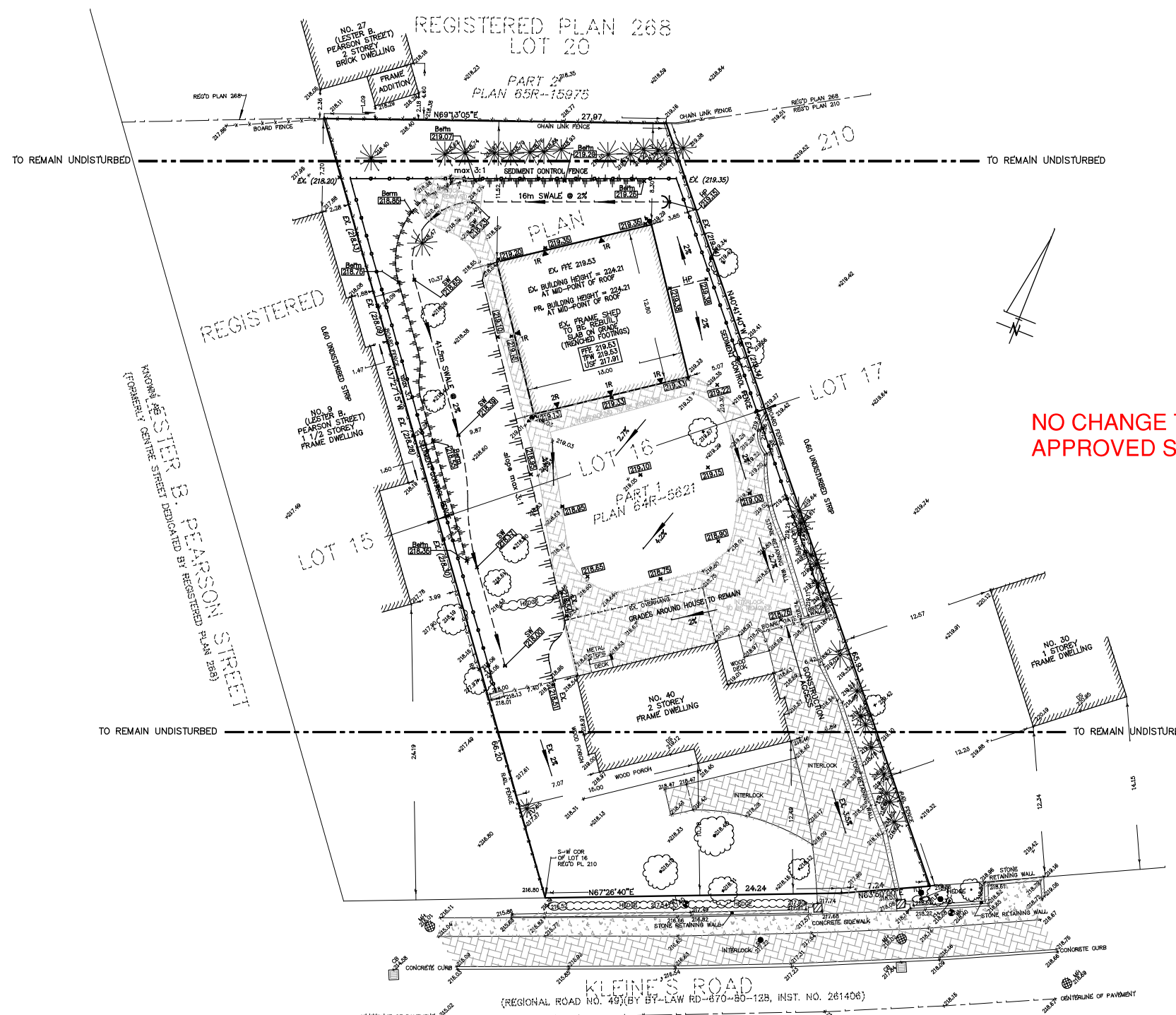


**ATTACHMENT 4
40 NASHVILLE**



METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GEODETIC: ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 54-5 ELEVATION = 218.114 METRES.

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL ONLY BE USED FOR THE PURPOSE AS SHOWN IN THE TITLE BLOCK. THIS PLAN SHALL NOT BE USED FOR MORTGAGE OR TRANSACTION PURPOSES.

THIS SKETCH HAS BEEN PREPARED FOR MR. FRANCESCO BERNALDO AND GUIDO PAPA SURVEYING A DIVISION OF J. D. BARNES LIMITED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BOUNDARY INFORMATION SHOWN HEREON HAS BEEN DERIVED FROM OFFICE RECORDS AND IS SUBJECT TO A LEGAL SEARCH AND A FINAL SURVEY.

LEGEND:

CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
RF	DENOTES	RAIL FENCE
CLH	DENOTES	CENTERLINE OF HEDGE
SRW	DENOTES	STONE RETAINING WALL
TLP	DENOTES	TELEPHONE PEDESTAL
LS	DENOTES	LIGHT STANDARD
WK	DENOTES	WATER KET
FH	DENOTES	FIRE HYDRANT
WV	DENOTES	WATER VALVE
MH	DENOTES	MANHOLE
CB	DENOTES	CATCH BASIN
N.E.S.W	DENOTES	NORTH, EAST, SOUTH, WEST
100.00	DENOTES	EXISTING ELEVATION
100.00	DENOTES	PROPOSED ELEVATION
→	DENOTES	RAINWATER LEADERS - DIRECTED GARDEN STREET
→	DENOTES	SUMP PUMP TO DISCHARGE ONTO CONCRETE SPLASH PAD.
→	DENOTES	SANITARY GRINDER PUMP (BY OTHERS)

HOME OWNER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES, CONCRETE OR ASPHALT WORKS.

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

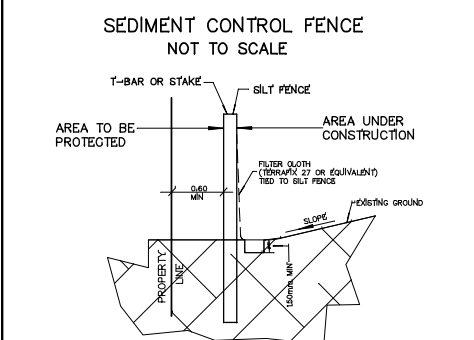
HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

- LID NOTES:**
1. Installing a French drain to collect and redirect the flow of water. The perforated pipes will enable the stormwater to be redirected to a more desirable location away from the property and into a more pervious surface of stormwater drain.
 2. By increasing the depth of top soil from 4" to 6" thereby providing more water retaining capacity and drainage.
 3. Adding mulch in the existing soft landscape will further provide more drainage.



