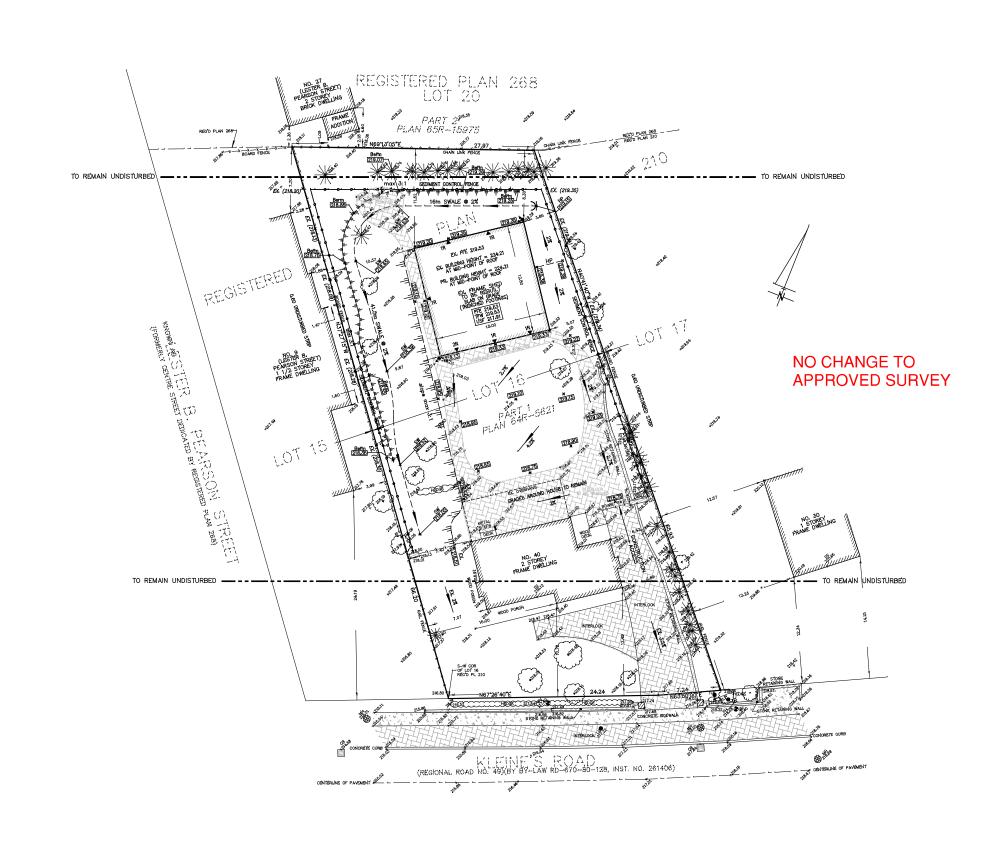
ATTACHMENT 4 40 NASHVILLE



METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GEODETIC: ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 54-5 ELEVATION = 219.114 METRES.

THIS IS NOT A PLAN OF SURVEY AND SHALL ONLY BE USED FOR THE PURPOSE AS SHOWN IN THE TITLE BLOCK. THIS PLAN SHALL NOT BE USED FOR MORTGAGE OR TRANSACTION PURPOSES. THIS SKETCH HAS BEEN PREPARED FOR MR. FRANSCESCO BERNAUDO AND GUIDO PAPA SURVEYNI A DIMSION OF J. D. BARNES LIMITED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN DERIVED FROM OFFICE RECORDS AND IS SUBJECT TO A LEGAL SEARCH AND A FINAL SURVEY.

CHAIN LINK FENCE
BOARD FENCE
RAIL FENCE
CENTERUNE OF HEDGE
STONE RETAINING WALL
TELEPHONE PEDESTAL
LIGHT STANDARD
WATER KEY
FIRE HYPEANT DENOTES
DENOTES WATER KEY
FIRE HYDRANT
WATER VALVE
MANHOLE
CATCH BASIN
NORTH, EAST, SOUTH, WEST
EXISTING ELEVATION
PROPOSED ELEVATION
PROPOSED

HOME OWNER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITES, CONCRETE

▼VAUGHAN HERITAGE APPROVAL

THIS APPROVAL IS ISSUED ON THE CONDITION THAT THE WORKS SHALL BE COMPLETED WITHIN THE PROPERTY OR LANDS DESCRIBED HEREIN AS IDENTIFIED ON THIS DOCUMENT AS FILED WITH THE URBAN DESIGN AND CULTURAL HERITAGE DIVISION, DEVELOPMENT PLANNING DEPARTMENT,

29 AUGUST 2023

HERITAGE

HERITAGE X APPROVED BY: APPROVED BY:

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN LOT GRADING PLAN — 40 NASHVILLE ROAD STRUCTURAL RE-BUILD/ALTERATION OF EXISTING REAR YARD SHED

REGISTERED PLAN 210 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

SCALE = 1:200 m

GRADING AND DRAINAGE NOTES

RADING AND DRAINAGE NOTES

I. All site plans, drawings and construction shall comply with the City of Veigher of Chief and Chi

to construction.

Water, storm and solitary services that are to be reason documents of decommissions of the life price of decommissions of the life price of the drawing. Downspoute of Rain water Leaders shall discharge onto splash pade and drain towards the street. Splash pade shall outlet over sociated land where possible to encourage infiltration of surface runoff.

Nuhoff.

11 High Point on spit tot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.

12 Top of foundation walls, exterior cladding, withow and door salls shall be a minimum of 150mm above finished grade.

13. The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. off all foundation walls conform to 060.000 subsection 315.4 shall

apply.

14. All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.

foundation wails conform to OBC. OBC subsection 9.15.4 shall apply.

14. All front and rear yards shall be graded at a 2% — 5% gradient within 5m of the building.

15. Drainage evalues shall be graded with a 2% — 5% gradient within 5m of the building.

16. Drainage evalues shall be graded with a 2% — 5% gradient.

15. Orn. Madrium a week depth is variable and depends on location and safety considerations, but must not exceed 450mm. In 150mm.

16. Centerfine of swales shall be located 650mm from 10 tilnes unless otherwise approved.

17. Centerfine of swales thust not be located less than 600mm from any foundation wall.

18. Centerfine of swales thust not be located less than 600mm from any foundation wall.

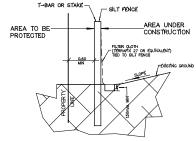
19. Proposed retaining walls are to be constructed in accordance with the Gity of Youghon Lot Grading Orterio and By-Law 1— 88. Retaining walls are to be constructed in accordance with the Gity of Youghon Lot Grading Orterio and By-Law 1— 88. Retaining walls exceeding 10 metrs in height shall be every a subject of the property of the constructed of the construction of the constructi

LID NOTES: Installing a French drain to collect and redirect the flow of water. The perforated pipes will enable the stormwater to be redirected to a more dealfable location area, from the property and into a more perforance of a

By increasing the depth of top soil from 4" to 6" thereby providing more water retaining appoints and drainage.

Adding mulch in the existing soft landscape will further provide more drainage.

SEDIMENT CONTROL FENCE NOT TO SCALE



1) THE PROPOSED GRADING AND APPURITENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2) THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIMISION AND WILL NOT ADVERSELY AFFECT ADJACAST LANDS.
3) THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
3) THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED OR ADDING.
5) ROOF LADRED ROWSENDE FOR RELOCATION OF THE UTILITIES ON THE SITE.
6) WATER SERVICE TO BE LOCATED IN THE GRASSED PROVIDED OF THE YARD.

AUGUST 25, 2023

WHIDTHE VALERIO G. PAPA ONTARIO LAND SURVEYOR (This is NOT an original copy unless embossed with a seal)

©00PYRIGHT 2023 Guido Papa Surveying - A Division of J.D. Barnes Limited APPROVED DATE
STRUCTURAL RE-BUILD/
ALTERATION OF EXISTING
REAR YARD SHED CITY OF VAUGHAN LOT GRADING PLAN



GUIDO PAPA SURVEYING MAPPING A Division of J.D. Barnes Limited GIS

UNIT B7 - 9135 KEELE ST., VAUGHAN, ON L4K 0J4 T: (289) 553-5961 P: (289) 553-5986 www.idbames.co

REFERENCE NO.: 19-18-339-00GRD ۷.G،P،

PROVIDE TEMPORARY BRACING/SHORING CONTIN, TO BSMT, SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.

PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV, MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)

▼VAUGHAN HERITAGE APPROVAL

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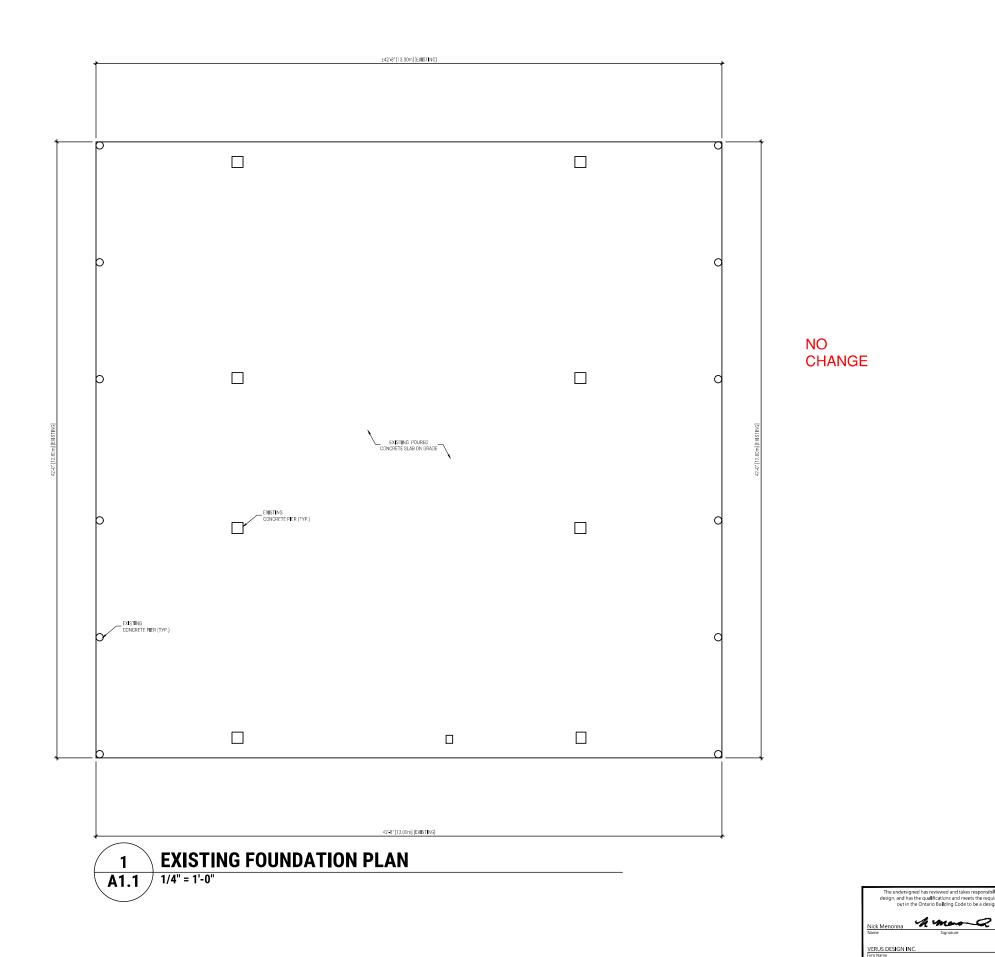
29 AUGUST 2023

