

ITEM: 6.9	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A172/23 232 TREELAWN BLVD, KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A172/23
232 TREELAWN BLVD, KLEINBURG**

ITEM NUMBER: 6.9	CITY WARD #: 1
APPLICANT:	Jenny and Robert Kozmevski
AGENT:	Fausto Cortese Architects Inc.
PROPERTY:	232 Treelawn Blvd, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana, the location of ground mounted pool equipment and reduced landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a minimum rear yard of 1.5 metres.
2	The maximum lot coverage of a residential accessory structure shall be 67.0 m ² [Section 4.1.3 1.]	To permit a residential accessory structure (cabana) with a maximum lot coverage 74.46 m ²
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.14 1.]	To permit a residential accessory structure with a maximum height of 3.74 metres.
4	The maximum encroachment permitted for ground mounted pool equipment is 1.5 metres into the rear yard. [Table 4-1]	To permit a maximum encroachment of 7.5 metres for ground mounted pool equipment into the required rear yard.
5	In a R1B Zone any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1 1.]	To permit a minimum of 50.2% of the rear yard in excess of 135.0 m ² to be soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 7, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 23, 2023
Date Applicant Confirmed Posting of Sign:	November 17, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The design program based on the requirements residents of the house doesn't allow conformance to the Zoning requirements.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On November 16, 2023, Development Planning provided:</p> <p>Regarding the cabana, we are challenged to support it as proposed. The combination of the size of the cabana, the height, and the proposed setbacks will create adverse impact to the surrounding properties due to the amount of mass proposed. We recommend a reduction to the size/lot coverage of the cabana to be as close to the 67.0 m² as possible. A slight reduction to the height in conjunction with a reduced size should be sufficient to address our concerns. I recommend a height decrease of 0.2 m so that the side nearest to the rear neighbour complies with the 3.0 m requirement. We also recommend an increase to the proposed hard landscaping to provide a better balance between soft and hard landscape.</p> <p>On November 16, 2023, Committee of Adjustment staff provided the applicant with an opportunity to adjourn the application.</p> <p>November 21, 2023, the applicant submitted a revised plan together with a Zoning Review Waiver confirming required variances.</p> <p>On November 22, 2023, Building Standards provided revised comments confirming that the variances identified in the Zoning Review Waiver were correct.</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	<p>Yes</p> <p>(Zoning comments received, confirming variances provided in the ZRW were correct).</p>

COMMITTEE OF ADJUSTMENT COMMENTS

Adjournment Fees:

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. That the final Landscape Plan, indicating the location of plantings to screen the cabana, be approved to the satisfaction of the Development Planning Department. 2. That the final Arborist Report be approved to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The proposed cabana and swimming pool can increase to the existing storm drainage flows on the subject property having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It is important note that any in-ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A172/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2. Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	<ol style="list-style-type: none"> 1. Applicant/owner shall supply an arborist report to the satisfaction of the forestry division. 2. Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
3.	Development Planning Nicholas.delprete@vaughan.ca	<ol style="list-style-type: none"> 3. That the final Landscape Plan, indicating the location of plantings to screen the cabana, be approved to the satisfaction of the Development Planning Department. 4. That the final Arborist Report be approved to the satisfaction of the Development Planning Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