NOTES:

1. MATERIAL REMOVED FROM TRENCH TO BE PLACED ON TOP OF FILTER CLOTH

LOT GRADING PLAN -- 40 NASHVILLE ROAD
STRUCTURAL RE-BUILD/ALTERATION OF EXISTING REAR YARD SHED
LOT 16
REGISTERED PLAN 210
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE = 1:200 m

- GRADING AND DRAINAGE NOTES**
1. All site plans, drawings and construction shall comply with the City of Vaughan Lot Grading Criteria, City of Vaughan Engineering Standards, and applicable Provincial Standards, the Ontario Building Code, Subdivision Agreement and By-Law 1-88 unless otherwise approved.
 2. Approval of this site plan does not release the Builder/Applicant/Owner of their responsibilities to ensure the proposed drainage works are compatible with the overall drainage within the subdivision. Proposed lot drainage shall not adversely affect adjacent properties.
 3. Alterations to existing grades shall not be permitted within 600mm of lot lines unless specifically approved as part of this permit. The approved grading/drainage pattern for this lot/block shall be maintained and alterations not approved as part of this Permit shall be restored by the Builder/Applicant/Owner to the satisfaction of the City of Vaughan.
 4. Sedimentation/siltation control measures shall be installed prior to construction and offset a minimum of 600mm from lot line. These measures shall be maintained in order to prevent any adverse to adjacent lands. Refer to attached sample drawing.
 5. Builder shall verify existing and proposed grade elevations prior to construction. Footings to bear on undisturbed soil and be a minimum of 1.2m below finished grade.
 6. Provide elevation for: top of foundation wall; underside of footing; top of basement floor and finish floor.
 7. Show reverse veneer wall where applicable.
 8. Sanitary and Storm Invert Elevation shall be shown at main lateral connection and at property line. City Engineering Department/York Region approval is required for sanitary, storm and water box location and installation to the lot line prior to construction.
 9. Water, storm and sanitary services that are to be reused or decommissioned are to be identified on the drawing.
 10. Downspouts of Rain water Leaders shall discharge onto splash pads and drain towards the street. Splash pads shall outlet over sodded land where possible to encourage infiltration of surface runoff.
 11. High Point on split lot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.
 12. Top of foundation walls, exterior cladding, window and door sills shall be a minimum of 150mm above finished grade.
 13. The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. off all foundation walls conform to OBC, OBC subsection 9.15.4 shall apply.
 14. All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.
 15. Drainage swales shall be graded with a 2% - 5% gradient. Desirable swale depth is 250mm. Minimum swale depth is 150mm. Maximum swale depth is variable and depends on location and safety considerations, but must not exceed 450mm.
 16. Centreline of swales shall be located 600mm from lot lines unless otherwise approved.
 17. Centreline of swales must not be located less than 600mm from any foundation wall.
 18. Artificial embankments and retaining walls shall not be permitted unless approved as part of this Permit. The maximum embankment slope shall be 3:1 (horizontal to vertical) with a maximum grade differential of 600mm.
 19. Proposed retaining walls are to be constructed in accordance with the City of Vaughan Lot Grading Criteria and By-Law 1-88. Retaining walls exceeding 1.0 metre in height shall be designed, inspected and certified by a Professional Engineer and shall be served by guards or otherwise treated to reduce any public hazard. All retaining walls shall be constructed of stone, precast blocks or concrete. A retaining wall which exceeds 1.0 metre in height must be set back from the nearest property line of distance equal to its height.
 20. Driveway grades shall be 1.5% - 8% and compatible with approved sidewalk grades. Boulevard grades shall be 2% - 5%.
 21. Driveways shall be a minimum of 1.0m from any tree, catch basin or above ground utility or other obstruction.
 22. Water service stops are to be located in the grass portion of the front yard, as per City of Vaughan Standards 1-1.
 23. Driveways, curb cuts and driveway culverts shall be located, approved and constructed in accordance with the requirements of the City Engineering Department, York Region and By-Law 1-88. A separate permit is required from the City of Vaughan Engineering/Public Works Department for curb cuts and/or proposed culverts.
 24. Footings constructed next to catch basin lead pipe or other Municipal Service shall be inspected below lead pipe excavation. Footings must be constructed on undisturbed soil or Soil Consultants verification required.
 25. If the proposed construction is in an area of fill a Professional Engineer is to inspect the excavation and certify the stability and bearing capacity of the soil prior to construction.
 26. Prior to Letter of Credit release the Owner shall submit an abutment survey illustrating both proposed and as constructed grade elevations. A Storm Water Management report authored by a Professional Engineer and/or Lot Grading Certification by a Professional Engineer or Ontario Land Surveyor shall be submitted to the City upon their request.
 27. Post construction flows, from a 6 year storm frequency, shall not exceed the flows for preconstruction conditions, for the same storm, unless it is demonstrated to the satisfaction of the City that uncontrolled flows will not adversely affect the existing drainage patterns. (These flows shall be computed using the rational method only.)
 28. The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties (OBC 9.1.5.1.1)
 29. TRCA approval required where grade changes will occur that affect regulated areas; existing natural or artificial watercourse, open channel, swale or ditch used to drain lands.

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

- 1) THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
- 2) THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
- 3) THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
- 4) THE BUILDER IS RESPONSIBLE FOR RELOCATION OF THE UTILITIES ON THE SITE.
- 5) ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
- 6) WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

AUGUST 25, 2023
DATE

[Signature]
VALERIO G. PAPA
ONTARIO LAND SURVEYOR
(This is NOT an original copy unless witnessed with a seal)

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No.	REVISIONS	APPROVED	DATE
		STRUCTURAL RE-BUILD/ALTERATION OF EXISTING REAR YARD SHED	