HERITAGE PERMIT

HERITAGE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



40 NASHVILLE ROAD

MARK TATONE

Issued for Building Pennit. August. 21, 2023
Issued for Heritage Review. August. 21, 2023
Issued for Client review IAny. 26, 2023

EXISTING FOUNDATION PLAN

Issued for Building Pennit. August.21.2023
Issued for Heritage Review. August.21.2023
Issued for Client review May.26.2023 EXISTING GROUND

ROAD 40 NASHVILLE

NO

CHANGE

FLOOR PLAN

CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTURE OF THE CONTRACTOR OF TH

PROVIDE TEMPORARY BRACING/SHORING CONTIN, TO BOMT, SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.

PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV, MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)

EXISTING STORAGE EXISTING GARAGE/STORAGE PLANK SHEATHING ON RAFTERS W/ CEILING JOIST EX. RAFTERS .
W/ SHEATHING & METAL DECKING EXISTING STORAGE EXISTING POURED ONCRETE SLAB ON GRADE STORAGE EXISTING WOOD BEAM (B2)(DROP'D) W/ DIAGONAL BRACING AT POST [REFER TO ENG. DRAWING DETAILS] EX. RAFTERS . W/ SHEATHING & METAL DECKING EX. MET. ROOF ON PLANK SHEATHING ON RAFTERS W/ CEILING JOIST:

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29 AUGUST 2023

HERITAGE PERMIT

ADDITIONAL NOTES: HERITAGE CLEARANCE ISSUED FOR BARN

REBUILD AT 40 NASHVILLE ROAD AS SHOWN

HERITAGE APPROVED BY: NO SHIP

A1.2

EXISTING GROUND FLOOR PLAN (1792 sq. ft.) 1/4" = 1'-0"



h man

40 NASHVILLE

NO **CHANGE**

Issued for B Issued for C Issued for C Issued for C Issued for C	u d áng Permit. eritage Roview. Bent review	August 21, 202 August 21, 202 May 26, 202
EXIS	TING S	ECOND
	FL00	R PLAN
SHEET TREE		

CONTRACTOR TO VERIEV ALL DIMENSION & EMISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION &

PROVIDE TEMPORARY BRACING/SHORING CONTN. TO SSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)

PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV, MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)

ATTIC/STORAGE OUTLINE OF WOOD POST BELOW (TYP.) TOP OF EXISTING OF WOOD BEAM TOP OF EXISTING OF WOOD BEAM RODE BELOW ROOF BELOW

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29 AUGUST 2023

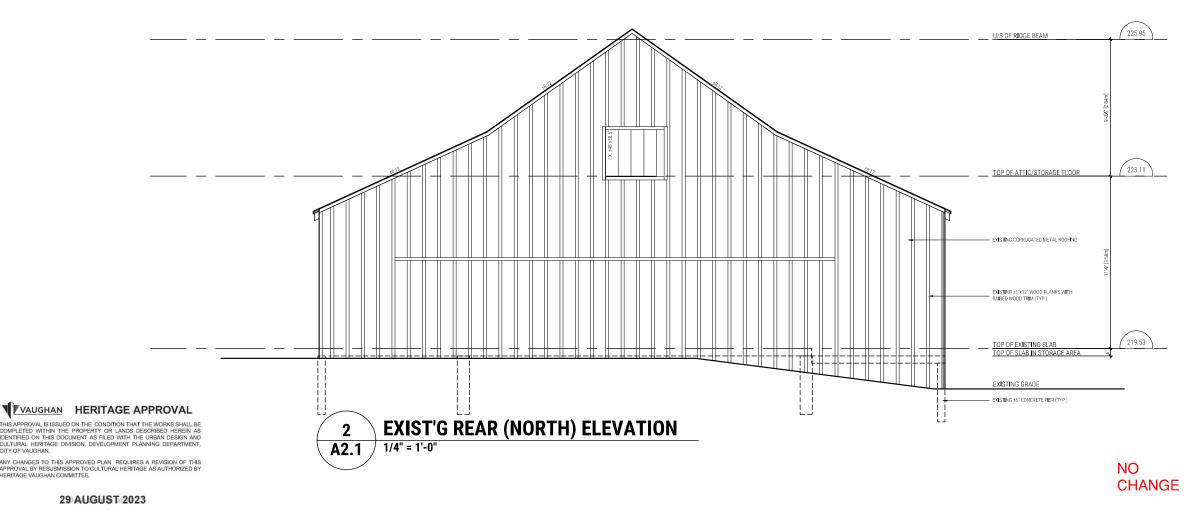
HERITAGE PERMIT

HERITAGE X APPROVED BY: NO SHIP

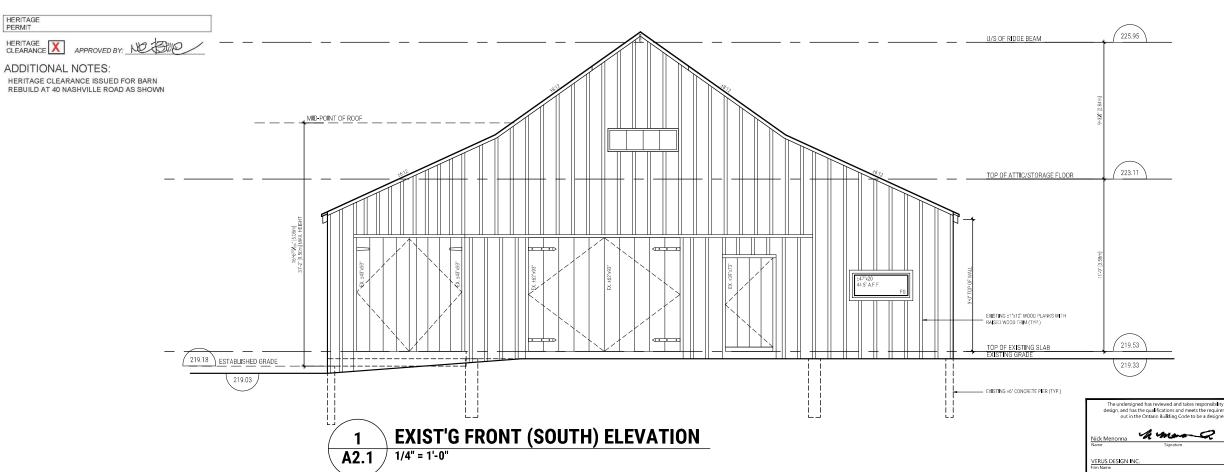
ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

EXISTING SECOND (ATTIC) PLAN A1.3 1/4" = 1'-0"