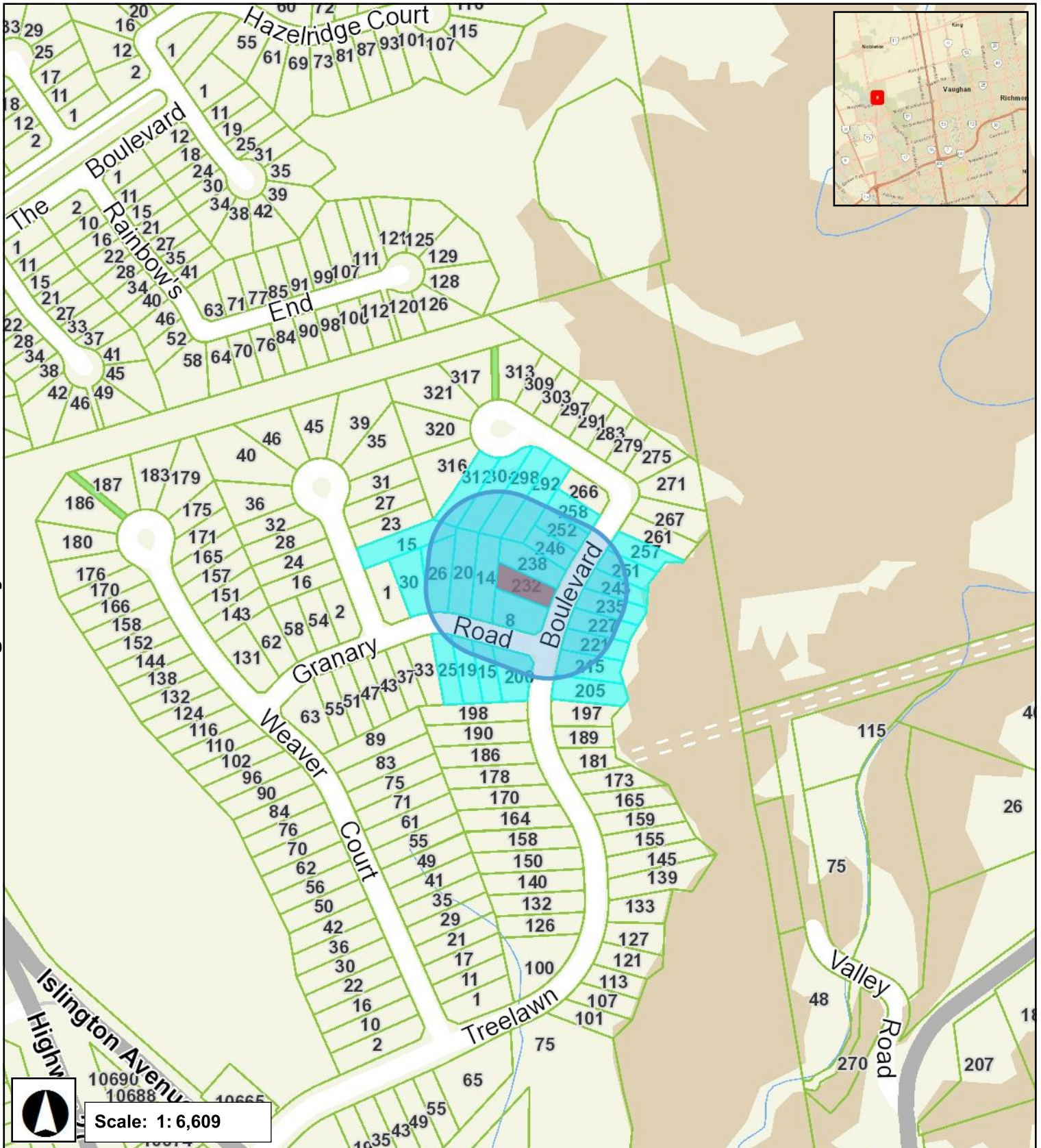
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

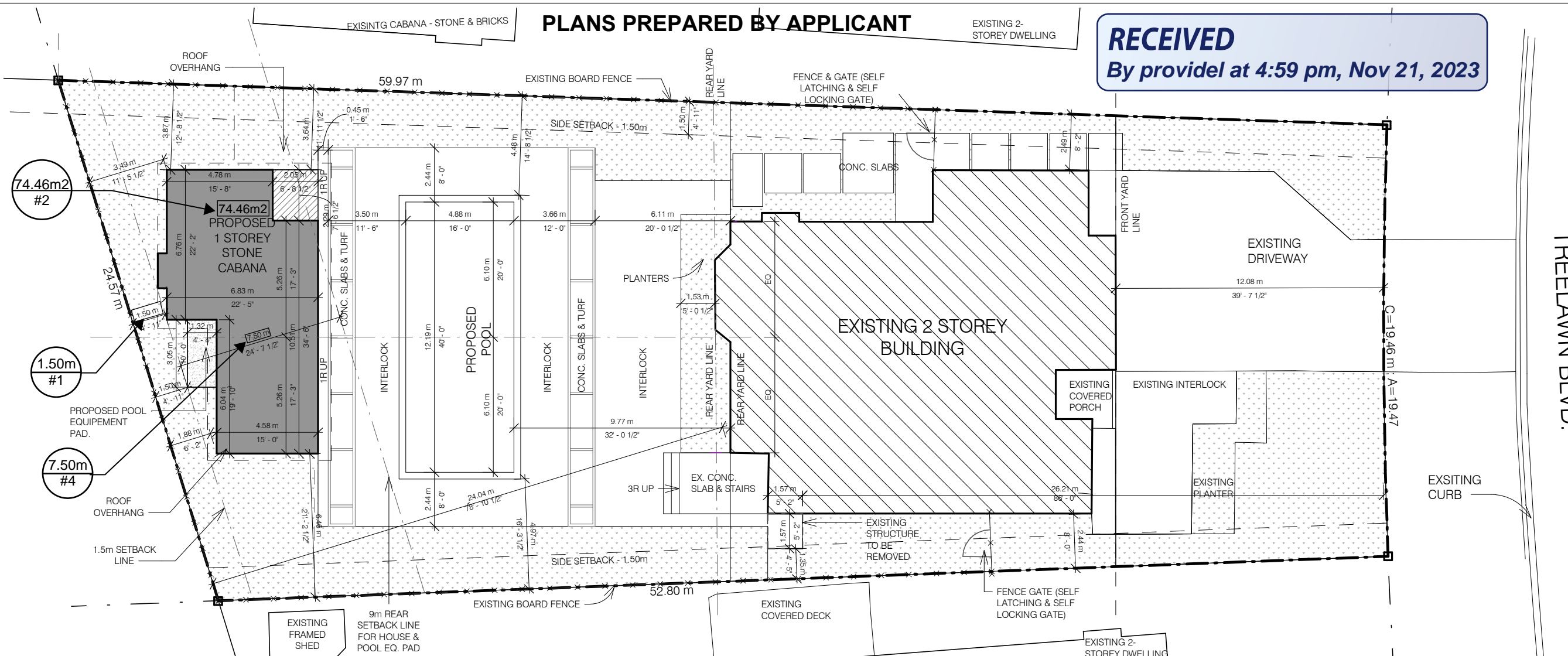
232 TREELAWN BLVD, KLEINBURG

Nashville Road

PLANS PREPARED BY APPLICANT

RECEIVED
By providel at 4:59 pm, Nov 21, 2023

A172/23



TREELAWN BLVD.