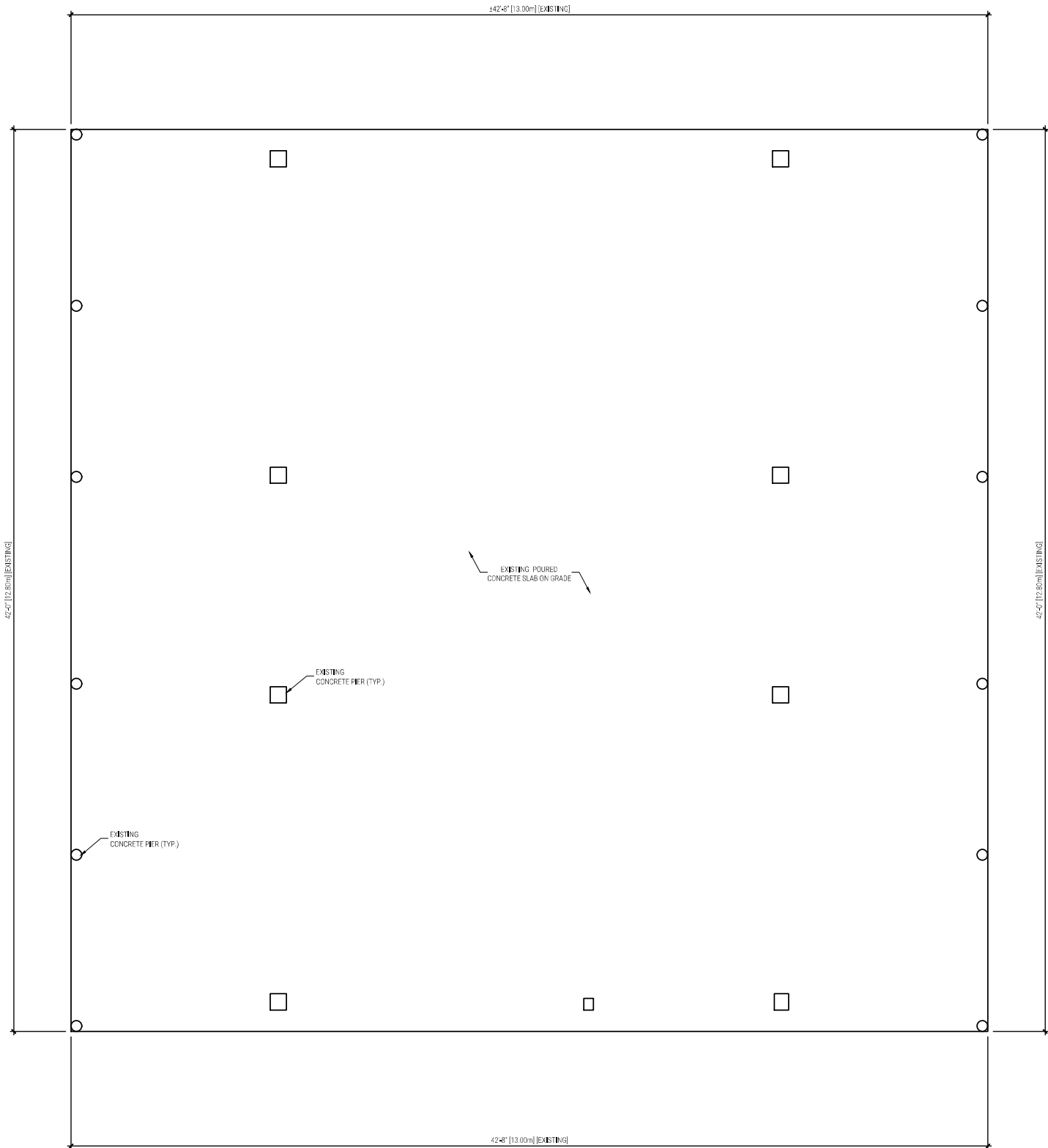
CITY OF VAUGHAN
LOT GRADING PLAN

GUIDO PAPA SURVEYING
A Division of J.D. Barnes Limited

UNIT BY: 9135 KEELE ST., VAUGHAN, ON L4K 0J4
T: (289) 553-5961 F: (289) 553-5986 www.jdbarnes.com

DRAWN BY: V.G.P. CHECKED BY: V.G.P. REFERENCE NO.: 19-18-339-006RD

- NOTE:**
1. CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION.
 2. PROVIDE TEMPORARY BRACING/SHORING CONTIN. TO BSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)
 3. PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV. MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)
 4. G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



**NO
CHANGE**

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

1 EXISTING FOUNDATION PLAN
A1.1 1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Nick Menonna *[Signature]* 23967
Name Signature BCIN

VERUS DESIGN INC. 110512
Firm Name BCIN

MARK TATONE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

1. Issued for Building Permit August 21, 2023
2. Issued for Heritage Review August 21, 2023
3. Issued for City Review May 25, 2023