29 AUGUST 2023

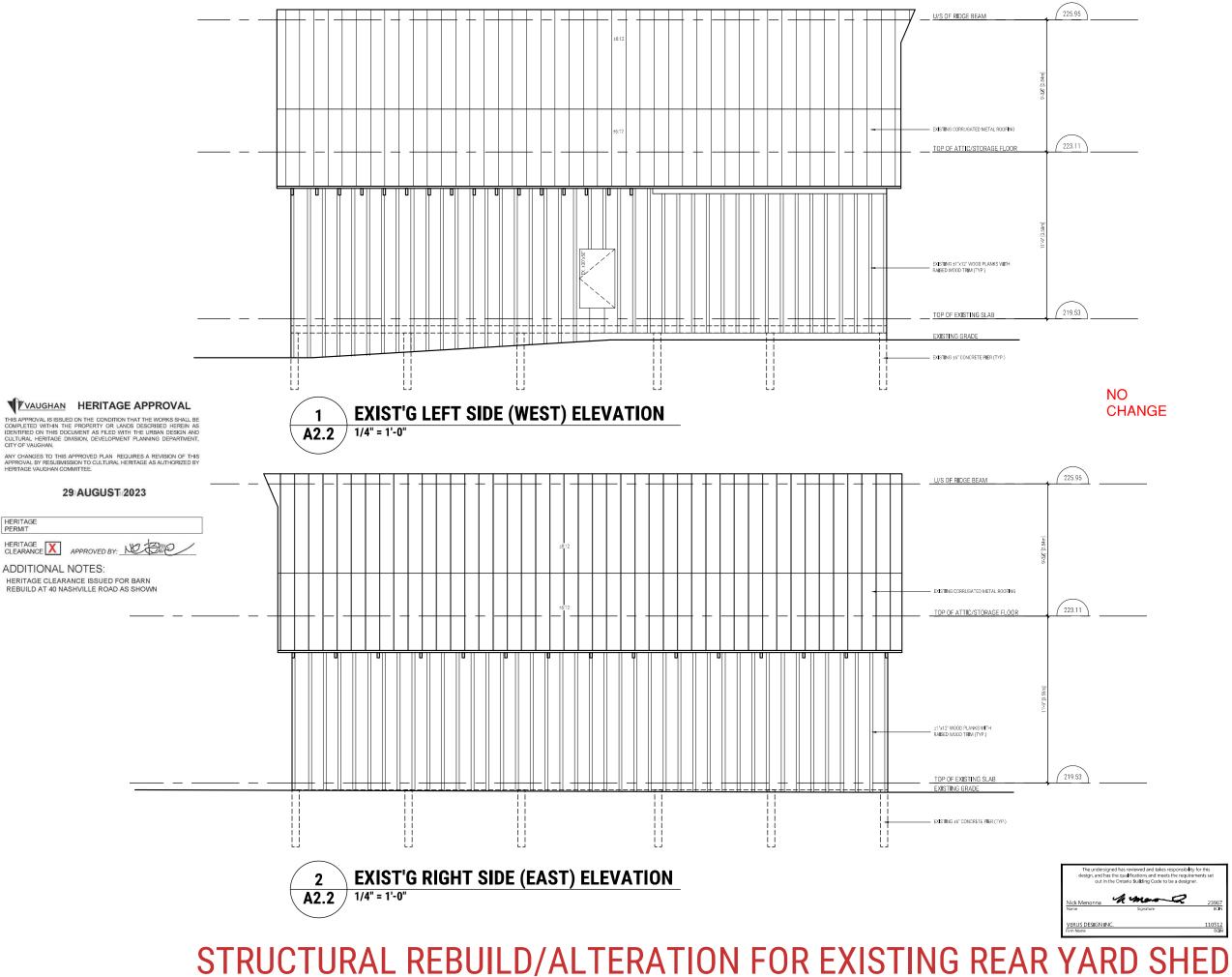


STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

40 NASHVILLE ROAD

MARK TATONE

Issued for Building Pennit. August. 21, 2023
Issued for Heritage Review. August. 21, 2023
Issued for Client review IAny. 26, 2023 EXISTING **ELEVATIONS**



40 NASHVILLE ROAD

Issued for Building Pennit. August. 21, 2023
Issued for Heritage Review. August. 21, 2023
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EXISTING **ELEVATIONS**

MARK TATONE

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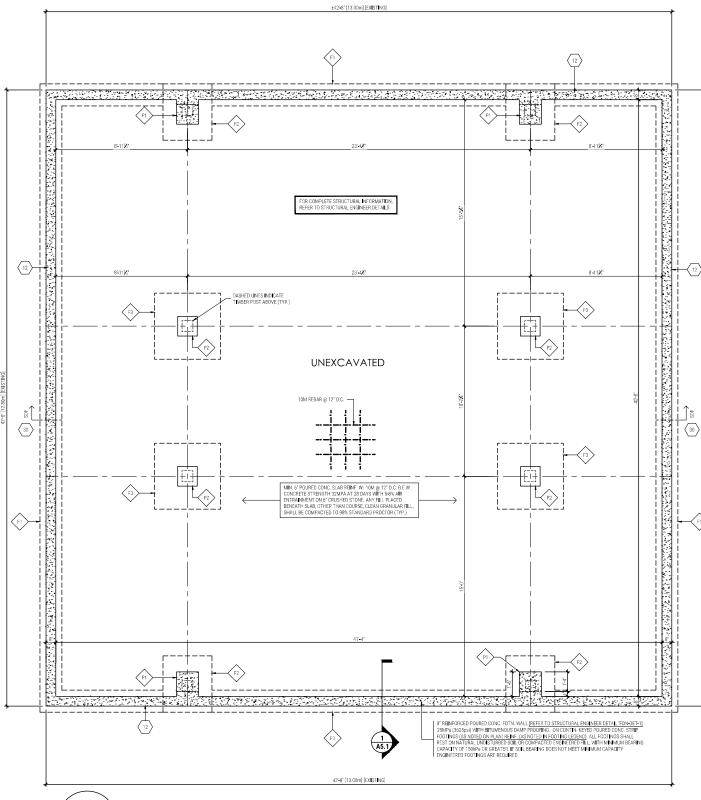
PROPOSED FOUNDATION PLAN

CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTURE OF THE CONTRACTOR OF TH

PROVIDE TEMPORARY BRACING/SHORING CONTIN, TO BOMT, SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.

BEAM/JOIST CONNECTIONS AS REQ. (TYP.)

G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



FOOTING LEGEND (REFER TO ENGINEER DRAWINGS)

EXTERIOR CONTIN. 25 MPa POURED CONC. KEYED STRIP FOOTINGS TO BE 18*WX:10*D DEEP, REINE: W/C CONTIN. 2-15M BOTTOM (W/W 3*BOT. COVER 8. EDGE COVER) & ONE ROW OF 24% of 15M BENT DOWELS SPACED @ 24*O.C [REFERT TO STRUCTURAL ENG. DETAIL "FDN-DET-2]

EXTERIOR 25 MPa POURED CONC. FOOTINGS TO BE 40°Wx46°Lx18'D.
REINF. W. 15M @ 12° O.C. BOT. BOTH WAYS (W.3" BOT. COVER 8.3" EDGE COVER)
PROVIDE 4-30°X-15 MB ENT ODVELS
[REFER TO STRUCTURAL ENG. DETAIL "FDN-DET-4"]

[REFER TO STRUCTURAL ENG. DETAIL 'FDN-DET-6']

CONCRETE PIER LEGEND (REFER TO ENGINEER DRAWINGS

28"x16"y8" ABOVE GRADE) REDUCED TO 16"x16"y82" ABOVE SLAB) POURED 25MPB CONCRETE. FIREY, 28"x16" FIRE REINFORCED WY 6-15M VERTICAL BARS AND 15M MOREONTAL, 16"x16" x8"z FIRE REINFORCED WY 4-15M VERTICAL BARS AND 15M MOREONTAL STRUPES LOCATED 3" FROM EACH END AND VERTICAL SPACED AT 10". C. BARSTO 14MPS COVER FROM PIER EDGE. (REFER TO STRUCTURAL ENG. DETAIL FOWDOTS")

16'x16'(x32' ABOVE SLAB) POURED 25MP₀ CONCRETE PIER REINFORCED W/ 4-15M VERTICAL BARS AND 15M HORIZONTAL STRUPS LOCATED 3' FROM EACH EAD AND VERTICALL'S SPACED AT 12' O.C., BARS TO HAVE 3' COVER FROM PIER EDGE. (REFER TO STRUCTURAL ENG. DETAIL 'FON-DET-

212 216 (38:140) BOTTOM PLATE WITH Z; (12.7) 0 ANCHOR BOLTS 10" (250) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7-10" (2400) 0.C. CAULKING OR BASKET BETWEN PLATE & TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

NO CHANGE TO ORIGINAL **APPROVAL**

V. BRINOVEC



▼VAUGHAN HERITAGE APPROVAL

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ANY CHANGES TO THIS APPROVED PLAN REQUIRES A REVISION OF THIS APPROVAL BY RESUBMISSION TO CULTURAL HERITAGE AS AUTHORIZED BY

29 AUGUST 2023

HERITAGE PERMIT

HERITAGE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN

REBUILD AT 40 NASHVILLE ROAD AS SHOWN

PROPOSED FOUNDATION PLAN 1/4" = 1'-0" A3.1

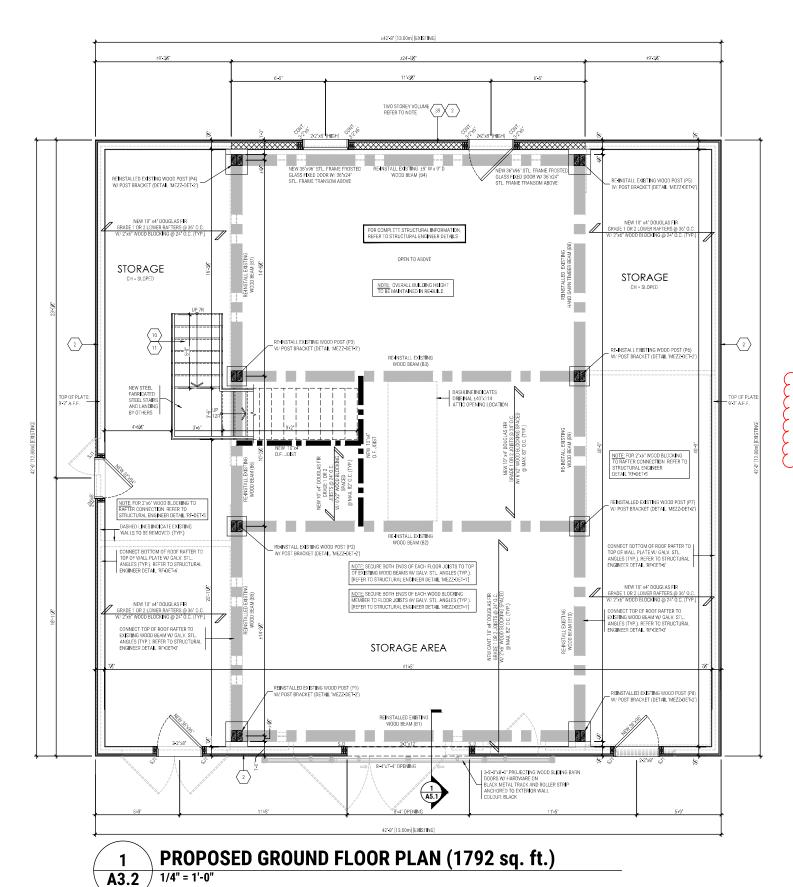
Issued for Building Pennit. August.21.2023
Issued for Heritage Review. August.21.2023
Issued for Client review May.26.2023

PROPOSED GROUND FLOOR PLAN

CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENIGNEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTURE.

PROVIDE TEMPORARY BRACING/SHORING CONTIN. TO BSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)

PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV, MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)



TWO STOREY VOLUME SPACES
FOR WIND LOADS GOES COME. . IWO STOREY VOLUME SPACES.