Revision Number	Revision Description	Revision Date
7	ISSUED FOR CoA	2023-11-21
6	ISSUED FOR CoA	2023-11-17
5	ISSUED FOR CoA	2023-11-06
4	ISSUED FOR CoA	2023-10-23
3	ISSUED FOR CLIENT REVIEW	2023-10-10
2	ISSUED FOR CLIENT REVIEW	2023-10-05
1	ISSUED FOR CLIENT REVIEW	2023-09-06

REVISIONS
ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

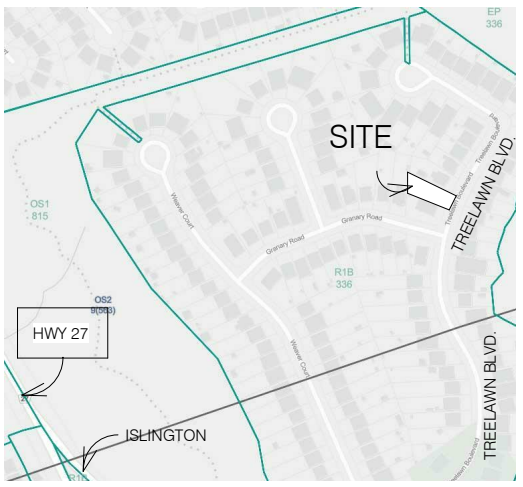
FAUSTO CORTESE
ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

DRAWING:
CABANA
232 TREELAWN BOULEVARD
VAUGHAN, ON

DRAWING:
SITE PLAN

PLOTTED:
DATE: 06/09/23 PROJECT No: 2023-19
SCALE: As indicated DRAWING No: A1.0
DRAWN BY: Author REVIEWED BY: Checker

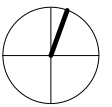
1 SITE PLAN
1 : 200
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



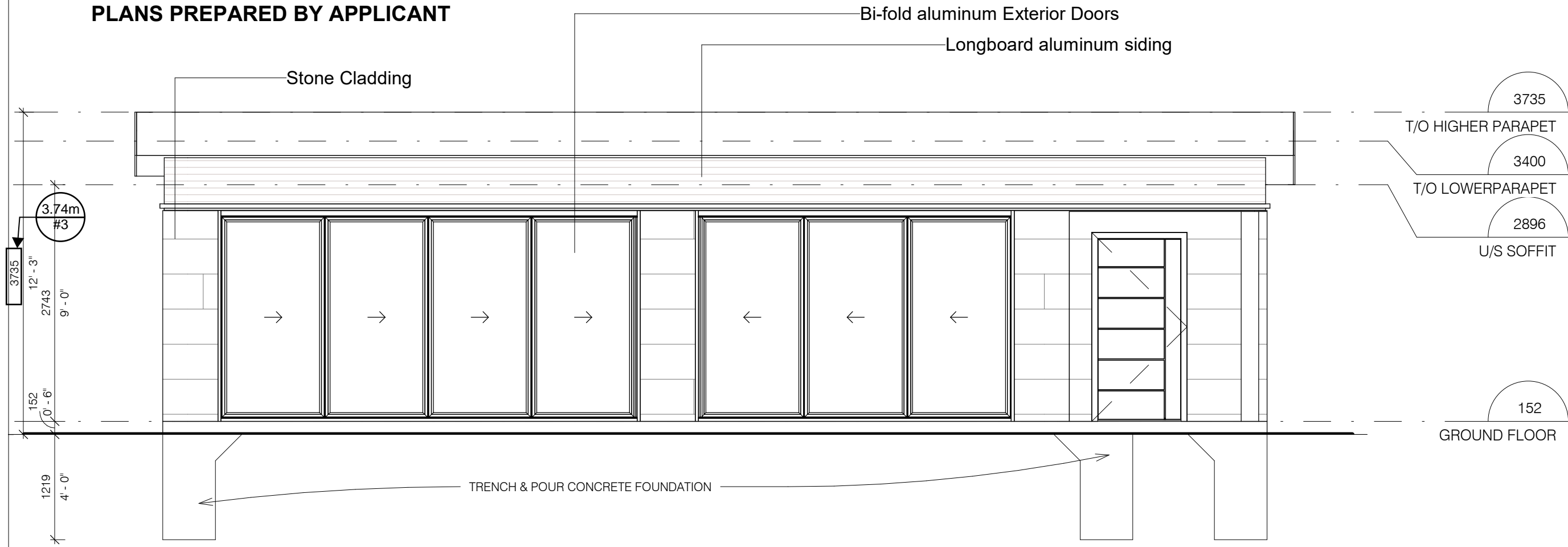
	VAUGHAN BY-LAW 1-21	PROPOSED
ZONING		RESIDENTIAL R1B - (EN) EX.336
MIN. LOT AREA	600 m ²	1207.5 m ²
FOOTPRINT HOUSE AREA	40%	232.40 m ² - (19.24%)
		74.46m² #2 → TOTAL AREA: 74.46m ² (6.16%) ENCLOSED AREA: 69.76 m ² - (5.77%) UN-ENCLOSED COVERED AREA: 4.70 m ² - (0.39%)
PROPOSED CABANA		
CABANA + HOUSE	40%	306.86 m ² - (25.40%)
MIN. LOT FRONTAGE	18 m	19.47 m
MIN. FRONT YARD	9 m	12.08 m
MIN. REAR YARD	2.4 m	1.50m #1 → 1.50 m
MIN. INT. SIDE YARD (N)	1.8 m (Exc.336)	3.64 m
MIN. INT. SIDE YARD (S)	1.8 m (Exc.336)	6.46 m
MAX. HEIGHT (ACC. STRUCTURE)	3 m	3.74m #3 → 3.74 m (FRONT) 3.40 m (REAR)
POOL EQUIPMENT ENCROACHMENT INTO REAR. YARD SETBACK	1.5m	7.50m #4 → 7.5 m