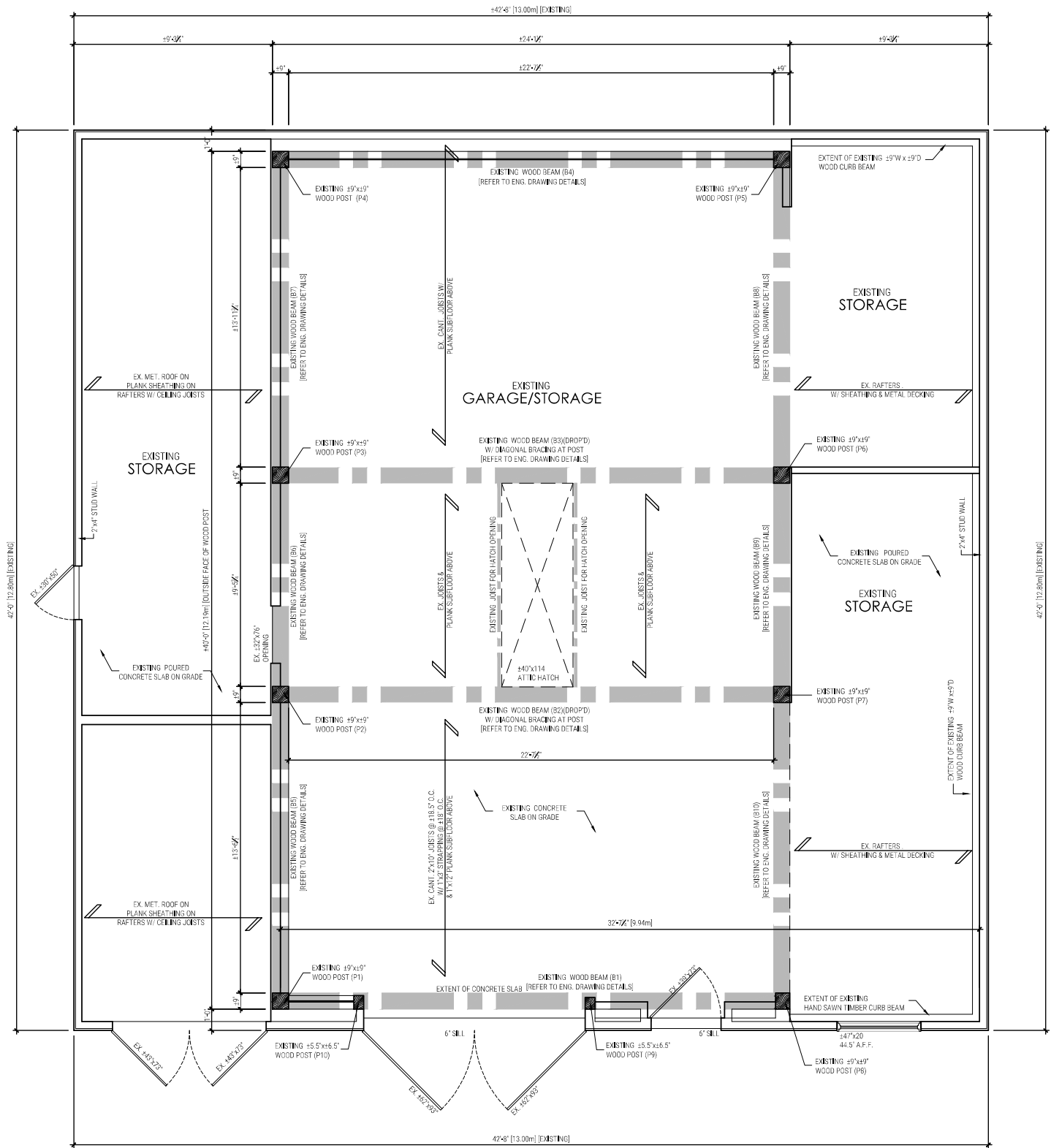
EXISTING FOUNDATION PLAN

As Noted

A1.1

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

- NOTE:**
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NO CHANGE

1
A1.2 **EXISTING GROUND FLOOR PLAN (1792 sq. ft.)**
1/4" = 1'-0"

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

40 NASHVILLE ROAD
KLEINBURG, ONTARIO

MARK TATONE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Name: Nick Menonna
Signature: *[Signature]*
23967
EX-10

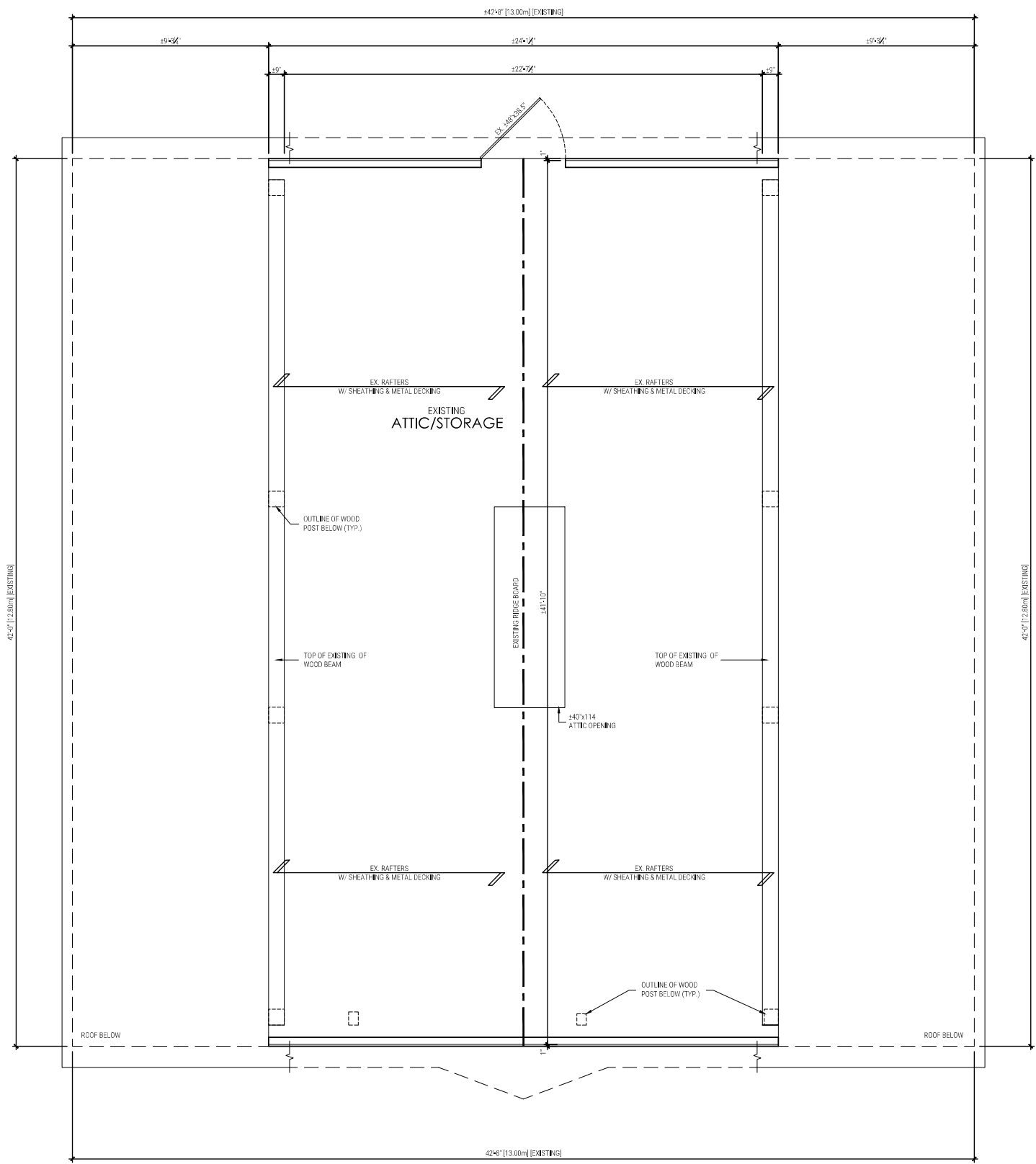
Firm Name: VERUS DESIGN INC.
110512
BCR1

EXISTING GROUND FLOOR PLAN

As Noted

A1.2

- NOTE**
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NO CHANGE

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

1 EXISTING SECOND (ATTIC) PLAN
A1.3 1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Nick Menonna *[Signature]* 23967
Name Signature BCIN