FOR WHO LOADS © 6.5 kts (6.50°) FOR A MAXIMUM 18-4" (5600) HEBHT. PROVIDE 2-2"-36" (2-38):140) SPR-42" CONTINUOUS STUDS © 12" (300) O. FOR BRICK & 16" (400) O. FOR SIBING EAVI 38" (9.5) THICK EXTERIOR PLYWOOD SHEATHINS. PROVIDE SOLD WOOD BLOCKING SETWENN WOOD STUDS © 4-7" (1700) O. C. VERTICALLY, (0.8.0, 92.3):0.1)

FOR WHO LOADS > 0.5 kts (460); FOR A MAXIMUM 18-4" (5600) HEIGHT. PROVIDE 2-2"-56" (2-38):140) SPR-42" CONTINUOUS STUDS © 4" (200) O. F. CR BRICK & 12" (300) O. FOR STORE OWN 38" (9.5) THICK STUERDR PLYWOOD SHEATHING. PROVIDE SOLD WOOD SHEATHING. STEWN SHEATHING STEWN STEWN SHEATHING SHEATHING STEWN SHEATHING STEWN SHEATHING SHEATHING SHEATHING SHEATHING SHEATHING SHEATHING SHEATHING SHEATHING SHEAT

FOR HORIZONTAL DISTANCES LESS THAN 9'-6" (2900) PROVIDE CONTINUOUS 2'x6" (38x140) STUDS @ 16" (400) O.C. WITH CONTINUOUS 2·2'x6" (2·38x140) TOP PLATE+1-2'x6" (1'38x140) BOTTOM PLATE & MINIMUM OF 3-2'x8' (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

2 SIDING WALL (2"x6") - 0.B.C. 9.23
SIDING SEPERLEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR
BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVIDE SHEAT-INING PAPER ON X²
(12.7) EXTENSION PRE-SHEATHING ON 2"x5 (BEAT) GROUPS COLOR
(TIBREBOARD SHALL NOT SE USED FOR THE ATTACHMENT OF SIDING - 0.B.C. 9.23.16.3)

ALL BEAMS AND COLUMNS TO BE NEW WHERE MARKED "RE-INSTALL EXISTING"

▼VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

ADDITIONAL NOTES:

HERITAGE APPROVED BY: NO SHIP

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



Issued for Building Permit. August, 21, 2023
Issued for Heritage Roview. August, 21, 2023
Issued for Client review May, 26, 2023

PROPOSED **MEZZANINE PLAN**

CONTRACTOR TO VERIEV ALL DIMENSION & EMISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION &

PROVIDE TEMPORARY BRACING/SHORING CONTN. TO SSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)

BEAM/JOIST CONNECTIONS AS REQ. (TYP.)

G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

A3.3 / 1/4" = 1'-0"

▼VAUGHAN HERITAGE APPROVAL

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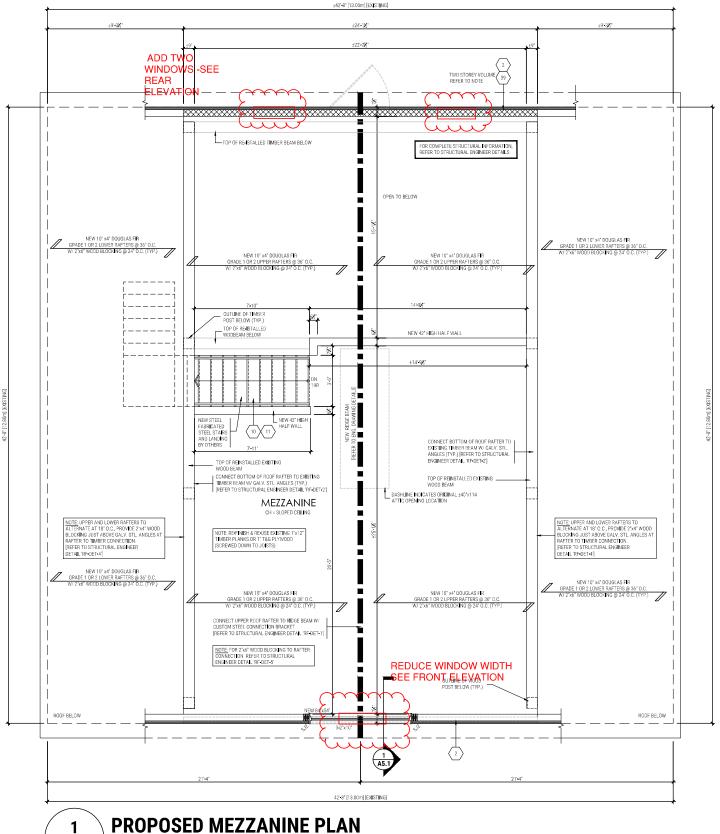
29 AUGUST 2023

HERITAGE PERMIT

HERITAGE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



39 TWO STOREY VOLUME SPACES

SIDING WALL (2"x6") - 0.B.C. 9.23
SIDING AS PER LEVATION ATTACHED TO FRAMING MEMBERS FURRING MEMBERS OR BLOOMING EVINENT HE RAMING MEMBERS AN APPROVED SHEATHING PAPER ON X² (12). PLATERIOR TYPE SHEATHING ON X² (23 At 40) SPRUCE STUDS go 16" (400) C. (FIREBOOR SHALL NOT BE USED FOR THE ATTACHMENT OF SISTING - 0.B.C. 9.31.65.)





Issued for Building Pennit. August. 21, 2023
Issued for Heritage Review. August. 21, 2023
Issued for Client review IAny. 26, 2023 PROPOSED ROOF PLAN

CONTRACTOR TO VERIEV ALL DIMENSION & EMISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION &

PROVIDE TEMPORARY BRACING/SHORING CONTN. TO SSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)

PROVIDE APPROVED 'SIMPSON STRONG-TIE' GALY, MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)

EXTENT OF MEZZANINE BELOW (TYP.) ADD 6' -0" x 8'-0" NEW ALUMINUM FRAME SKYLIGHT ADD NEW 12'-0" x 10'-0" DORMER ROOF 4:12 4:12 PRE-FINISHED METAL RODE NIS W/ STANDING SEAMS, X/ (12.7) EXTERIOR TYPE RODE SHEATHING WITH 14" CLIPS. RODE RAFTERS (SEE ENGINEER DOWNINGS) APPROVA LAVES PROTECTION TO EXTEND 3"0" FROM EDGE OF RODE AND MIN. "2" BEVONDIN INNER FACE OF EXTERIOR WALL 2"X"PURLING @ 16" O.C. PERPENDICULAR TO RODE FASTERS. PROVIDE ATTIC VENTILATION 1/150 OF CELING AREA ADD 3'-0" x 6'-0" NEW ALUMINUM FRAME SKYLIGHT

▼VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT HERITAGE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN A4.1 / 1/4" = 1'-0"



STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

Issued for Building Pennit. August.21.2023
Issued for Heitage Roview. August.21.2023
Issued for Client review May.26.2023

PROPOSED

ELEVATIONS

ERUS

ROAD

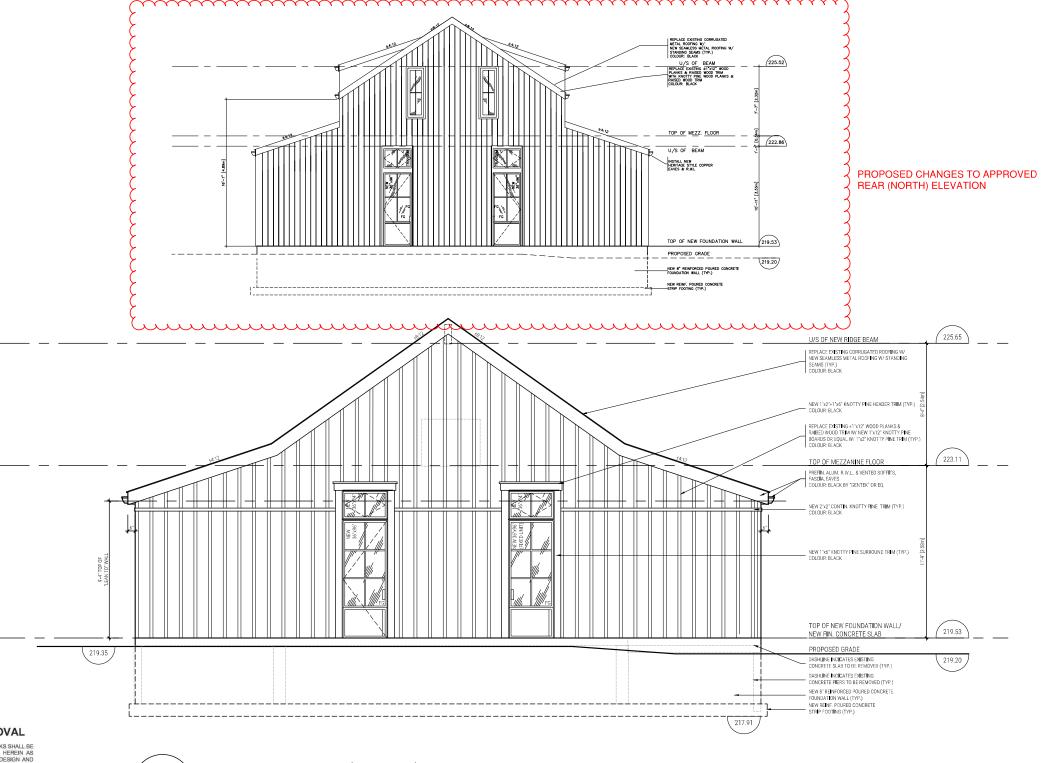
40 NASHVILLE

MARK TATONE

40 NASHVILLE

MARK TATONE

Issued for Building Pennit. August.21.2023
Issued for Heitage Roview. August.21.2023
Issued for Client review May.26.2023 PROPOSED **ELEVATIONS**



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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



PROPOSED REAR (NORTH) ELEVATION 1/4" = 1'-0"



40 NASHVILLE

MARK TATONE

Issued for Building Pennit. August.21.2023
Issued for Heitage Roview. August.21.2023
Issued for Client review May.26.2023 PROPOSED **ELEVATIONS**

225.52 PROPOSED CHANGES TO LEFT SIDE (WEST) ELEVATION 225.65 U/S OF NEW RIDGE BEAM SEAMS (TYP.) COLOUR: BLACK 223.11 REPLACE EXISTING ±1'x12' WOOD PLANKS & RAISED WOOD TRIM W; NEW 1'x12' KNOTTY PINE BOARDS OR EQUAL W; 1'x2" KNOTTY PINE TRIM (TYP. COLOUR: BLACK DASHLINE INDICATES EXISTING CONCRETE SLAB TO BE REMOVED (TYP.) 219.53 NEW FIN. CONCRETE SLAB 219.16 219.03 NEW 8" REINFORCED POURED CONCRETE FOUNDATION WALL (TYP.) NEW REINF. POURED CONCRETE STRIP FOOTING (TYP.)

