

ITEM: 6.3	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A128/23 56 EDILCAN DRIVE, CONCORD
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A128/23
56 EDILCAN DRIVE, CONCORD**

ITEM NUMBER: 6.3	CITY WARD #: 4
APPLICANT:	Matthew Ciano
AGENT:	Luke Rivet, David Colussi
PROPERTY:	56 Edilcan Drive, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit proposed second floor addition over an existing warehouse to accommodate the storage/warehousing. The proposed addition will require variances to reduce parking space requirements onsite.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned EM2, General Employment Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum interior side yard required is 6.0 metres. [Table 11-3]	To permit a minimum interior west side yard of 5.57 metres.
2	The minimum interior side yard required is 6.0 metres. [Table 11-3]	To permit a minimum interior east side yard of 5.54 metres.
3	The minimum number of parking spaces required is 53 spaces for the manufacturing or processing facility. [Table 6-2]	To permit a minimum of 43 parking spaces for the manufacturing or processing facility.
4	The minimum parallel parking space width required is 2.7 metres. [Table 6-4]	To permit a minimum parallel parking space width of 2.5 metres.
5	The minimum width of an aisle providing one direction access to parallel parking spaces is 4.0 metres. [Table 6-10]	To permit a minimum width of an aisle providing one direction access to parallel parking spaces of 3.07 metres.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 7, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION
To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	November 23, 2023
Date Applicant Confirmed Posting of Sign:	November 1, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Verify require bylaw relief/compliance set setbacks and parking for proposed addition.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Development Engineering (DE) does not object to Minor Variance Application A128/23	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

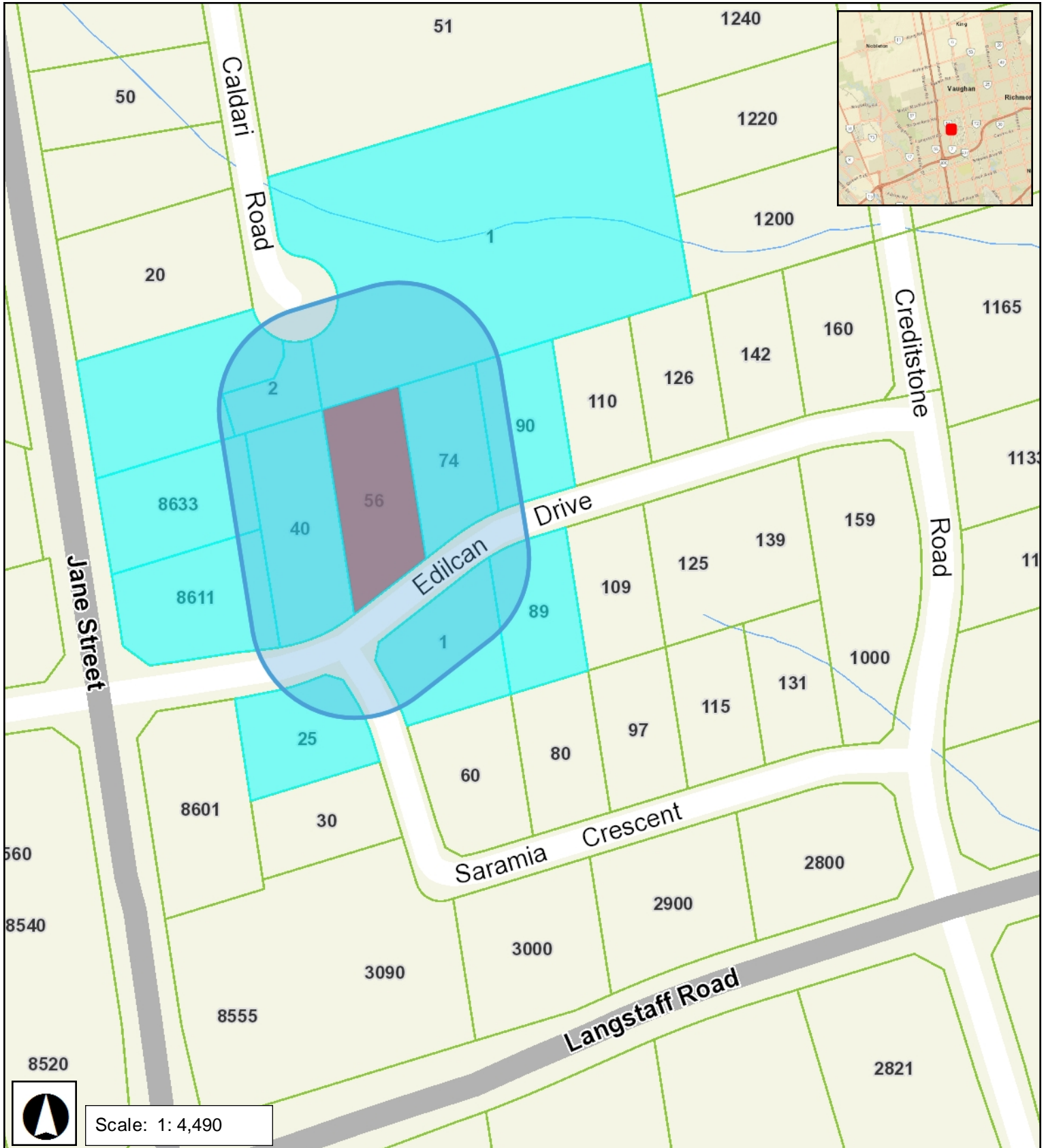
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

56 Edilcan Drive, Concord



A128/23

Sheet List - Minor Variance	
Sheet Number	Sheet Name
MV.01	Site Plan
MV.02	Existing Plans
MV.03	Proposed Plans
MV.04	Exterior Elevations
MV.05	Section
MV.06	Site Plan Reduced
MV.07	Existing Plans Reduced
MV.08	Proposed Plans Reduced
MV.09	Exterior Elevations Reduced
MV.10	Section Reduced

All drawings and related documents are the property of Workshop Architecture Inc. and may not be reproduced in whole or in part without the architects permission. This drawing should not be used to calculate areas. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. This drawing shall not be used for construction unless identified as 'Issued for Construction' Drawing errors or discrepancies are to be immediately reported to the architect.