VERUS DESIGN INC. 110512
Firm Name BCIN

MARK TATONE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

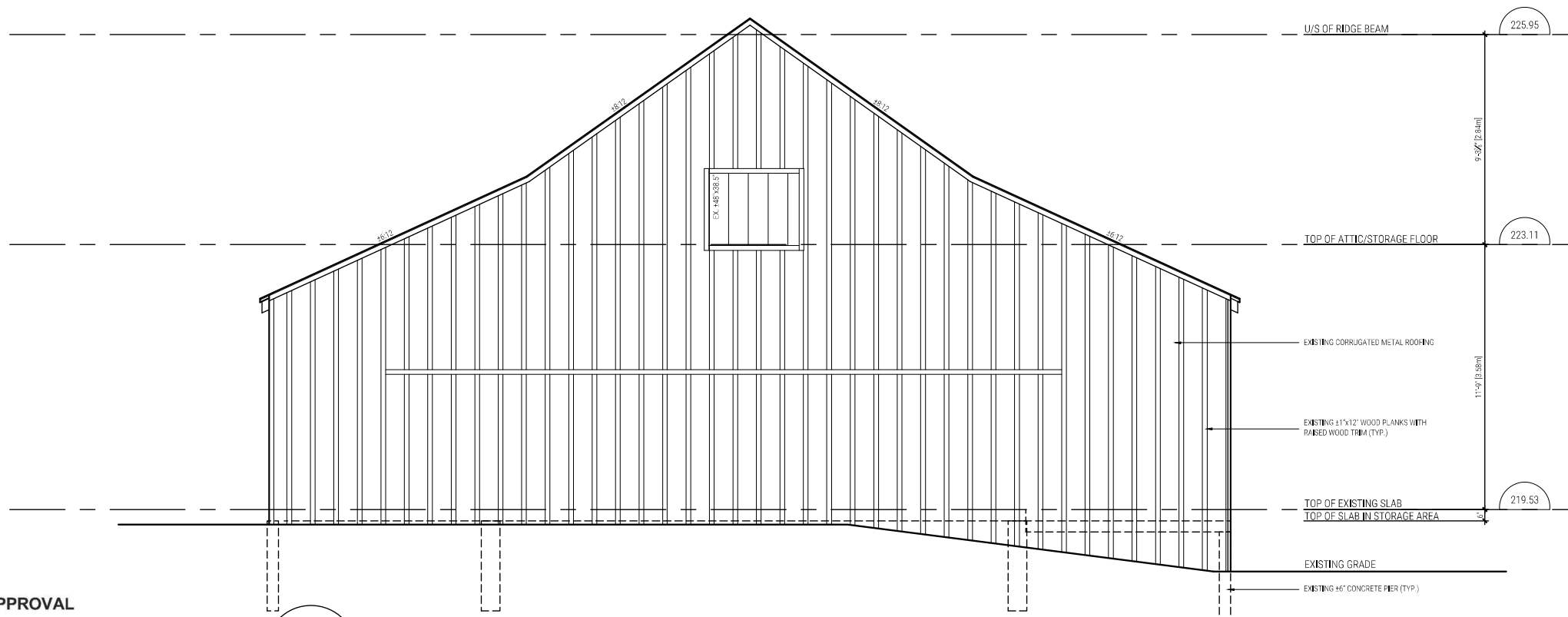
August 21, 2023
August 21, 2023
May 26, 2023

EXISTING SECOND FLOOR PLAN

As Noted

A1.3

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED



2
A2.1 **EXIST'G REAR (NORTH) ELEVATION**
1/4" = 1'-0"

NO CHANGE

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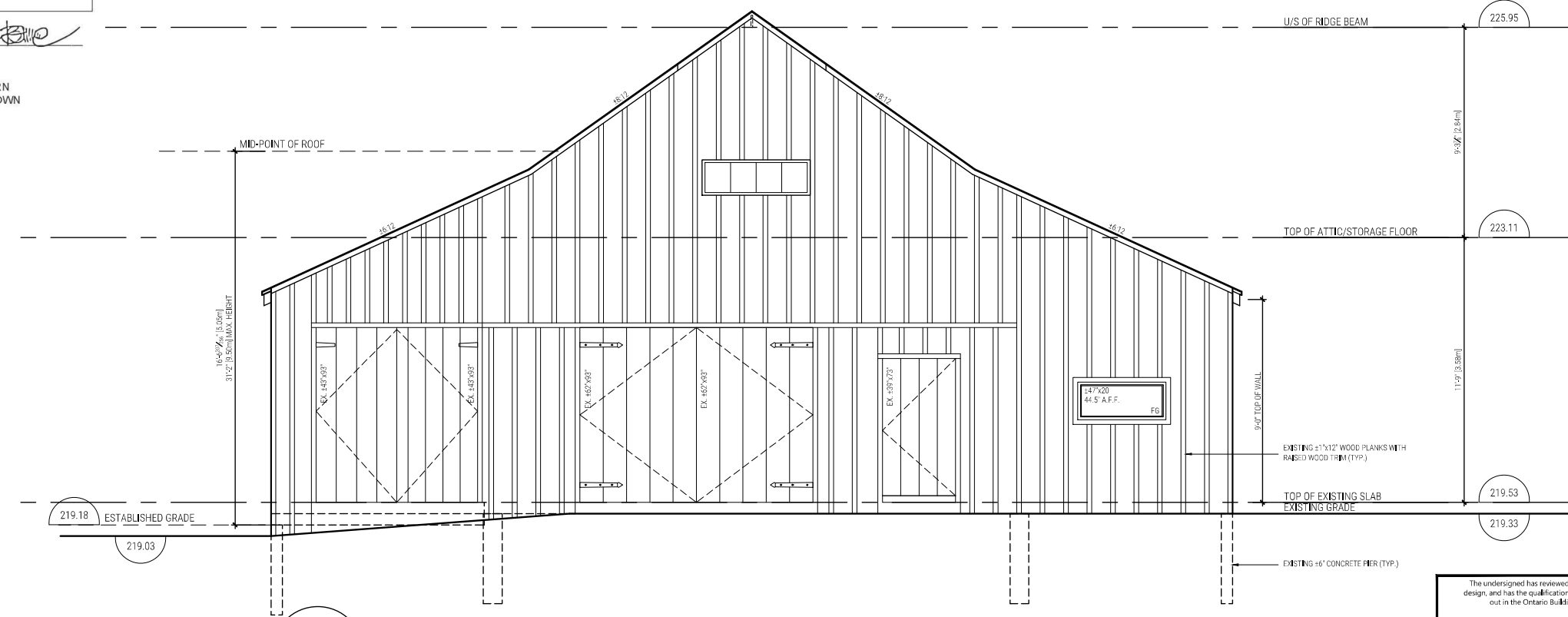
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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



1
A2.1 **EXIST'G FRONT (SOUTH) ELEVATION**
1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Name: *Nick Menonna* Signature: *[Signature]* 23967
Firm Name: VERUS DESIGN INC. 110512

MARK TATONE

VERUS DESIGN INC. is a registered professional engineering firm in the Province of Ontario. The undersigned is a registered professional engineer in the Province of Ontario. The undersigned is a registered professional engineer in the Province of Ontario. The undersigned is a registered professional engineer in the Province of Ontario.

