

ITEM: 6.2	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A019/23 167 NATIONAL DRIVE, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	FrankFranco Architects		04/03/23	Planning Justification Report
Applicant	FrankFranco Architects		04/21/2023	Response to Public Comments

PUBLIC & APPLICANT CORRESPONDENCE

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Applicant	FrankFranco Architects		04/21/2023	Response to Public Comments
Public	Ken & Elinore Wragge	182 National Drive	04/21/2023	Letter of Objection
Public	Boris Buitline	136 National Drive	04/21/2023	Letter of Objection
Public	Sylvia Kada	215 National Drive	04/21/2023	Letter of Objection
Public	Pasqua & Randy Melchoir	160 National Drive	04/21/2023 & 05/03/2023	Letter of Objection
Public	Lou Pompili		04/18/2023	Letter of Objection
Public	Lou Pompili		04/19/2023	Letter of Objection
Public	Lou Pompili		04/26/2023	Letter of Objection
Public	Nick & Fiorella Marinelli	135 National Drive	04/21/2023	Letter of Objection
Public	Roy & Joan Hintsa	198 National Drive	04/21/2023	Letter of Objection
Public	Sylvia Kada	215 National Drive	04/21/2023	Letter of Objection

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
B006/21, B007/21, B008/21, B009/21, A117/21, A118/21, A119/21, A120/21, A121/21	12/08/2021	<p>Consent Applications B006/21, B007/21, B008/21 & B009/21 proposed to sever (create) four (4) new lots for future residential purposes having frontage onto National Drive.</p> <p>The proposed lots required relief from Zoning By-law 1-88, as amended, to permit reduced lot area and frontage on both the severed and retained parcels as applied for through Minor Variance Applications A117/21, A118/21, A119/21, A120/21 and A121/21.</p> <p>The Committee of Adjustment refused Consent applications B006/21, B007/21, B008/21 & B009/21 and related Minor Variance Applications A117/21, A118/21, A119/21, A120/21 and A121/21.</p> <p>Decisions appealed to the OLT. Appeal withdrawn.</p>

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

April 20, 2023	Adjourned to accommodate statutory public notice
April 24, 2023	Adjourned to accommodate amendments to submission



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A019/23
167 NATIONAL DRIVE, WOODBRIDGE**

ITEM NUMBER: 6.2	CITY WARD #: 3
APPLICANT:	Carmelo and Milena Calabro
AGENT:	FrankFranco Architects
PROPERTY:	167 National Drive, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an architectural/design element (landscape wall) to support enclosed exit stairs and enclosed ramp to underground garage.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.82 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum front yard setback of 15.0 metres is required. [Section 7.2.2]	To permit a minimum front yard setback of 2.33 metres.

HEARING INFORMATION

DATE OF MEETING: Thursday, May 11, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, **Woodbridge Room**, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.

INTRODUCTION

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 27, 2023
Date Applicant Confirmed Posting of Sign:	May 1, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	<p>The subject property is an existing vacant lot of record that is traversed by a valley corridor with a small, flat, tableland area located at the central portion of the lot. The owners and agent have been working with TRCA to determine an appropriate building footprint that satisfies the owner's needs as well as TRCA's development setbacks from the long-term stable top of slope surrounding the tablelands. The proposed development presented here to Committee members has been conceptually accepted by TRCA as it respects the setbacks from the LTSTOS along the north and south valley corridor and is respectfully setback from the rear (east) LTSTOS as much as possible. To maintain these setbacks and give as much space between the east LTSTOS to the proposed dwelling, the proposed dwelling footprint was moved closer towards National Drive. Relief from the zoning by-law is being requested to allow a front yard setback of 6.32m to the front wall of the proposed dwelling and 0.83m to a proposed ramp enclosure. Relief from the zoning by-law is being requested due to the development limitations on the lot.</p>
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On March 30, 2023, Development Planning provided the following:</p> <p>Thank you for providing the Arborist Report for our complete review. Development Planning has now completed our review of the above noted minor variance application and have some concerns with the proposal. Please also see the attached comments from our Urban Design division which must be addressed in any future revisions. To expand upon some of the comments detailed by Urban Design, the concerns regarding the retaining wall must be addressed as we are not in a position to support that variance. We recommend its reduction to be as close to compliance as possible. We also support the recommendation of relocating the stairs and underground garage access. If the garage access cannot be relocated, then it must be reduced in height and size.</p> <p>Regarding the variance for the reduced front yard setback, we are of the opinion that the cantilevered second storey also creates adverse impact to the streetscape. Please explore the option of cutting back the cantilever as much as possible.</p> <p>Please note that we are still pending comments from Environmental Planning and expect their response shortly. I will forward their comments as soon as they are received.</p> <p>On April 3, 2023 the applicant submitted a response to the memo received on Thursday March 30th from Development Planning, including supporting documents: TRCA Approval letter and a Justification Report.</p> <p>On April 5, 2023, the applicant confirmed that they wish to proceed to the April 20 Committee of Adjustment hearing.</p>

COMMITTEE OF ADJUSTMENT COMMENTS

On April 6, 2023, Development Planning provided the following:

Comments from Environmental Planning were provided to applicant.

Please note that the comments provided are in draft form and may require updating once we receive TRCA comments on the Minor Variance itself. I have forwarded the Concept Development TRCA comments on to PPES to see if they have additional comments at this time.

You will note that at this time we are recommending refusal of the subject application due to the lack of policy conformity and environmental constraints associated with the subject lands.

On April 13, 2023 the applicant submitted a revised submission:

1. In response to Planning's concern with the setback to the enclosed ramp and stair enclosure, we took the recommendation from Mr. Cipolletta and reduced height of ramp enclosure and stair enclosure by 0.46m. The proposed height of these structures from established grade is now 2.12m.
2. In response to Planning's comments regarding the height of the proposed landscape wall along the front (west) elevation we removed all landscape walls from the proposed plan. Note, landscape wall is referred to as "retaining wall" in the planning memorandum. The variance for landscape walls is therefore removed.
3. In response to Planning's comment regarding the visibility of guest parking, we have removed the guest parking bays from the current location and converted this area to landscaping or a potential zen garden.
4. In response to Planning's suggestion to cut back the second floor cantilever, we were able to reduce the setback to the cantilever by 0.82m. The setback to the second floor is now 7.14m.
5. In response to Planning's comments regarding the front yard landscaping, we are proposing to plant a row of trees between the front property line and the proposed structures.

On April 14, 2023, Zoning Staff confirmed that the changes made on April 13 did not impact the variances.

On April 17, 2023, Applicant submitted revised application, together with Zoning Review Waiver to accommodate following changes:

1. In response to Planning's comments regarding the height of the proposed landscape wall along the front (west) elevation we removed the landscape wall variance.
2. In response to Planning's comment regarding the visibility of guest parking, we have removed the guest parking bays from the current location and converted this area to landscaping or a potential Zen garden.
3. In response to Planning's suggestion to cut back the second floor cantilever, we were able to reduce the setback to the cantilever from 6.32m to 7.14m.
4. In response to Planning's concern with the setback to the enclosed ramp and stair enclosure, we took recommendation from staff to reduce the basement drive aisle, ramp width and stall dimensions to minimum standard

COMMITTEE OF ADJUSTMENT COMMENTS

guidelines for parking design. In doing so, we were able to increase the setback from 1.2m to 2.33m. In addition to increasing the setback, we also followed recommendation from staff to reduce the height and size of the enclosures. We reduced the height of both structures from 2.58m to 2.32m above established grade and reduced both structures in width and length.

5. In response to Planning's comments regarding the front yard landscaping, we are proposing to plant a row of trees between the front property line and the proposed structures.

On May 2, 2023, Development Planning provided the following:

Our recommendation remains to revise to the underground parking to provide a 3.0 m setback. I spoke again with Michael and our recommendation at the time was to increase the setback to the enclosure by approximately 1.5m so that a minimum of 3.0 m is achieved. 3.0 m is our standard landscape strip requirement for higher density urban areas, so we would not be comfortable supporting a strip less than that in a low-rise neighborhood. Based on our City standards for drive aisle width, we believe it is possible to attain this setback and are unable to support a further reduction beyond this.

Since we have no concerns with the dwelling itself, Development Planning will be recommending approval of the 7.14 m setback to the dwelling and refusal of the requested 2.33 m setback.

<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	<p>Yes (for April 20 & 24 hearing)</p>
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Adjournment Fees:
 In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	That the applicant submit the outstanding adjournment fee of \$591.00 (April 20 & 24 hearing).

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed residence in the subject property is 992 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The Owner / Applicant shall apply and obtain the necessary Curb Cut / Reinstating Permit through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.

The proposed work by the Owner/ Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A019/23, subject to the following condition(s):

<p>Development Engineering Recommended Conditions of Approval:</p>	<ol style="list-style-type: none"> 1. The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca. 2. The Owner / Applicant shall contact the Development Inspection and Lot Grading Division of the Development Engineering Department at serviceconnections@vaughan.ca to apply (online portal or email) for the required service connections within the subject property in accordance with the City's Design Criteria Standards, which must include the submission of a Servicing and Lot Grading Plan. The Development Inspection and Grading Division will provide a cost estimate for the installation of the required services to the Owner / Applicant. The Owner / Applicant shall pay all applicable fee(s) including the servicing cost estimate and administrative fees to the Development Inspection and Lot Grading Division. The Owner / Applicant shall then provide confirmation to the COA application engineering reviewer that the applicable fees have been paid.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Recommended conditions of approval:

<p>PFH Recommended Conditions of Approval:</p>	<ol style="list-style-type: none"> 1. For the new proposed tree removals, the applicant/owner shall obtain clearance from the Policy Planning and Special Programs division as this area is designated as a Significant Woodlot. 2. The applicant/owner will be required to obtain a retroactive Private Property Tree Removal & Protection permit through the Forestry Division. This is due to multiple days of unauthorize tree removal that occurred on and around April 6th 2021 which was in direct contravention of By-law 052-2018 and the City's 2018 Tree Protection Protocol.
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

Owner/Representative to ensure the building permit process is completed prior to the starting of any construction on site. Ensure all other represented bodies have reviewed this application and comments addressed.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment cofa@vaughan.ca	That the applicant submit the outstanding adjournment fee of \$591.00 (April 20 & 24 hearing).
2	Development Planning Joshua.cipolletta@vaughan.ca	TBD

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

3	Development Engineering lan.reynolds@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca. 2. The Owner / Applicant shall contact the Development Inspection and Lot Grading Division of the Development Engineering Department at serviceconnections@vaughan.ca to apply (online portal or email) for the required service connections within the subject property in accordance with the City’s Design Criteria Standards, which must include the submission of a Servicing and Lot Grading Plan. The Development Inspection and Grading Division will provide a cost estimate for the installation of the required services to the Owner / Applicant. The Owner / Applicant shall pay all applicable fee(s) including the servicing cost estimate and administrative fees to the Development Inspection and Lot Grading Division. The Owner / Applicant shall then provide confirmation to the COA application engineering reviewer that the applicable fees have been paid.
4	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1. For the new proposed tree removals, the applicant/owner shall obtain clearance from the Policy Planning and Special Programs division as this area is designated as a Significant Woodlot. 2. The applicant/owner will be required to obtain a retroactive Private Property Tree Removal & Protection permit through the Forestry Division. This is due to multiple days of unauthorize tree removal that occurred on and around April 6th 2021, which was in direct contravention of By-law 052-2018 and the City's 2018 Tree Protection Protocol.
5	TRCA Kristen.Regier@trca.ca	<ol style="list-style-type: none"> 1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.
6	York Region developmentservices@york.ca	Prior to final approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed dwelling.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

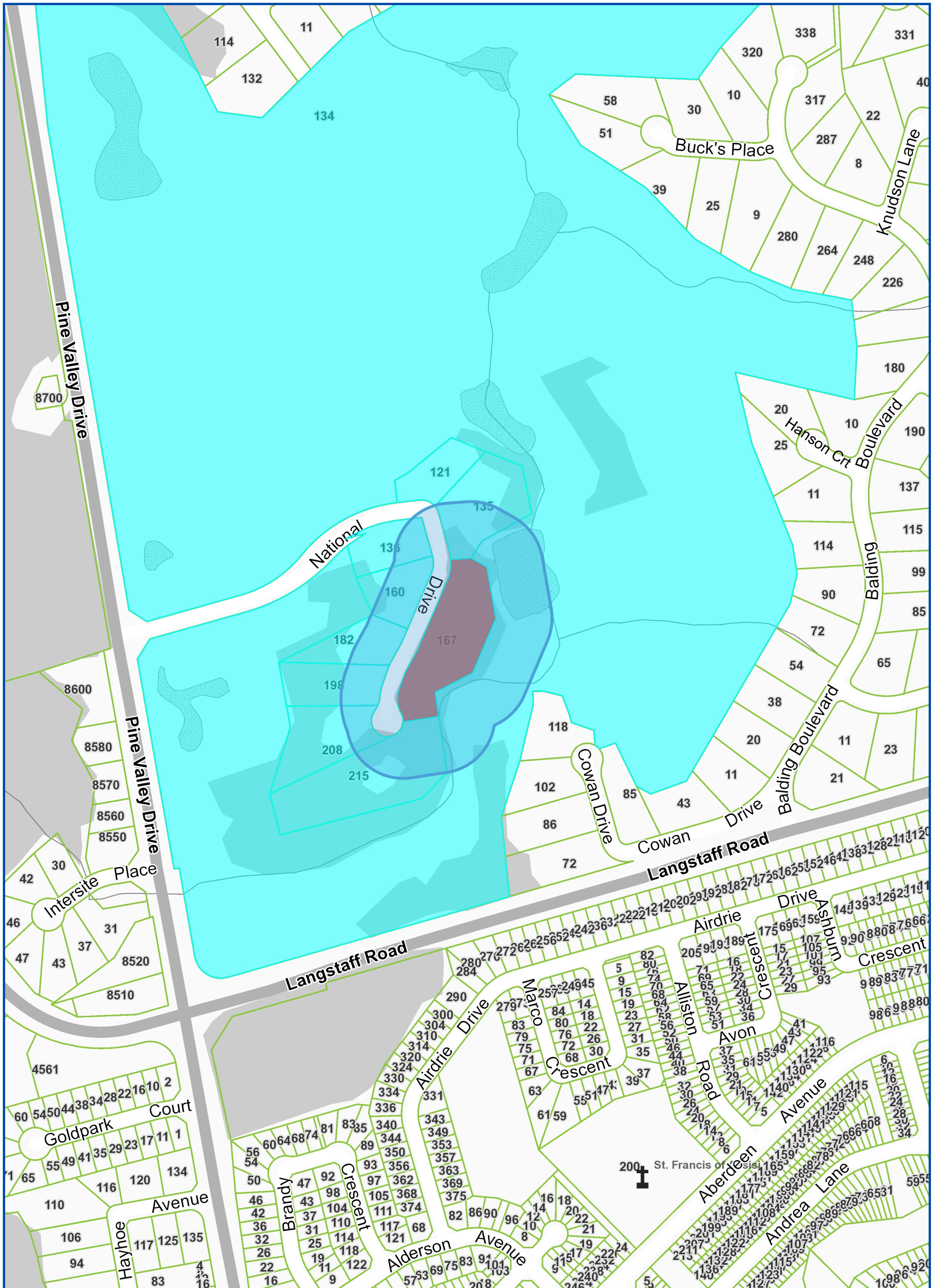
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

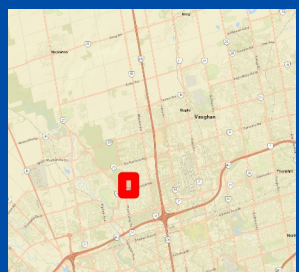
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

167 National Drive, Woodbridge

NOTIFICATION MAP - A019/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 5,623

0 0.09 km

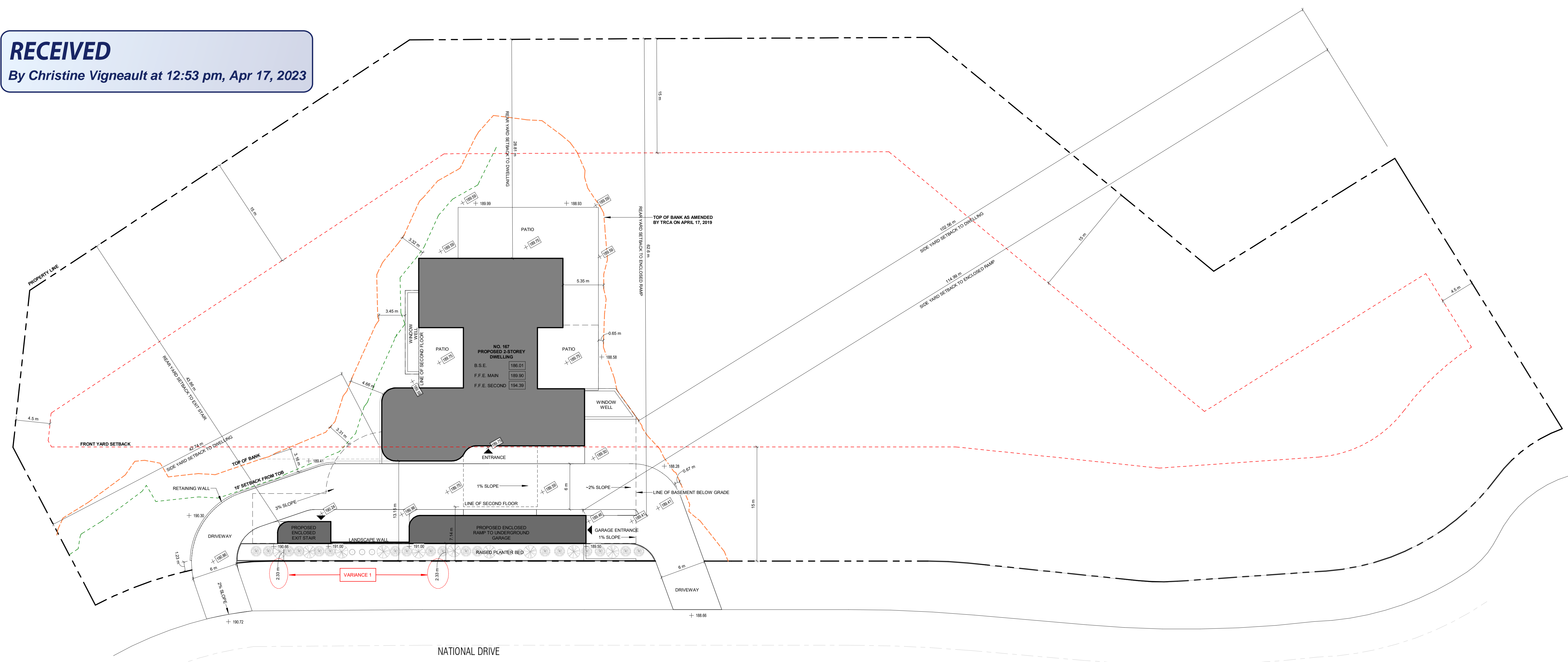


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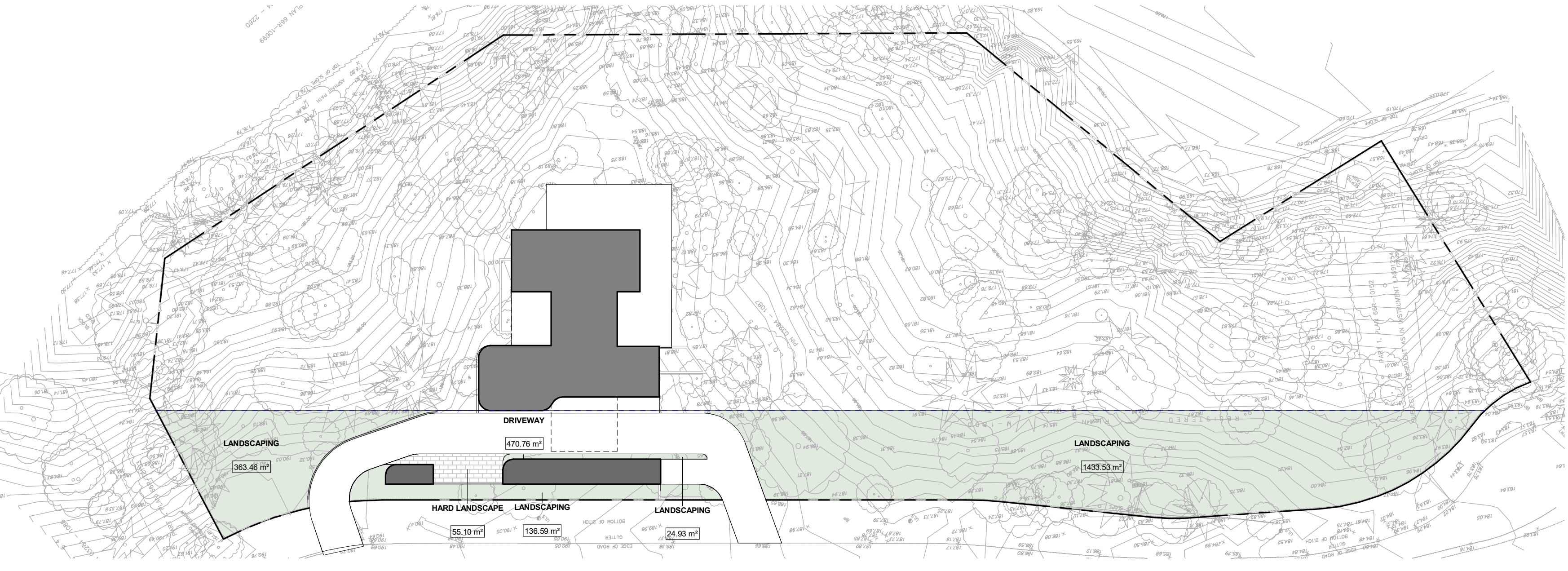
Infrastructure Delivery
Department
April 4, 2023 8:41 AM

Projection:
NAD 83
UTM Zone
17N

RECEIVED
By Christine Vigneault at 12:53 pm, Apr 17, 2023



1 SITE PLAN
A-001a 1:250



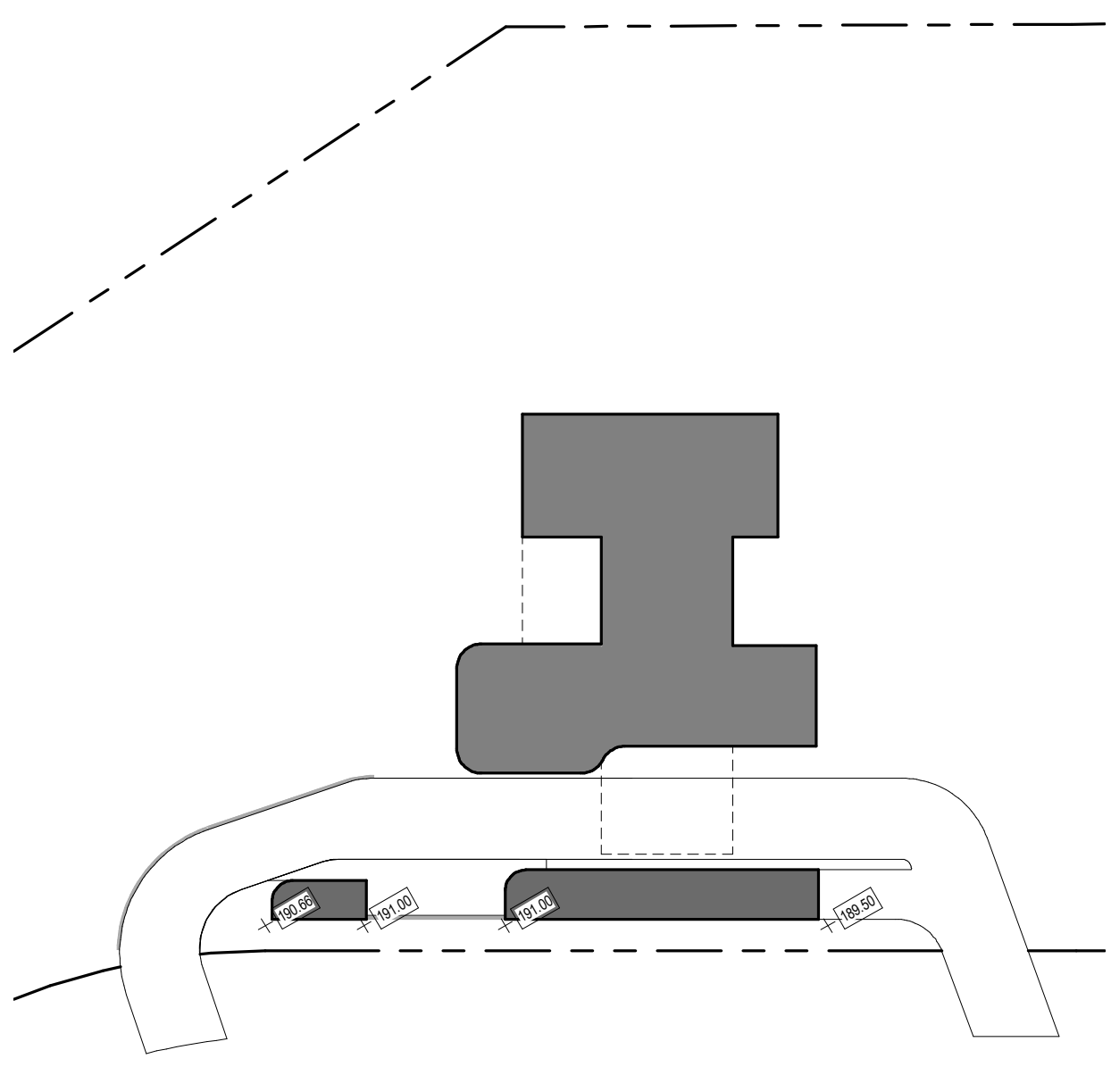
LANDSCAPE LEGEND

- HARD LANDSCAPING
- HARD LANDSCAPING C
- SOFT LANDSCAPING

FRONT YARD LANDSCAPE AREA

FRONT YARD AREA = 2584.8m²
 TOTAL FRONT YARD LANDSCAPE AREA = 2447.22m² (94% OF FRONT YARD AREA)
 SOFT LANDSCAPE AREA = 1806.33m² (17.6% OF TOTAL LANDSCAPE AREA)