	BY-LAW 1-88	BY-LAW 1-21	PROPOSED
ZONING	RESIDENTIAL R1	RESIDENTIAL R1B - (EN) EX.336	
REAR YARD AREA			587 m ²
SOFT LANDSCAPE	271.2m ² [60% of (587m ² - 135m ²)]		227.27 m² 50.2% #5
TOTAL YARD AREA (SOFT+HARD LANDSCAPE)	MIN. OF 10% OF LOT AREA = 120.75 m ²		801.32 m ²
FRONT YARD LANDSCAPE	MIN. OF 40% TOTAL YARD AREA = 240.70 m ² x 40% = 96.28 m ²		142.628 m ²

SITE LEGEND	
	PROPOSED STRUCTURE - ENCLOSED
	PROPOSED STRUCTURE - UN-ENCLOSED & COVERED
	SOFT LANDSCAPING
	TO BE DEMOLISHED
	EXISTING TO REMAIN

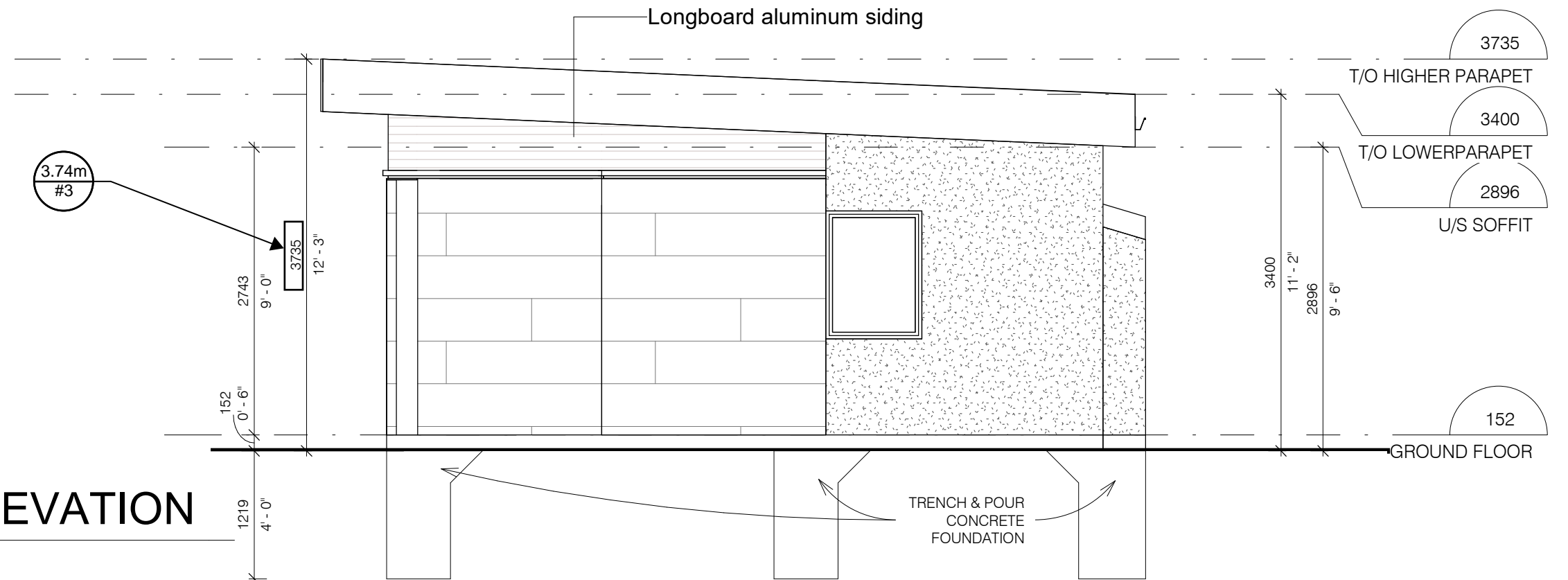


PLANS PREPARED BY APPLICANT



1 EAST ELEVATION

1 : 50



2 NORTH ELEVATION

1 : 50

3735

T/O HIGHER PARAPET

3400

T/O LOWERPARAPET