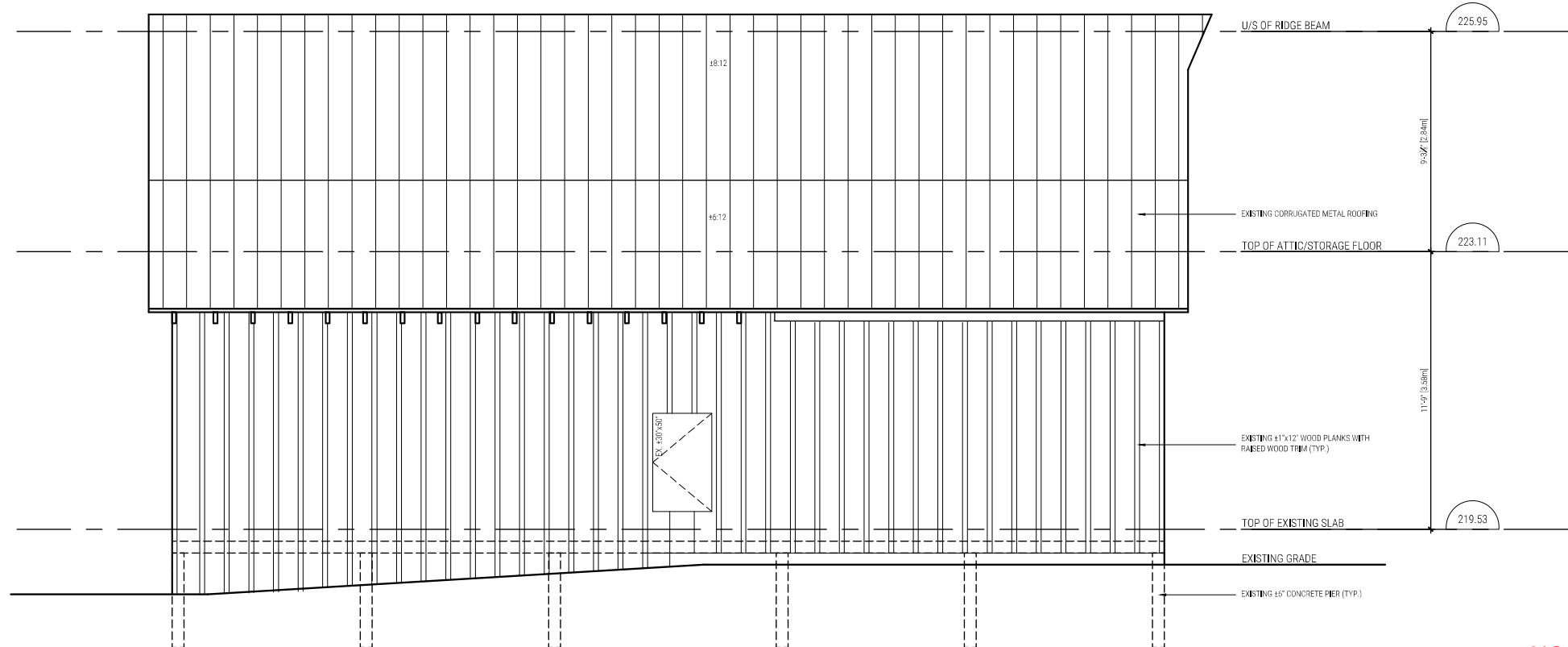
1. Issued for Building Permit August 21, 2023
2. Issued for Heritage Review August 21, 2023
3. Issued for Urban Review May 25, 2023

EXISTING ELEVATIONS

As Noted

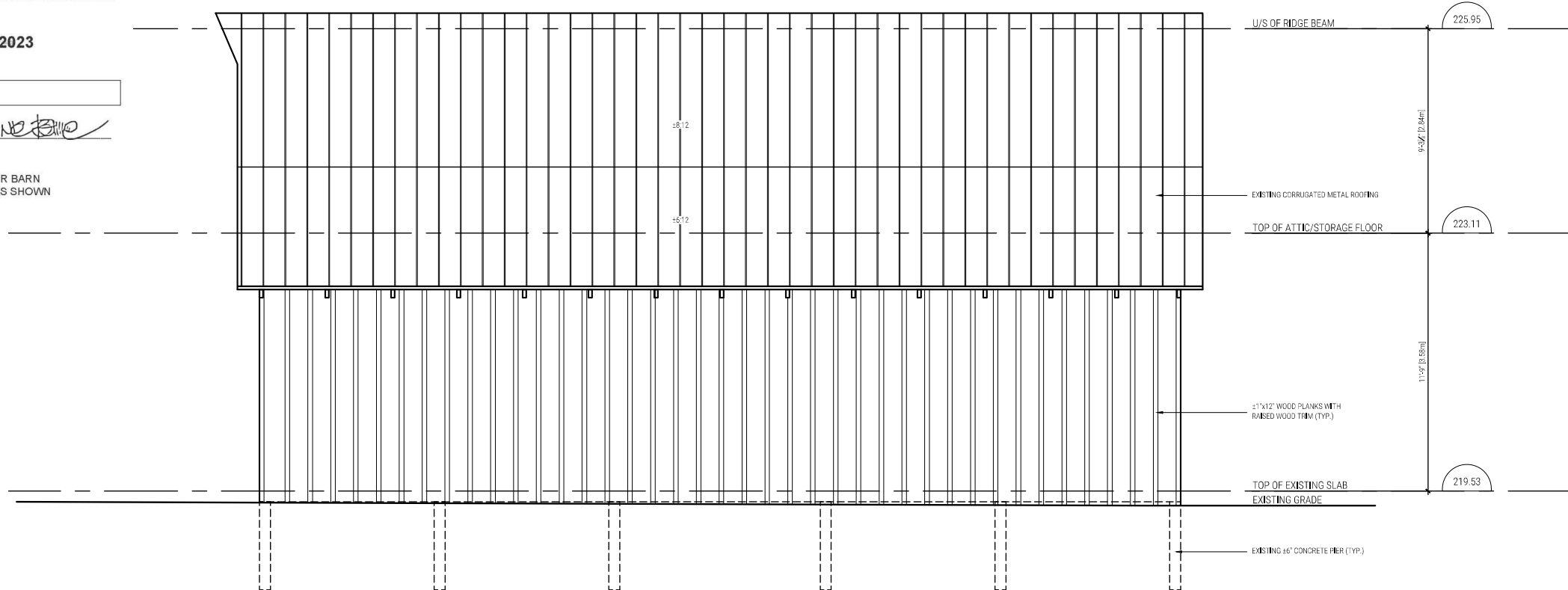
STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

A2.1



1
A2.2 **EXIST'G LEFT SIDE (WEST) ELEVATION**
1/4" = 1'-0"

NO CHANGE



2
A2.2 **EXIST'G RIGHT SIDE (EAST) ELEVATION**
1/4" = 1'-0"

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

MARK TATONE

I hereby certify that I am a member of the Ontario Professional Engineers Association and I am duly registered as a Professional Engineer in the Province of Ontario. I am the author of the design and I am responsible for the design and construction of the works shown on this drawing. I have read the Ontario Building Code and I am satisfied that the design complies with the requirements of the Ontario Building Code. I have also read the Ontario Heritage Act and I am satisfied that the design complies with the requirements of the Ontario Heritage Act. I have also read the Ontario Planning Act and I am satisfied that the design complies with the requirements of the Ontario Planning Act. I have also read the Ontario Environmental Protection Act and I am satisfied that the design complies with the requirements of the Ontario Environmental Protection Act. I have also read the Ontario Access to Information Act and I am satisfied that the design complies with the requirements of the Ontario Access to Information Act. I have also read the Ontario Freedom of Information Act and I am satisfied that the design complies with the requirements of the Ontario Freedom of Information Act. I have also read the Ontario Privacy Act and I am satisfied that the design complies with the requirements of the Ontario Privacy Act. I have also read the Ontario Access to Information Act and I am satisfied that the design complies with the requirements of the Ontario Access to Information Act. I have also read the Ontario Freedom of Information Act and I am satisfied that the design complies with the requirements of the Ontario Freedom of Information Act. I have also read the Ontario Privacy Act and I am satisfied that the design complies with the requirements of the Ontario Privacy Act.