2 LANDSCAPE PLAN
A-001a 1:500



ESTABLISHED GRADE @ FRONT WALL OF DWELLING
 190.66 + 191.00 + 191.00 + 189.50 / 4 = 190.54

3 ESTABLISHED / AVERAGE GRADE CALCULATION
A-001a 1:500

SITE STATISTICS

167 NATIONAL DRIVE, VAUGHAN ON
 LOT 65 REGISTERED PLAN M-1800
 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK

ZONING DESIGNATION
 RE (EN) - ESTATE RESIDENTIAL ESTABLISHED NEIGHBOURHOOD (BY-LAW 001-2021)
 RR - RURAL RESIDENTIAL (BY-LAW 1-88)

LOT AREA
 11077.68 m²

BY-LAW REQUIREMENT	ALLOWED UNDER BY-LAW 1-88	ALLOWED UNDER BY-LAW 001-2021	PROPOSED
LOT AREA	4000 m ²	4000 m ²	11,077.67 m ²
LOT FRONTAGE	45 m	45 m	185.25 m
LOT COVERAGE	10%	N/A	6.28%
FRONT YARD (WEST) TO HOUSE	15 m	15 m	6.32 m
FRONT YARD (WEST) TO ENCLOSED RAMP	15 m	15 m	2.33 m
REAR YARD (EAST)	15 m	15 m	28.81 m
INT. SIDE YARD (NORTH)	4.5 m	4.5 m	23.2 m
INT. SIDE YARD (SOUTH)	4.5 m	4.5 m	102.56 m
BUILDING HEIGHT above established grade	9.5 m	9.5 m	8.15 m
ARCHITECTURAL / DESIGN ELEMENT HEIGHT above finished grade			
MIN. LANDSCAPE (% OF LOT AREA)	10%	N/A	> 10%
MIN. FRONT YARD LANDSCAPE	N/A	50% OF YARD / 60% OF WHICH TO BE SOFT LANDSCAPE	94% OF YARD / 77% SOFT LANDSCAPE
DRIVEWAY WIDTH	6.0 m OR MAX COMBINED WIDTH OF 15M FOR CIRCULAR DRIVEWAY W/ TWO POINTS OF ACCESS	6.0 m OR MAX COMBINED WIDTH OF 15M FOR CIRCULAR DRIVEWAY W/ TWO POINTS OF ACCESS	6.0 m, MAX. COMBINED WIDTH OF 12m

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NO.	DATE	ISSUED FOR
10	2023.04.17	COMMITTEE OF ADJUSTMENT VS
9	2023.04.11	COMMITTEE OF ADJUSTMENT R4
8	2023.02.22	COMMITTEE OF ADJUSTMENT R2
7	2023.02.14	COMMITTEE OF ADJUSTMENT R1
6	2023.01.27	COMMITTEE OF ADJUSTMENT
5	2023.01.20	CLIENT REVIEW
4	2022.11.23	TRCA CD APPLICATION R1
3	2022.11.09	CLIENT REVIEW
2	2022.07.19	TRCA CD APPLICATION
1	2022.06.16	CLIENT REVIEW

--- TOP OF BANK AS AMENDED BY TRCA ON APRIL 17, 2019 (ASSUMED ALONG 188.0m CONTOUR LINE)

--- 10' SETBACK FROM TOP OF BANK

--- LINE OF BASEMENT BELOW GRADE

AD AREA DRAIN
 BSE BASEMENT SLAB ELEVATION
 FFE FINISHED FLOOR ELEVATION
 GSE GARAGE SLAB ELEVATION
 TRW TOP OF RETAINING WALL
 TL TOP OF STAIR LANDING
 TS TOP OF SLAB
 UF UNDERSIDE OF FOOTING
 UFG UNDERSIDE OF FTG GARAGE
 UFR UNDERSIDE OF FTG REAR
 UG UNDERGROUND GARAGE
 WOB WALKOUT BASEMENT
 BR NUMBER OF RISERS

--- DIRECTION OF SURFACE DRAINAGE

▲ EXTERIOR DOOR LOCATION

+ 000.00 EXISTING ELEVATION
 000.00 PROPOSED ELEVATION

☐ RAINWATER DOWNSPOUT LOCATION



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 VAUGHAN, ONTARIO, L4L 1A6

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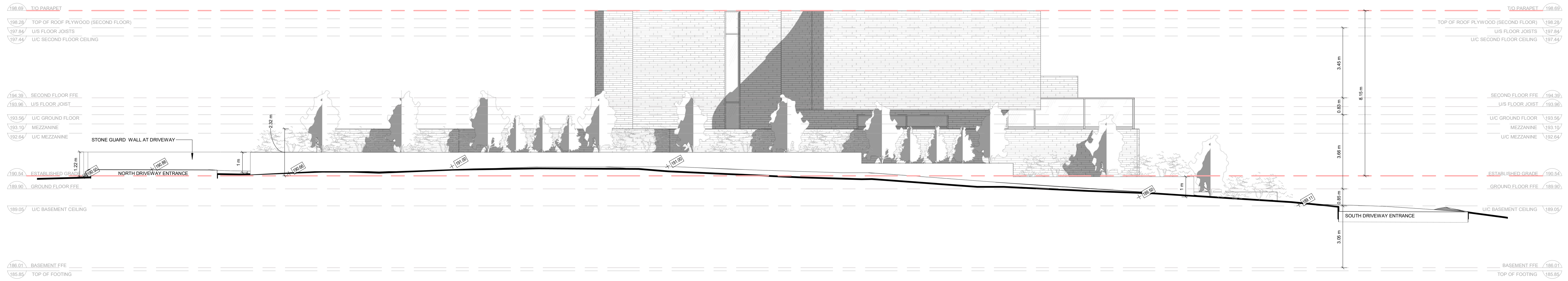
167 NATIONAL DRIVE

PROJECT NO. -
 PROJECT MANAGER FD
 DRAWN SR
 CHECKED FD
 SCALE As indicated

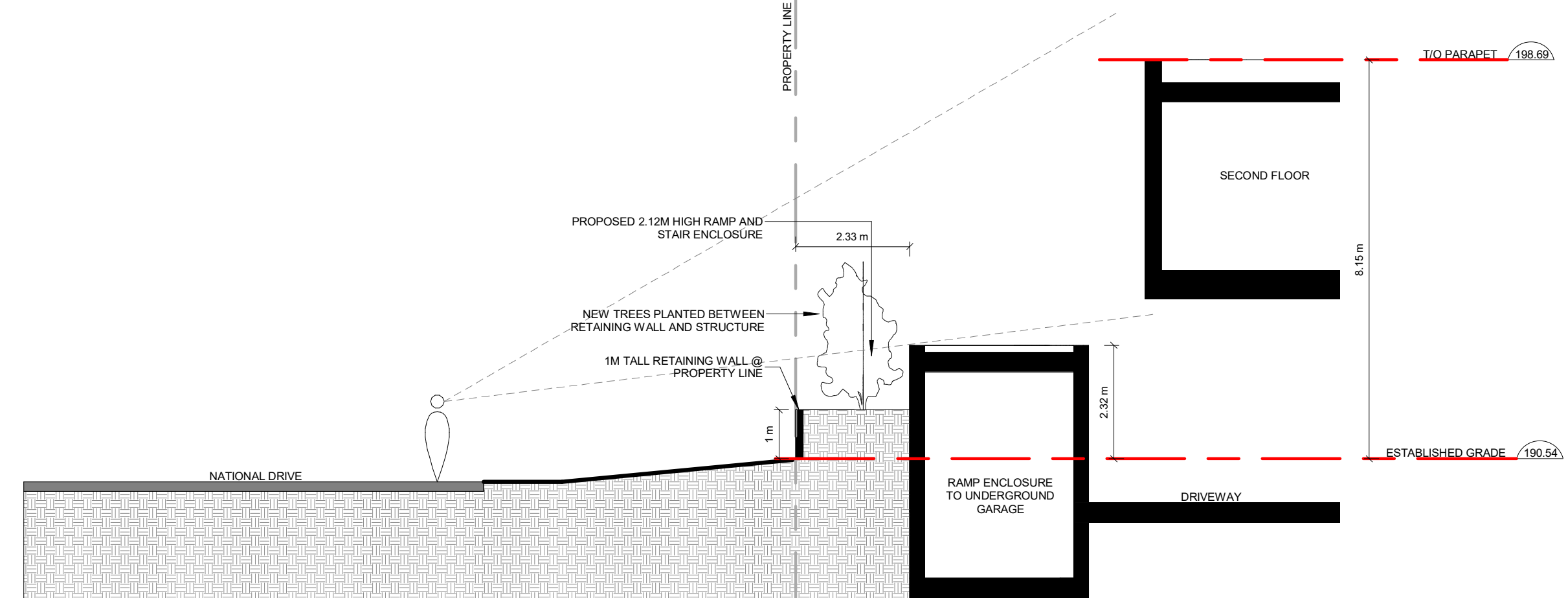
SITE PLAN

A-001a

4/14/2023 4:51:48 PM



3 WEST (FRONT) ELEVATION - OPTION A
A-200a 1:100



2 SITE SECTION - OPTION A
A-200a 1:100

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NO.	DATE	ISSUED FOR
7	2023.04.17	COMMITTEE OF ADJUSTMENT V5
6	2023.04.11	COMMITTEE OF ADJUSTMENT V4
5	2023.02.22	COMMITTEE OF ADJUSTMENT R2
4	2023.02.14	COMMITTEE OF ADJUSTMENT R1
3	2023.01.20	CLIENT REVIEW
2	2022.11.09	CLIENT REVIEW
1	2022.08.16	CLIENT REVIEW

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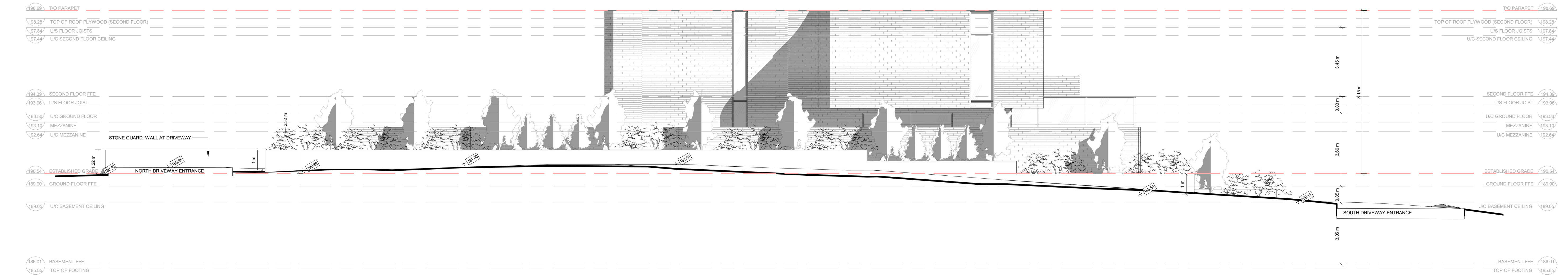
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167 NATIONAL DRIVE	
PROJECT NO.	-
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SCALE	1:100

FRONT ELEVATION - OPT.
A
A-200a
4/14/2023 4:51:58 PM

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1 WEST (FRONT) ELEVATION - OPTION D
 A-200d 1:100

NO.	DATE	ISSUED FOR
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PROJECT NO.	-
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SCALE	1:100

FRONT ELEVATION - OPT. D

A-200d

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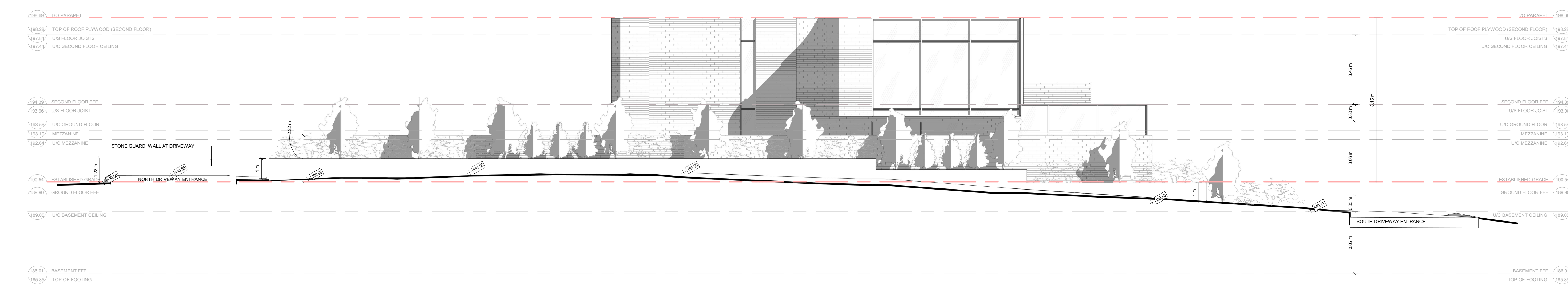
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1	2023.04.17	COMMITTEE OF ADJUSTMENT VS



1 WEST (FRONT) ELEVATION - OPTION C
A-200c 1:100



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SCALE	1:100

FRONT ELEVATION - OPT. C

A-200c

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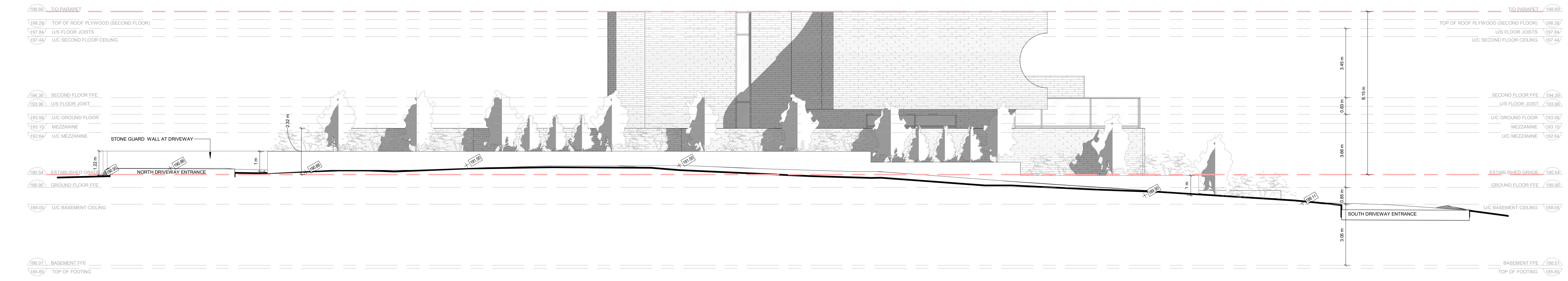
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1 WEST (FRONT) ELEVATION - OPTION B
A-200b 1:100

NO.	DATE	ISSUED FOR
2	2023.04.17	COMMITTEE OF ADJUSTMENT VS.
1	2023.04.11	COMMITTEE OF ADJUSTMENT VS.



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PROJECT NO.	-
PROJECT MANAGER	FD
DRAWN	SR
CHECKED	FD
SCALE	1:100

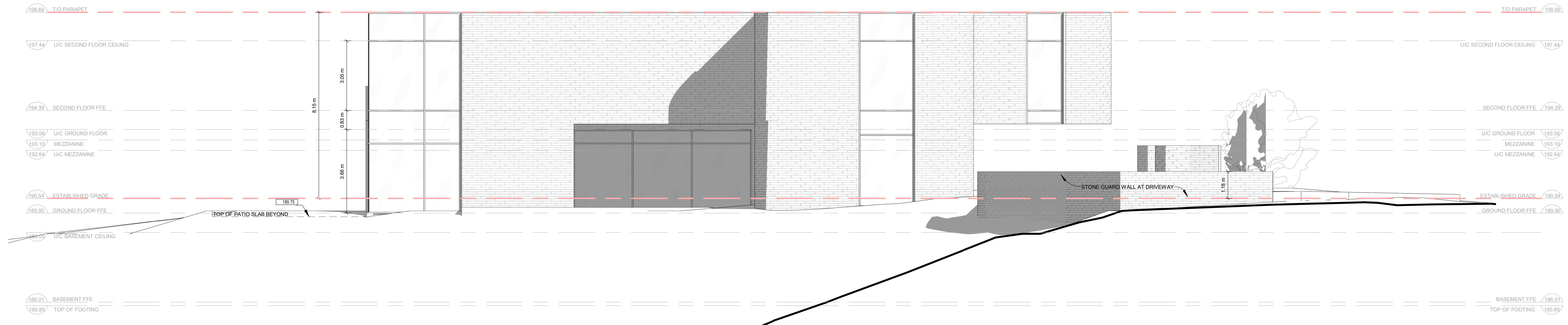
FRONT ELEVATION - OPT.
B

A-200b

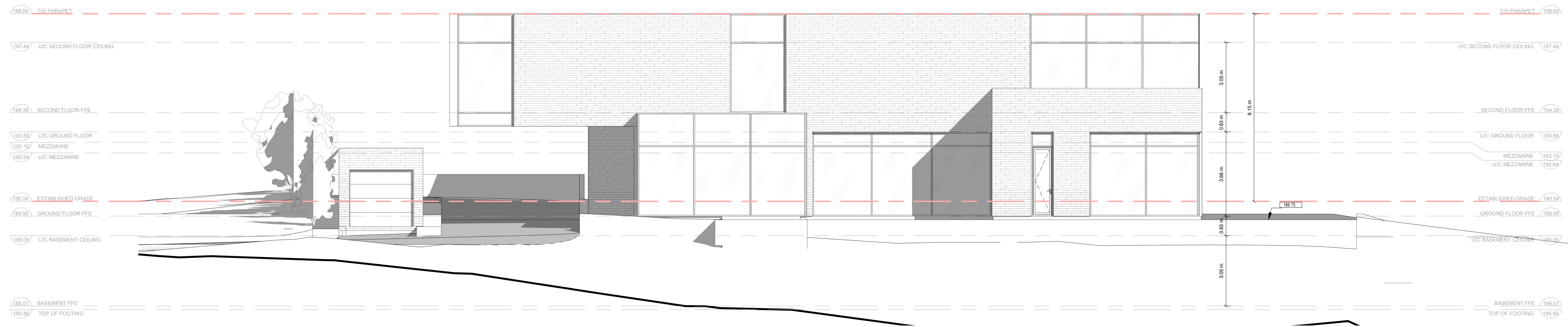
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NO.	DATE	ISSUED FOR
6	2023.04.17	COMMITTEE OF ADJUSTMENT VS
5	2023.04.11	COMMITTEE OF ADJUSTMENT 04
4	2023.02.14	COMMITTEE OF ADJUSTMENT R1
3	2023.01.20	CLIENT REVIEW
2	2022.11.09	CLIENT REVIEW
1	2022.06.16	CLIENT REVIEW



1 NORTH (SIDE) ELEVATION
 A-201a 1:100



2 SOUTH (SIDE) ELEVATION
 A-201a 1:100



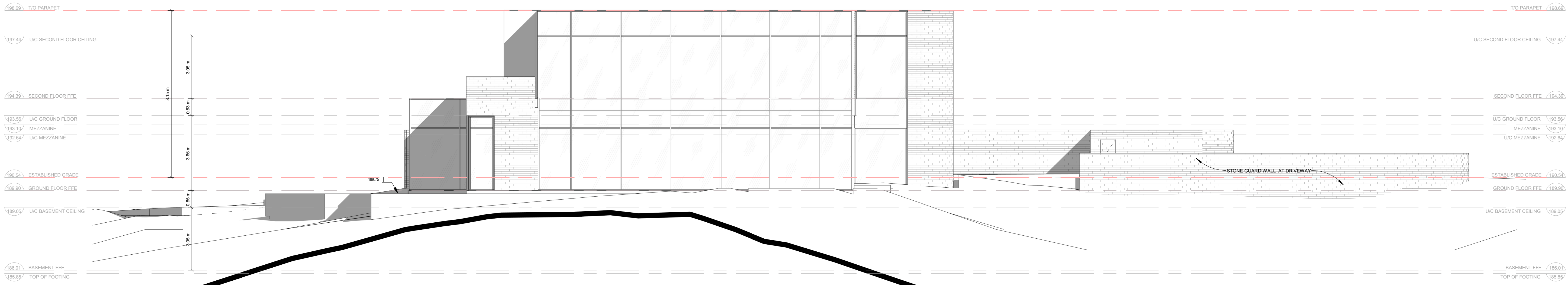
167 NATIONAL DRIVE

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PROJECT MANAGER	FD
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SCALE	1:100

ELEVATIONS

A-201a

4/14/2023 5:05:15 PM



1 EAST (REAR) ELEVATION
 A-202a 1 : 100

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2	2023.04.17	COMMITTEE OF ADJUSTMENT VS



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 ARCHITECTS

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 VAUGHAN, ONTARIO, L4L 1A6

647.749.0557
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167 NATIONAL DRIVE

PROJECT NO.	-
PROJECT MANAGER	FD
DRAWN	SR
CHECKED	FD
SCALE	1 : 100

ELEVATIONS

A-202a

4/14/2023 5:05:19 PM

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	General Comments w/conditions
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X	X	General Comments w/conditions
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under Review
Building Standards (Zoning)	X	X		General Comments

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	FrankFranco Architects		04/03/23	Planning Justification Report
Applicant	FrankFranco Architects		04/21/2023	Response to Public Comments
Applicant	FrankFranco Architects		04/21/2023	Response to Public Comments
Public	Ken & Elinore Wragge	182 National Drive	04/21/2023	Letter of Objection
Public	Boris Buitline	136 National Drive	04/21/2023	Letter of Objection
Public	Sylvia Kada	215 National Drive	04/21/2023	Letter of Objection
Public	Pasqua & Randy Melchoir	160 National Drive	04/21/2023	Letter of Objection
Public	Lou Pompili		04/18/2023	Letter of Objection
Public	Lou Pompili		04/19/2023	Letter of Objection
Public	Lou Pompili		04/26/2023	Letter of Objection
Public	Nick & Fiorella Marinelli	135 National Drive	04/21/2023	Letter of Objection
Public	Roy & Joan Hintsa	198 National Drive	04/21/2023	Letter of Objection
Public	Sylvia Kada	215 National Drive	04/21/2023	Letter of Objection



167 National Drive, Woodbridge Committee of Adjustment - Justification Report

Prepared For:

Carmelo & Milena Calabro
313 Treelawn Blvd,
Woodbridge, ON
L4H 3N5

Prepared By:

Frankfranco Architects
10320 Pine Valley Drive
Vaughan, Ontario
L4L 1A6

Subject Lands & Neighbourhood Description

The dwelling is located in the neighbourhood known as "Pine Wood States" also known as "The National" and is composed of rural residential dwellings. The neighbourhood has been redeveloped through the years to have a large cross section in styles, and scales. Each dwelling and property is planned carefully in an attempt to represent various style. This neighbourhood is one of Vaughan's most prestigious communities. The National Golf Course is a private golf course located on the North East corner of Langstaff and Pine Valley, and flanks the road access into this eclectic community. The nearest major intersection is Pine Valley Dr. and Langstaff Rd.