2896

U/S SOFFIT

152

GROUND FLOOR

TRENCH & POUR CONCRETE FOUNDATION

Longboard aluminum siding

3735

T/O HIGHER PARAPET

3400

T/O LOWERPARAPET

2896

U/S SOFFIT

152

GROUND FLOOR

TRENCH & POUR CONCRETE FOUNDATION

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SUBMITTALS	

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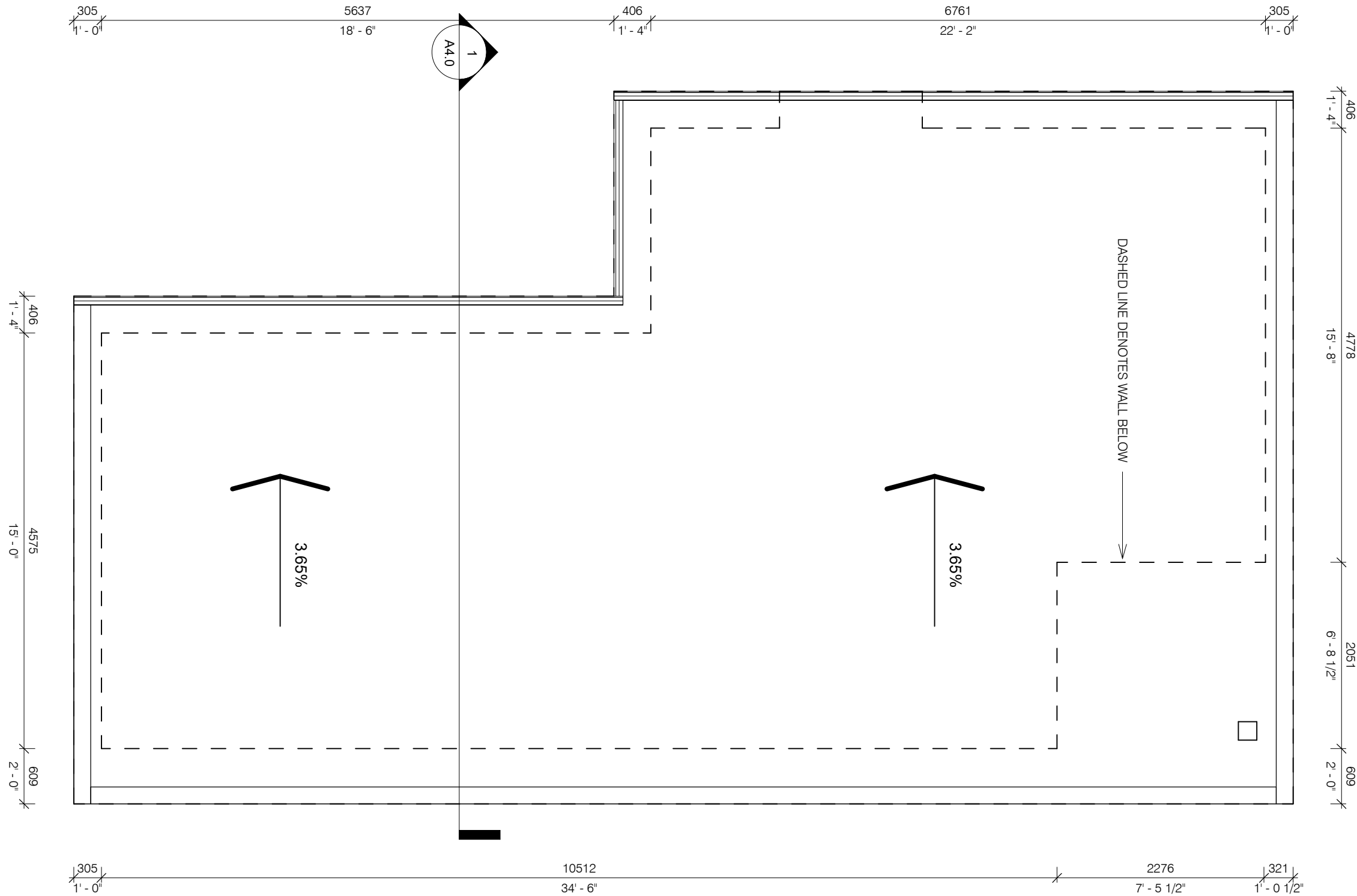
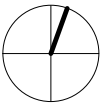
FAUSTO CORTESE ARCHITECTS

3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

DRAWING: CABANA
232 TRELAWN BOULEVARD
VAUGHAN, ON

DRAWING: ELEVATIONS

DATE: 08/08/23	PROJECT No: 2023-19
SCALE: 1 : 50	DRAWING No: A3.0
DRAWN BY: Author	REVIEWED BY: Checker