Rev	Description	Date
3	Minor Variance	02 Aug 23
4	Minor Variance Update	11 Sept 23
5	Minor Variance Update	04 Oct 23
7	Minor Variance Update	03 Nov 23

Property Line

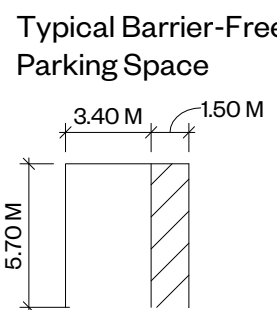
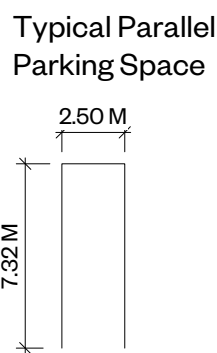
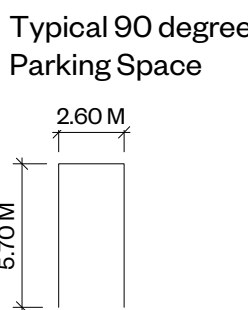
Easements

Setbacks - Zoning By-law 1-88

Setbacks - Zoning By-law 001-2021

Existing Parking, as approved
per application 1987

Proposed parking



All barrier-free parking to be provided with but not limited to: signage, drop curb, access to continuous barrier-free path of travel

	Existing	Proposed
Ground Floor Area	2432m ²	2450m ²
Mezzanine	245m ²	150m ²
Second Floor Area	396m ²	1668m ²
Building Height	7.3m	13m
Manufacturing Area	2432m ²	3814m ²
Office Area	396m ²	454m ²
Gross Floor Area	3073m ²	4268m ²

	EM2 - Zoning By-law 1-88	EM2 - Zoning By-law 001-2021	Existing	Proposed
Minimum Lot Frontage	34 m	30 m	56.9 m	56.9 m (Unchanged)
Setback - Front	6.14 m	6 m	16 m	16 m (Unchanged)
Setback - Rear	12 m	12 m	40.1 m	40.1 m (Unchanged)
Setback - Interior Side (East)	6.15 m	6 m	Varies - 6.19 m at smallest	Varies - 5.54 m at smallest
Setback - Interior Side (West)	6.15 m	6 m	Varies - 6.19 m at smallest	Varies - 5.61 m at smallest
Maximum Building Height	15 m	15 m	7.3 m	13 m
Maximum Lot Coverage	- %	- %	40 %	43 %
Parking			47 Spaces Provided	43 Spaces Proposed*

* Where there is more than one (1) use in a building, the minimum parking requirements for such building shall be the total of the minimum parking requirements for each use. See parking calculations below

Parking Requirement Calculation - Zoning By-Law 1-88			
Industrial Uses Other than Warehousing < 3700sqm	1.5 Parking space per 100 sq.m GFA	3814 ²	58 Spaces
Office Building	3.5 Parking spaces per 100 sq.m. GFA devoted to office uses plus the requirement for any other use	454m ²	16 Spaces
Total Required Parking			74 Spaces

Parking Requirement Calculation - Zoning By-Law 001-2021			
Manufacturing or Processing Facility	1 parking spaces per 100 m2 of GFA	3814m ²	39 Spaces
Office	3 parking spaces per 100 m2 of GFA	454m ²	14 Spaces
Total Required Parking			53 Spaces

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① Variance Site Plan Copy 2
1 : 300

WORKSHOP

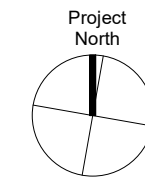
WORKSHOP is an architecture studio:
6 Sousa Mendes Street
Toronto Ontario M6P 0A8
T 416.981.8055 F 416.849.0383
www.workshoparchitecture.ca