The property is a single vacant lot of record that has a frontage of 185.25m, a lot depth of ~68.8m and a lot area of 11,077.68 SQ.M. It is located within TRCA's Regulated Area because of the valley corridor associated with the Humber River that traverses the eastern portion of the property. There is a small, flat, tableland area located at the central portion of the lot.

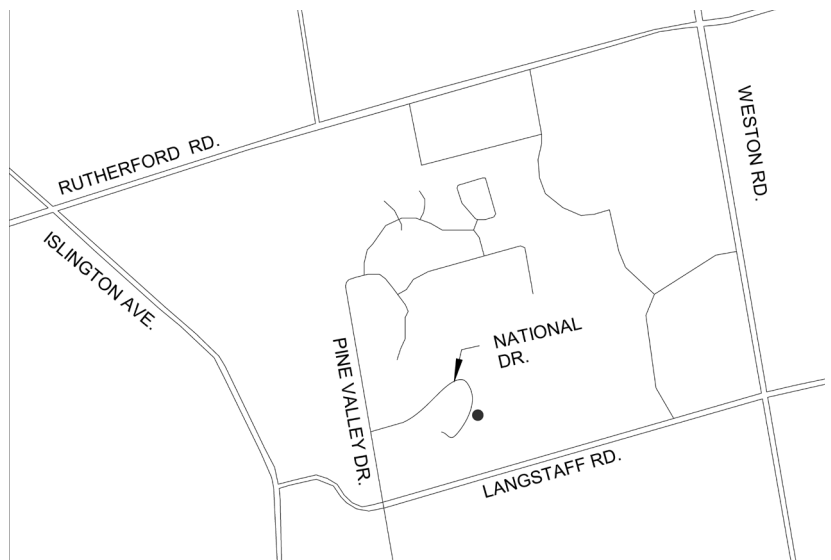


Fig. 1 – Context map - black dot indicates the subject lands location in the neighbourhood



Official Plan & Official By-Law

The subject property is designated as RR, Residential Rural, under Zoning By-law 1-88 and RE (EN), Estate Residential Zone Established Neighbourhood, under Zoning By-law 001-2021. The permitted uses for the lands are residential detached dwellings. In keeping with the Official Plan and Zoning By-laws, the proposal for 167 National Drive is to construct a new two-storey single family detached dwelling on the property.

Figure 2 demonstrates the zoning setbacks in relation to the property boundary while Figure 3 demonstrates the allowable buildable area on the site based on municipal zoning setbacks and setbacks from the Long Term Stable Top of Slope (LTSTOS) as determined by TRCA.

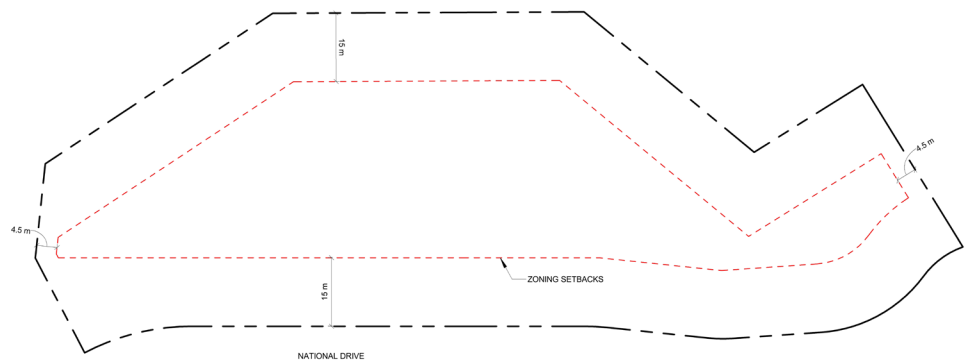


Fig. 2 – Site with zoning setbacks

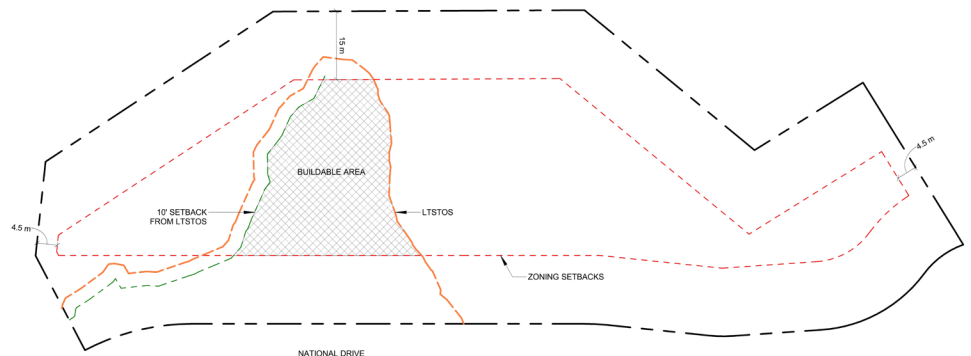


Fig. 3 – Buildable area based on zoning setbacks and setbacks from LTSTOS



- D** LOT AREA = 11,077.68m²
- A** AREA WITHIN BUILDABLE ZONING SETBACKS = 4,808.55m²
- B** BUILDABLE AREA POST TRCA EVALUATION = 1,010.4m²
- C** AREA WITHIN SETBACK PROPOSED TO BUILD IN = 2,071m²

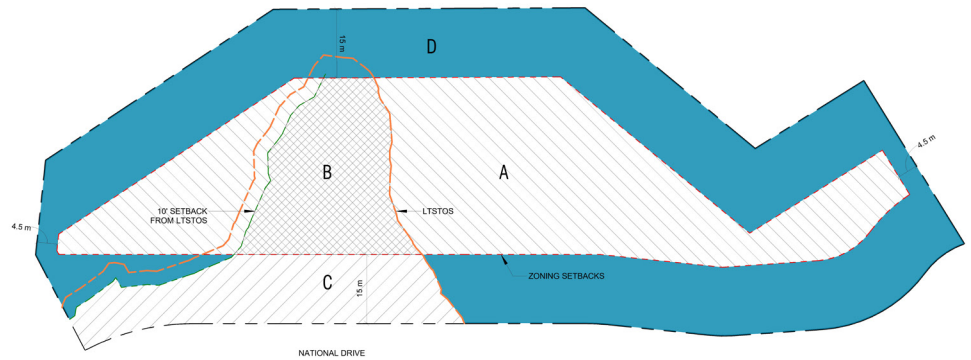


Fig. 4 – Buildable areas on the lot based on zoning setbacks and TRCA setbacks

The area within the zoning setbacks is 4,808m² (43% of the lot area). The actual buildable area within the zoning setbacks and within TRCA's setbacks from the LTSTOS is reduced to 1,010m² (9% of the lot area) . We are proposing to expand that buildable area within the front yard setback, increasing the buildable area to 2,071mm² (18% of the lot area).

Figure 5 below demonstrates the placement, shape, and orientation of the proposed dwelling on the subject lands in relation to the site's setbacks.

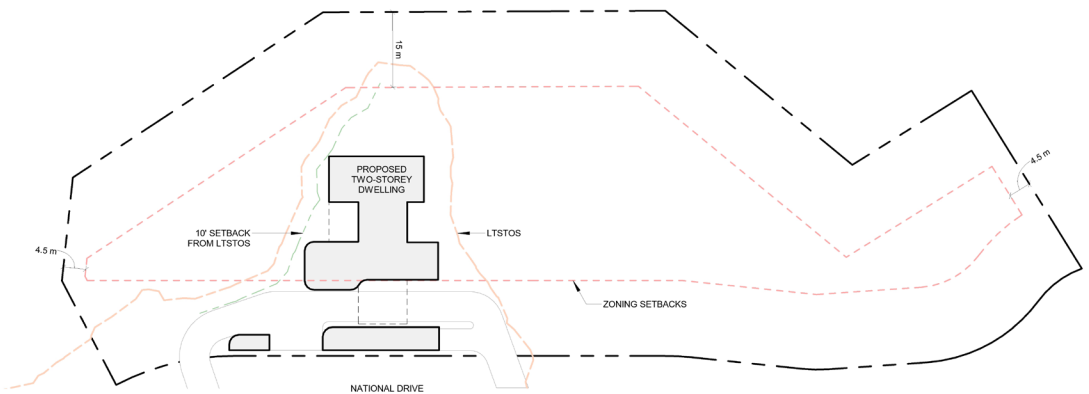


Fig. 5 – Proposed development on lot with zoning and TRCA setbacks

The intent of the proposal is to provide a new house to suit the owner's spatial needs and lifestyle. The design of the house compliments the existing site and neighbourhood in scale, height and massing.



Table A - Zoning Requirements and Proposed Development

Variance Type	Zoning By-law 1-88	Zoning By-law 001-2021	Proposed
Min. Front Yard Setback	15.0m	15.0m	1.2m to enclosed ramp // 6.32m to proposed dwelling
Min. Rear Yard Setback	15.0m	15.0m	28.81m
Min. Interior Side Yard Setback	4.5m	4.5m	23.2m
Min. Interior Side Yard Setback	4.5m	4.5m	102.56m
Lot Coverage	10%	n/a	6.98%
Building Height	9.5m	9.5m	8.15m
Setback to Architectural / Design Element (Landscape Wall)	≥ height of wall, if greater than 1.8m in height	n/a	4.01m high landscape wall set 1.2m from front property line

Planning Justification

A Minor Variance application has been submitted to permit construction and requires relief of zoning provisions for the following items:

Zoning By-law 001-2021

1. Table 7-3 Lot and Building Requirements for the RE and R1 Zones. Minimum Front Yard Setback:

- The minimum permitted front yard setback is 15.0m
- The proposed front yard setback is 1.2m to a proposed enclosed ramp and 6.32m to the proposed dwelling.

Zoning By-law 1-88

1. Schedule 'A1' Zone Requirement Table for RR Zone. Minimum Front Yard Setback:

- The minimum permitted front yard setback is 15.0m
- The proposed front yard setback is 1.2m to a proposed enclosed ramp and 6.32m to the proposed dwelling.

2. Section 4.1.1.k. :

- An architectural/design element greater than 1.8m in height, shall be set back from the property line a distance equal to it's height
- The proposed landscape wall is 4.01m at it's highest point and is set back 1.2m from the front yard property line.



Arguments - Justification

FRONT YARD SETBACK

TRCA staff have been involved with reviewing and commenting on several development proposals and have performed multiple site visits to confirm the limits of the natural features and natural hazards on the site. As a part of TRCA's review of proposals for this site, a development envelope was established which respects the 10' setback from the LTSTOS along the north side of the tablelands, a 0 setback from the LTSTOS along the south tablelands and maximizing the rear yard setback from the LTSTOS.

The proposed building footprint was moved towards the front property line to avoid any encroachment into these setbacks and to maintain slope stability. As a result, part of the dwelling projects beyond the 15m front yard setback.

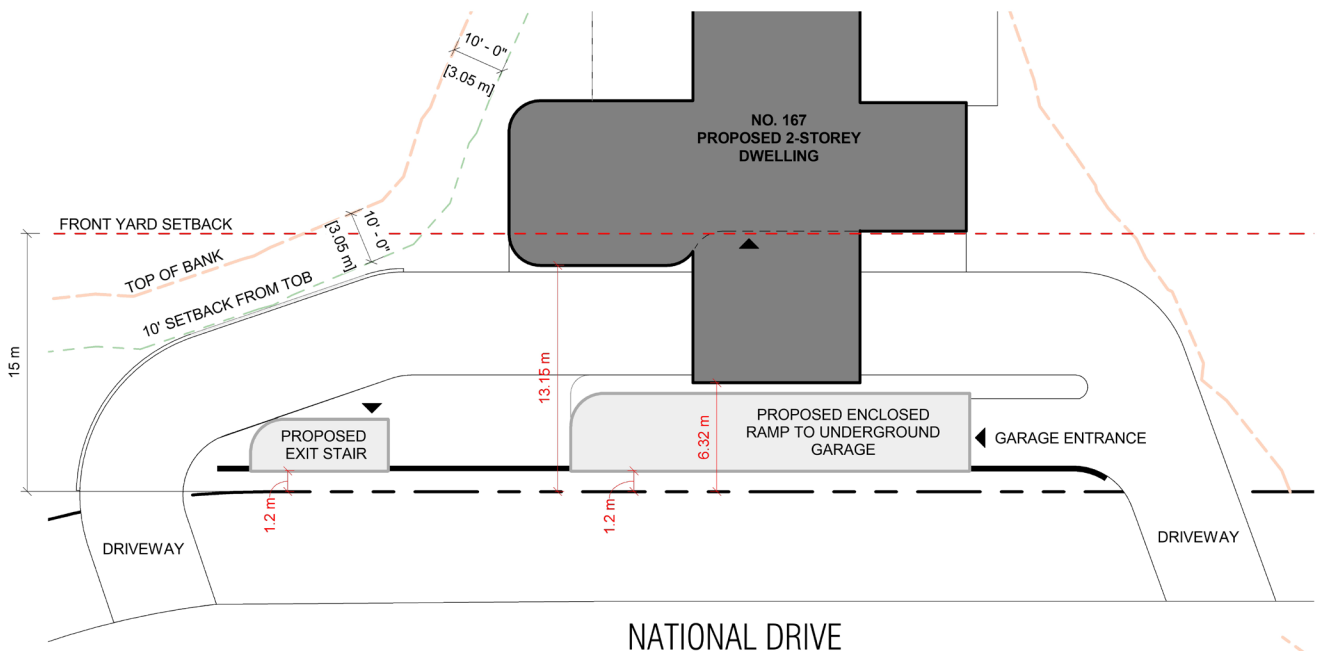


Fig. 6 – Extend of dwelling impeding front yard setback



The setback to the proposed dwelling is 6.32m to a cantilevered second floor and 13.15m to the dwelling at grade. The cantilevered second floor, measured 9.73m in length, represents 36% of the overall building length and only 5% of the lot frontage. The proposed building height at this elevation is 8.15m, 1.35m below the maximum building height. In consideration of this, we believe this variance to be minor in nature since will pose little impact on the existing neighbourhood and streetscape.

One of the driving design elements relating to the building footprint was to eliminate the garage from the main floor area as they take up a significant area of the main building footprint. Even a modest 3-car garage typical for this area would take up considerable area in the limited allowable building area. For instance, a 3-car garage will have a building footprint of 115m² which is 11% of the allowable buildable area as determined by TRCA. The decision to move the garage below grade helps overcome the limited building pocket.

The ramp itself is placed 1.2m from the property line and is enclosed to resolve the concerns with reverse slope driveways. The proposed building height of these structures is 2.58m above established grade making them well below the maximum building height and similar to the height of many security wall enclosures found within the neighbourhood.

From National Drive, these structures will not look like they are part of the dwelling but rather a landscape feature wall or fence. The owner intends to plant trees in front of these structures further concealing them from National Drive.



Variations for front yard setbacks were granted and determined minor for the following property:

- 284 Pine Valley Cres. (Required: 15.0m, Approved: 5.18m) File A317/11 **[+9.82m]**
- 30 Clubhouse Dr. (Required 15.0m, Approved: 9.28m) File A285/17 **[+5.72m]**

While there is little precedence for variations to front yard setbacks in this neighbourhood, it should be considered that this lot has unique restrictions beyond municipal zoning requirements that were ultimately the guiding factor for the placement of the proposed dwelling on this site for the safety of its residents.

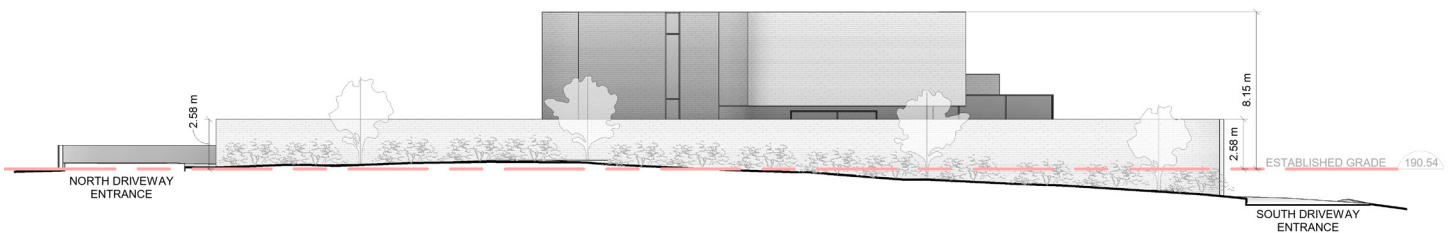


Fig. 7 – Front Elevation and proposed building height

LANDSCAPE WALL SETBACK & HEIGHT

The old Zoning By-law (By-law 1-88), requires that all architectural/design elements greater than 1.8m in height be set back from the property line a distance equal to its height. The proposal is to build a stone landscape wall connecting the enclosed exit stair structure to the enclosed ramp structure. The landscape wall will be in-line with these two structures (set back 1.2m from the property line) and at an equal height to these structures (2.58m above established grade). The height of the wall from finished grade varies from 2.46m on the north side of the site to 4.01m from finished grade at the south driveway entrance where the grade starts to slope down. Figure 8 demonstrates the extent of the proposed landscape wall across the front elevation and the proposed height from established grade along the length of the wall.



As demonstrated in Figure 8, the highest portion of the wall only accounts for 15% of the total length of the wall. The grade along the rest of the wall gradually rises and the wall terminates at a modest height of 2.46m.

The landscape wall is used as a design strategy to conceal the stair and ramp structure and visually provide a similar aesthetic to the security wall enclosures found within the neighbourhood. Most of these enclosures are a combination of stone walls and wrought iron fence and gates located near the front yard property line. The community has had issues with car theft and robberies and most have turned to installing perimeter fencing as a measure to fight this issue. Many of the homes in the community have perimeter security walls and screening for privacy equal to or in excess of the height we are requesting and all are softened using plants. We have taken on a similar strategic use of planting and it will accomplish the same effect of concealing the wall and maintain what is already established in the community as an acceptable solution regarding security and privacy. Refer to Appendix A for examples of landscape wall enclosures located in the neighbourhood.

The total length of the proposed landscape wall is 20.41m, making up only 11% of the lot frontage. Considering the small footprint it has on the vast frontage and the similar landscape walls found within the neighbourhood, we believe the proposal to be minor in nature and will align with the existing neighbourhood character and streetscape.

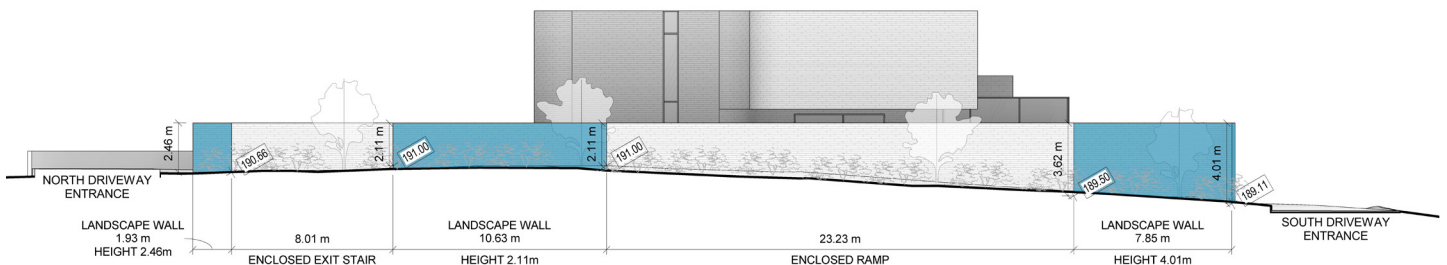


Fig. 8 – Front Elevation and proposed landscape wall length and height



Conclusion

We feel the evidence contained within this report proves that the requested variances pass each of the four tests required under Subsection 45(1) of the Planning Act.

TEST 1
THE GENERAL INTENT OF THE OFFICIAL PLAN
IS MAINTAINED:

The proposal is in keeping with the intent of the Official Plan. The intent of the proposal is to build a single family dwelling on the subject property. The proposal is similar in size to many other new construction homes in the neighbourhood, is consistent with the city's Official Plan to intensify and improve buildings in existing neighbourhoods, and maintains land use designations.

TEST 2
THE GENERAL INTENT OF THE ZONING BY-
LAW IS MAINTAINED:

The proposal is in keeping with the intent of the City of Vaughan By-laws in effect. The requested variance is only proposed where it is functionally necessary. The variances do not represent significant departures from the regulations of the zoning by-law and are consistent with the intent and purpose of the by-law. Furthermore, the zoning considerations requested in this proposal are directly related to other restrictions on the lot including: setbacks to the long term stable top of slope surrounding three sides of the tableland. Considering that and past approved decisions, we believe that the intent of the by-law is maintained.

TEST 3
THE VARIANCE IS MINOR:

The variances are minor in nature and where applicable are supported by previously accepted variances. The proposed variances do not impede the function of the by-laws, nor do they negatively impact the neighbourhood, and should thus be considered minor.

TEST 4
THE VARIANCE IS DESIRABLE:

The variance is desirable because it will produce a proposal that is similar to and compatible with other dwellings in the community. The proposed dwelling is respectful of the existing site, the conservation of the existing land and slope and is comparable in scale to the other homes in the neighbourhood.



Appendix A - Examples of landscape walls in front yard found in the neighbourhood



238 Pine Valley Cres.



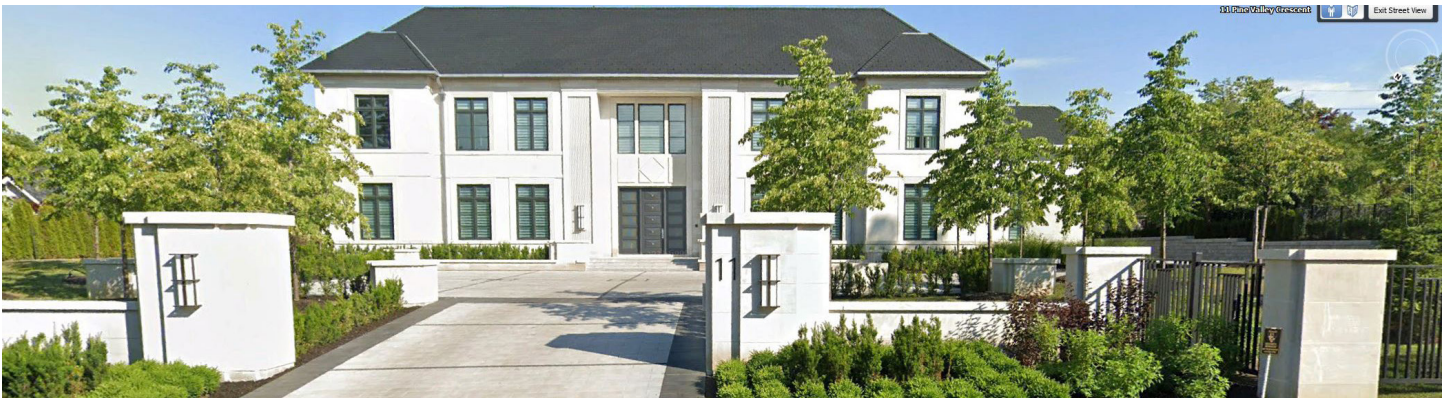
246 Pine Valley Cres.



206 Pine Valley Cres.



127 Pine Valley Cres.



11 Pine Valley Cres



30 Pine Valley Cres



8 Greenway Parkway



100 Fenrose Cres.



21 April 2023

Christine Vigneault

City of Vaughan
2141 Major Mackenzie Dr.,
Vaughan, ON
L6A 1T1

RE: Lou Pompili

Dear Committee members,

This letter is our response to Mr. Pompili's emails to Lenore Providence sent on April 18, 2023 and on April 19, 2023, regarding the minor variance application A19.23 (167 National Drive).

Before addressing Mr. Pompili's comments, we would like it to be put on record that Mr. Pompili was our client's previous agent who applied for and supported the previous consent and minor variance application on the subject lands which proposed the severance of 167 National Drive into 5 lots for single family residential use. The application also required relief from Zoning By-law 1-88, as amended, to permit reduced lot area and frontage on both the severed and retained parcels. It was under the professional advisement and recommendation of Mr. Pompili that our client pursued the consent and minor variance application.