1. Issued for Building Permit August 21, 2023
2. Issued for Heritage Review August 21, 2023
3. Issued for Clear Review May 25, 2023

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Name: Nick Menonna 23967
Signature: *[Signature]* S.E.
Firm Name: VERUS DESIGN INC. 110512
B.C.N.

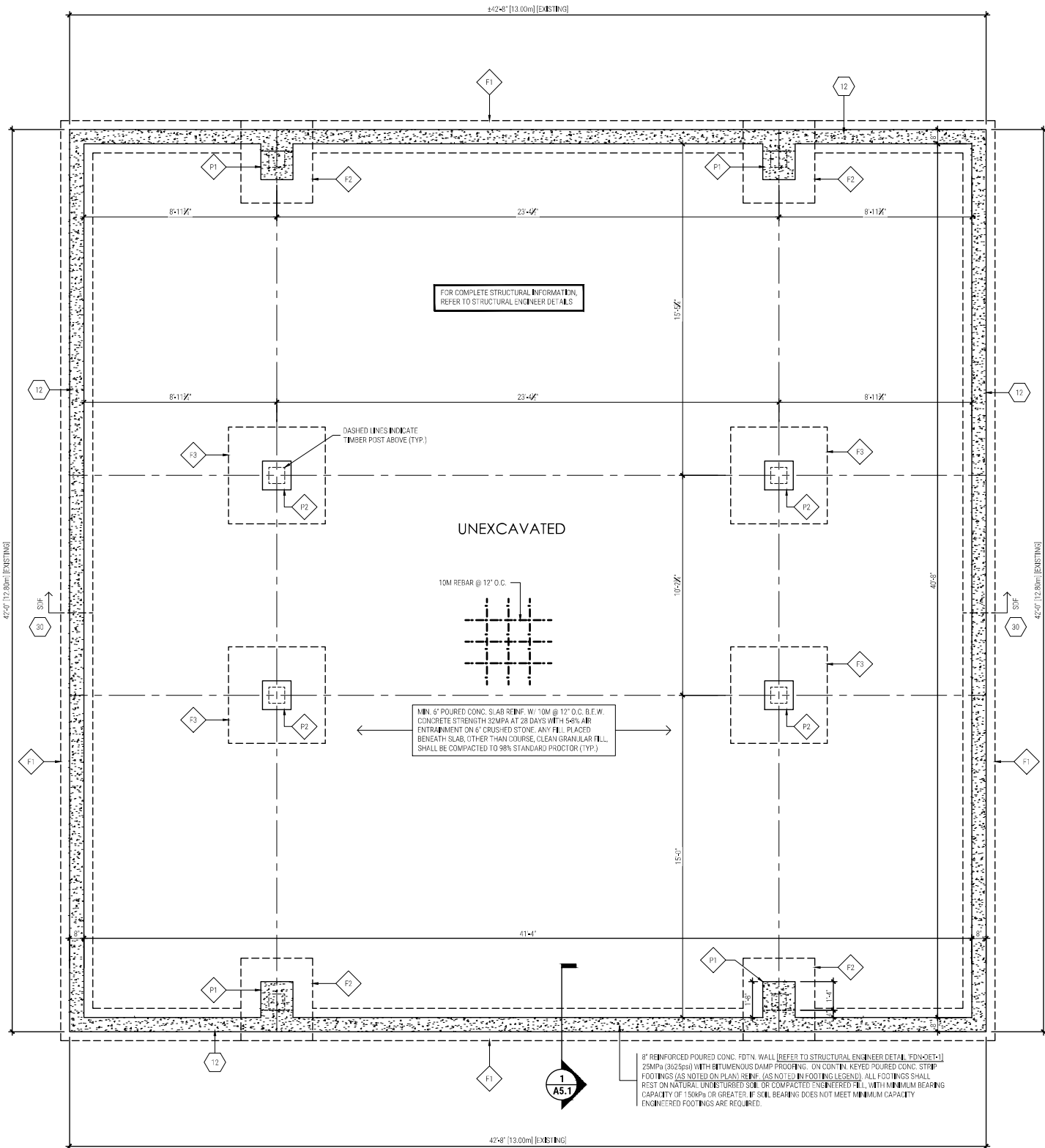
EXISTING ELEVATIONS

As Noted

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

A2.2

- NOTE:**
- CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION.
 - PROVIDE TEMPORARY BRACING/SHOORING CONTIN. TO BSMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)
 - PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV. MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)
 - G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



FOOTING LEGEND (REFER TO ENGINEER DRAWINGS)

F1	EXTERIOR CONTIN. 25 MPa POURED CONC. KEYED STRIP FOOTINGS TO BE 18\"/>
F2	EXTERIOR 25 MPa POURED CONC. FOOTINGS TO BE 40\"/>
F3	EXTERIOR 25 MPa POURED CONC. FOOTINGS TO BE 54\"/>

CONCRETE PIER LEGEND (REFER TO ENGINEER DRAWINGS)

P1	28\"/>
P2	16\"/>

12 2\"/>

NO CHANGE TO ORIGINAL APPROVAL

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

1 PROPOSED FOUNDATION PLAN
A3.1 1/4" = 1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Name: Nick Menonna 23967
Signature: *[Signature]* BCEN

Firm Name: VERUS DESIGN INC. 110512 BCEN

MARK TATONE

The undersigned certifies that he is a member of the Ontario Professional Engineers Association and is duly registered as a Professional Engineer in the Province of Ontario. The undersigned certifies that he is a member of the Ontario Professional Engineers Association and is duly registered as a Professional Engineer in the Province of Ontario. The undersigned certifies that he is a member of the Ontario Professional Engineers Association and is duly registered as a Professional Engineer in the Province of Ontario.