Accord Vaughan

56 Edilcan Drive, Concord, ON

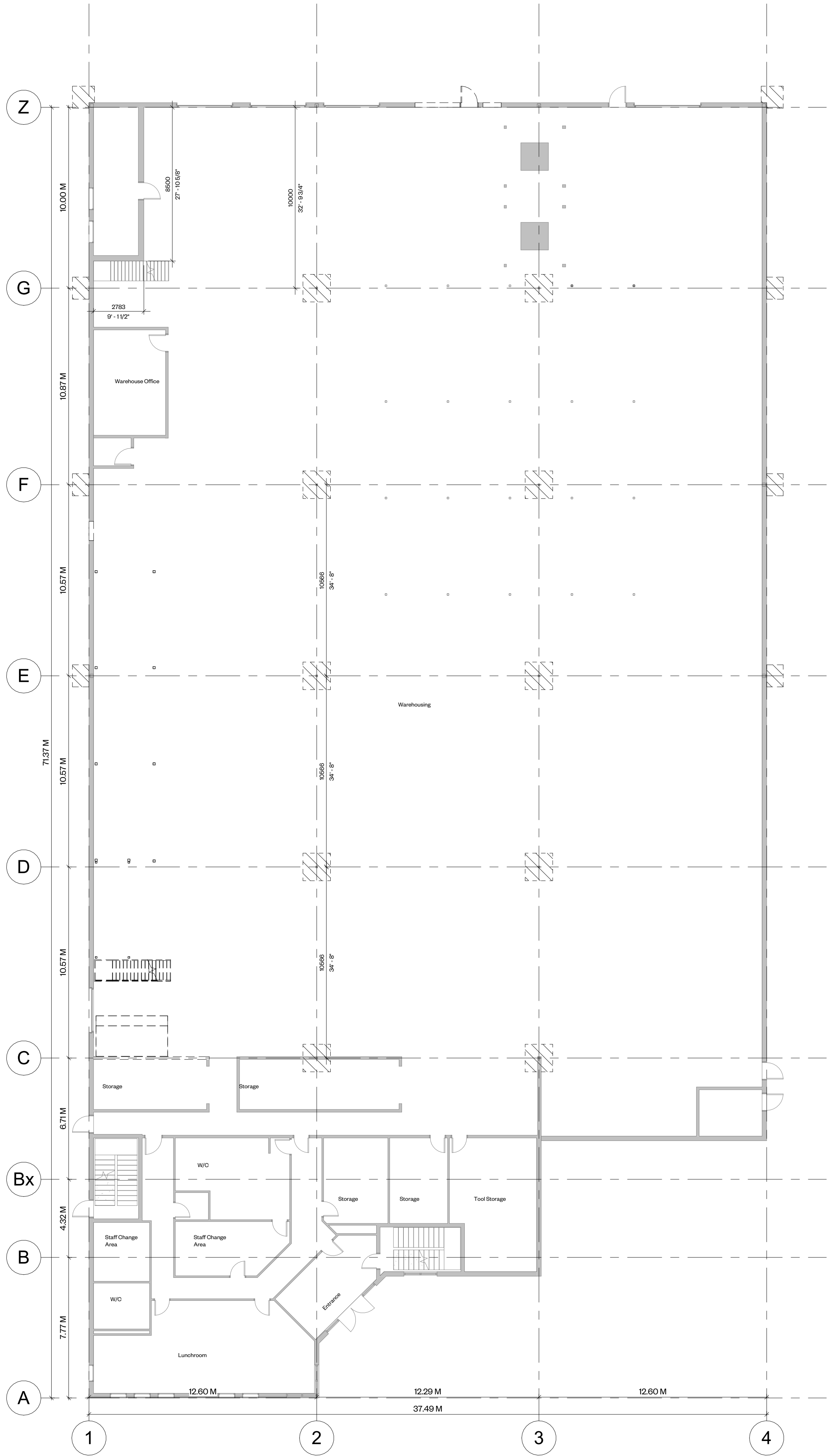
PROJECT CODE:	SCALE:
22_31	As indicated
DATE:	STATUS:
30 October 2023	MV

Site Plan

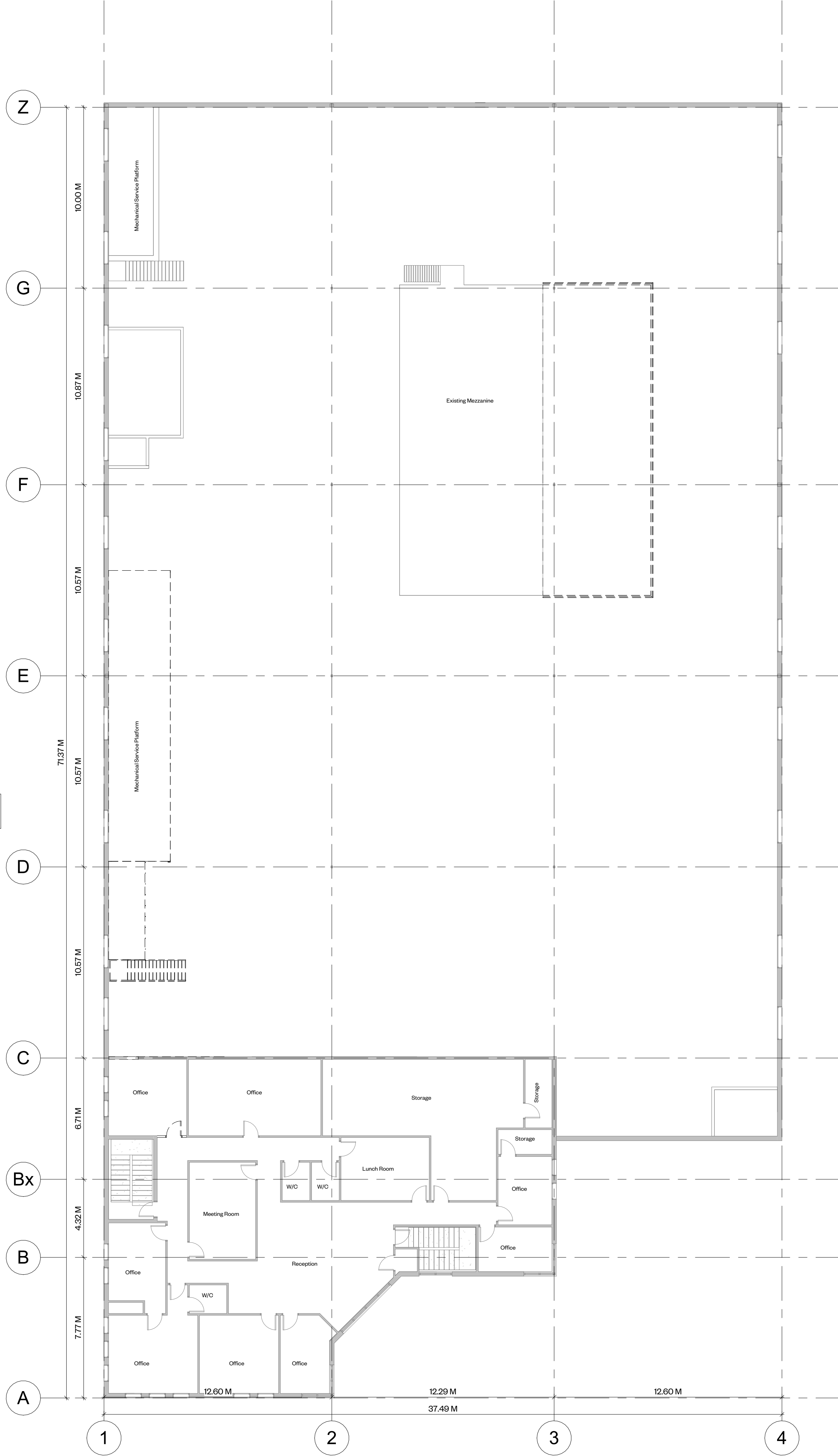


drawing number

MV.01



① Level 1 - Demolition
1 : 150



② Mezzanine - Demolition
1 : 150

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Rev	Description	Date
3	Minor Variance	02 Aug 23
4	Minor Variance Update	11 Sept 23
5	Minor Variance Update	04 Oct 23