It is difficult to ignore an underlying agenda behind Mr. Pompili's letter considering that he was previously supporting a proposal that goes against all of his arguments to our application and is not a resident of the neighbourhood, in fact, his address is over 30km away. It is difficult to understand his points without prejudice. Further, it was revealed to us by our client that this opposition is directly related to a financial disagreement between Mr. Pompili and the land owner.

With that said, we are happy to respond to Mr. Pompili's concerns:

1. The TRCA letter of March 3, 2023 is inconsistent with previous TRCA letters of July 10, 2020; March 16, 2021; November 29, 2021 relating to delineated on-site natural features, hazard limits and physical top of bank of April 17th, 2019 and the Living City Policies ('LCP') of the TRCA given the lands are entirely within the Natural System as defined under the LCP.



21 April 2023

We have been working with TRCA over the last year and have developed a building footprint that respects the setbacks from the Top of Bank that was established in TRCA's response to the consnet applications and minor variance applications prepared by Mr. Pompili on November 29th. The 10' setback from the north TOB and 0' setback from the south TOB has been a non-negotiating hardline since our first discussions with TRCA and our proposal respects those setbacks.

TRCA has reviewed the current proposal under their Concept Development Application process and approved the proposed concept on December 16, 2022.

2. The original National Estates Subdivision Agreement established in 1976 and registered December 15th, 1976 deals specifically with stringent erosion control and Rural Residential Arcitectural guidelines and design conformity similar to the existing single family dwellings design criteria of the area.

As stated above, we have worked closely with TRCA and geotechnical engineers to establish a building pocket that satisfies erosion concerns. Regarding the rural residential architectural guidelines - we have had Development Planning and Urban Design departments at the City of Vaughan review the proposed development and have addressed their comments. Apart from the feedback we received from these departments, we are not aware of any architectural controls in this neighbourhood.



21 April 2023

3. The subject land are identified as Regionally Significant Woodlands by the York Region Official Plan 2010 ('YROP 2010') and are protected under Policy 2.2 Natural Features of the Greenland System. / 4. The subject land are also designated as "Core Features" (Schedule 2 - Natural Heritage Network) and Natural Areas (Schedule 13 - Land Use) by VOP 2010.

As part of our assessment of the proposed development, we have consulted with an Arborist to mitigate the impact of the proposed development. An arborist report, tree protection plan and replanting plan have all been submitted to Environmental Planning as part of this application.

Mr. Pompili refers to a proposed 4.0 metre high retaining wall close to National Drive ROW in both emails. It should be noted that after consulting with Development Planning and Urban Design staff, we have removed the landscape wall variance from this application.

To address any concerns actual neighbours of the surrounding development have, we took the time to visit with each of the neighbours and discuss the proposed development with them. Of the seven residents along National Drive, we spoke with three neighbours who were not in objection to the proposed development and the revised variances. We left information and our contact details with the remaining four neighbours who were not available to speak with us and to this date have yet to hear from them regarding any concerns with the application. At the time of our visit however, the City's circulated variance request differed to our stated variance changes and this has caused some confusion with the variance requested.

Respectfully,

Francesco Di Sarra



Christine Vigneault

City of Vaughan
2141 Major Mackenzie Dr.,
Vaughan, ON
L6A 1T1

A019-23 167 National Drive

Committee of Adjustment – Community Correspondence

On April 19, 2023, between 12:30 – 2pm, the agent, Francesco Di Sarra, went door-to-door to visit the residents in proximity to 167 National Drive. The purpose of the visit was to discuss the minor variance application and provide his contact information should they have any questions or concerns. If the resident was not home, a letter with his contact information was left at the door.

A summary of correspondence as of April 21, 2023 is provided on the following page.



21 April 2023

<u>ADDRESS</u>	<u>CONTACT</u>	<u>DATE</u>	<u>COMMUNICATION</u>	<u>CORRESPONDANCE</u>
121 National Drive	-	April 19, 2023	Written correspondence and agent's contact information left at door.	None.
135 National Drive	-	April 19, 2023	Written correspondence and agent's contact information left at door.	None.
136 National Drive	Male Resident	April 19, 2023	Spoke to resident and provided agent's contact information.	Resident expressed no opposition to proposal.
160 National Drive	Female Resident	April 19, 2023	Spoke to resident and provided agent's contact information.	Resident expressed no opposition to proposal. On April 20, we received a letter from the residents of 160 National Drive in opposition to a variance that was previously removed from the application. The variance notice that was circulated by the City to the neighbours did not reflect the changes that were made to the application and requested variance which were submitted to the city with a zoning waiver form on April 17, 2023.
182 National Drive	-	April 19, 2023	Written correspondence and agent's contact information left at door.	None.
198 National Drive	Male & Female Resident	April 19, 2023	Spoke to resident and provided agent's contact information.	Residents expressed no opposition to proposal.
215 National Drive	-	April 19, 2023	Written correspondence and agent's contact information left at door.	None.

COMMITTEE OF ADJUSTMENT CITY OF VAUGHAN

Re File: A0/19/23 167 National Dr Woodbridge

Submission to the Committee respecting the above application by:

Ken and Elinore 182 National Drive

We are the owners of one of the houses (182) directly across the street from the subject property.

We support construction of a single dwelling on the property but we are opposed to the above application.

This proposal involves a long (170 foot long x 13 foot high) and high wall only 1.2m from the property line. This is a gross variance from the bylaw vs. a minor one which the committee is mandated to review. It will create a tunnel like effect on the street and obstruct the generally open views of the surrounding green space on the street. The proposed second floor overhang also greatly encroaches on the setback requirement. If allowed, it would be like living across from a bridge abutment.

The current houses on the street all have generous setbacks and we desire this theme to be maintained.

The architect is very reputable and certainly has the ability to do much better than this.

Our request is the committee reject this application.

Respectfully

Ken and Elinore Wragge

From: [REDACTED]
To: [Committee of Adjustment](#)
Subject: [External] written comments to Committee of Adjustments Minor Variance Application AO19/23
Date: Thursday, April 20, 2023 12:24:18 PM

To whom it may concern

Name Pasqua and Randy Melchior

Address 160 National Drive (directly across the street from this site)

Purpose

To request the committee not to consider this application as minor variance as the changes here are not minor but Major changes to the existing setback and fencing /wall heights as zoned for (as set for the whole street)since inception of the street and the existing by-laws.

To allow this technically as a committee of adjustments change is absurd. This request far exceeds a minor variance.

As of this e-mail request to the committee, planning and any other committees have not yet provided their responses.

I would find it hard to believe any department would consider allowing this drastic a change to the existing zoning as a minor variance .

If allowed this would cause my home to be staring at a WALL as high as 13 feet with a setback adjustment starting at only 1.2 meters back from the lot line in lieu of the existing allowable.

To be clear, we have no problem with the single house being built there. We DO have a huge problem with the fact that this application is a flagrant huge change to the proper setbacks existing.

In essence setback should not change this drastically so as to allow the applicant to fit this new house onto the site, to accommodate the house depth, due to the Ministry of Conservation /authority top of the bank restriction.

This lot in particular has a lot of restrictions on it due to top of bank issues.

Lastly, if passed this would set a dangerous precedence on the street, which could cause the whole street to be walled on both sides if other owners were follow suit with the same.

I/we look forward to welcoming these owners onto National Drive and have no problem as per se with the house but Flatly object to having a WALL in front of our home because bylaw height and setbacks were grossly manipulated to achieve the siting of this new home proposed

Gracefully

Pasqua/Randy Melchior



Lenore Providence

Subject: FW: [External] Fwd: Minor Variance Application A19.23 Plan M1800 Lot 65 aka 167 National Drive, City of Vaughan, Region of York

From: Lou Pompili

Sent: April-18-23 3:54 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Subject: [External] Fwd: Minor Variance Application A19.23 Plan M1800 Lot 65 aka 167 National Drive, City of Vaughan, Region of York

Sorry Minor corrections...please disregard the previous version. Please confirm receipt at your earliest convenience. Much appreciated. Regards Lou Pompili

Sent from my iPad

Begin forwarded message:

From: Lou Pompili

Date: April 18, 2023 at 3:35:21 PM EDT

To: Lenore Providence <lenore.providence@vaughan.ca>

Cc: "Vigneault, Christine" <Christine.Vigneault@vaughan.ca>

Subject: **Re: Minor Variance Application A19.23 Plan M1800 Lot 65 aka 167 National Drive, City of Vaughan, Region of York**

Hi Lenore.

Further to our recent meeting at the C of A counter relating to the above note matter, I have now have an opportunity to review the application further and wish to summarize my comments below:

1. The TRCA letter of March 3, 2023 is inconsistent with previous TRCA letters of July 10, 2020; March 16, 2021; November 29, 2021 relating to delineated on-site natural features, hazard limits and physical top of bank of April 17th, 2019 and the Living City Policies ('LCP') of the TRCA given the lands are entirely within the Natural System as defined under the LCP.
2. The original National Estates Subdivision Agreement established in 1976 and registered December 15th, 1976 deals specifically with stringent erosion control and Rural Residential Arcitectoral guidelines and design conformity similar to the existing single family dwellings design criteria of the area.
3. The subject land are identified as Regionally Significant Woodlands by the York Region Official Plan 2010 ('YROP 2010') and are protected under Policy 2.2 - Natural Features of the Greenland System.
4. The subject land are also designated as "Core Features" (Schedule 2 - Natural Heritage Network) and Natural Areas (Schedule 13 - Land Use) by VOP 2010.

Without going into many other significant specific comments, the overall design concept is radically inconsistant with the existing residential dwellings concepts, in particular the proposed 4.0 metre high architectal/design element retaning wall prominently visible from and extremely close to the National Drive ROW, along with the long parallel driveway and garage access. As such the Committee of Adjustment and the relevant commentating departments and agencies, should seriously consider not favourably supporting this application, as submitted, which is much more complex than just a simple minor variance.

Respectfully,

Lou Pompili

From: [REDACTED]
To: [Lenore Providence](#)
Cc: [Christine Vigneault](#); [Committee of Adjustment](#)
Subject: [External] File A019/23 - 167 National Drive
Date: Wednesday, April 19, 2023 10:44:07 AM

I just sent a number of area pictures of the existing site condition and some of the existing local RR housing stock fronting on National Drive directly across and adjacent to the land area in question.

I simply wanted to clearly point out that the proposed submitted architectural design and related information appears to be clearly inconsistent and out of place with the existing RR housing stock already prevalent in the immediate area, which by the way did not require the need of a seriously intrusive and extreme retaining wall, driveway, garage entry and exit access, immediately adjacent to the land frontage and National Drive ROW, despite the extreme reverse site topography, slope and grading away from the ROW which could be simply mitigated without the necessity of an extremely intrusive long and high retaining wall facing National Drive.

Kindly feel free to contact me directly, should you have any questions or require further clarity. Please confirm receipt of my additional emails and pictures at your earliest convenience.

Sincerest Regards,

Lou Pompili

[REDACTED]

Sent from my iPad

From: [Redacted]
To: [Redacted]
Cc: [Christina Lusk](#), [Carmen Lee of A.M. Inc.](#)
Subject: [Redacted] in A019023 - 167 Not on a D
Date: Wednesday, Apr 11, 2012 10:06:03 AM







Scot from my iPad

From: [Linda Proulx](#)
To: [Caitlin, Supervisor, Committee of Adjustment](#)
Cc: [\(External\) File AD19/23 - 167 National Drive](#)
Subject: [\(External\) File AD19/23 - 167 National Drive](#)
Date: Wednesday, April 19, 2023 10:08:48 AM







Sent from my iPad

From: [Linda Proulx](#)
To: [Caitlin, Supervisor, Committee of Administrators](#)
Subject: (External) File AD16/03 - 167 National Drive
Date: Wednesday, April 13, 2011 10:26:34 AM









Sent from my iPad

Lenore Providence

Subject: FW: [External] File A019/23 - 167 National Drive
Attachments: 6.2 - CORRESPONDENCE_APPLICANT_A019_23_response to POMPILI.pdf

From: Lou Pompili
Sent: April-26-23 2:24 AM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Cc: Christine Vigneault <Christine.Vigneault@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] File A019/23 - 167 National Drive

Good Morning Lenore.

Further to the below attached correspondence of Frank Franco Architects (Mr. Francesco Di Serra), I would simply wish to provide the following.

My professional relationship with the present property owner is clearly a matter of public record, although my personal relationship is not and is strictly private and confidential and respectfully, should remain that way, amicably or not.

Furthermore, please be advised that the Top of Bank (TOB) as noted, was established by TRCA in conjunction with a past Terraprobe Consulting Geotechnical & Engineering Slope Stability and Streambank Erosion Study (File No. 1-17-07270) issued January 7, 2018, originally commissioned by Teresano Inc., on behalf of the then property owner Ms. Anna Sarracini which I strongly encourage be carefully reviewed further by appropriate relevant City of Vaughan department/agency and engineering staff.

Lastly, I wish to respectfully remind Frank Franco Architects that the Committee of Adjustment is a Committee of the City of Vaughan Council who's meetings form part of a public process, whereby any member of the general public is encouraged to participate and comment, despite their address and/or location.

Sincerest Regards,

Lou Pompili

Lenore Providence

Subject: Application A019/23

From: Nick Marinelli

Sent: April-21-23 3:51 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: Application A019/23

To Whom it may Concern,
Nick and Fiorella Marinelli
135 National Drive
Woodbridge, ON L4L 3R2

I object to the Minor Variance Application A019/23 as I feel this is NOT a minor variance.

I oppose the erection of a 170 ft long wall very close to the property line especially due to it's excessive height of 4 meters.

This would be an eye sore for the entire street and will not fit well with the present esthetic of the community.

If this variance is accepted (with such high walls close to the property lines) it would set a precedence for future construction in the city.

Yours Truly,
Nick Marinelli

Lenore Providence

Subject: A019/23

From: Guitline

Subject: File A019/23

Date: April 21, 2023 at 11:59:22 AM EDT

To: Christine.Vigneault@vaughan.ca

Hi,

I'm oppose to the changes requested by landowners in the file
A019/23

Thanks.

Boris Guitline

136, National Drive
Woodbridge ON
L4L3E4

Lenore Providence

Subject: FW: [External] Minor Variance Application A019/23

From:

Sent: April-21-23 2:36 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] Minor Variance Application AO19/23

Committee of Adjustment :

We prefer that the current zoning by-law 01-2021 and zoning by-law 1-88 are adhered to, and that the proposed variances (AO19/23) are denied for the property 167 National Drive which is in an established neighbourhood.

Thank you.

Roy and Joan Hints
198 National Drive
Woodbridge, Ontario

Lenore Providence

Subject: FW: [External] Comments to committee of Adjustments minor variance application AO19/23

From: Sylvia Kada

Sent: April-21-23 12:37 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] Comments to committee of Adjustments minor variance application AO19/23

Name: Sylvia Kada

Address: 215 National Drive

To whom it may concern.

I am opposing application AO19/23 regarding 167 National Drive.

This does not seem like a minor variance. The proposed wall will be an eyesore and does not blend in with the current aesthetic on the street. The height of the wall as well as the 1.2 metre set back are major changes to existing bylaws.

Yours sincerely,

Sylvia Kada

[Sent from Rogers Yahoo Mail for iPhone](#)

From: [REDACTED]
To: [Committee of Adjustment](#)
Cc: [REDACTED]
Subject: [External] Application A019/23 Application Objection
Date: Wednesday, May 3, 2023 11:54:08 AM

To whom it may concern

Objectors.. Pasqua and Randy Melchior

Residence 160 National Drive

We live/own in the home right across the road from this applicant and OPPOSE THIS relief requested in this application.

Reasons

1 this relief is not MINOR as it is adjusting the front set back by close to 40FEET! Hardly a minor variance

2 the zonings and setbacks for this street have been set and followed by us, when we bought our existing house some 30 years ago.

3 This request will cause a garage wall to parallel the FRONT of the property facing our house at only approximately a 10-foot setback, apparently to allow for a 10-12 car garage to be built with as high as a 13 foot wall as some point . This will cause a tunneling affect to the street on that side and will force us to stare at a large wall from our home only 10 feet off the existing property line!

This wall and garage, I believe, is desired and or needed to achieve the new proposed house as plotted that has rear yard restrictions due to the Top of Bank and Conservation Authority.

I gracefully ask you to not approve this application as it will change the whole character of this unique street that has approved setbacks which produce a wonderful and proper street presence. These have always been here, and was zoned and planned for as such.

Quite frankly the whole street has been through a previous application on this site to build multiple homes on it through the C of A, as you are aware of, and was flatly turned down as not being a proper application for this committee. It would require an

Application through Planning. This previous application was subsequently withdrawn by the owner/APPLICANT.

Our street when through so much trauma on the previous application as did the National Golf Course, and the surrounding ratepayers associations that wanted to keep our/their neighborhoods in the same single family estate lots that were existing, including front, rear and side setbacks.

To now have another round of trying to slide/Apply through the C OF A for such a massive change to the front setback verges on farcical to the committee as a whole and the residents on our street.

And all this to accommodate a stair to a garage for car storage in this design. Please this application insults our intelligence, and the committee as whole we believe.

I said before and I will say it again, we look forward to welcoming this applicant on our street, but on the same rules as we followed to live in our homes existing.

I respectfully ask you to consider the fact that this garage should be incorporated within the setbacks, if possible , and not at the front of the home and street to accommodate the new home for what I feel is a cost/ function to the applicant while completely ruining the aesthetics of the

street and my home in particular.

I would further like to emphasize that the top of the bank setbacks at the rear of this lot are necessary for erosion into the Golf Course. This lot was culled out of trees without Vaughan permit prior to this application. The trees and roots there are needed to prevent erosion and landslides into the valley and golf course behind the proposed new home. No city department/engineering could possibly allow this to happen, I would think, unless it was engineered in such a way that the City, Conservation, and engineering could accept a change as such.

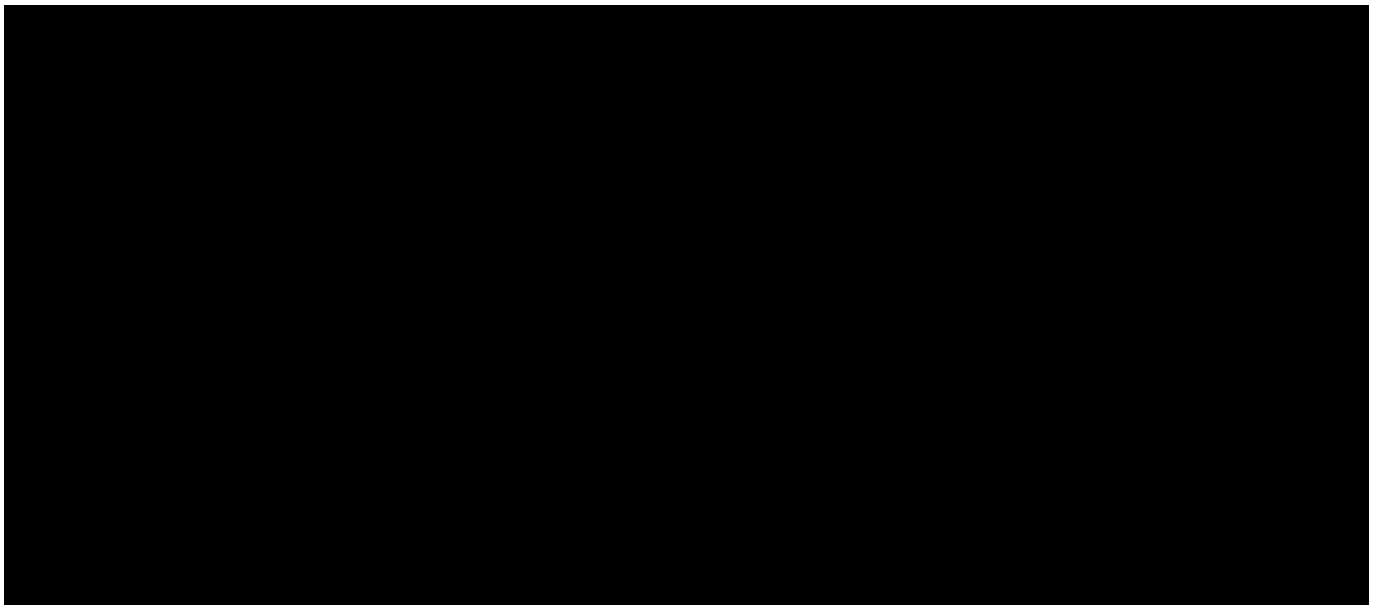
I applaud if the applicant wants a large garage as long as it fits the existing envelope. Make it under the house, follow your setbacks and hopefully you can attain your desire...However... I cannot accept the concept that the residents of this street must adjust the rules to accommodate the wishes of this applicant at the expense, in kind, of the residents of our street.

Lastly, I reserve the right to add to my comments once staff replies/reports are available to us online.

Gracefully

With thanks

Randy Melchior



SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
B006/21, B007/21, B008/21, B009/21, A117/21, A118/21, A119/21, A120/21, A121/21	12/08/2021	<p>Consent Applications B006/21, B007/21, B008/21 & B009/21 proposed to sever (create) four (4) new lots for future residential purposes having frontage onto National Drive.</p> <p>The proposed lots required relief from Zoning By-law 1-88, as amended, to permit reduced lot area and frontage on both the severed and retained parcels as applied for through Minor Variance Applications A117/21, A118/21, A119/21, A120/21 and A121/21.</p> <p>The Committee of Adjustment refused Consent applications B006/21, B007/21, B008/21 & B009/21 and related Minor Variance Applications A117/21, A118/21, A119/21, A120/21 and A121/21.</p> <p>Decisions appealed to the OLT. Appeal withdrawn.</p>

NOTICE OF DECISION
Consent Application B006/21
 Section 53 of the Planning Act, R.S.O. 1990, c.P.13

- Date of Hearing:** Wednesday, December 8, 2021
- Applicant:** Carmelo & Milena Calabro
- Agent:** Lou Pompili
- Property:** **167 National Drive, Woodbridge ON**
- Zoning:** The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
- OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
- Related Files:** Minor Variance - A117/21
B007/21 – B009/21, inclusive and A118/21 – A121/21, inclusive.
- Purpose:** Consent is being requested to sever a parcel of land for residential purposes approximately 2259.00 square metres. The parcel to be retained is approximately 8819.80 square metres. Both the severed and retained land will have frontage onto National Drive.
- The severed and retained land are vacant.
- Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B006/21 on behalf of Carmelo & Milena Calabro, be **REFUSED** for the following reasons:

1. The proposal does not conform to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal does not conform with the City of Vaughan Official Plan
3. The general intent and purpose of the by-law will not be maintained.
4. The proposed severance is not desirable for the appropriate development of the land.