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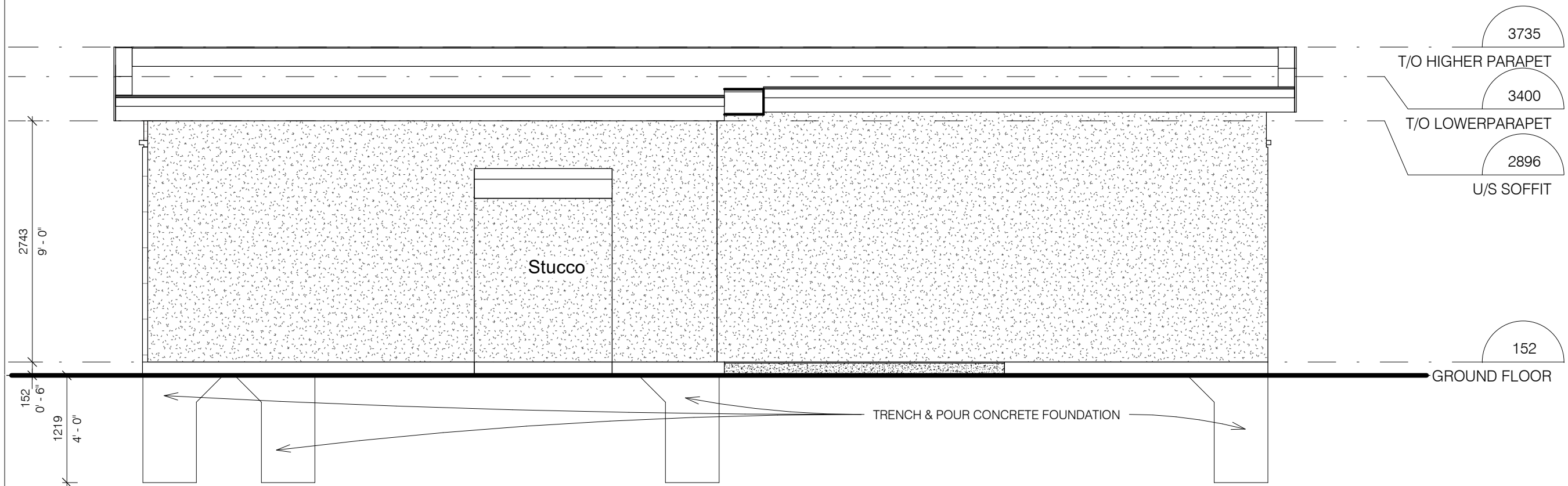
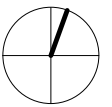
FAUSTO CORTESE
 ARCHITECTS

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 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

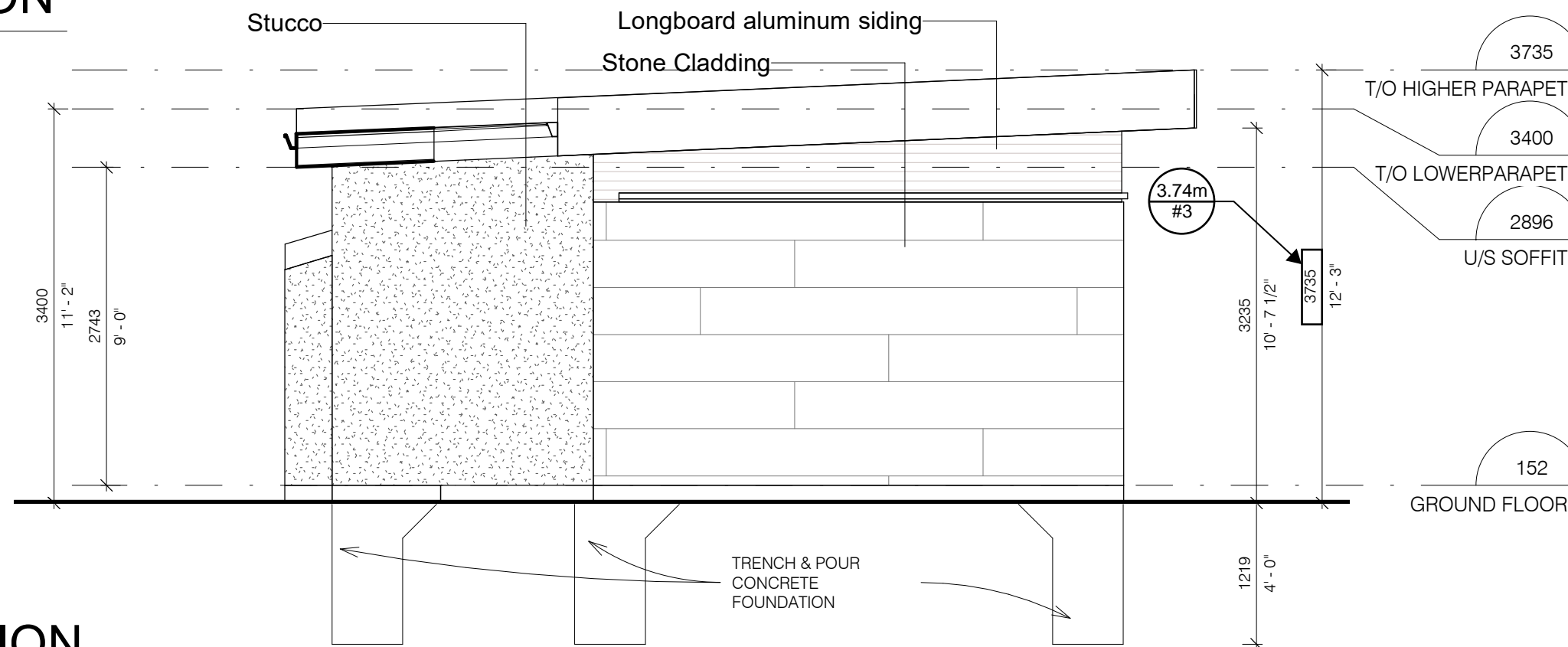
DRAWING:
 CABANA
 232 TREELAWN BOULEVARD
 VAUGHAN, ON