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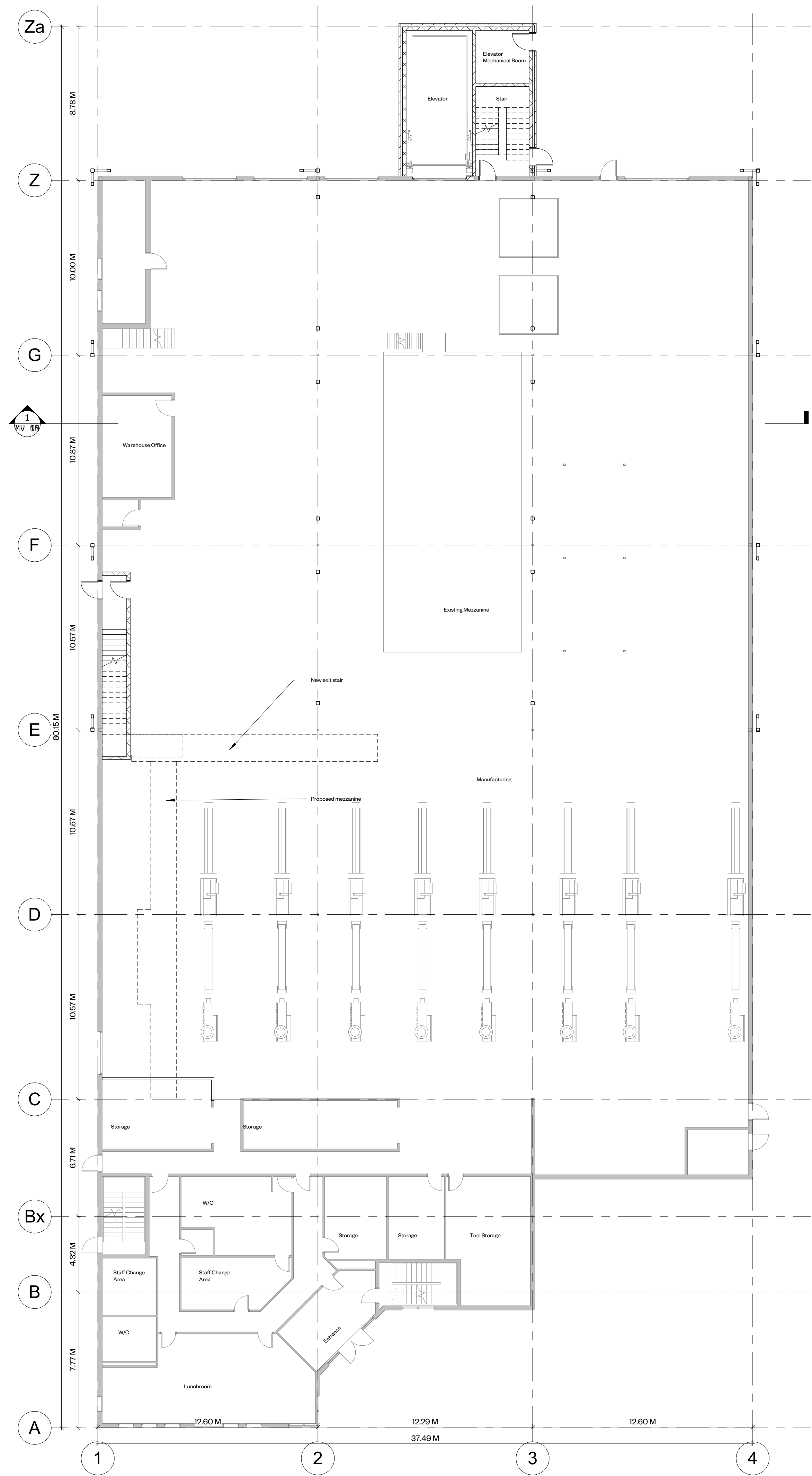
Accord Vaughan

