONTARIO ASSOCIATION OF ARCHITECTS
Giacinto Geroglio Architect Inc.
GIA-CO-2014-0004
GIA-CO-2014-0004

NO.	Description	DATE
1	Issued for OWNER'S REVIEW	2021/04/14
2	Revised for REVIEW	2021/07/21
3	Revised for REVIEW	2021/07/29

326 Jevlan Dr.,
Woodbridge, On L4L 8E3
Proposed Industrial Building

ELEVATIONS

Project number
DATE: MAR 2016
Drawn by: L.P.
Checked by: G.G.
Scale: as noted
A2