DRAWING:
 ROOF PLAN

DATE: 08/14/23	PROJECT No: 2023-19
SCALE: 1 : 50	DRAWING No: A2.2
DRAWN BY: Author	REVIEWED BY: Checker



1 WEST ELEVATION
1 : 50



2 SOUTH ELEVATION
1 : 50

Revision Number	Revision Description	Revision Date
6	ISSUED FOR CoA	2023-11-17
5	ISSUED FOR CoA	2023-11-06
4	ISSUED FOR CoA	2023-10-23
3	ISSUED FOR CLIENT REVIEW	2023-10-10
2	ISSUED FOR CLIENT REVIEW	2023-10-05
1	ISSUED FOR CLIENT REVIEW	2023-09-06

REVISIONS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	
SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

DRAWING: CABANA
232 TREELAWN BOULEVARD
VAUGHAN, ON

DRAWING: ELEVATIONS

DATE: 08/08/23	PROJECT No: 2023-19
SCALE: 1 : 50	DRAWING No: A3.1
DRAWN BY: Author	REVIEWED BY: Checker

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/with conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: November 7th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A172-23**

Related Files:

Applicant Fausto Cortese Architects Inc.

Location 232 Treelawn Boulevard



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

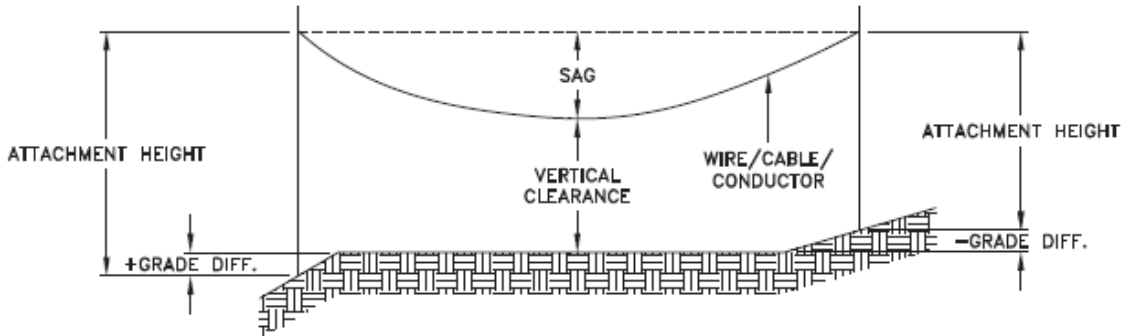
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

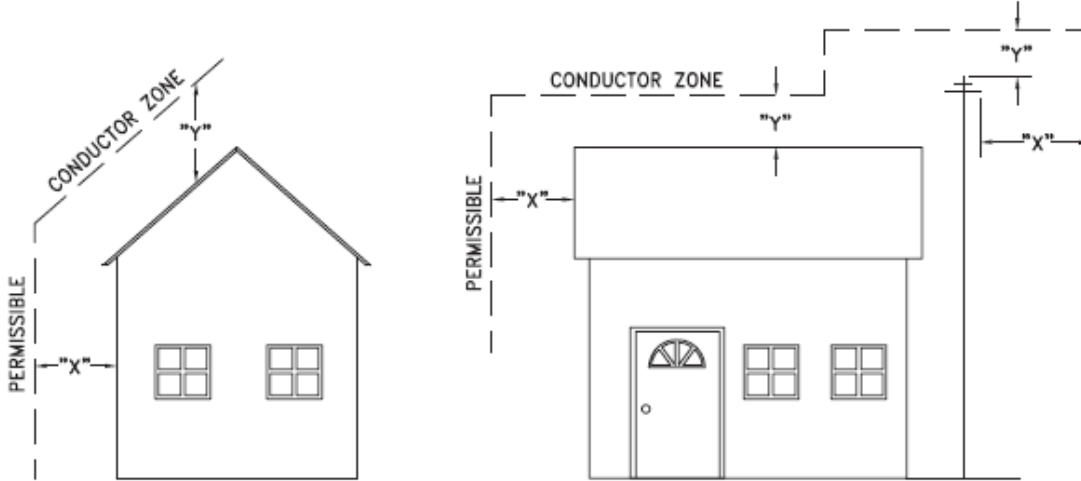
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: November 22, 2023
Applicant: Fausto Cortese Architects Inc.
Location: 232 Treelawn Boulevard
 PLAN 65M3466 Lot 2
File No.(s): A172/23

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 m to any lot line. [Section 4.1.2 1. b.]	To permit a residential accessory structure (cabana) with a minimum rear yard of 1.5 metres.
2	The maximum lot coverage of a residential accessory structure shall be 67.0 m ² [Section 4.1.3 1.]	To permit a residential accessory structure (cabana) with a maximum lot coverage 74.46 m ²
3	The maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.14 1.]	To permit a residential accessory structure with a maximum height of 3.74 metres.
4	The maximum encroachment permitted for ground mounted pool equipment is 1.5 metres into the rear yard. [Table 4-1]	To permit a maximum encroachment of 7.5 metres for ground mounted pool equipment into the required rear yard.
5	In a R1B Zone any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1 1.]	To permit a minimum of 50.2% of the rear yard in excess of 135.0 m ² to be soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m².