56 Edilcan Drive, Concord, ON

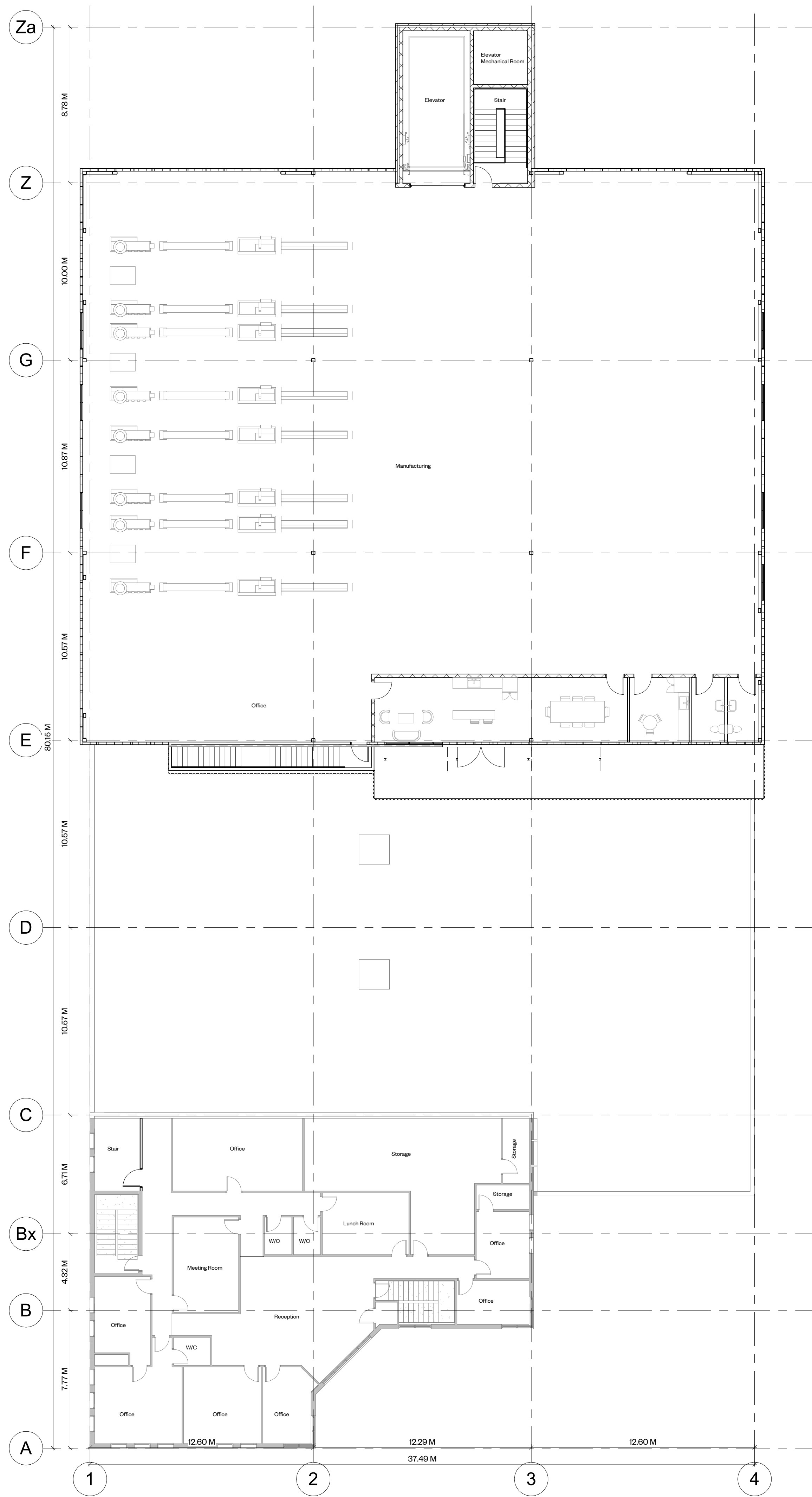
PROJECT CODE:	SCALE:
22_31	1:150
DATE:	STATUS:
30 October 2023	MV