▼VAUGHAN HERITAGE APPROVAL

THIS APPROVAL IS ISSUED ON THE CONDITION THAT THE WORKS SHALL BE COMPLETED WITHIN THE PROPERTY OR LANDS DESCRIBED HEREIN AS IDENTIFIED ON THIS DOCUMENT AS FILED WITH THE URBAN DESIGN AND CULTURAL HERITAGE DINSION, DEVELOPMENT PLANNING DEPARTMENT,

ANY CHANGES TO THIS APPROVED PLAN REQUIRES A REVISION OF THIS APPROVAL BY RESUBMISSION TO CULTURAL HERITAGE AS AUTHORIZED BY HERITAGE VAUGHAN COMMITTEE.

29 AUGUST 2023

HERITAGE PERMIT

HERITAGE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN





40 NASHVILLE

MARK TATONE

Issued for Building Pennit. August.21.2023
Issued for Heitage Roview. August.21.2023
Issued for Client review May.26.2023 PROPOSED **ELEVATIONS**

PROPOSED CHANGES TO RIGHT SIDE (EAST) APPROVED FRONT ELEVATION REPLACE EXISTING ±1"x12" WOOD PLANKS & RAISED WOOD TRIM WITH KNOTTY PINE WOOD PLANKS & RAISED WOOD TRIM COLOUR: BLACK J/S OF NEW RIDGE BEAM REPLACE EXISTING CORRUGATED ROOFING W/ NEW SEAMLESS METAL ROOFING W/ STANDING SEAMS (TYP.) COLOUR: BLACK 223.11 TOP OF MEZZANINE ELOOR REPLACE EXISTING ±1"x12" WOOD PLANKS & RAISED WOOD TRIM W/ NEW 1"x12" KNOTTY PINE BOARDS OR EQUAL W/ 1"x2" KNOTTY PINE TRIM (TYP. COLOUR: BLACK TOP OF NEW FOUNDATION WALL/ NEW FIN. CONCRETE SLAB 219.53 EXISTING GRADE 219.35 PROPOSED RIGHT SIDE (EAST) ELEVATION A4.4 1/4" = 1'-0"

▼VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN 4 man Q

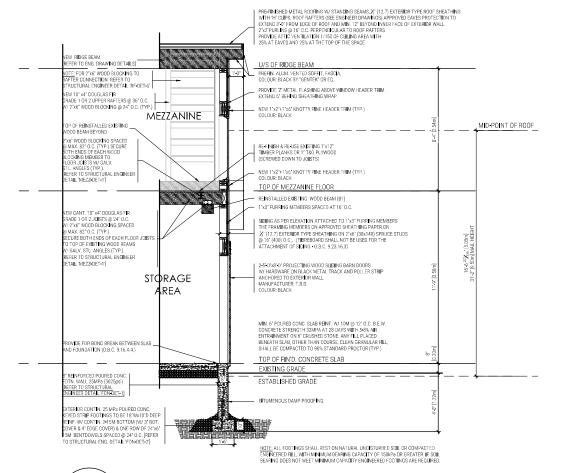
Issued for Building Permit. August, 21, 2023
Issued for Heritage Roview. August, 21, 2023
Issued for Client review May, 26, 2023

PROPOSED WALL SECTION

SEE ELEVATIONS AND PLANS WHERE NOTED FOR CHANGES

CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT

- PROVIDE TEMPORARY BRACING/SHORING CONTIN. TO BSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)
- BEAM/JOIST CONNECTIONS AS REQ. (TYP.)
- G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



▼VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

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ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

PROPOSED WALL SECTION A5.1

1/4" = 1'-0"

and has the qualifications and meets the requirem out in the Ontario Building Code to be a designer.

ALL DRAWINGS ARE THE PROPERTY OF VERUS DESIGN INCHER ENVETER CALLED THE DESIGNER. THE DESIGNER RETAINS HIS COPYRIGHT IN THESE DOCUMENTS WHICH MAY NOT BE USED FOR AWY OTHER PROJECT IN ENGUT THE EXPRESSED WHITTEN CONSINT C

ALL DESIGN 6 CONSTRUCTION TO BE DONE IN ACCORDANCE WITH:

1 THE CONTARD BILLIONS CODE (LATEST BELLIONS)

APPLICABLE VIA (SECTION BY THE CONTARD BILLIONS CODE)

THE CONTARD HEALTH 8 SAFETY ACT.

REQUILATIONS FOR CONSTRUCTION PROJECTS

ALL AUTHORITIES HAVING LATERCTION OVER THE SITE.

5 ALL CIMENSIONS INFORMATION & GRACES ON DRAWINGS MUST BE VERPIED ON SITE, ANY DISCREPANCES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMERCING CONSTRUCTION.

THE CONTRACTOR SHALL NOT DEVIRTE FROM THE INTENT OF THE DRAWINGS & SECTIONS, UNLESS APPROVED IN WRITING BY THE DESIGNER. THE DESIGNER ASSLAMES NO RESPONSIBILITY FOR CHANGES MADE TO THE DRAWINGS, WITHOUT HIS APPROVAL.

8 NO RESPONSIBILITY IS HEREBY ASSUMED FOR DETAILS INFORMATION NOT CONTAINED IN THESE DRAWINGS OR DEVIATIONS FROM THE DRAWINGS.

THE DOWNTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL NECESSARY BRACING, SHORING OR OTHER TOURGOARY SUPPORTS TO SAFEGUARD ALL EXITING OR ADMICINT STRUCTURES AFFECTED BY THIS WORK.

THE CUNTINGCOR SHALL ENSURE THAT WORK IS ERECTED IN COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE RESPONSIBLE FOR DELAYS OR DOSTS RESULT NO FROM MILLIAE TO INSPECT OR COORDINATE, AND FOR REPLACEMENT OR CORRECTION OF WORK REQUIRED.

THE DWINER & DESIGNER SHALL HAVE ACCESS TO THE WORK FOR DENERAL REMIEW DURING CONSTRUCTION, DEFECTIVE WORK OR PRODUCTS & DAMAGE SHALL BE REMOVED & REPLACE OR RE-EXECUTED IN ACCORDANCE WITH THE CONTRACT.

THE CONTRACTOR SHALL ENSURE THAT NO DAMAGE IS CAUSED TO THE PORTIONS OF THE BUILDING NOT INVOLVED IN THE WORK OF THE CONTRACT AS A RESULT OF SUCH WORK. THE CONTRACTOR SHALL MAKE RODOLAL SICH BAMAGE.

THE ACJACENT BULLING SHALL BE PROTECTED BY THE CONTRACTOR FROM DUST, DIFT, THE REPORT THROUGH THE ERECTION OF SECURE & ART DIFT PART TIONS, USING FRANKO, GYPSIM WALLBOARD & POLYETHYLINE SHEETS, CALLARD & TAPED AS REQUIRED.

COST OF EXAMINATION B DORRECTION, IF THE WORK IS IN ACCORDANCE IN THE WORK IS NOT THE WORK OF THE WORK IS IN ACCORDANCE IN THE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE OWNER SHALL PAY THE COST OF EXAMINATION & RESTORATION.

2.0 SITEWORK

2.5 GRADING, RETAINING WALL, ETC. ARE SCHEMATIC & WILL BE DETERMINED DURING CONSTRUCTION ON THE BASIS OF PRECISE SITE CONDITIONS.

2.6 SHOULD EXCAVATION BE CARRIED BELOW THE DESIRED ELEVATION, OBTAIN A DESIRABLE BEACHS CAPACITY BY BUCKING INTH 2003 P.S. DONCRETE

PROTECT FOOTINGS, INALLS, SLASS ON GRADE & ADJACENT SOIL ACAINST FREEZING & FROST ACTION AT ALL TIMES DURING CONSTRUCTION.

2.9 FOOTINGS FOR DOLD CELLARS TO EXTEND A MINIMUM OF 4-0" BELOW THE FINISH FLOOR OF THE DOLD CELLAR STEP DOWN ADJACENT INTERIOR FOOTINGS AS REQUIRED.

2.10 THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10, MARINUM RISE IS 2'0'.

11 F ACTUAL JOB SIDE OR SQL CONCULDING WARY FROM THE ASSUMED, THEN WHITTEN DIRECTIONS MUST BE OBTAINED FROM THE DESIGNER, BEFORE PROCEEDING WITH THE WO

KEEP EXCAVATIONS CONTINUOUSLY DRY BEFORE CONDRETE IS PLACED. IF THE SEIL IS SOFTENED BY WATER, THE EXCAVATION SHALL BE EXTENDED BELOW THE SOFTENED MATERIAL & THE BOTTOM OF THE POOTINGS LOWERED TO SUIT.

I UNLESS OTHERWISE NOTED, PROVIDE IMMEDIATELY UNDER SLABSON GRADE, A MINIMUM OF 8" OF COMPACTED Z" CLEAR STONE, COMPACT EN TO ACHEVE A MINIMUM OF 50'S STANDARD PROCITION AND MUM DRY DEVENTY.

3.0 CONCRETE (SEE ALSO STRUCTURAL DWG.

CONCRETE CONSTRUCT DN TO CONFORM TO PLAIN, REINFORCED & PRESTRESSED DONCRETE CANCISA-223, CANCISSA A22,1 & CANCISA A22,2 CONDRETE SHALL HAVE A WINDMAN 28 CAY COMPRESS DE STRENGTH IN ACCORDANCE WITH TABLE 11 & TABLE 14 OF CANCISA A23,1 CO.