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: November 29, 2023
Name of Owners: Rob and Jenny Kozmevski
Location: 232 Treelawn Boulevard
File No.(s): A172/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure (cabana) with a minimum rear yard of 1.5 m.
2. To permit a residential accessory structure (cabana) with a maximum lot coverage of 74.46 m².
3. To permit a residential accessory structure with a maximum height of 3.74 m.
4. To permit a maximum encroachment of 7.5 m for ground mounted pool equipment into the required rear yard.
5. To permit a minimum of 50.2% of the rear yard in excess of 135.0 m² to be soft landscaping.

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. The maximum lot coverage of a residential accessory structure shall be 67.0 m².
3. The maximum height of an accessory building and residential accessory structure shall be 3.0 m.
4. The maximum encroachment permitted for ground mounted pool equipment is 1.5 m into the rear yard.
5. In a R1B Zone any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the proposed cabana, pool equipment, and rear yard hard landscaping, with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 3 for the proposed rear yard setback and height of the cabana. The cabana has a slanted roof that is lowest along the western side, facing the neighbouring property to the rear. The proposed 3.74 m cabana height is measured from the highest roof edge facing the interior of the lot to the established grade. The height of the cabana when measured from the roof section closest the westerly rear lot line is 3.4 m. The Applicant has also agreed to install plantings along the west side of the cabana to provide screening to mitigate potential massing impacts. A condition to this effect is included as a condition of approval. The slanted roof design of the cabana, in conjunction with the conditioned plantings, is not anticipated to pose adverse impacts to the neighbouring property to the west. The requested rear yard setback is also measured at two pinch points, one central to the cabana (1.5 m) and one at the southern corner (1.88 m). The rear yard setback expands to 3.49 m at its greatest extent. The reduction to the rear yard setback will maintain an appropriate area for maintenance access and the establishment of buffering vegetation. As such, the cabana is not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the size of the cabana. The Development Planning Department has no objection to Variance 2 for the lot coverage of the cabana. The northeastern portion (4.7 m²) of the cabana is unenclosed. The lot coverage of the fully enclosed structure is approximately 69.76 m², which is a minor increase to the permitted 67 m². The proposed footprint is not anticipated to have significant adverse massing

impacts to the neighbouring residential property to the west. As such, the increase in lot coverage for the cabana can be considered appropriate for the size of the lot and will not pose adverse use or massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variance 4 for the proposed pool equipment. The proposal maintains sufficient area for access and maintenance and is not anticipated to adversely impact the neighbouring properties. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage will be maintained.

Upon recommendations from the Development Planning Department, the Owners have revised their application to provide for additional rear yard soft landscaping. The Development Planning Department has no objection to Variance 5 as the reduction in soft landscaping is minor in nature and will maintain an appropriate balance of soft landscaping to facilitate drainage, reduce urban heat island effects, and facilitate the establishment of vegetation. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following conditions:

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the final Landscape Plan, indicating the location of plantings to screen the cabana, be approved to the satisfaction of the Development Planning Department.
2. That the final Arborist Report be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Tuesday, November 7, 2023 10:34 AM
To: Committee of Adjustment
Subject: [External] RE: A172/23 (232 TREELAWN BLVD) - REQUEST FOR COMMENTS, CITY OF VAUGHAN (DUE NOV. 21, 2023)

Hello,

The subject property at 232 Treelawn Blvd, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Lenore Providence

From: Karyn McAlpine-Tran <karyn.mcalpine-tran@ycdsb.ca>
Sent: November-07-23 3:58 PM
To: Committee of Adjustment
Subject: [External] A172/23 (232 TREELAWN BLVD) - REQUEST FOR COMMENTS

Hello,

Thank you for the opportunity to review the above referenced Committee of Adjustment application. Staff have reviewed the material provided and have no comments or objections to its approval.

Thank you,
Karyn

Karyn McAlpine-Tran
Senior Planner
Planning Services

York Catholic District School Board
320 Bloomington Road West
Aurora, ON L4G 0M1

Phone: 905-713-1211 ext.12329
Email: karyn.mcalpine-tran@ycdsb.ca

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Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Friday, November 17, 2023 1:25 PM
To: Lenore Providence
Cc: Committee of Adjustment
Subject: [External] RE: A172/23 (232 TREELAWN BLVD) - REQUEST FOR COMMENTS, CITY OF VAUGHAN (DUE NOV. 21, 2023)

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A172/23 (232 Treelawn Blvd) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None.