Existing Plans





① Level 1 - Proposed - MV
1 : 150



② Level 2 - Proposed - MV
1 : 150

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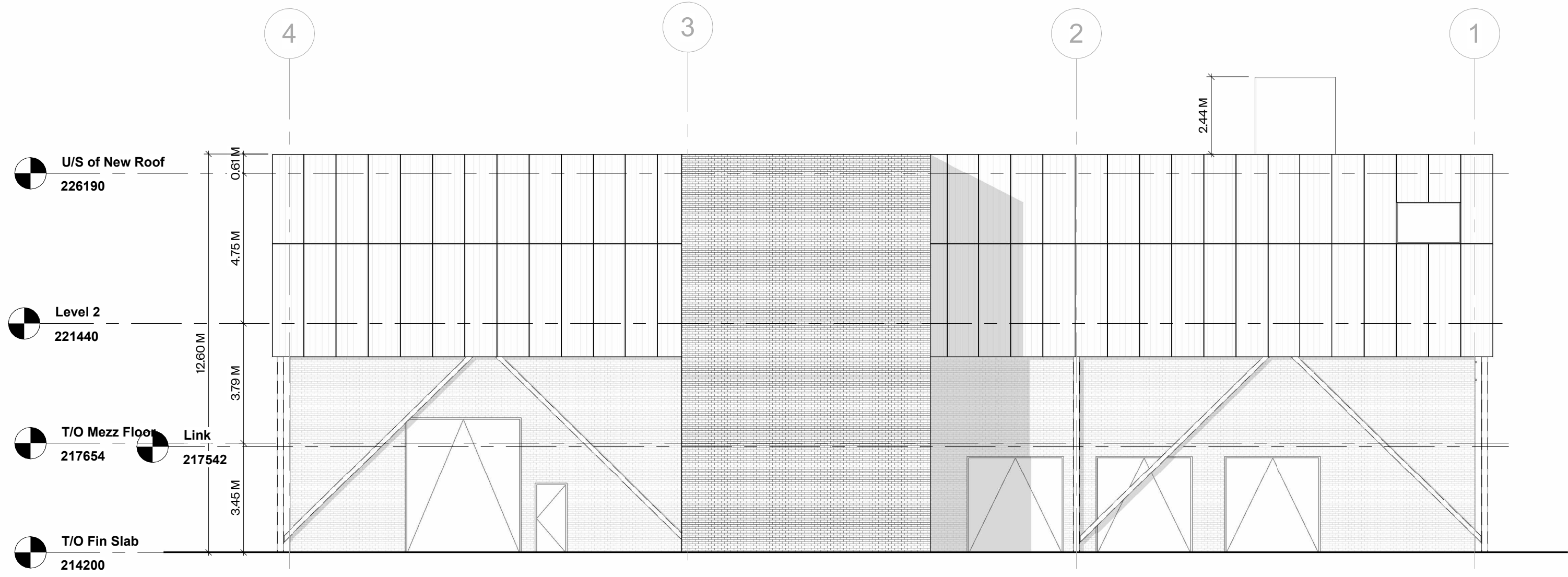
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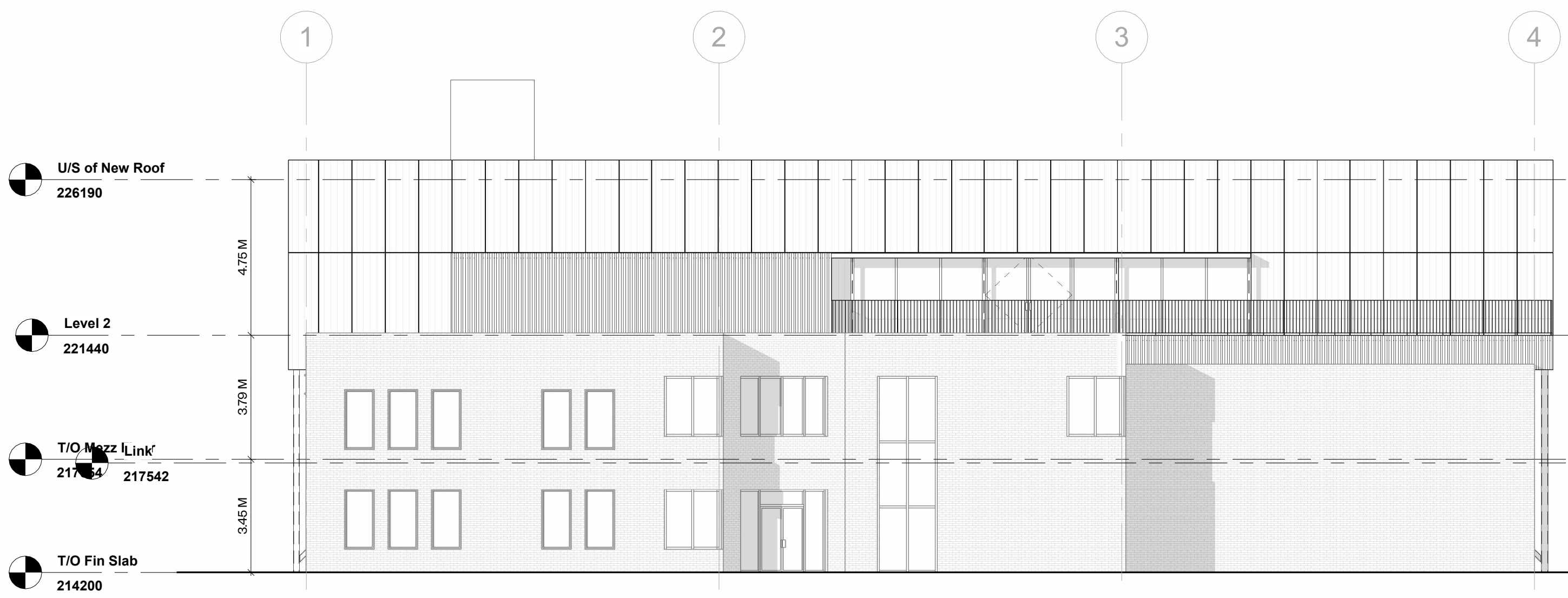
PROJECT CODE:	SCALE:
22_31	1:150
DATE:	STATUS:
30 October 2023	MV