Written & oral submissions were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive Nature of Correspondence: Letter of Objection Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Name: Robert Blunt b/o National Gulf Company Address: One First Canadian Place, suite 3400 Toronto Explanation of the Effect: Information received.
Name: Roy and Joan Hints Address: 198 National Drive Nature of Correspondence: Letter of Objection	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Randy Melchior Address: 160 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Andrew L. Jeanrie, b/o The National Gulf Club of Canada Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
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Name: Phyllis Santone, c/o Pinewood Estates Ratepayers Association Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Vice Chair	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 5, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal

The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

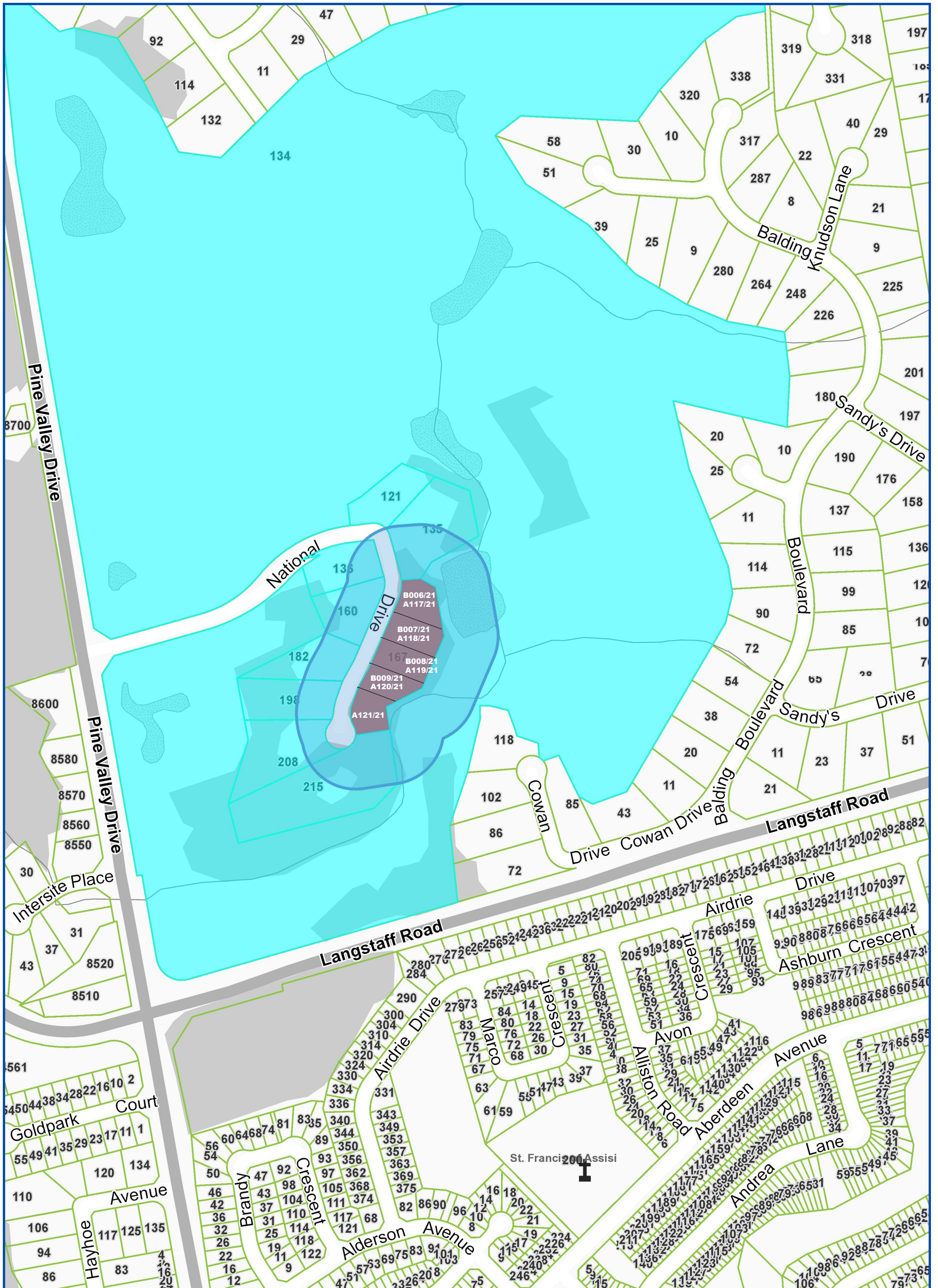
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

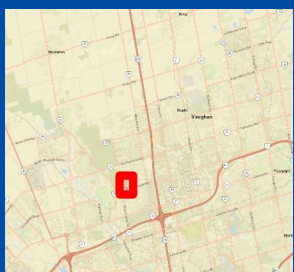
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



Title: NOTIFICATION MAP - B006/21 - B009/21, A117/21 - A121/21

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1 : 5,883
0 0.09 km

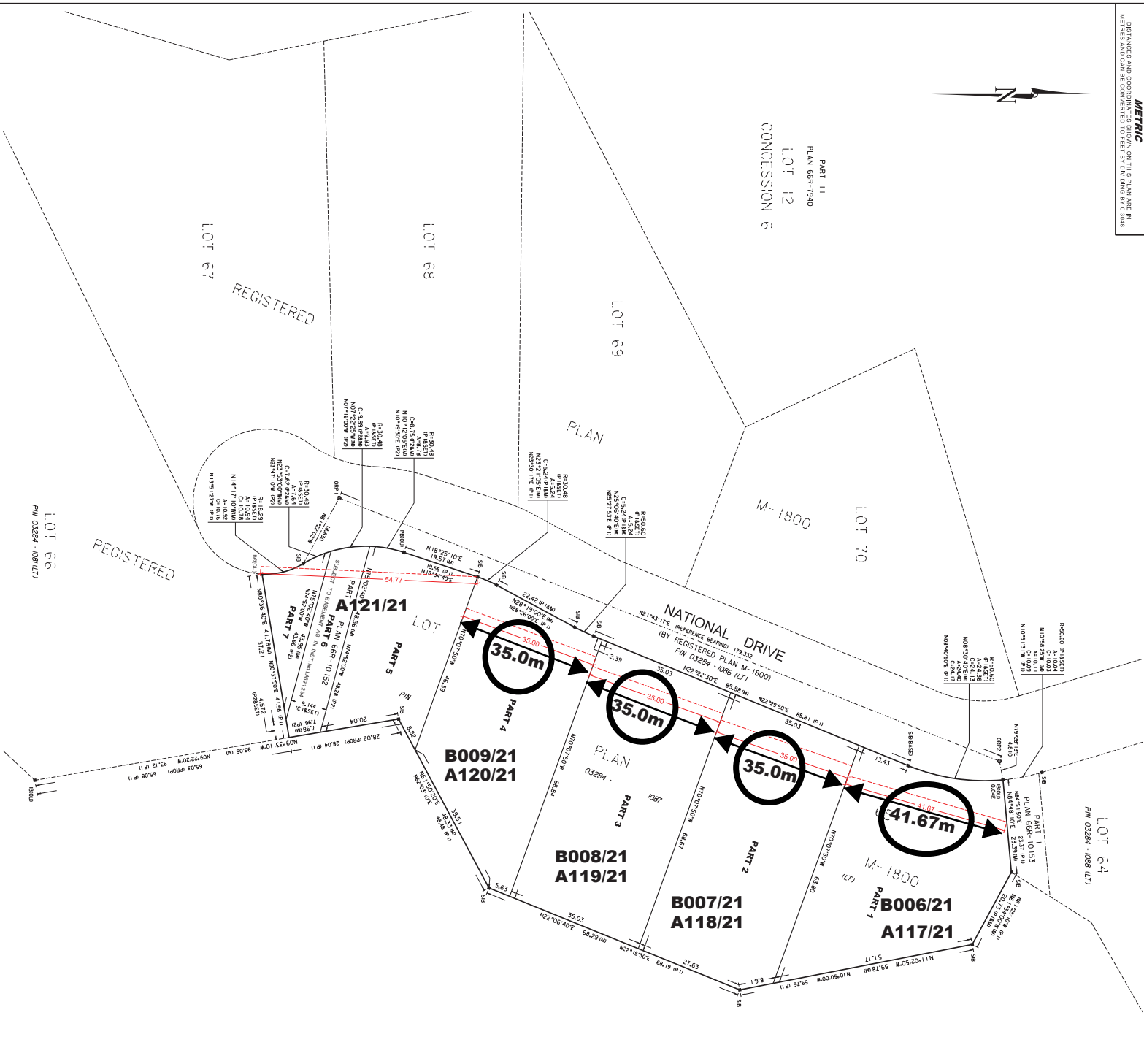


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. MANFARA
ONTARIO LAND SURVEYOR

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			2252	2252
2			2423	2423
3			2087.3	2087.3
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	1777.8
5			325.6	325.6
6				
7				

PART 11 SUBJECT TO EXEMPTION AS IN REG. 146, LAMBTON

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 500

NOTES

BEARINGS ARE UTM GRID ZONE 17 NAD83(CSRS) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS MEASUREMENTS BY THE COMBINED SCALE FACTOR OF 0.9997018.

OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(12) OF ONTARIO REGULATION 219(10).

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

LEGEND

P1 REGISTERED PLAN M-1800
C1 CALCULATED FROM 66R-10152
PROP PROPORTIONED
M MEASURED - LIMITED
OU ORIGIN UNKNOWN
PB PLASTIC BAR
ORP OBSERVED REFERENCE POINT
FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021

J. MANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)	STATION	NORTHING	EASTING
ORP1	465726.534	43461.222	
ORP2	465726.838	43462.273	

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBORO, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1 : 500

DATE: 20210709

NO. 20211039R1

REV. A

NOTICE OF DECISION
Consent Application B007/21
 Section 53 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Wednesday, December 8, 2021

Applicant: Carmelo & Milena Calabro

Agent: Lou Pompili

Property: **167 National Drive, Woodbridge ON**

Zoning: The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"

Related Files: Minor Variance - A118/21
B006/21, B008/21, B009/21, and A117/21, A119/21 - A121/21, inclusive.

Purpose: Consent is being requested to sever a parcel of land for residential purposes approximately 2383.00 square metres. The parcel to be retained is approximately 6436.80 square metres. Both the severed and retained land will have frontage onto National Drive.

The severed and retained land are vacant.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B007/21 on behalf of Carmelo & Milena Calabro, be **REFUSED** for the following reasons:

1. The proposal does not conform to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal does not conform with the City of Vaughan Official Plan
3. The general intent and purpose of the by-law will not be maintained.
4. The proposed severance is not desirable for the appropriate development of the land.

Written & oral submissions were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive Nature of Correspondence: Letter of Objection Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Name: Robert Blunt b/o National Gulf Company Address: One First Canadian Place, suite 3400 Toronto Explanation of the Effect: Information received.
Name: Roy and Joan Hintsu Address: 198 National Drive	Name: Randy Melchior Address: 160 National Drive, Woodbridge


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Nature of Correspondence: Letter of Objection Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	Explanation of the Effect: Information received.
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Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
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Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Vice Chair	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 5, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal

The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

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 Vaughan Ontario, L6A 1T1

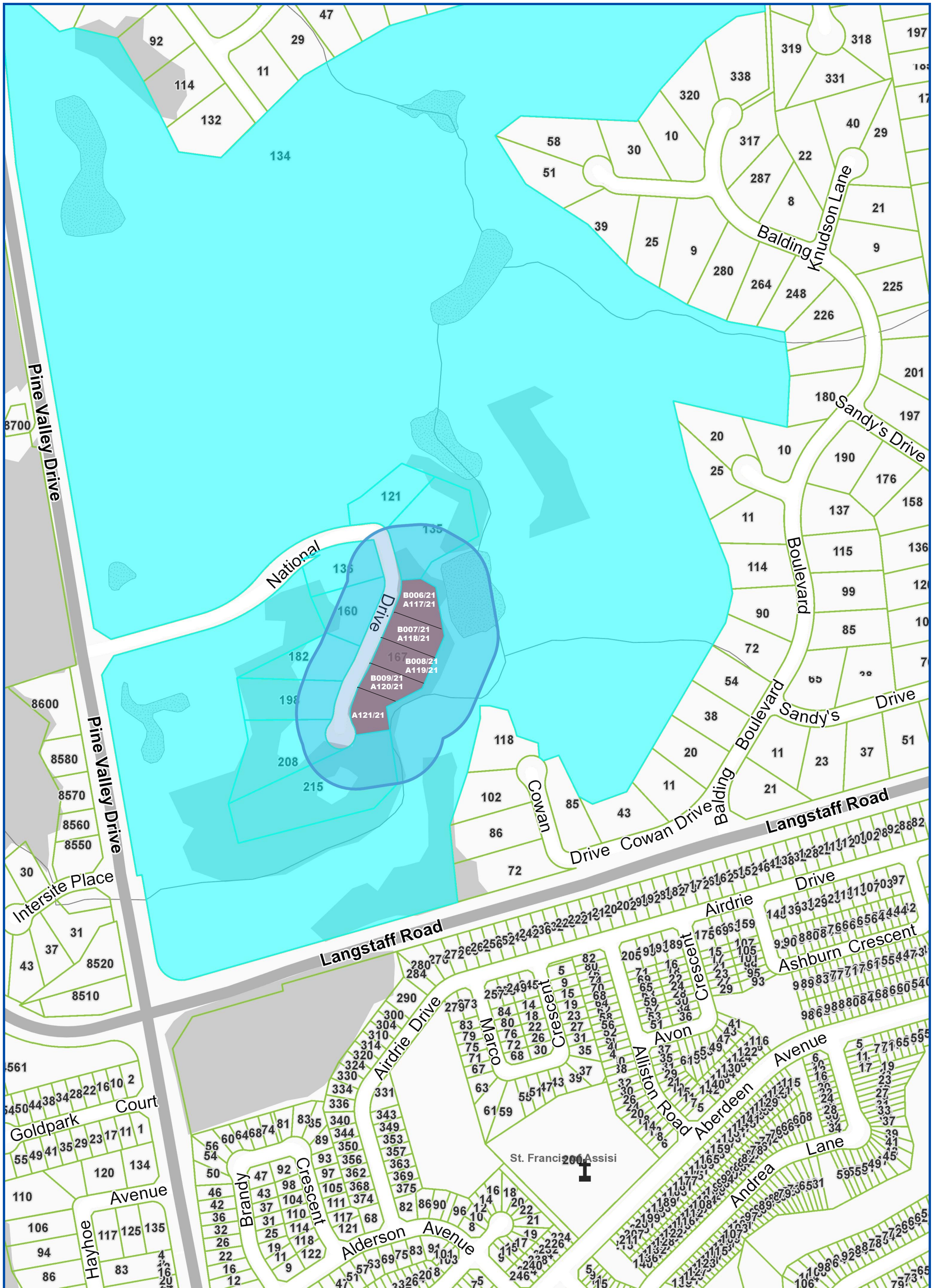
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

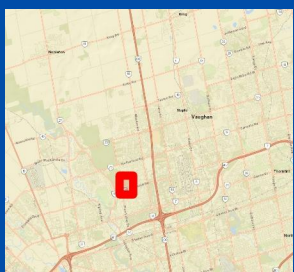
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



Title: NOTIFICATION MAP - B006/21 - B009/21, A117/21 - A121/21

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:
 Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



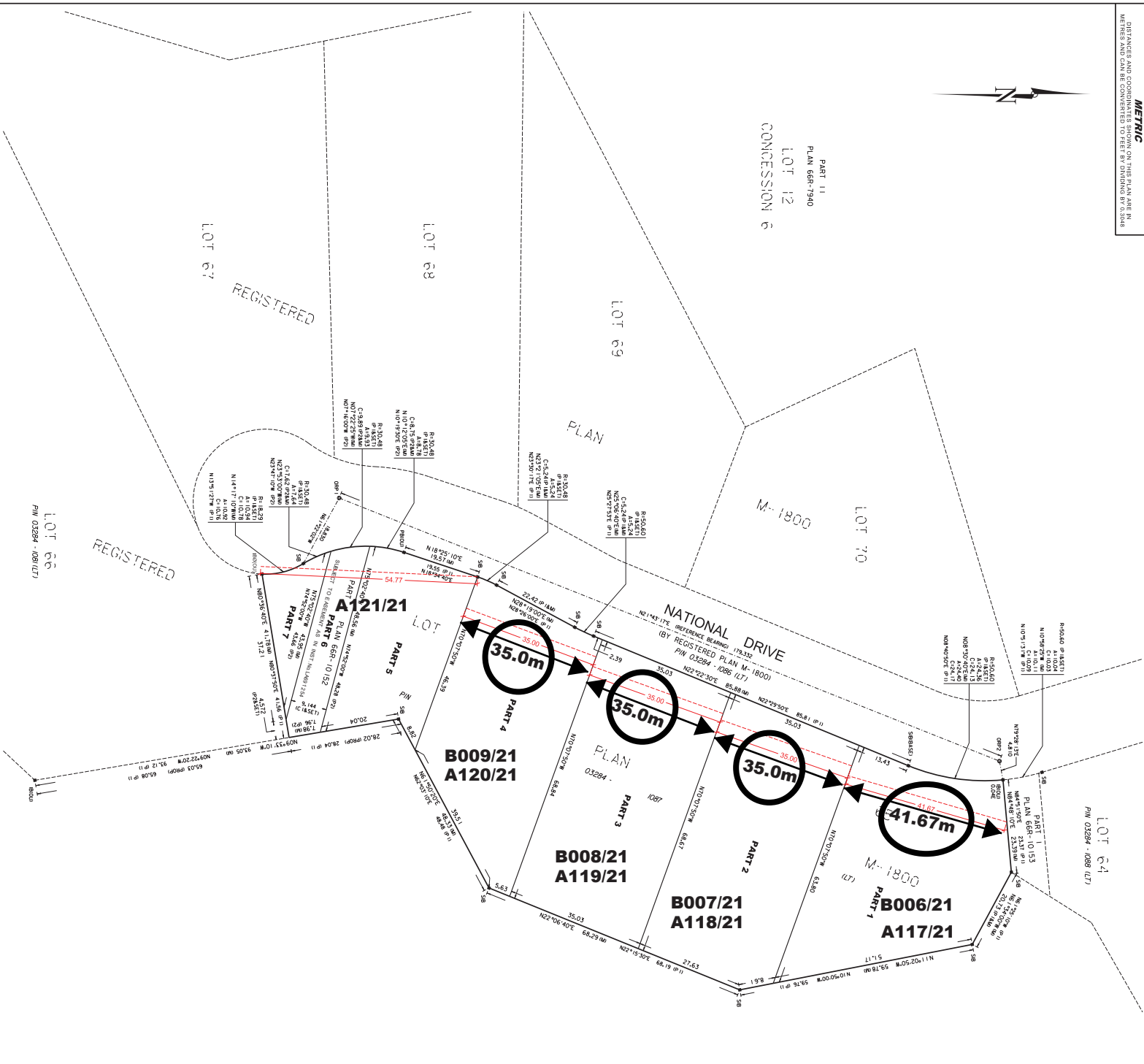
Scale: 1 : 5,883
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Created By:
 Infrastructure Delivery Department
 November 12, 2021 9:11 AM

Projection:
 NAD 83
 UTM Zone 17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. NANFARA
ONTARIO LAND SURVEYOR

DATE: JULY 9, 2021

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. NANFARA
ONTARIO LAND SURVEYOR

DATE: JULY 9, 2021

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

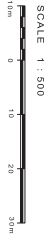
REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. NANFARA
ONTARIO LAND SURVEYOR

DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			22522	22522
2			24263	24263
3			20873	20873
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	17778
5			20873	20873
6			17778	17778
7			32516	32516

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK



NOTES
BEARINGS ARE UTM GRID ZONE 17 NAD83(CSRS) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS HORIZONTAL BY THE COMBINED SCALE FACTOR OF 0.9997018.
OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(1) OF ONTARIO REGULATION 219/10.
COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

- LEGEND**
- P1 REGISTERED PLAN M-1800
 - C1 CALCULATED FROM 66R-10152
 - PROP PROPORTIONED
 - M MEASURED - LIMITED
 - OU ORIGIN UNKNOWN
 - PB PLASTIC BAR
 - ORP OBSERVED REFERENCE POINT
 - OP FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

J. NANFARA
ONTARIO LAND SURVEYOR

COMPONENTS	UTM ZONE 17 NAD 83 (CSRS)
STATION	4651704.541
ORP2	4651704.541

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBOROUGH, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 20211039R1

NOTICE OF DECISION
Consent Application B008/21
 Section 53 of the Planning Act, R.S.O, 1990, c.P.13

- Date of Hearing:** Wednesday, December 08, 2021
- Applicant:** Carmelo & Milena Calabro
- Agent:** Lou Pompili
- Property:** **167 National Drive, Woodbridge ON**
- Zoning:** The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
- OP Designation:** Vaughan Official Plan 2010 ("VOP 2010"): "Natural Areas"
- Related Files:** Minor Variance - A119/21
B006/21, B007/21, B009/21, A117/21, A118/21, A120/21 and A121/21, inclusive.
- Purpose:** Consent is being requested to sever a parcel of land for residential purposes approximately 2406.30 square metres. The parcel to be retained is approximately 4030.20 square metres. Both the severed and retained land will have frontage onto National Drive.

The severed and retained land are vacant.
- Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B008/21 on behalf of Carmelo & Milena Calabro **REFUSED** for the following reasons:

1. The proposal does not conform to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal does not conform with the City of Vaughan Official Plan
3. The general intent and purpose of the by-law will not be maintained.
4. The proposed severance is not desirable for the appropriate development of the land.

Written & oral submissions were received from the following:

Public Written Submissions	Public Oral Submissions
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Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Explanation of the Effect (if any): Information received.	
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
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Name: Maria Saverino Address: 208 National Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Phyllis Santone, c/o Pinewood Estates Ratepayers Association Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Vice Chair	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 5, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal

The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

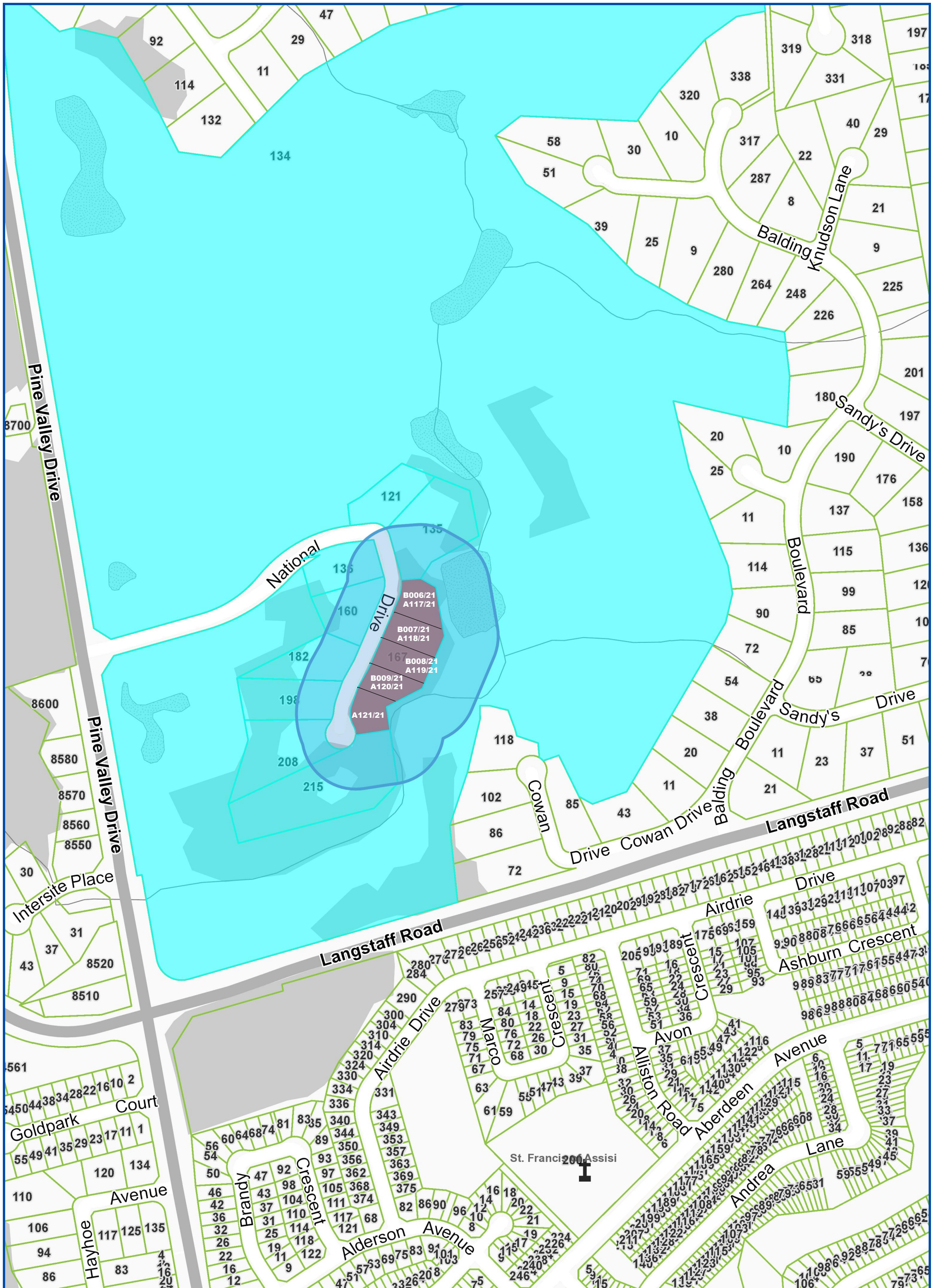
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

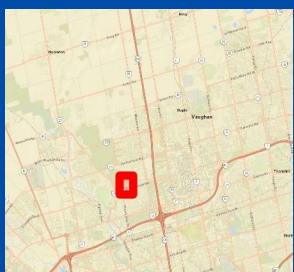
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