8 SLUMP AT THE POINT OF DISCHARGE SHALL BE CONSISTENT AT 30" + 30", UNLESSING OTHERWISE, GREATER SLUMPS ARE NOT ACCEPTABLE.

UNHELNOODED CONCRETE SHALL BE DESIGNED, MUSED, PLACED, CURED & TESTED IN ACCISIONACE WITH CSACAN-ASIS REPROPERED CONCRETE SHALL BE DESIGNED TO CONFORM TO PAPEL 4 OF THE OWNER DISL. EINS CONCRETE SHALL BE DESIGNED TO

4.0 MASONRY

4.1 MASSINGY CONTRUCTION TO CONFORM TO CSA CANSISSION & CSA 6304.1

INSTALL X' WIDE DOMPRESSIBLE EXPANSION JOINT FILLER BETWEEN MASONRY OR CONCRETE WALLS

TE VENEER TO TIMBER STUD WALLS WITH 22 GUAGE X Z* CORROSION RESISTANT CORRUGATED METAL TES SPACED EVERY 1'-8" VERTICALLY 8 2'-8" HOREONTALLY, TES TO COMPOND TO CAN PAGE OF

5.0 METAL (SEE ALSO STRUCTURAL DWG.)

STRUCTURAL STEEL DETAILS & CONNECTIONS SHALL DONFORM TO CANCES SHE OF 8 SHALL BE DESIGNED BY A LEDISED PROFESSIONAL ENGINEER EXPERIENCED IN THIS WORK, SHOP CRAWINGS TO BE SUBMITTED FOR REVIEW PRIOR TO FARRICATION.

6.9 ALL DUTTING OR ALTERING OF STRUCTURAL STEEL WENDERS NOT SHOWN ON SHOP DRAWINGS REQUIRE WRITTEN APPROVAL FROM THE ENGINEER.

5.11 ALL STEEL BEAMS ARE TO BE CENTRED ON WALLS, PIERS OR COLUMNS OTHERWISE.

5.13 PROMDE BEAM WALL PLATES ON MASONRY OR CONCRETE CAW ANCHORS. SEE STRUCTURAL DRAWNINGS.

S.14 COLUMN BASE PLATES & BEAM BEARING PLATES SHALL BE GROUTED WITH \$2" MIN. NOW-SHATING GROUT.

6.2 WOOD CONSTRUCTION TO CONFORM TO EITHER CANSOR(LIM & TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

ALL LUMBER SHALL BEKELN DRED MATERIAL & GRADE STAMPEDING 1 OR 2 SPRUGE PRE-PU CONCOMPAG TO CSA STAMPAGE OF HIS TURESS OTHERWISE NOTED. MAXIMUM MUSTURE CONTENT BY ALTIME OF INSTALLAT DR.

WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH A WOOD PRESERVATIVE WHICH COME IN CONTACT WITH EITHER CONCRETE DR DINCRETE BLOCK SHALL BE SEPARATED FROM SAME BY AT LEAST 6 MB., POLYETHYLENE FLAN.

LEFF (FIRST WALLS & BEAFING STUD PARTITIONS SHALL BE ANCHORED TO CONCRETE OR CONCRETE OR CONCRETE SIDES WALLS NOT HADROUN AS DEWLETER X NO LONG ANDHOR BOLTS AT 4-37 MANIMUM PLATES TO BE A MINIMUM 2 x 6.

WHERE A FLOOR PASSES OVER A SUPPORTING STEEL BEAM, CENTER PLYWOOD SHEETS OVE BEAM & DOWNEDT EACH JUSST TO PLYWOOD NUTH SCREWS, STAGGER JUNTS BETWEEN PLYWOOD SHEETS

COURLE UP JOISTS BELOW ALL WALLS PUNNING PAPALLEL TO JOIST DIRECTION, REFER TO COMMISSION DEPARTMENT OF LOCATION OF SUCH WALLS, COURLE HEADERS & THE PAVERS ARE REQUIRED AROUND ALL OPENINGS NOT SHOWN.

ETWEEN JUSTS.
PLACE I RUM OF BEILDEING FOR SPANS BETWEEN 1000'S 1440', & PLACE 3 BOWS 1
BRIDGING FOR SPANS GREATER THAN 14-0' TO MAXIMUM OF 4-0' ON CENTRE.

LIS ALL OPENINGS IN FRAME WALLS TO BE PROVIDED WITH TIMBER LINTELS ON EDGE, UNLESS OTHERWISE NOTED.

• NAVIELANCE OF INDE OPENING 2/2/3/F LINTEL WITH 4" MINIMUM BEASERG LENGTH EACH DAY.

LENCA MODIFICIALS OF TO MAXIMUM 6" OF INDECIPENING 25" § 10" LINTEL WITH 6" MINIMUM BEARING LENGTH EACH END.
MODIFICIAL 6" OF TO MAXIMUM 9" OF INDECIPENING 25" X12" LINTEL WITH 6" MIN, LENGTH
ENGLAND 6" OF TO MAXIMUM 9" OF INDECIPENING 25" X12" LINTEL WITH 6" MIN, LENGTH

6.15 EXTEREDRITION WOOD TO BE CLEAR PINE OR CEDAR PRIMED ALL SIDES PLUS TWO COATS OF PAINT UNLESS OTHERWISE NOTED.

6.16 ALL FINISH CARPENTRY & INTERIOR WOODWORK SHALL LITULZE PREMIUM GRADE MATERIAL, APPEARANCE & WORKMANSHIP AS DEFINED BY AWARD.

6.17 HOLES IN FLOOR, ROOF 8 CELLING MEMBERS TO BE MAXIMUM Z 1 ACTUAL DEPTH OF MEMBER 8 NOT LESS THAN 2" FROM EDGES.

6.19 WALL STUDS MAY BE NOTCHED OR DELED PROVIDED THAT NO LESS THAN Z THE DEPTH O THE STUD REMARKS, IF LOAD BEARING, & TZ," IF NON-LOAD BEARING.

6.21 IN ALL CASES WHERE DRILLING 8 NOTCHING IS REQUIRED, CONSULT WITH THE DESIGNER/DAGNEER.

6.22 ALL NALING, STKING 6 STAPLES TO CONFORM TO CSA STANDARD B111; GALVANIZED FOR FYTERIN MICH. STREATFOLL MARKS.

 A MEMAIUM OF TWO DOUBLE STLOS, AT EACH SIDE OF A WINDOW OR DOOR OFFEING, ARE TO BE CONTINUOUS FROM THE SILL PLATE TO THE TOP PLATE. USE ONE OR TWO ADDITIONAL JACK STUDS TO BEAR UNTIL BEAM DIVID. 6.27 ALL PREPAREICATED STRUCTURAL WOOD BEAMS, POSTS 8. JOETS, SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

7.3 PROVIDE DONTINUOUS CLOSED CELL FOAMAIR SEAL BETWEEN SILL PLATES & CONCRETE FOUNDATIONS & BETWEEN SILL PLATES & PLYWOOD SUBFLOORS.

7.9 PROVIDE A SEALANT & BACKER ROO X** WIDE ON EXTERIOR AROUND PERIMETER OF NEW DOORS & INPUDITIES. PROVIDE CONTINUOUS PLASHING AT THE BASE OF ALL VENEER WALLS, BELOW SILLS 8 OVER ALL METAL LINTELS TO 16" VINL VERTICAL ION THE EXTENDED FACE OF SHEATHING, FLASHING BROUGHT AT INTERFERED TIMES OF BOOK WALLS VILL 19"KE A PARAFET WALLS.

7.11 ALL ALMENIUM FUSHING SHALL BE INFORMING ASL THEX 8 ALL ALLIAMHUM FLASHING IN CONTACT WITH MASCHINY SHALL BE EPPECTIVELY COATED OR SEPARATED FROM THE LIASYSTEP.

7.12 IF ALL ORDINO WATER IS NOT SATEFACTORILY REVIOUSED BY PERIMETER DRAINAGE THEN A SUMP PIT & PUMP ASE TO BE INSTALLED.

7.15 FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOPS WITH EXTERIOR WALLS & CHUMEN'S 7.16 SHEET METAL FLASHING SHALL DONSIST OF NOT LESS THAN X₁". SHEET LEAD, 0.013" GALVANCED STEEL, 0.018" COPPER, 0.018". ZINC, 0.8 0.014" ALLWINUM.

PASILATEN INCLUENG SPRAY FOM INSULATENS SHALL BE PROTECTED WITH GYPSUM BARID OR AN EDUNALISM INTERIOR FINISH, EXCEPT FOR UNIT MEHID BASEMENTS WHERE BAILTOUT IS SUFFEIGHT FOR FREEGLASS TYPE INSULATENS.

4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UND STURBED GROUND ADJACENT TO THE FOOTBOAT OR BELOW THE TOP BY THE BESIMENT SLASOR CRAME SPACE FLOOR & SHALL I COMERGE WITHOUT OF CRISHING STONE FOUNDAMEN PAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE OFFCH, DRY WELL OR SUMP PIT.

DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, B PROVIDIONS SHALL BE MADE TO PREVENT SCIL. EXXLOR.

3 THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP & ROOF OR A NAGE WILL IN ACCUMULATE AT OR NEAR THE BUILDING & WILL NOT ADVERSELY AFFECT ACACENT PROPERTIES.

8.1 WINDOWS & DOORS SHALL DOMPLY WITH SECTION 9.6 & 9.7 OF THE UNTARID BUILDING COD & CANCOSS 12 FERT INSTITUTION GLASS UNITS COMPLETE WITH OPERATING HARDWARE, SCREENS & WEATHERSTEPPING.

9.0 FINISHES

10.0 RESERVED

11.0 RESERVED

12.0 RESERVED

PLUMBING, HEATING, VENTILATION & AIR CONCILIDATING DESIGN & SERVIDES TO COMPLY WITH SECTION 9.31-9.33 OF THE ONTAFID BLAUDIS CODE & APPLICABLE MUNICIPAL STANDARDS, REFER TO DRAWNING AS FIRM IN-FIRM THERS.