Proposed Plans

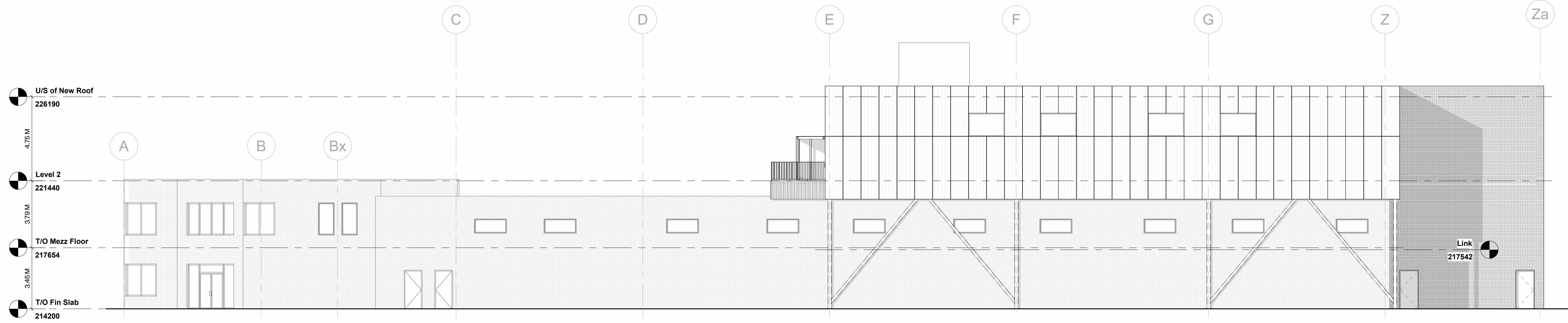




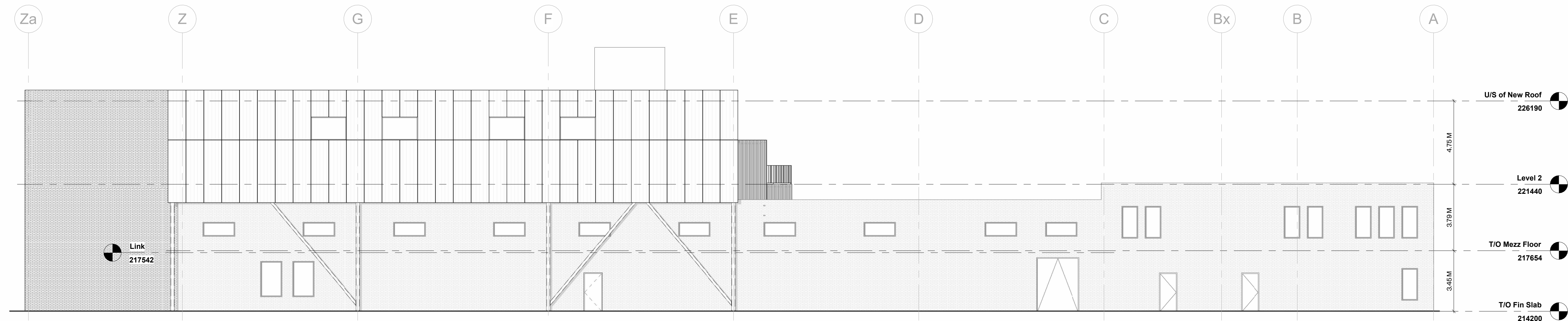
① North Elevation - MV
1 : 125



④ South Elevation - MV
1 : 125



③ East Elevation - MV
1 : 125



② West Elevation - MV
1 : 125

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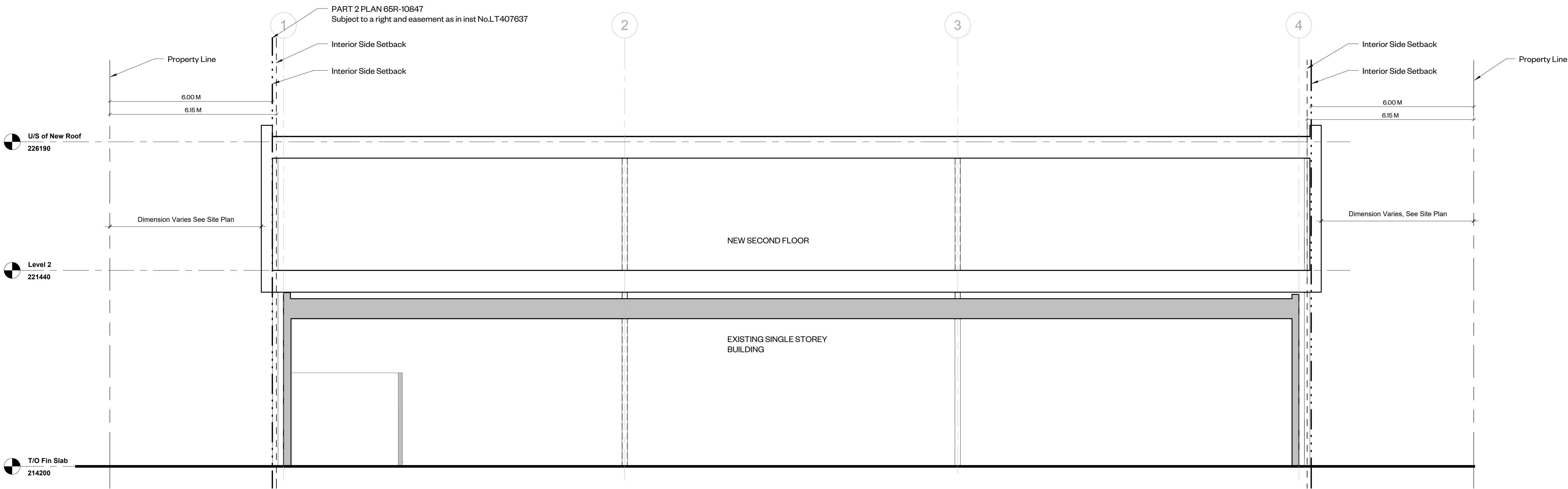
56 Edilcan Drive, Concord, ON

PROJECT CODE:	SCALE:
22_31	1:125
DATE:	STATUS:
30 October 2023	MV

Exterior Elevations

drawing number

MV.04



1 MV - Section
1 : 75

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Accord Vaughan	
56 Edilcan Drive, Concord, ON	
PROJECT CODE:	SCALE:
22_31	1:75
DATE:	STATUS:
30 October 2023	MV

Section

drawing number

MV.05

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO) *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
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YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: September 21st 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A128-23**

Related Files:

Applicant Workshop

Location 56 Edilcan Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

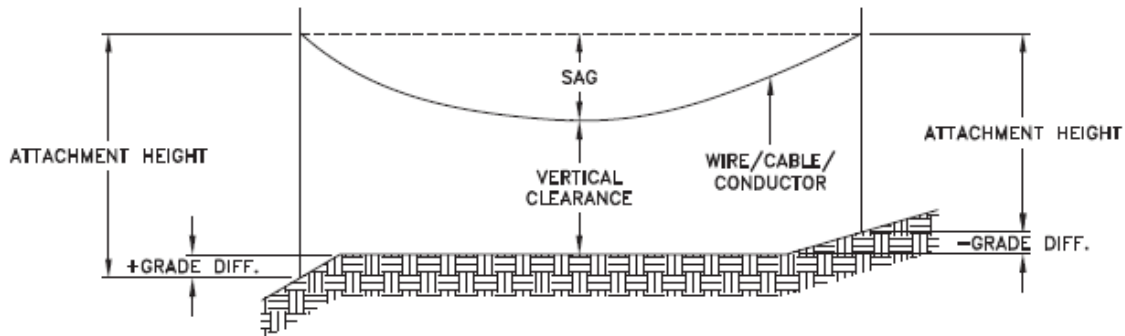
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