Title: NOTIFICATION MAP - B006/21 - B009/21, A117/21 - A121/21

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1 : 5,883
0 0.09 km

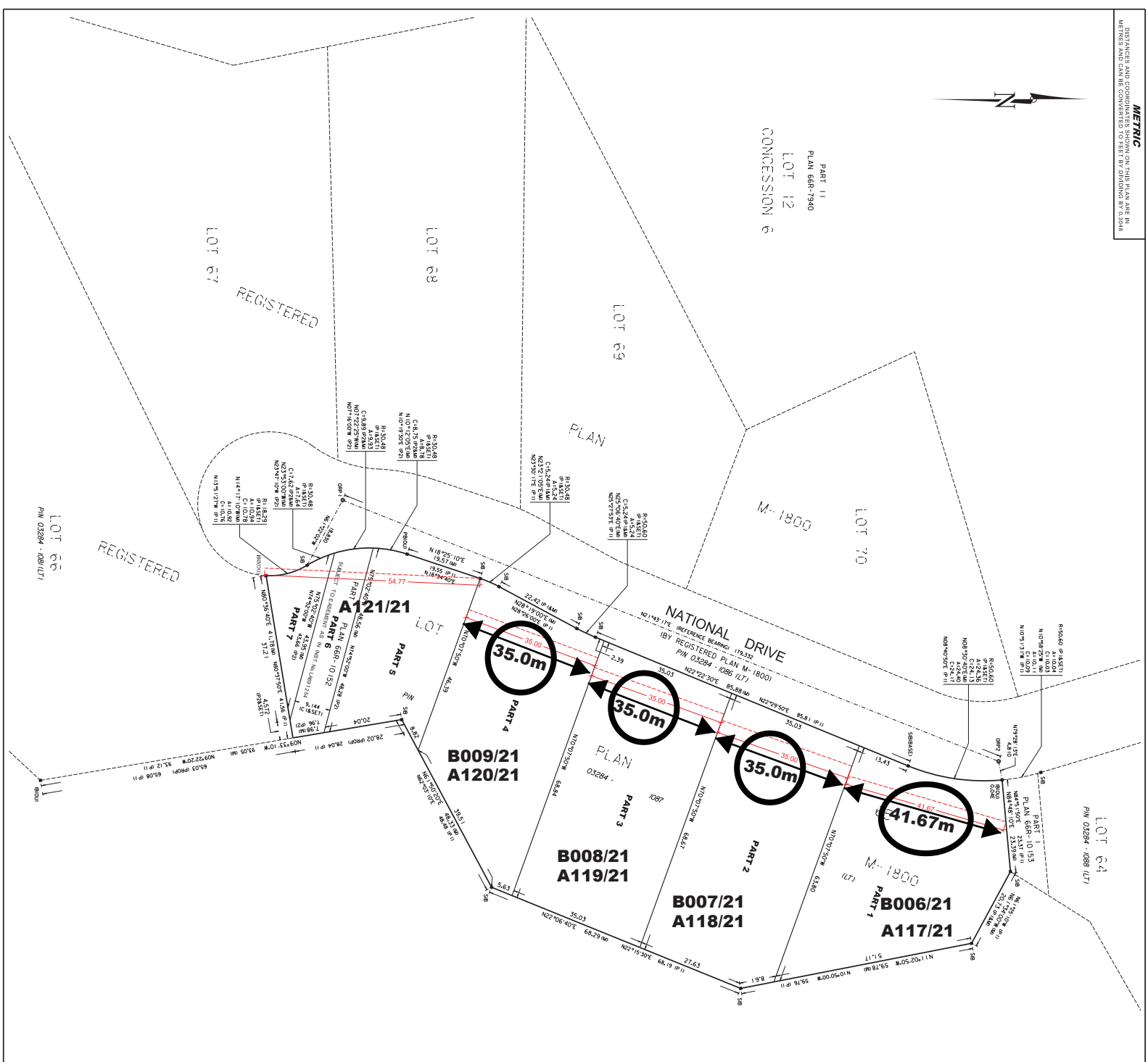


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

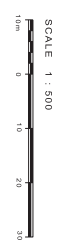


LOT 64
PIN 03284 - 0089 (L7)

PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT. DATE: JULY 9, 2021.		PLAN 65R- RECEIVED AND DEPOSITED DATE: _____	
J. NANFARA ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, 89	
PART	LOT	PLAN	AREA (1)
1		225/2	225.2
2		242/3	242.3
3		242/3	242.3
4	ALL OF LOT 65	ALL OF PIN 03284-0081 (L7)	2087.3
5		177/3	177.3
6		177/3	177.3
7		325/6	325.6

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK



NOTES
BEARINGS ARE UTM GRID ZONE 17 NAD83(CSRS) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS HORIZONTAL BY THE COMBINED SCALE FACTOR OF 0.9997016.
OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(1) OF ONTARIO REGULATION 219(10).
COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

- LEGEND**
- P1 REGISTERED PLAN M-1800
 - C1 CALCULATED FROM 66R-10152
 - PROP PROPORTIONED
 - M MEASURED - LIMITED
 - OU ORIGIN UNKNOWN
 - PB PLASTIC BAR
 - ORP OBSERVED REFERENCE POINT
 - FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REGULATION AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

J. NANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)			
EASTING	468170.531	EASTING	434611.222
NORTHING	468170.531	NORTHING	434611.222
SOUTHING	468170.531	SOUTHING	434611.222

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBINE, ONTARIO, L4L 3K5
TEL: 905.886.9927 FAX: 905.886.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 20211039R1



NOTICE OF DECISION
Consent Application B009/21
 Section 53 of the Planning Act, R.S.O, 1990, c.P. 13

- Date of Hearing:** Wednesday, December 8, 2021
- Applicant:** Carmelo & Milena Calabro
- Agent:** Lou Pompili
- Property:** **167 National Drive, Woodbridge ON**
- Zoning:** The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
- OP Designation:** Vaughan Official Plan 2010 ("VOP 2010"): "Natural Areas"
- Related Files:** Minor Variance - A120/21& A121/21
 B006/21 - B008/21, A117/21 to A119/21 inclusive
- Purpose:** Consent is being requested to sever a parcel of land for residential purposes approximately 2087.30 square metres. The parcel to be retained is approximately 1943.20 square metres. Both the severed and retained land will have frontage onto National Drive.
- The severed and retained land are vacant.
- Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B009/21 on behalf of Carmelo & Milena Calabro, be **REFUSED** for the following reasons:

1. The proposal does not conform to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal does not conform with the City of Vaughan Official Plan
3. The general intent and purpose of the by-law will not be maintained.
4. The proposed severance is not desirable for the appropriate development of the land.

Written & oral submissions were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive Nature of Correspondence: Letter of Objection Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Name: Robert Blunt b/o National Gulf Company Address: One First Canadian Place, suite 3400 Toronto Explanation of the Effect: Information received.
Name: Roy and Joan Hintsa Address: 198 National Drive Nature of Correspondence: Letter of Objection Date Received: November 29, 2021	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Explanation of the Effect (if any): Information received.	
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
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Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Vice Chair	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 5, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal

The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

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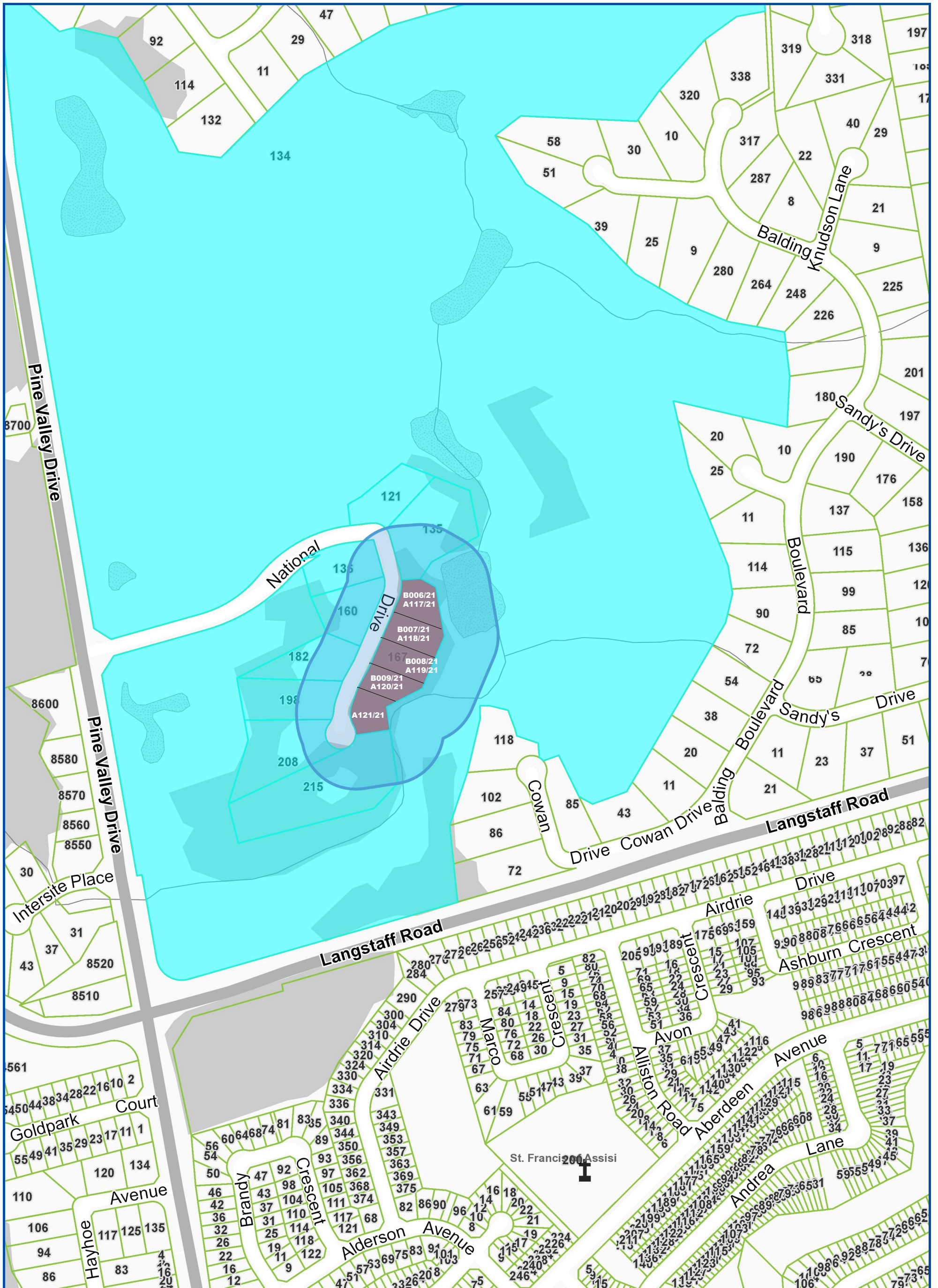
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Appeal Fees & Forms

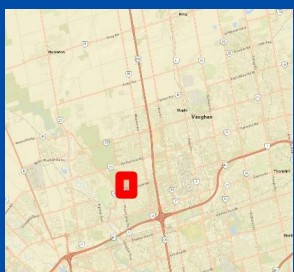
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



**Title: NOTIFICATION MAP - B006/21 - B009/21,
A117/21 - A121/21**

167 NATIONAL DRIVE, WOODBRIDGE

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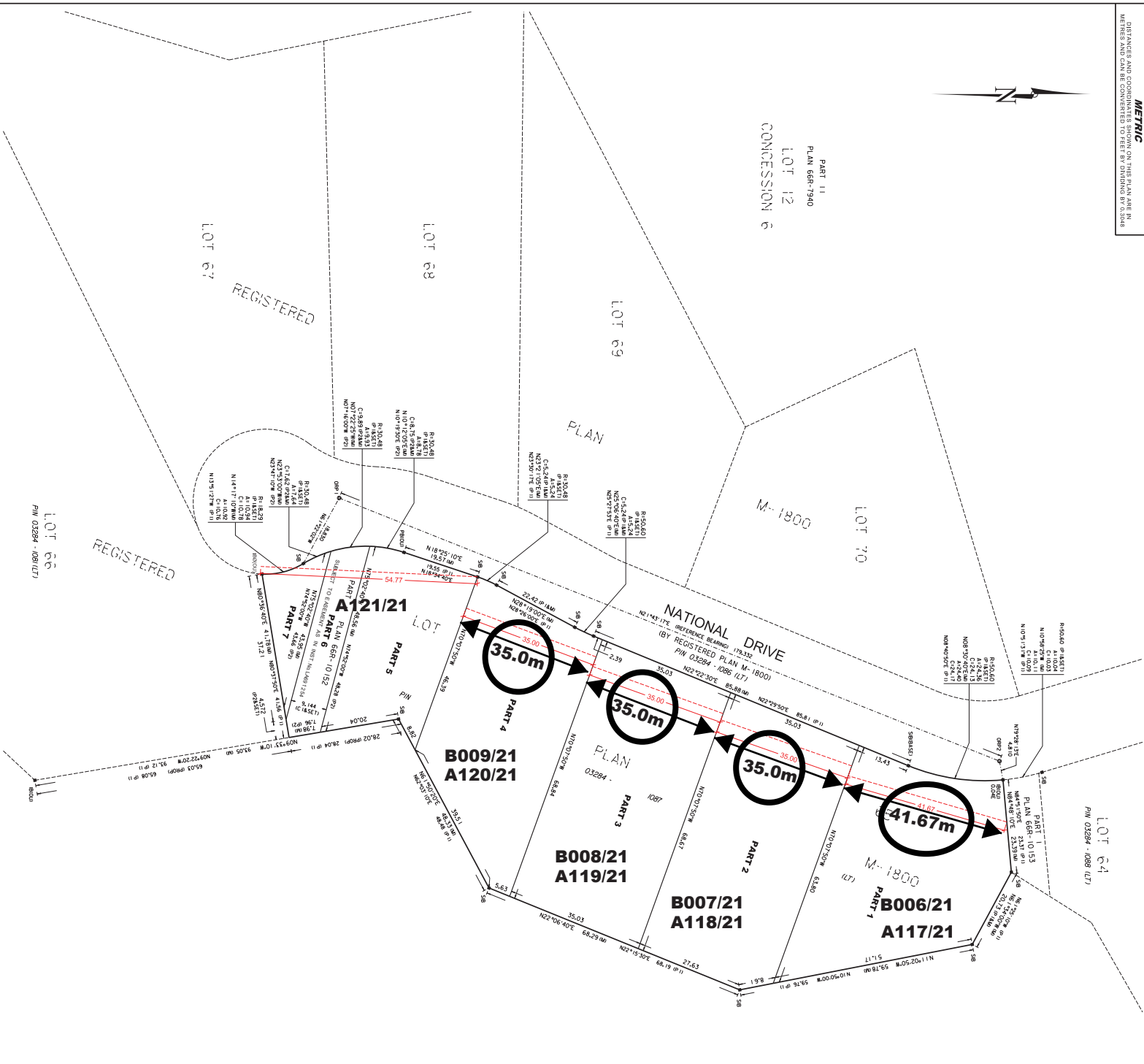


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. MANFARA
ONTARIO LAND SURVEYOR

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			2252	2252
2			2423	2423
3			2087.3	2087.3
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	1777.8
5			325.6	325.6
6				
7				

PART 11 SUBJECT TO EXEMPTION AS IN REG. 14(1) SUBSECTION 2(4)

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 500

NOTES

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OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(2) OF ONTARIO REGULATION 219(10).

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

LEGEND

P1 REGISTERED PLAN M-1800
C1 CALCULATED FROM 66R-10152
PROP PROPORTIONED
M MEASURED - LIMITED
OU ORIGIN UNKNOWN
PB PLASTIC BAR
ORP OBSERVED REFERENCE POINT
F FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021

J. MANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)	STATION	NORTHING	EASTING
ORP1	465726.534	43461.222	
ORP2	465726.838	32982.273	

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBORO, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

ONTARIO REG. NO. 20211039R1

NOTICE OF DECISION
Minor Variance Application A117/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13 & Section 4 of O.Reg 149/20

Date of Hearing: Wednesday, December 8, 2021
Applicant: Carmelo and Milena Calabro
Agent: Lou Pompili
Property: **167 National Drive, Woodbridge ON**
Zoning: The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
Related Files: B006/21 - B009/21, inclusive and A118/21 – A121/21, inclusive.
Purpose: Relief from By-law 1-88, as amended is requested to permit reduced lot area and lot frontage on the severed land to facilitate Consent Application B006/21.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The minimum required lot frontage is 45.0 metres. [4.1.9, Schedule A]	1. The minimum proposed lot frontage is 41.67 metres.
2. The minimum required lot area is 4,000.0 square metres. [4.1.9, Schedule A]	2. The minimum proposed lot area is 2,259.2 square metres.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A117/21 on behalf of Carmelo & Milena Calabro, be **REFUSED**.

For the following reasons:

1. The general intent and purpose of the by-law will not be maintained.
2. The general intent and purpose of the official plan will not be maintained.
3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are not minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive	Name: Robert Blunt b/o National Gulf Company

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Nature of Correspondence: Letter of Objection Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Address: One First Canadian Place, suite 3400 Toronto Explanation of the Effect: Information received.
Name: Roy and Joan Hintsa Address: 198 National Drive Nature of Correspondence: Letter of Objection Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Randy Melchior Address: 160 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
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Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 28, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

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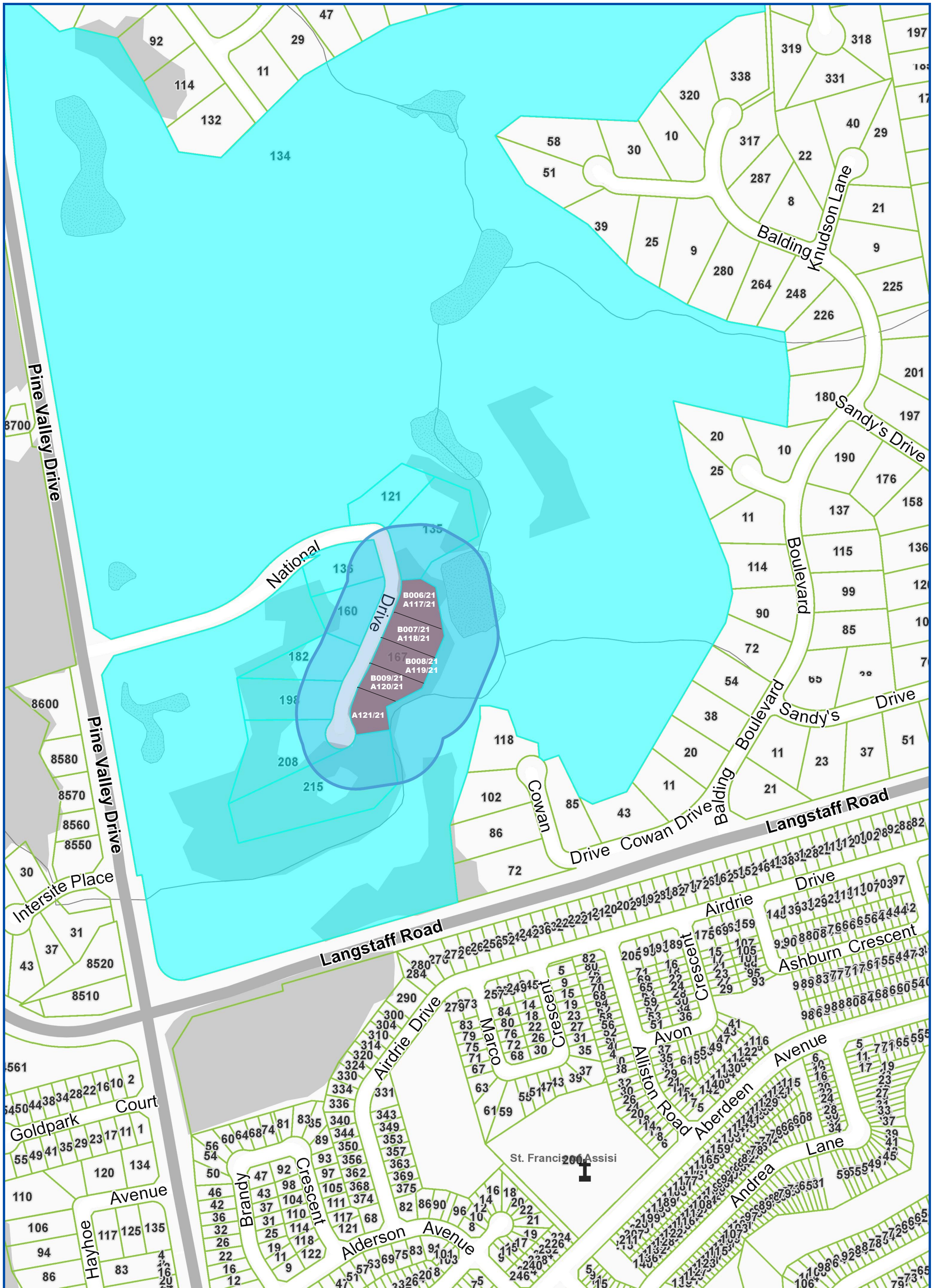
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Appeal Fees & Forms

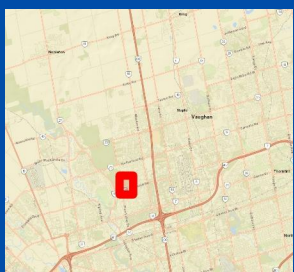
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City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



Title: NOTIFICATION MAP - B006/21 - B009/21, A117/21 - A121/21

167 NATIONAL DRIVE, WOODBRIDGE

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Scale: 1 : 5,883
0 0.09 km

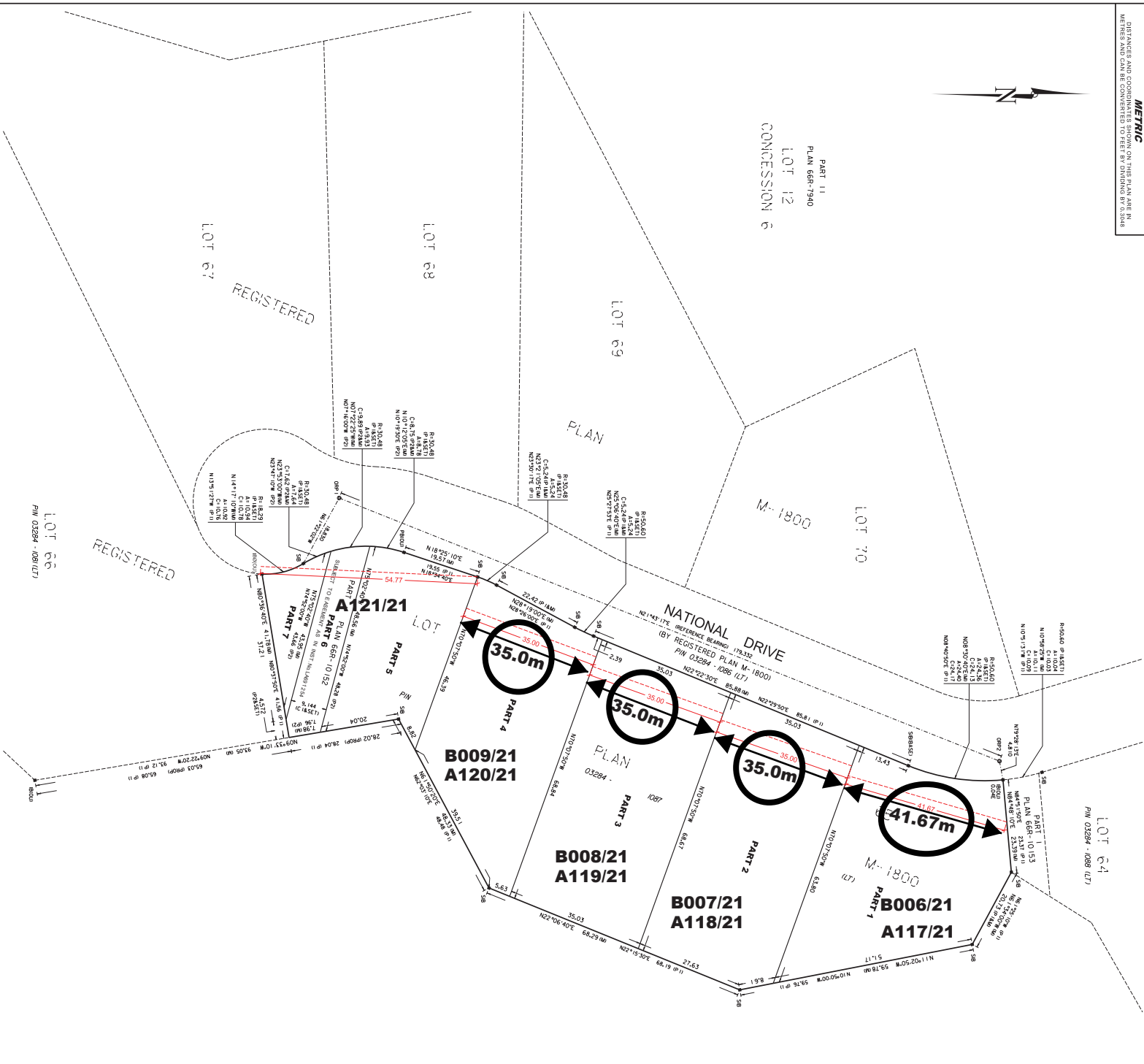


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. MANFARA
ONTARIO LAND SURVEYOR

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			2252	2252
2			2423	2423
3			2087.3	2087.3
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	1777.8
5			325.6	325.6
6				
7				

PART 11 SUBJECT TO EXEMPTION AS IN REG. 14(1) SUBSECTION 24

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 500

NOTES

BEARINGS ARE UTM GRID ZONE 17 NAD83(CSRS) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS BEING MEASURED BY THE COMBINED SCALE FACTOR OF 0.9997018.

OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(1) OF ONTARIO REGULATION 219(10).

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

- LEGEND**
- P1 REGISTERED PLAN M-1800
 - C1 CALCULATED FROM 66R-10152
 - PROP PROPORTIONED
 - M MEASURED - LIMITED
 - OU ORIGIN UNKNOWN
 - PB PLASTIC BAR
 - ORP OBSERVED REFERENCE POINT
 - OP FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REG. AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021

J. MANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)	STATION	NORTHING	EASTING
ORP1	465726.534	43461.222	
ORP2	465726.838	43461.273	

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBORO, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 2021039R1

SCALE: 1 : 500

DATE: JULY 9, 2021

PROJECT: 2021039R1

SCALE: 1 : 500

NOTICE OF DECISION
Minor Variance Application A118/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13 & Section 4 of O.Reg 149/20

Date of Hearing: Wednesday, December 8, 2021
Applicant: Carmelo and Milena Calabro
Agent: Lou Pompili
Property: **167 National Drive, Woodbridge ON**
Zoning: The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
Related Files: B006/21 - B009/21, inclusive and A117/21, A119/21 – A121/21, inclusive.
Purpose: Relief from By-law 1-88, as amended is requested to permit reduced lot area and lot frontage on the severed land to facilitate Consent Application B007/21.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The minimum required lot frontage is 45.0 metres. [4.1.9, Schedule A]	1. The minimum proposed lot frontage is 35.0 metres.
2. The minimum required lot area is 4,000.0 square metres. [4.1.9, Schedule A]	2. The minimum proposed lot area is 2,383.0 square metres.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A118/21 on behalf of Carmelo and Milena Calabro, be **REFUSED**.

For the following reasons:

1. The general intent and purpose of the by-law will not be maintained.
2. The general intent and purpose of the official plan will not be maintained.
3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are not minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive	Name: Robert Blunt b/o National Gulf Company

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Nature of Correspondence: Letter of Objection Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Address: One First Canadian Place, suite 3400 Toronto Explanation of the Effect: Information received.
Name: Roy and Joan Hintsa Address: 198 National Drive Nature of Correspondence: Letter of Objection Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Randy Melchior Address: 160 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Andrew L. Jeanrie, b/o The National Gulf Club of Canada Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Nick and Fiorella Marinelli Address: 135 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Maria Saverino Address: 208 National Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Phyllis Santone, c/o Pinewood Estates Ratepayers Association Address: 136 National Drive Nature of Correspondence: Letter of Objection	


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 28, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

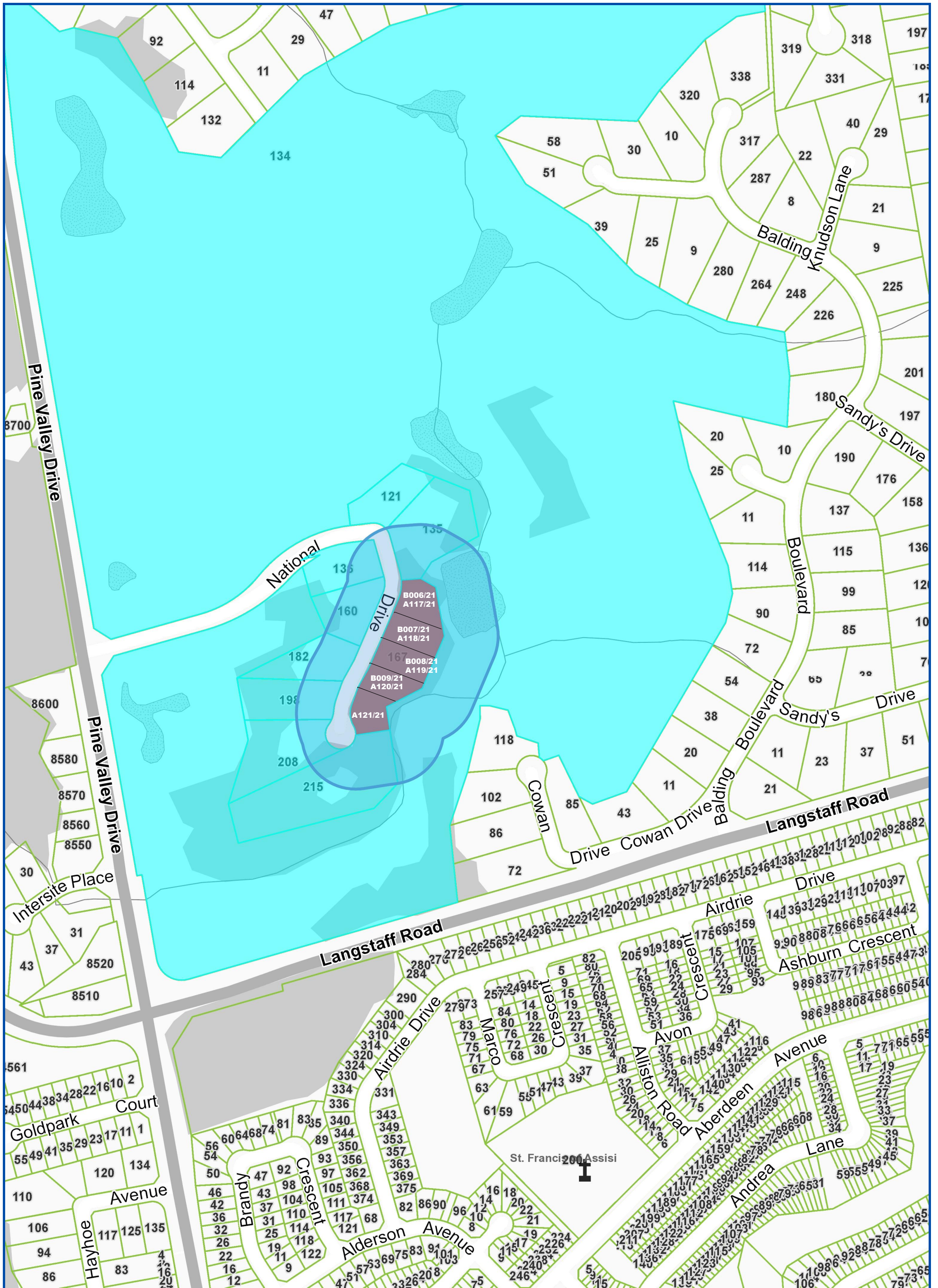
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

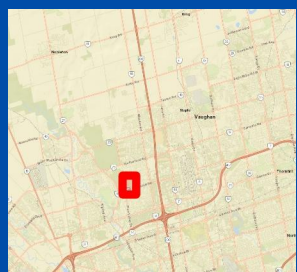
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



**Title: NOTIFICATION MAP - B006/21 - B009/21,
A117/21 - A121/21**

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1 : 5,883
0 0.09 km

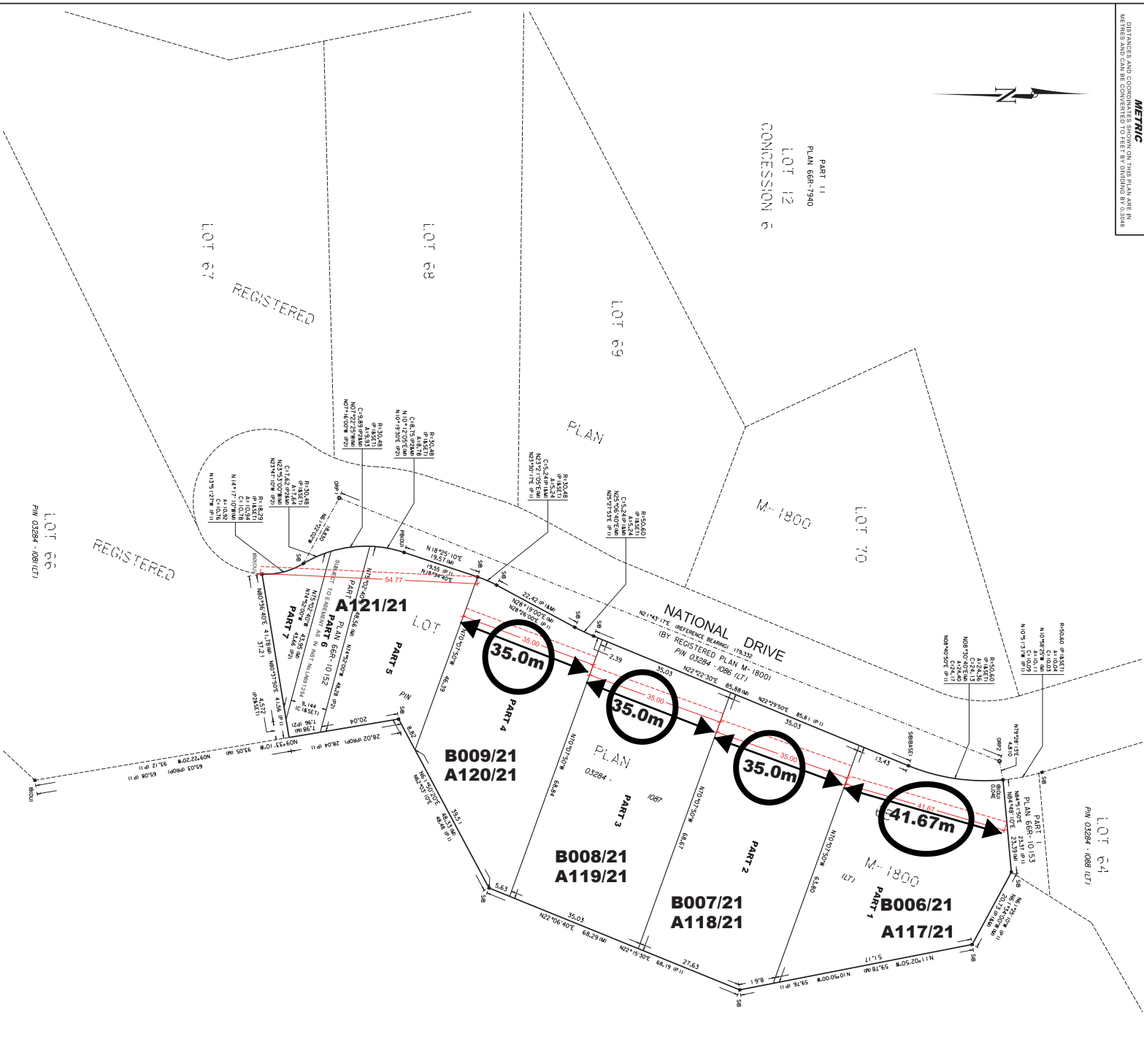


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. MANFARA
ONTARIO LAND SURVEYOR

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			2252	2252
2			2423	2423
3			2087.3	2087.3
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	1777.8
5			325.6	325.6
6				
7				

PART 11 SUBJECT TO EXEMPTION AS IN REG. 14(1) SUBSECTION 2(4)

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 500

NOTES

BEARINGS ARE UTM GRID ZONE 17 NAD83(CSRS) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS HORIZONTAL BY THE COMBINED SCALE FACTOR OF 0.9997016.

OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(1) OF ONTARIO REGULATION 219(10).

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

LEGEND

P1 REGISTERED PLAN M-1800
C1 CALCULATED FROM 66R-10152
PROP PROPORTIONED
M MEASURED - LIMITED
OU ORIGIN UNKNOWN
PB PLASTIC BAR
ORP OBSERVED REFERENCE POINT
F FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REG. AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021

J. MANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)	STATION	NORTHING	EASTING
ORP1	465726.534	43461.222	
ORP2	465726.838	43462.273	

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBRIDGE, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1:500

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1:500

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1:500

NOTICE OF DECISION
Minor Variance Application A119/21
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13 & Section 4 of O.Reg 149/20

Date of Hearing: Wednesday, December 08, 2021
Applicant: Carmelo & Milena Calabro
Agent: Lou Pompili
Property: **167 National Drive, Woodbridge ON**
Zoning: The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
Related Files: B006/21 - B009/21, inclusive and A118/21 – A121/21, inclusive.
Purpose: Relief from By-law 1-88, as amended is requested to permit reduced lot area and lot frontage on the severed land to facilitate Consent Application B008/21.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
3. The minimum required lot frontage is 45.0 metres. [4.1.9, Schedule A]	3. The minimum proposed lot frontage is 35.0 metres.
4. The minimum required lot area is 4,000.0 square metres. [4.1.9, Schedule A]	4. The minimum proposed lot area is 2,406.3 square metres.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A119/21 on behalf of Carmelo & Milena Calabro, be **REFUSED**.

For the following reasons:

1. The general intent and purpose of the by-law will not be maintained.
2. The general intent and purpose of the official plan will not be maintained.
3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are not minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive	Name: Robert Blunt b/o National Gulf Company

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Nature of Correspondence: Letter of Objection Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Address: One First Canadian Place, suite 3400 Toronto Explanation of the Effect: Information received.
Name: Roy and Joan Hintsa Address: 198 National Drive Nature of Correspondence: Letter of Objection Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Randy Melchior Address: 160 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Andrew L. Jeanrie, b/o The National Gulf Club of Canada Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
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Name: Maria Saverino Address: 208 National Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Phyllis Santone, c/o Pinewood Estates Ratepayers Association Address: 136 National Drive Nature of Correspondence: Letter of Objection	


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 28, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

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 Vaughan Ontario, L6A 1T1

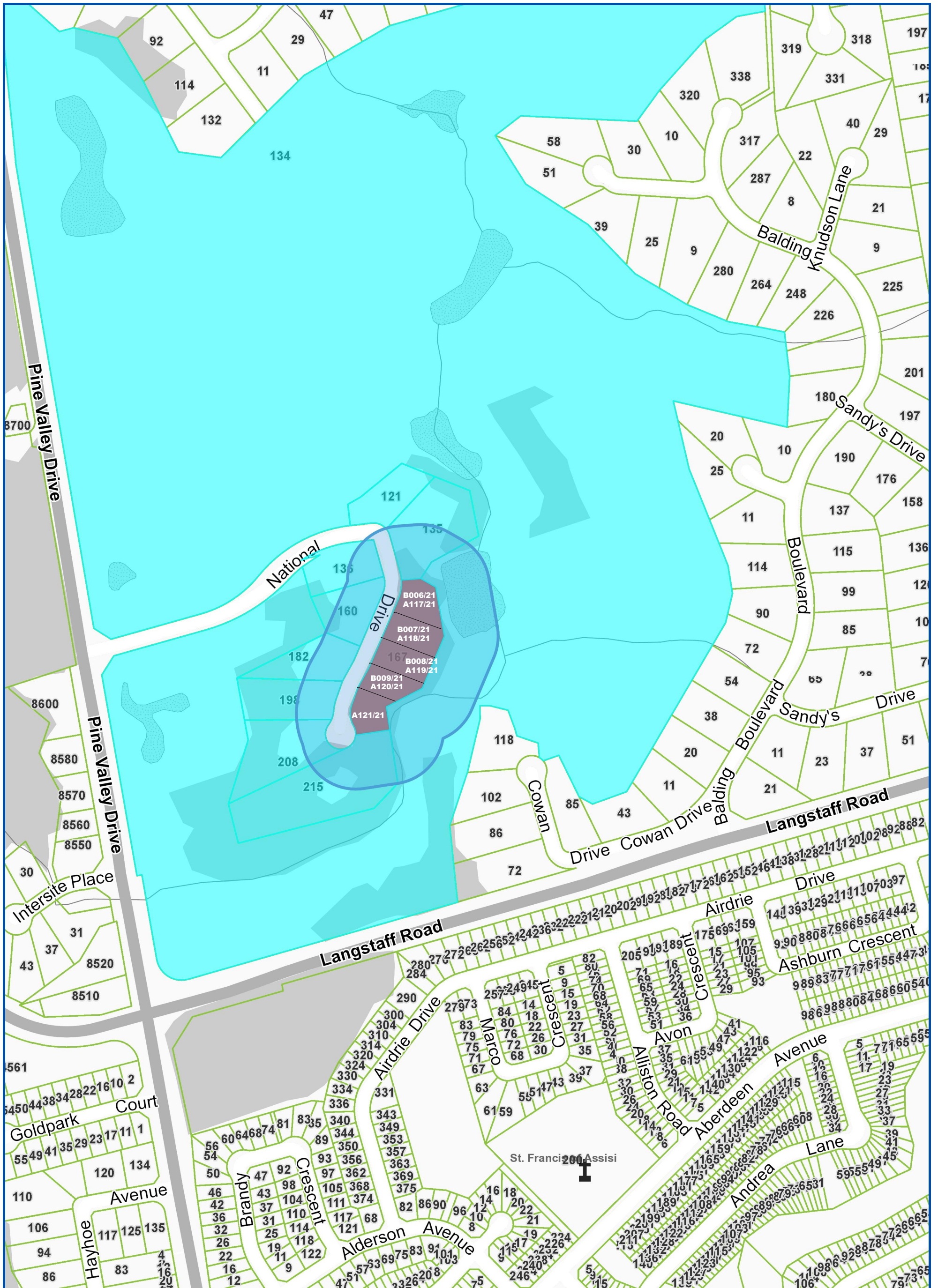
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

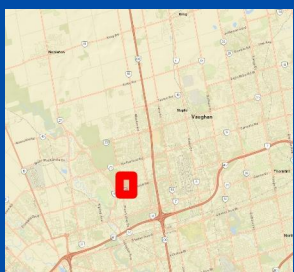
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



Title: NOTIFICATION MAP - B006/21 - B009/21, A117/21 - A121/21

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1 : 5,883
0 0.09 km

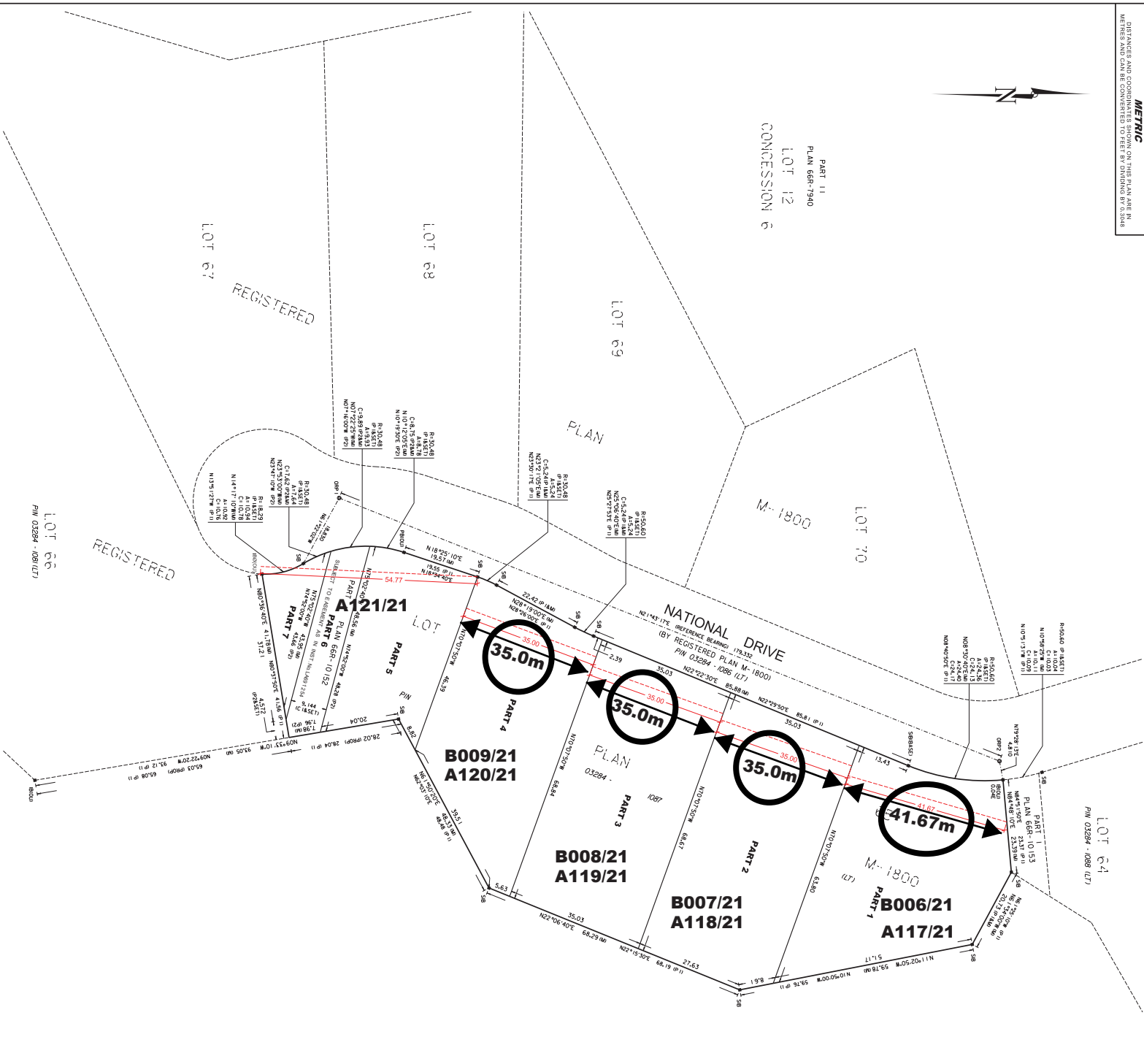


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. MANFARA
ONTARIO LAND SURVEYOR

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			2252	2252
2			2423	2423
3			2087.3	2087.3
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	1777.8
5			325.6	325.6
6				
7				

PART 11 SUBJECT TO EXEMPTION AS IN REG. 14(1) SUBSECTION 2(4)

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 500

NOTES

BEARINGS ARE UTM GRID ZONE 17N ADJUSTED (GSD17N) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS BEING MEASURED BY THE COMBINED SCALE FACTOR OF 0.9997016.

OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 41(2) OF ONTARIO REGULATION 219(10).

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (DOB) UNLESS SHOWN OTHERWISE.

LEGEND

P1 REGISTERED PLAN M-1800
C1 CALCULATED FROM 66R-10152
PROP PROPORTIONED
M MEASURED - LIMITED
OU ORIGIN UNKNOWN
PB PLASTIC BAR
ORP OBSERVED REFERENCE POINT
F FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REG. AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021

J. MANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17N AND 83 (GSD17N)	STATION	NORTHING	EASTING
ORP1	465726.534	434617.22	
ORP2	465726.838	434617.273	

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBORO, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1 : 500

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1 : 500

NOTICE OF DECISION
Minor Variance Application A120/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Wednesday, December 8, 2021
Applicant: Carmelo and Milena Calabro
Agent: Lou Pompili
Property: **167 National Drive, Woodbridge ON**
Zoning: The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
Related Files: B006/21 - B009/21, inclusive and A117/21 – A119/21 and A121/21.
Purpose: Relief from By-law 1-88, as amended is requested to permit reduced lot area and lot frontage on the severed land to facilitate Consent Application B009/21.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The minimum required lot frontage is 45.0 metres. [4.1.9, Schedule A]	1. The minimum proposed lot frontage is 35.0 metres.
2. The minimum required lot area is 4,000.0 square metres. [4.1.9, Schedule A]	2. The minimum proposed lot area is 2,087.3 square metres.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A120/21 on behalf of Carmelo and Milena Calabro, be **REFUSED**.