16.0 ELECTRICAL

16.1 ELECTRICAL DESIGN & SERVICES TO COMPLY WITH SECTION 9.34 OF THE ONTAFIO BUILDING CODE ELECTRICAL CODE, 8 APPLICABLE MUNICIPAL STANDARDS.

No. 110 (N.1.5.1 styricz) / SHAMET STANDERS EXT. (1.5.7.1 EXTENDENT TYPE PLYMODO SHALTHER WITH THE CLESS APPROVED ROOF FRAMES (REFER TO PLANE) APPROXICED EXISTS PROTECTION TO SETTION OF THE OWN FRAMES 12 TOOLS BETWEEN BARRY FACE OF EXTERT BY WALL "CAST SHARD) THROUGH REPORT AND SCHOOLS OF CAST OFFICE AND THE CAST SHALTHER SHALTH AND APPROXICE SCHOOLS OF CAST OFFI AND THE CAST SHALTHER SHALTH AND APPROXICE SCHOOLS OF THE CAST OFFI AND THE SHALTH SHALTH SHALTH AND THE CAST OF T

SIDING WALL (2"x6") - 0.B.C. 9.23
SIDING SPER ELEVATION ATTACHED TO FRANTIS MEMBERS, FURRING MEMBERS OR SPERCELY SPENCES OF MEMBERS BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATH (12.7) EXTENDED THE SHEATHING ON 2 'W' (38) 14(5) SPRUCE STUDGS SHEATHING SHEATH

(3) SIDING WALL @ GARAGE CONST. (2"x4") - 0.B.C. 9.23
SEDIG AS PER BLEVATION ATTACHED TO PRAUDIG MEMBERS, FLIRENG MEMBER DERLOCKING ENTER THE PRIMARY BEAUTION DESIGNED AND MEMBERS OF THE ATTACHMENT OF PRIMARY BEAUTION OF THE PRIMARY BEAUTION OF TH

CE BRIDX 11 (23) AIR SPACE, 27:3750 031 (22) 1800 (74) GALX, METAL TIES (9 161 HORIE: 241 (603) D.C. VERT. TIES TO BE IN CONTACT WITH WOOD STUDS ONLY. LEHEATHING PAPER, 27 (12.7) EXTERIOR TYPE SHEATHING, 27:56 (38) (40) STUD O.C.

T2.71 CEMENT BOXAGE FOR THE 8 SHOWERS TO RESERVE THE PROVIDE WEEP HOLES & SIGN OLD. BOTTOM COURSE AND OVER OPERIORS. PROVIDE BASE PLASHING UP MIN. 0"
(100) BEHTIO DELL'ENG PAPER.

② BRICK VENEER WALL @ GARAGE (2"x4") - 0.8.C. 9.20 8 9.23 € (20) BILD YEARS IN ED WOOD IRRADIU MIRRES BY (2"yr 1"gol. 1"yr 1"gol. 1"go

● INTERIOR STUD PARTITIONS

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(a) EXTERIOR LOFT WALL (2'x6") - 0.B.C. 9.23

WHITE ORDER CHAPTER HERE AND AN ADMINISTRATION OF CHAPTER CHAP



(S) FOUNDATION WALL/FOOTINGS: - O.B.C. 9.15

PROTECT ENVIRONMENT DAMPHONE THE JAME OFF, DOLLMAND LAVIER, DOMENAND LAVIER BY THE PROTECTION OF THE JAME AND LAVIER BY THE PROTECTION OF THE SENSE THAT HAS DEADLY SERVED THE LAVIER BY A DESCRIPTION OF THE SENSE THAT HAS DEADLY SERVED THAT HAS DEADLY S

EXPOSED FLOOR TO EXTERIOR

PROVIDE BATT INSULATION (SEE COMPLIANCE PACKAGE CHART), 6 INTPOLY
WARDER BARBER & CONTRA ARE BARBER, PAUSHED SOFTET.

ALL STAIRS/EXTERIOR STAIRS - 0.B.C. 9.8.

FOR CURVED STARS

MIN. RUN = 10" (255) WHEN MEASURED AT A POINT 12" (300) FROM
THE CENTRE LINE OF THE INSIDE HANDRAIL

GUARDS/RAILINGS - 0.B.C. 9.8 INISHED NON-CUMBABLE GUARD/PAILING (4° TO 35° ABOVE FLOOR) WITH D.C. MAXINUM SPACING BETREEN PICKETS. THE MINIMUM SPECIFIED HORZOOTAL LOAD APPUED INWARD OR DUTINA

DUARDS O R.C. 9.8.8 INTERIOR GUARDS 2:11" (900) NIN. EXTERIOR GUARDS: 3:6" (1074) MIN.

(1) 2 MF (88x140) SILL PLATE WITH \$\frac{1}{2}\cdot (12.7) D ANDHOR BOLTS 10' (290) LONG. EMERCIDED MINU-E (1000 INTO OCHIC. (9.7-10' (2400) O.C., CAULIANNO DE BASKET BETWEEN PLATE 8 TOP OF FOUND. WALL: USE NOM-SHRINK BROUT TO LEVEL SILL.

BEARING STUD PARTITION MATERIAL X* (12.7) & ANCHOR BOLTS 8* (200) LONG, EMBEDDED 4* (100) DONG, § 7-10* (2400) G.C. 4* (100) HIEH CONG, DURBON 22*16* (5604) 95 FOOTING, ADD HORIZ BLOCKING AT MID HEIGHT F WALL IS UNFINERED

STEEL BASEMENT COLUMN

(III) STEEL BASEMENT COLUMN

"PATRESS OF INTERPRETATION AND STATE OF BY OF BY

STEEL COLUMN

"FORM TO BE (IS SHOWN DUBSTABLE STEEL COL. TO BE ON 6'49'49.8"

(ISO 1009 6 STL. TOP PLATE 8 6'44'49'6' (150 1009-5) BOTTOM PLATE BASE
PLATE 6'4'4'19'4' (150250042') WITH 5'4'6' 12' (1009-5'19'40'AM0H06'S (2-12'800436)) FLED WIELD ON. TO BASE PLATE BASEMS.

TOP 8 BOTTOM. FIELD WILD BAYCOL CONNECTION 44"44"420" (1130/1130) CONC. FOOTING REINF. WITH 15M (316" D.C., TOP 8 BOTTOM EACH WAY ON UNDISTURBED SID. OR RICHMERPED FILL CAPABLE OF SUSTAINING A PRESSUR 150 KPU MINIMUM & AS PER SIDLS REPORT.

127 (1964) CONTINUOUS WOOD STRAPFING BOTH SIDES OF STEEL BEAM. (II) GARAGE SLAB: SARAGE SLAB:

- (TIGH) STAME (GARDE) COND. SLAB WITH LEP, ANI ENT RELIMENT RETHE WE 650°

6-6 (1952) ISO MAYES 750W/18-77 WITE MESH LOCATED NEAR MED DEPTH OF SLAB ON

- (100) COUNTE STAMEN IT LE WITE COMPACTED SUPPLYSE OR COMPACTED

MATTER FLL SLOPE TO FROM § 15 Value.

(IS) Z. (12.7) GYPSUM BD. ON WALL & CHILD'S BETWEEN HOUSE & GARAGE. BATT PASULATION IN WALLS & CELLING (SEE COMPLIANCE PACKAGE CHART). TAPE & SEAL ALL JUDITS GAS TIGHT. 20 MIN. F.R.R. DODR & FRAME GASPRODFED. DODR EQUIPPED WITH SELF CLOSING DEVICE & WEATHERSTRIPPING.

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX PIECE 78° (200), MIN. TREAD 98° (236).

FIREPLACE CHIMNEYS - 0.B.C. 9.22 WHICH IT COMES IN CONTACT WITH THE ROOF \$ 2.0" (600) ABOVE THE ROO SURFACE WITHIN A HORE. DISTANCE OF 10"0" (3000) FROM THE CHIWNEY.

MECHANICAL VENTILATION TO PROVIDE MINIMUM ONE AIR CHANGE PER HOUR AN SHALL CONFORM TO SUBSECTION 9.32.3 OF THE O.B.C. STEEL BEARING PLATE FOR MASONRY WALLS

AIN. 6" (1 S) COMCRETE SLAB ON GRADE ON 6" (1 SO) COARSE GRANULAR FE REINFORCED WITH MAIL WITE MISH PLACED NEAR NID-GEPTH DF SLAB. C STRENGTH SCHIFE (4640) BUTH SSS. AR ENTRAINMENT (§ 28 DAYS DN

SUBFLOOR, JOIST STRAPPING & BRIDGING Z**(15 8) SPRUCE TRE SUB-TLORR BLUED & SCREWED DOWN CONFORMING TO BE 923-14 ON WOOD FLOOR AUSTS. DEALOR THE APPLICATION SHALL CONFORM TO 93.6. ALL, DISTS TO BE STRONG MITH YEZ (SHALL ROSS SHALL DOS 93.00 BLUDGING (GH 111 (210)) D.C. MAX. ALL, DISTS TO BE STRONG WITH 113' (196-6) GH 11' (210) D.C. MAX. ALL, DISTS TO BE STRONG WITH 113' (196-6) GH 11' (210) D.C. MIRES & PARIAL THE PRIME BE APPLED.

EXPOSED BUILDING FACE - 0.B.C., 9.10.14.4. & 9.10.15.4

DOISSIDE IN THE FACE VIDEA INTERES DISTANCE (BST THAN 1-17 TOXIO)
FOCE THAN A THE SECTIONACE WITHOUT OF SOIL TEST HAN 4 S UN-BUTTES &
DOISON OF THE SECTION OF SOIL TEST HAN 4 S UN-BUTTES &
DOISON OF THE SECTION OF SOIL TEST HAS SUM-BUTTES &
SPECIFICATIONS. COLD CELLAR PORCH SLAB -0.B.C. 9.39

(2) CONVENTIONAL ROOF FRAMING -O.B.C. 9.23.13
SOURCE OR ASSAULE

22 CONVENTIONAL ROOF FRAMING -O.B.C. 9.23.13
2nd (Send) RAPTICES is not (1000.00, 2nd) (Send) RADIC SOURCE.

23 CONVENTIONAL ROOF FRAMING -O.B.C. 9.23.13

TWO STOREY VOLUME SPACES J WO STOREY VOLUME SPACES:

"WAS THE STOREY VOLUME SPACES."