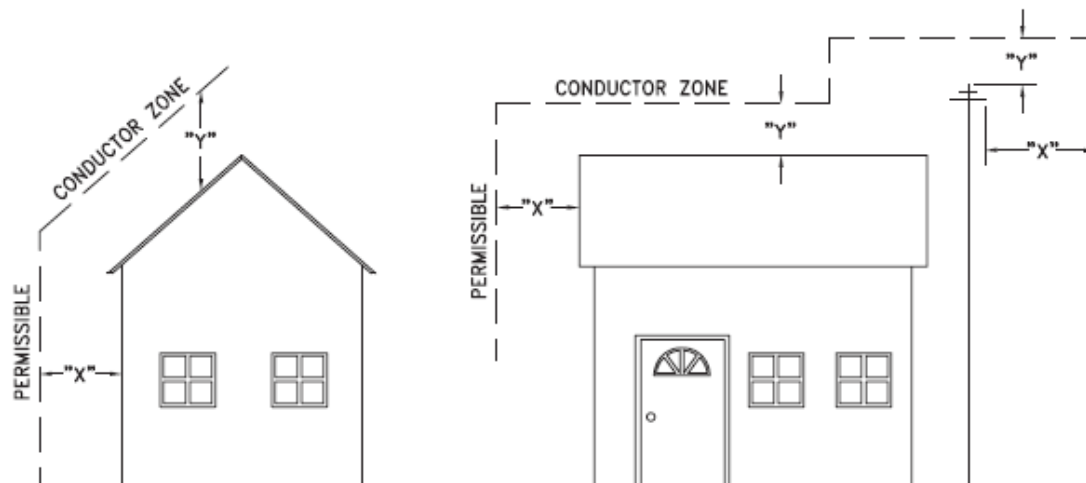
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date

P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: November 2, 2023

Applicant: Workshop

Location: 56 Edilcan Drive
PLAN 65M2537, Block 3

File No.(s): A128/23

Zoning Classification:

The subject lands are zoned EM2, General Employment Zone under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum interior side yard required is 6.0 metres. [Table 11-3]	To permit a minimum interior west side yard of 5.57 metres.
2	The minimum interior side yard required is 6.0 metres. [Table 11-3]	To permit a minimum interior east side yard of 5.54 metres.
3	The minimum number of parking spaces required is 53 spaces for the manufacturing or processing facility. [Table 6-2]	To permit a minimum of 43 parking spaces for the manufacturing or processing facility.
4	The minimum parallel parking space width required is 2.7 metres. [Table 6-4]	To permit a minimum parallel parking space width of 2.5 metres.
5	The minimum width of an aisle providing one direction access to parallel parking spaces is 4.0 metres. [Table 6-10]	To permit a minimum width of an aisle providing one direction access to parallel parking spaces of 3.07 metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 03-001390 for Single Use (Industrial) - Alteration, Issue Date: Jun 10, 2003
Building Permit No. 16-004731 for Manufacturing Use Unit - Interior Unit Alteration, Issue Date:
(Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: November 22, 2023

Name of Owner: Robert Ciano – RC Real Estate Inc.

Location: 56 Edilcan Drive

File No.(s): A128/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum interior west side yard of 5.57 metres.
2. To permit a minimum interior east side yard of 5.54 metres.
3. To permit a minimum of 43 parking spaces for the manufacturing or processing facility.
4. To permit a minimum parallel parking space width of 2.5 metres.
5. To permit a minimum width of an aisle providing one direction access to parallel parking spaces of 3.07 metres.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum interior side yard required is 6.0 metres.
2. The minimum interior side yard required is 6.0 metres.
3. The minimum number of parking spaces required is 53 spaces for the manufacturing or processing facility.
4. The minimum parallel parking space width required is 2.7 metres.
5. The minimum width of an aisle providing one direction access to parallel parking spaces is 4.0 metres.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"

Comments:

The Subject Lands contain an extruded plastics manufacturing facility and warehouse operating as Accord Plastics. The Owner is requesting relief to construct a second floor addition over the rear portion of the existing building. A slight footprint expansion to the east, west, and north sides is proposed to accommodate structural columns and bracing to support the addition. A further rear footprint expansion is proposed to accommodate an elevator and stairway linking the two levels. The proposed addition will also require variances to reduce parking space requirements onsite.

The Development Planning Department has no objection to Variances 1 and 2 for the westerly and easterly interior side yard setbacks. The first floor encroachment is an existing condition that does not change how vehicles maneuver around the building. The modest second floor cantilever required to support the second floor is also minor in nature, will not pose a significant visual impact to nor impact the function and privacy of the abutting side yard uses and also maintains an appropriate area for access and drainage.

The Development Planning Department has no objection to Variances 3, 4 and 5 for the reduced parking spaces, parallel parking width, and the width of an aisle providing one direction access to parallel parking spaces, as the Development Transportation Engineering Division of the Development Engineering Department has reviewed the above noted variances and has no concerns. The parking space configuration is an existing condition which is not anticipated to be adversely impacted by the proposed addition.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A128/23 - 56 Edilcan Drive , Concord - REQUEST FOR COMMENTS

From: Kristen Regier <Kristen.Regier@trca.ca>

Sent: September-20-23 8:42 AM

To: Committee of Adjustment <CofA@vaughan.ca>

Cc: Lenore Providence <Lenore.Providence@vaughan.ca>; Christine Vigneault <Christine.Vigneault@vaughan.ca>

Subject: [External] RE: A128/23 - 56 Edilcan Drive , Concord - REQUEST FOR COMMENTS

Hello,

The subject property at 56 Edilcan Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner I

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca/101-Exchange-Avenue-Vaughan-ON-L4K-5R6) | [trca.ca](https://www.trca.ca)



Prabhdeep Kaur

From: Development Services <developmentservices@york.ca>
Sent: Tuesday, September 26, 2023 11:36 AM
To: Lenore Providence
Cc: Committee of Adjustment
Subject: [External] RE: A128/23 - 56 Edilcan Drive , Concord - REQUEST FOR COMMENTS

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A128/23 (56 Edilcan Drive) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1

1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None