For the following reasons:

1. The general intent and purpose of the by-law will not be maintained.
2. The general intent and purpose of the official plan will not be maintained.
3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are not minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive Nature of Correspondence: Letter of Objection Date Received: November 28, 2021	Name: Robert Blunt b/o National Gulf Company Address: One First Canadian Place, suite 3400 Toronto


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Explanation of the Effect (if any): Information received.	Explanation of the Effect: Information received.
Name: Roy and Joan Hintsa Address: 198 National Drive Nature of Correspondence: Letter of Objection Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Randy Melchior Address: 160 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Andrew L. Jeanrie, b/o The National Golf Club of Canada Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Nick and Fiorella Marinelli Address: 135 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Maria Saverino Address: 208 National Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Phyllis Santone, c/o Pinewood Estates Ratepayers Association Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 28, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

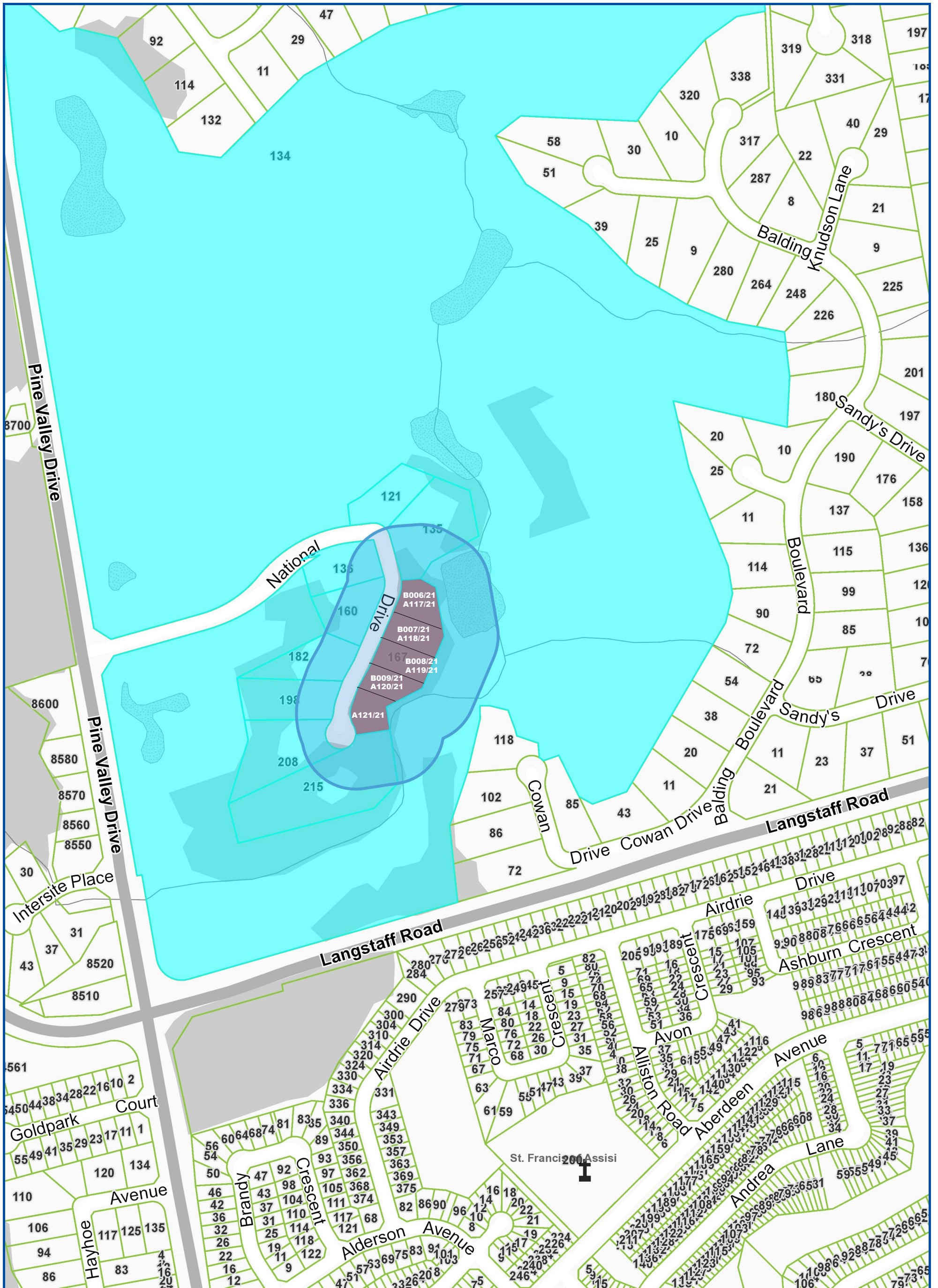
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

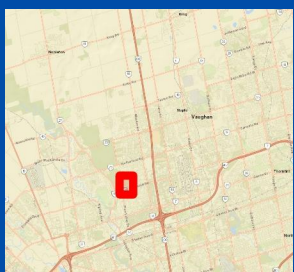
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



Title: NOTIFICATION MAP - B006/21 - B009/21, A117/21 - A121/21

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:
 Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



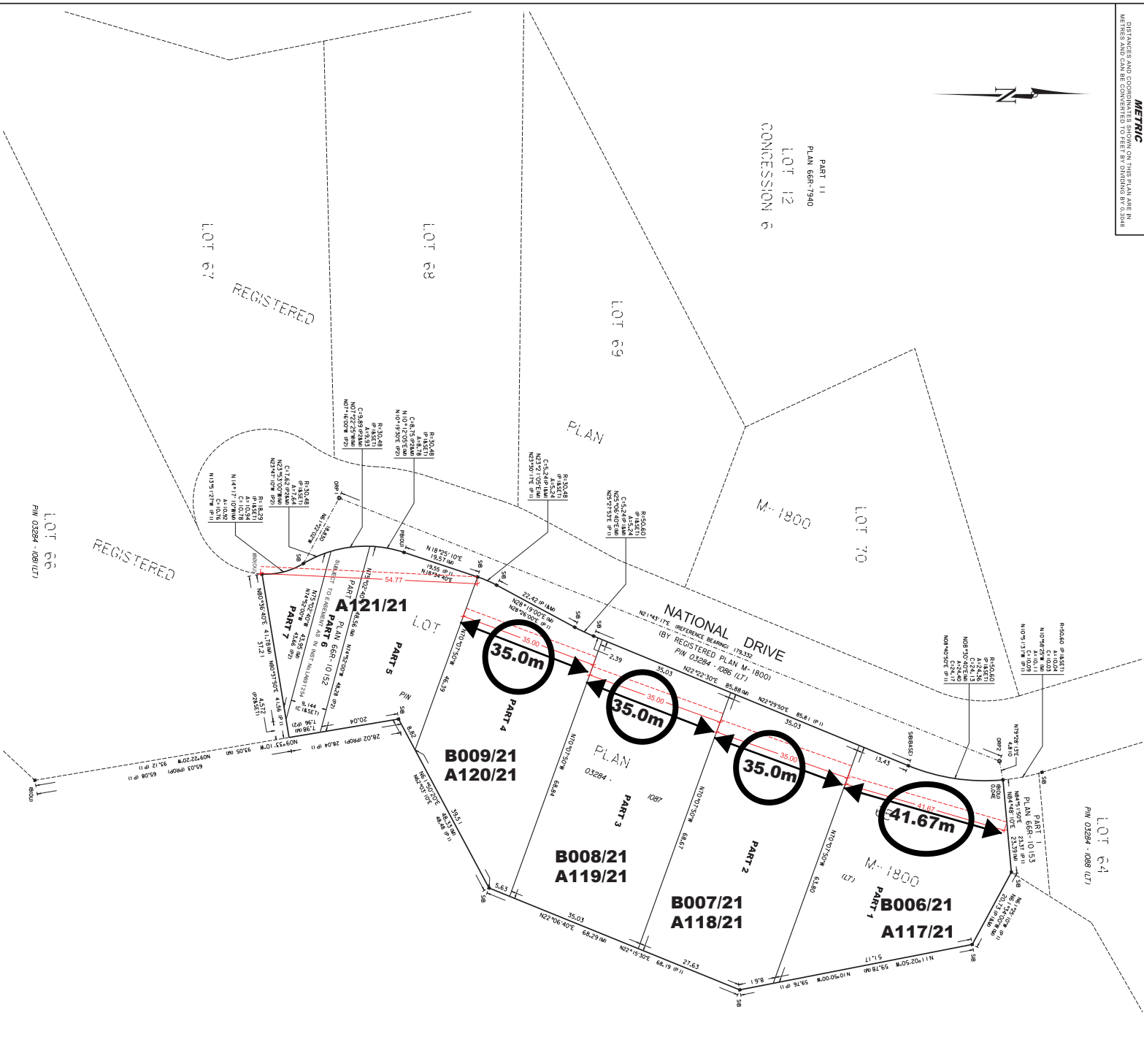
Scale: 1: 5,883
 0 0.09 km

Created By:
 Infrastructure Delivery Department
 November 12, 2021 9:11 AM

Projection:
 NAD 83
 UTM Zone 17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PIN 03284 - 0089 (L7)

REGISTERED
LOT 66
PIN 03284 - 0081(L7)

PLAN 65R-
RECEIVED AND DEPOSITED
DATE: JULY 9, 2021

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

J. MANFARA
ONTARIO LAND SURVEYOR

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

PART	LOT	PLAN	PIN No.	AREA 1
1			2252	2252
2			2423	2423
3			2087.3	2087.3
4	ALL OF LOT 65	M-1800	ALL OF PIN 03284-0081 (L7)	1777.8
5			1777.8	1777.8
6			325.6	325.6
7				

PART 11 SUBJECT TO EXEMPTION AS IN REG. 14(1) SUBSECTION 124

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 500

NOTES

BEARINGS ARE UTM GRID ZONE 17 NAD(83) COORDINATE AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS HORIZONTAL BY THE COMBINED SCALE FACTOR OF 0.9997016.

OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(1) OF ONTARIO REGULATION 219(10).

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (O)B UNLESS SHOWN OTHERWISE.

LEGEND

P1 REGISTERED PLAN M-1800
C1 CALCULATED FROM 66R-10152
PROP PROPORTIONED
M MEASURED - LIMITED
OU ORIGIN UNKNOWN
PB PLASTIC BAR
ORP OBSERVED REFERENCE POINT
FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021

J. MANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)	STATION	NORTHING	EASTING
ORP1	465726.534	43461.222	
ORP2	465726.838	43462.273	

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS

41 ASHBOURNE CIRCLE, UNIT 9 WOODBORO, ONTARIO, L4L 3K5
TEL: 905.866.9927 FAX: 905.866.7992 email: info@nanfara.com

DATE: JULY 9, 2021

PROJECT: 20211039R1

SCALE: 1:500

DATE: 20210709

NO. 20211039R1

REV. A

NOTICE OF DECISION
Minor Variance Application A121/21
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13 & Section 4 of O.Reg 149/20

Date of Hearing: Wednesday, December 8, 2021
Applicant: Carmelo and Milena Calabro
Agent: Lou Pompili
Property: **167 National Drive, Woodbridge ON**
Zoning: The subject lands are zoned RR 9(178) and subject to the provisions of Exception under By-law 1-88 as amended
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"
Related Files: B006/21 - B009/21, inclusive and A117/21 – A120/21, inclusive
Purpose: Relief from By-law 1-88, as amended is requested to permit reduced lot area and lot frontage on the retained land to facilitate Consent Application B009/21.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
The minimum required lot area is 4,000.0 square metres. [4.1.9, Schedule A]	The minimum proposed lot area is 1,943.2 square metres.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A121/21 on behalf of Carmelo and Milena Calabro, be **REFUSED**.

For the following reasons:

1. The general intent and purpose of the by-law will not be maintained.
2. The general intent and purpose of the official plan will not be maintained.
3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are not minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Name: Boris Guitline Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: November 22, 2021 Explanation of the Effect (if any): Information received.	Name: Ken Wragge Address: 182 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Ken and Elinore Wragge Address: 182 National Drive Nature of Correspondence: Letter of Objection	Name: Robert Blunt b/o National Gulf Company Address: One First Canadian Place, suite 3400 Toronto

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Date Received: November 28, 2021 Explanation of the Effect (if any): Information received.	Explanation of the Effect: Information received.
Name: Roy and Joan Hints Address: 198 National Drive Nature of Correspondence: Letter of Objection Date Received: November 29, 2021 Explanation of the Effect (if any): Information received.	Name: Randy Melchior Address: 160 National Drive, Woodbridge Explanation of the Effect: Information received.
Name: Sylvia Kada Address: 215 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	Name: Anna Bortolus Address: 25 Hanson Court Explanation of the Effect (if any): Information received.
Name: Boris Guitline and Oksana Filipenko Address: 136 National Drive and 121 National Drive Nature of Correspondence: Letter of Objection Date Received: December 4, 2021 Explanation of the Effect (if any): Information received.	
Name: Anthony F. LaRegina, National Estates Ratepayer Association Address: 28 Sanday's Drive Nature of Correspondence: Letter of Objection Date Received: December 7, 2021 Explanation of the Effect (if any): Information received.	
Name: Randy Melchior Address: 160 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
Name: Andrew L. Jeanrie, b/o The National Gulf Club of Canada Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021 Explanation of the Effect (if any): Information received.	
Name: Nick and Fiorella Marinelli Address: 135 National Drive Nature of Correspondence: Letter of Objection Date Received: December 1, 2021 Explanation of the Effect (if any): Information received.	
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Name: Phyllis Santone, c/o Pinewood Estates Ratepayers Association Address: 136 National Drive Nature of Correspondence: Letter of Objection Date Received: December 6, 2021	


Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of December 8, 2021 meeting for submission details.
Explanation of the Effect (if any): Information received.	
Name: Lou Pompili Address: Agent Nature of Correspondence: Justification Letter Date Received: December 5, 2021 Explanation of the Effect (if any): Information received.	

Late Written Public Submissions: None

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		<i>A. Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	Wednesday, December 8, 2021
DATE OF NOTICE:	December 16, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	December 28, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. **Please notify the Secretary Treasurer by email at cofa@vaughan.ca** that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

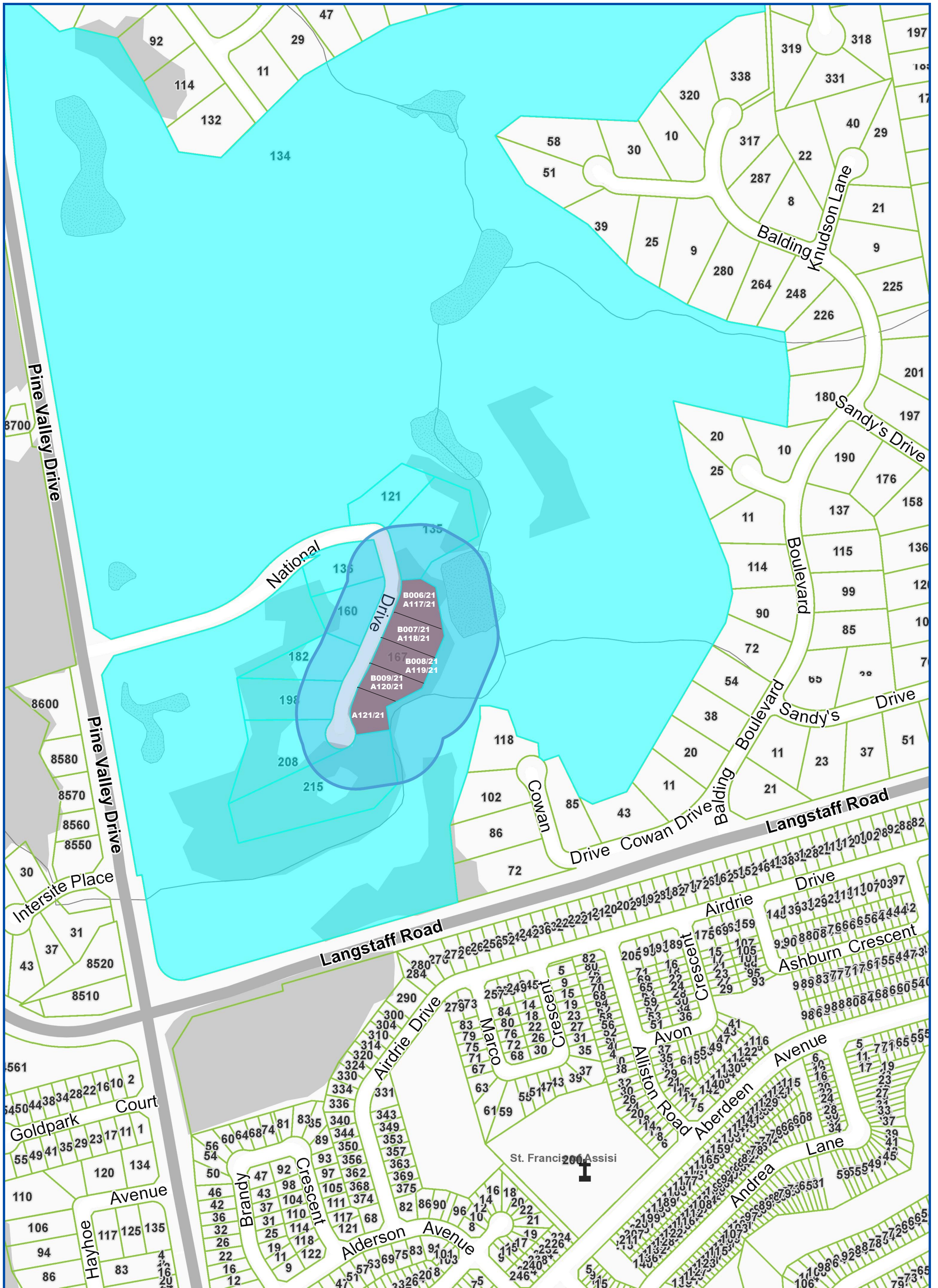
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

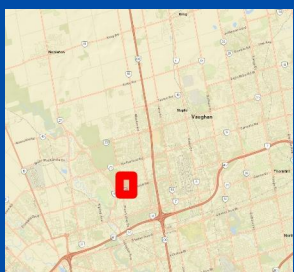
ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



Map Information:



**Title: NOTIFICATION MAP - B006/21 - B009/21,
A117/21 - A121/21**

167 NATIONAL DRIVE, WOODBRIDGE

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1 : 5,883
0 0.09 km

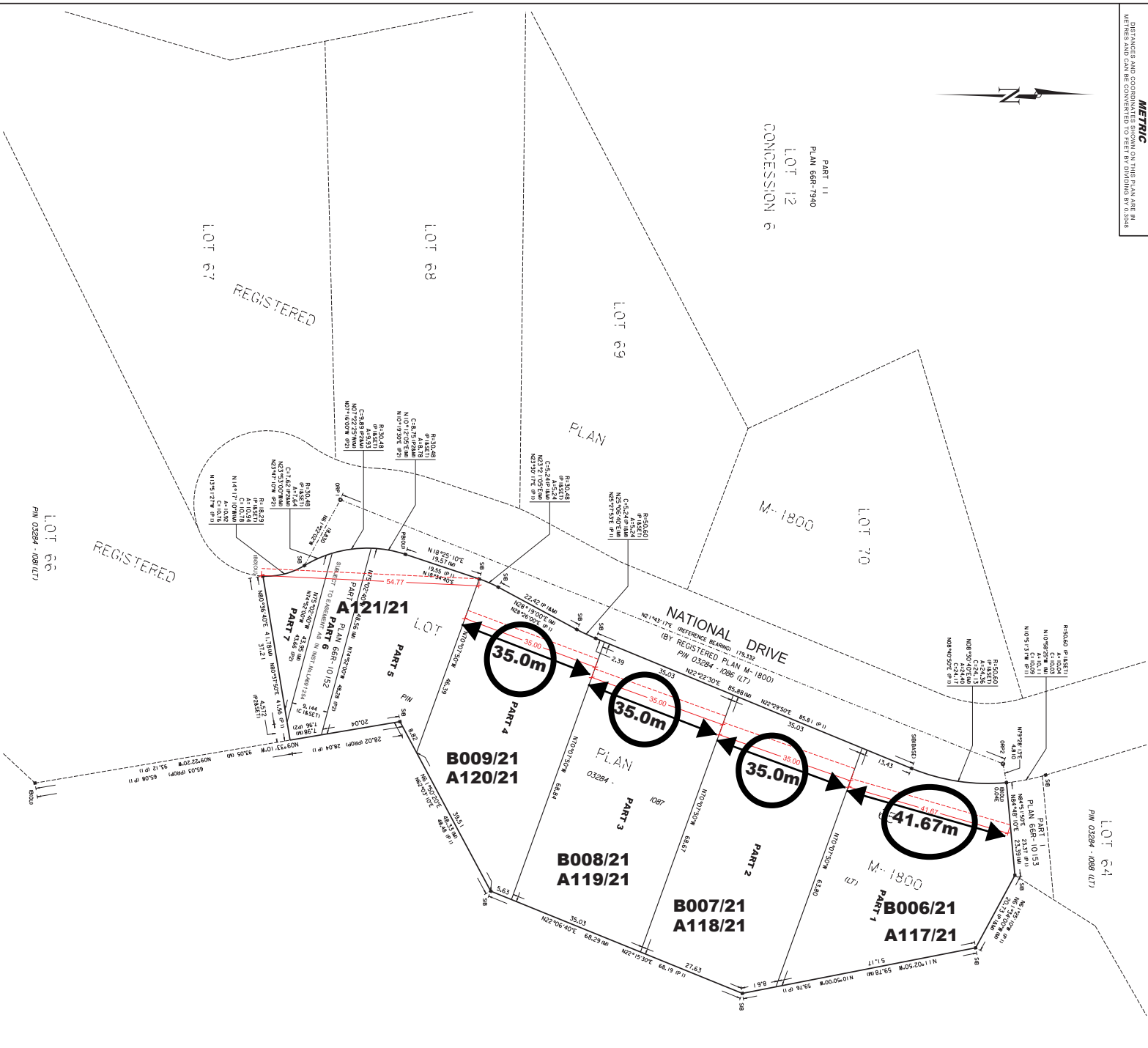


Created By:
Infrastructure Delivery
Department
November 12, 2021 9:11 AM

Projection:
NAD 83
UTM Zone
17N



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6



PART 11
PLAN 66R-7940
LOT 12
CONCESSION 6

LOT 64
PLAN 03284 - 0089 (L7)

PLAN 65R-
RECEIVED AND DEPOSITED

1. REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: JULY 9, 2021

DATE: JULY 9, 2021

1. NANFARA
ONTARIO LAND SURVEYOR
REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND DIVISION OF ONTARIO, NS

PART	LOT	PLAN	AREA 1
1		225/2	225.2
2		242/3	242.3
3		268/3	268.3
4	ALL OF LOT 68	M-1800	1777.8
5	ALL OF PLAN 03284-0081 (L7)		2087.3
6			1777.8
7			325.0

PLAN OF SURVEY OF
LOT 65
REGISTERED PLAN M-1800
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK



NOTES

BEARINGS ARE UTM GRID ZONE 17 NAD83(CSRS/11D) AND ARE DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC OBSERVATIONS. DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE CONSIDERED AS HORIZONTAL UNLESS INDICATED BY THE COMBINED SCALE FACTOR OF 0.9997018. OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS SURVEY TO THE URBAN ACCURACY PER SEC. 4(12) OF ONTARIO REGULATION 219(10). COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. ALL FOUND BARS SHOWN HEREOF ARE (DB) UNLESS SHOWN OTHERWISE.

LEGEND

- P1 REGISTERED PLAN M-1800
- C1 CALCULATED FROM 66R-10152
- PROP PROPORTIONED
- M MEASURED - LIMITED
- OU ORIGINAL UNKNOWN
- PB PLASTIC BAR
- ORP OBSERVED REFERENCE POINT
- DB FOUND SURVEY MONUMENT

SURVEYORS CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REGULATION AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE Xth DAY OF JULY, 2021.

DATE: JULY 9, 2021
J. NANFARA
ONTARIO LAND SURVEYOR

COMPONENTS UTM ZONE 17 NAD 83 (CSRS)	STATION	NORTHING	EASTING
ORP2	465726.534	43461.222	759927.273

nanfara & ng surveyors inc
PROFESSIONAL LAND SURVEYORS
41 ASHBOURNE CIRCLE, UNIT 9 WOODBORO, ONTARIO, L4L 3K5
TEL: (905) 896-3923 FAX: (905) 896-7992 email: info@nanfara.com

OPERATOR	DATE	PROJECT	NO.	REV.
JN	MMD	20210709	20211039R1	A