"WAS 0) TYPECAL 1 HOUR FIRE RATED PARTYWALL. REFER TO DETAILS FOR TYPE & SPECE CATERS.

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH ≥ 92%

BELOW GRADE SLAB

DOMESTIC WATER HEATER

DOOR SCHEDULE

ELECTRICAL LEGEND

WALL MOUNTED FIRTURE

PORCELAIN SOCKET FIXTURE.

DOWNER SHOTCH

TELEVIEIDN OUTLET

S.D./CD1 HARD WIRED COMENATION SMOKE A

CAT6 & RG6 IN ONE BOX

CELING MOUNTED SPEAKE

CLEARANCE X APPROVED BY: NO SHIP

ADDITIONAL NOTES:

AUTOMATE: DOOR OPENER

===== STRIP LIGHTS FOR COVES, UNDER CARINETS & ABOVE YANGING

SINGLE POLE 2 HWY SIN FICH AT SPECIFIED HEIGH

WIDTH HEIGHT THK, STYLE

TE: THE MINIMAL THERMAL PERFORMANCE OF THE BULLETING EN-

MIN, NOMINAL R

MIN, EFFECTIVE R MIN, NOMINAL R

STUCCO WALL CONST. (2"x6") 12. I SRI BES SYSTEM CONFORMING TO O. R.C. REQUIREMENTS 8 APPLIED PER MANUFACTURERS SPETIFICATIONS (REPER TO QUECK COME DETAIL) OVER TROWEL ON A RANDETURE BLANE ON D. (12.7) EET. TYPE DEVELASS DOLO SHACHING ON 25% (20.10) SPEADE STUCK §1 16 (20.0) CC. BATT INSOLATION

(5) CONC. BLOCK FOUNDATION WALL

PROVIDE 4-15% 24" LONG DOWELS FROM EXISTING FOOTING TO NEW FOOTING, DRILLINGS, INTO DESTRUCTIONS & GROUT SOLID USING A HILTINIT HY200 ACHESIVE SYSTEM OR APPRIENT FOULD.

 PROVIDE 19M (24" LONG DOWELS (§) 12" O.C. IN CENTRE OF POOTING ERALL MIN. 6" INTO EXISTING FOOTING & GROUT SOLID USING A HEIT HIR HY200 ADHESINE SYSTEM OR APPR FOULD. WINDOWS - O.B.C. 9.7

3) WINDOW IN BUT STA PARAYS
WINDOWS IN DUT STARWAYS THAT EXTEND TO LESS THANGED (INC) SHALL BE
PROTECTED IN GUNGES IN ACCIDENMENT IN THIND IT BY (MAYNE), OR THE
WINDOW SHALL BE
LOADS FOR BALCOMY GUARGE AS PROVIDED IN PART 4 OF THE DIVINAD BALLON

EXCEPT FOR WALL OPENINGS LOCATED LESS THAN 150mm (\$\frac{1}{2}\) ABOVE GROUND LEVEL, WHERE A CONCEALED FLASHING BY NOT INSTALLED BENEATH A WINDOW AND DOOR SILL, SUCH SILLS SHALL BE PROVIDED WITH AN OUTWARD SLOPE AND A DEP MEDIAMEALY
MECHANIZAL YENTILATION IS REQUIRED TO PROVIDE 1 AIR CHANSES PER HOUR IF
NOT AR COMMITTURED, SPER HOUR IF AR CONCIDENCE AVERAGED OVER 24
HOURS, SEE MECHANICAL DRAWINGS.

LUNBER EXPOSED TO THE EXTERIOR TO BE SPELICE No. 2 GRADE PRESSUR TREATED OR CEDIAL UNLESS NOTED OTHERWISE.

 ALL LAMINATED VENER LUMBER (LVL) BEAVIS, GIPDER TRUSSES, & METAL HAN CONNECTIONS SUPPORTING ROOF FRANKING TO BE DESIGNED & CERTIFIED BY 5) IN BEAMS SHALL BE 20'F FOR THOSE AMALES, THE ABODIS OF THE DRAIDST NATIONAL DECEMPANT OF THE ABODIS OF THE ABODIS OF THE ABODIS OF THE ABODIS OF SEASONESS OF THE ABODIS OF THE ABODIS OF THE ABODIS ABODIS OF CITY OF COMPANIES OF THE ABODIS OF THE AB

6) ALL OTHER BUILT-UP WOOD BEAMS TO CONFORM TO 080 9.23.8.3

PROVIDE TOP MOUNT BEAM HANGERS, TYPE "SC!" MANUFACTURED BY MGA CONNECTOR LTD, T4L (505) 645-9175 OR BOUNL FOR AUL LYLL BEAM TO BEAM CONNECTIONS, LINLESS NOTED OTHERWISE.

9) HODD FRANKING HOT TREATED WITH A RODD PRESERVATIVE IN CONTACT WIT CONCRETE, SHALL BE STRANKING PROVING THE CONT. BY AT LEAST 2 MILL POLYCENTHISELER IM MA. 300 (MESON) LIR GOMBIOC ORD RES AND PROOF HO MATERIA, DOCEPT METER THE WOOD MEMBER BLAT LEAST 6" (199) ABOVE THE GOODING.

FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES

OLEARANCES FOR AND AROUND GAS, PROPANE AND ELECTRIC RANGES SHALL
CONFORM TO 0.8.C. 9.10.22.2 AND 9.10.22.3

CAULANG
CAULANG SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE AND SHALL CONFIDENT TO DRIC 9.77.4

CONTROL TO A STATE OF THE STATE THE WIDTH OF THE STUD POST SHALL NOT TO BE LESS THAN WIDTH OF THE SUPPORTED GIRDER OR BEAM.

> NALL TILE FINISH
>
> THE APPLICATION OF CERAMIC OR PLASTIC TILE WALL FINISH SHALL CONFORM TO
> BEC 2.00.10 OMBINATION SMOKE & CARBON MONOXIDE ALARM THAT ILE AT LEAST DRE SMICE ALARM ON EACH STOREY, INCLUDING MASSEMENT, AN YETRORY CONTAINED SETEMBOR BOOMS A REACH ALARM SHALL BE CONTAIN ON THE MASSEMENT BY A HALL MAY THE ADDRESS AS SERVED BY A HALL MAY THE ADDRESS AS SHALL BE HAS SHALL BE DISTAILED ON DRIVER HALL MAY MAY AND SHALL BE PASSIVED IN THE MASSEMENT OF THE MASSEMEN

S 0.700 HARD WIRED COMENATION SMOKE ALARW/ CARBON MONOXIDE ALARM.

INTERIOR PAINTED WHITE

ELECTRICAL NOTES -ALL WORK MUST CONFORM TO ONTARIO HYDRO REGULATIONS & THE ONTARIO BUILDING CODE. *ELECTRICAL LAYOUTS SHOWN ARE INTENDED AS A QUIDELINE ONLY. SITE CONDITION MAY VARY. ENSURE ADEQUATE LIGHTING & SWITCHING IN AREA •ALL SWITCHES & RECEPTACLES TO BE WHITE DECORA STYLE UNLESS OTHERWISE SPECIFIED OR TO MATCH EXISTING. ALL SWITCHES TO BE MOUNTED 42" AFF TO U/S OF ELECTRICAL BOX UNLESS OTHERWISE SPECIFIED.

DESCRIPTION

EXTERIOR INSUL. MIN. R4 (RSI 0.7) DOOR & FRAME GAS PRODED. 20 MIN. F.R.R. DOOR EQUIPPED WITH SELF CLOSING DEVICE & WEATHER STRIPPING

XTERIOR INSUL. MIN. R4 (RSI 0.7) & WEATHER-STRIPPING

\$0.00 WOOD BEAFING \$JJ - 1,100K STLD + 7 KING STLD \$AC 2,20K STLD + 1 KING STLD \$AC 3,40K STLD + 1 KING STLD \$AC 4,40K STLD + 1 KING STLD \$AC 5,40K STLD + 1 KING STLD \$AC 6,40K STLD + 1 KING STLD

THE NUMBER OF STUDS DIFFICILLY BELOW A GROEF TRUSSES OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37, OR DESIGNED IN ACCORDANCE WITH DN. B, PART 4, AS PER OBC 2006, DN. B PART

ALL RECEPTACLES, TELEPHONE, CABLE, ETC. TO BE MOUNTED 12" AFF TO U/S OF ELECTRICAL BOX. ELECTRICAL, HVAC, PLUMBING NOTES

ALL PLINE INC SUPPLIES TO COME OUT FROM WALL FOR TOLLETS
(12" AROVE SUP-LOOR)
(15" AROVE SUP-LOOR)
(15" OUT OF A PATURIST OF BE 12" ABOVE SUP-LOOR
(15" OUT OF LECTED ALL DELET FALLS TO BE 12" ABOVE
USE-LOOR
(15" OUT OF ALL DATA/COMMUNICATION AND ALL DATA/COMMUNICA ALL RECEPTACLE BOXES DOUBLE GANG OR MORE TO HAVE 2":W"

IN BOTH SIDES OF BOX FOR ORYNVALL BACKING SUPPORT

The contractor must varify and accept responsibility for all 6 messions and conditions as size and must not by the Designer, of any variations or disprepancy from the vary label of a matter, before proceeding with the work. he Designer is not emporable for the accuracy of survey, structural, mechanical extricts anginecing information, etc. (the "Consultants"), which is shown on this traving, lifefor to the appropriate Consultants drawings before proceeding with the ing is not to be scaled. All architectural symbols indicated on this drawing to representations only.

Aug 23 2013 V. BRINOVEC

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MARK TATONE

Construction must confirm to all applicable codes and requirements of the authorities using jurisdiction. Bulling otherwise screed, no investigation has been undertaken or apoint or as the Delaymen, in regards to the environmental senction of the site or which this devirement without.

Issued for Building Permit. August, 21, 2023
Issued for Heritage Roview. August, 21, 2023
Issued for Client review May, 26, 2023

CONSTRUCTION **NOTES**