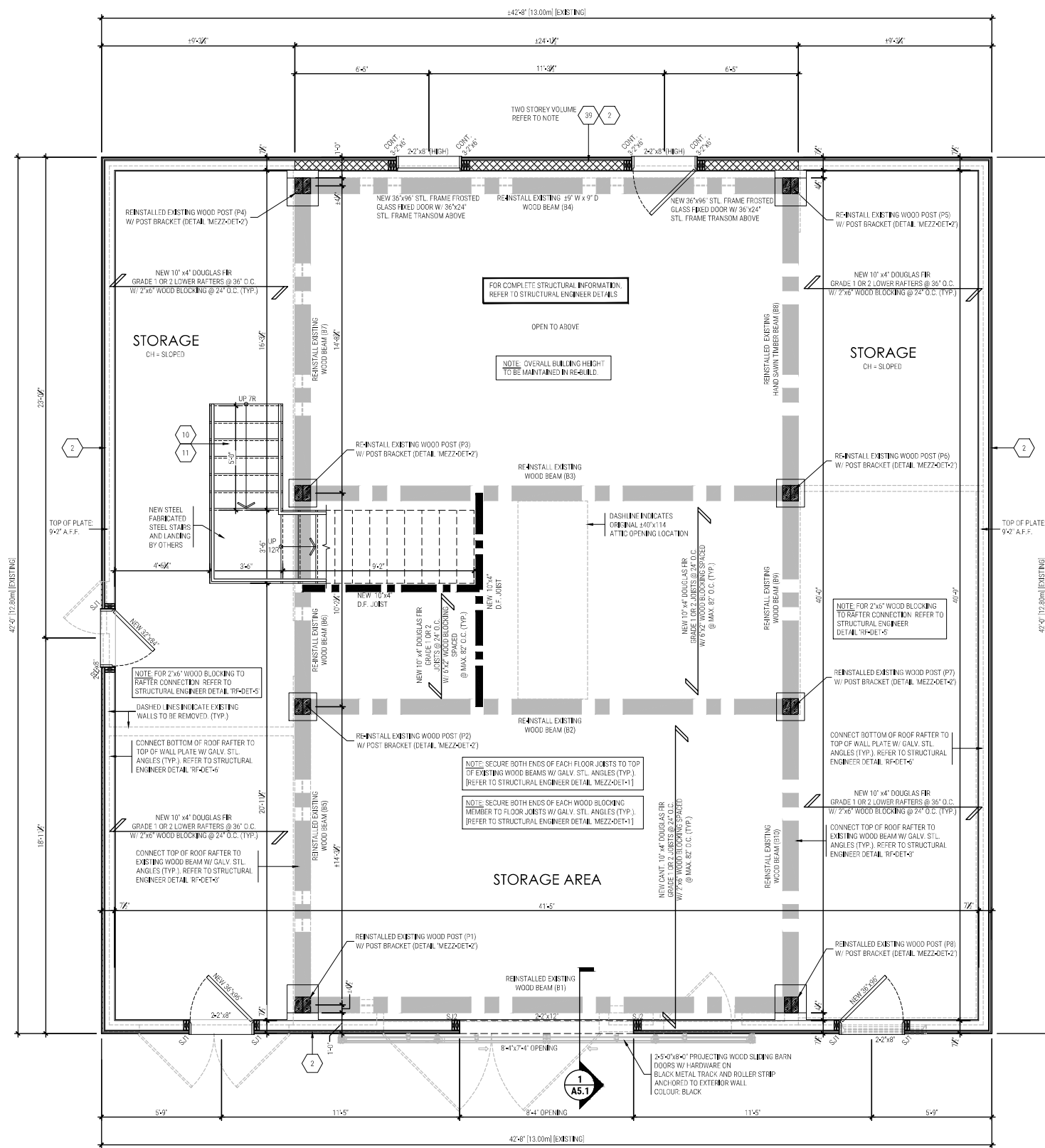
1. Issued for Heritage Permit August 21, 2023
2. Revised for Heritage Permit August 21, 2023
3. Revised for O.C. Review May 25, 2023

PROPOSED FOUNDATION PLAN

As Noted

A3.1

- NOTE:**
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 4. G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



- 39 TWO STOREY VOLUME SPACES**
- FOR WIND LOADS $\leq 0.5 \text{ kPa}$ (50) FOR A MAXIMUM 16'-4" (5000) HEIGHT, PROVIDE 2x2x8 (38x140) SPR #2 CONTINUOUS STUDS @ 12" (300) O.C. FOR BRACK & 16" (400) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY (O.B.C. 9.23.10.1)
 - FOR WIND LOADS $> 0.5 \text{ kPa}$ (50) FOR A MAXIMUM 16'-4" (5000) HEIGHT, PROVIDE 2x2x8 (38x140) SPR #2 CONTINUOUS STUDS @ 8" (200) O.C. FOR BRACK & 12" (300) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY
 - FOR HORIZONTAL DISTANCES LESS THAN 9'-0" (2700) PROVIDE CONTINUOUS 2x6 (38x140) STUDS @ 16" (400) O.C. WITH CONTINUOUS 3x7x8 (38x91x140) TOP PLATE 1x2x4" (1x38x140) BOTTOM PLATE & MINIMUM OF 3x7x8 (38x91x140) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOP-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.
- 2 SIDING WALL (2"x6") - O.B.C. 9.23**
- SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 2" (12.7) EXTERIOR TYPE SHEATHING ON 2x6 (38x140) SPRUCE STUDS @ 16" (400) O.C. (FIBREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - O.B.C. 9.23.15.3)

ALL BEAMS AND COLUMNS TO BE NEW WHERE MARKED "RE-INSTALL EXISTING"

1
A3.2 **PROPOSED GROUND FLOOR PLAN (1792 sq. ft.)**
1/4" = 1'-0"

VAUGHAN HERITAGE APPROVAL

THIS APPROVAL IS ISSUED ON THE CONDITION THAT THE WORKS SHALL BE COMPLETED WITHIN THE PROPERTY OR LANDS DESCRIBED HEREIN AS IDENTIFIED ON THIS DOCUMENT AS FILED WITH THE URBAN DESIGN AND CULTURAL HERITAGE DIVISION, DEVELOPMENT PLANNING DEPARTMENT, CITY OF VAUGHAN.

ANY CHANGES TO THIS APPROVED PLAN REQUIRES A REVISION OF THIS APPROVAL BY RESUBMISSION TO CULTURAL HERITAGE AS AUTHORIZED BY HERITAGE VAUGHAN COMMITTEE.

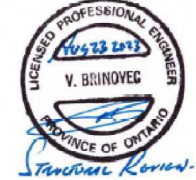
29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Nick Menonna *[Signature]* 73967
Name Signature BCIN

VERUS DESIGN INC. 110512
Firm Name BCIN

MARK TATONE

The undersigned hereby certifies that he/she is a duly qualified professional engineer in the Province of Ontario, and that he/she is duly licensed to practice his/her profession in the Province of Ontario. The undersigned hereby certifies that he/she is duly qualified to practice his/her profession in the Province of Ontario, and that he/she is duly licensed to practice his/her profession in the Province of Ontario.

1. Issued for Heritage Permit August 21, 2023
2. Issued for Building Permit August 21, 2023
3. Issued for Construction Review May 25, 2023

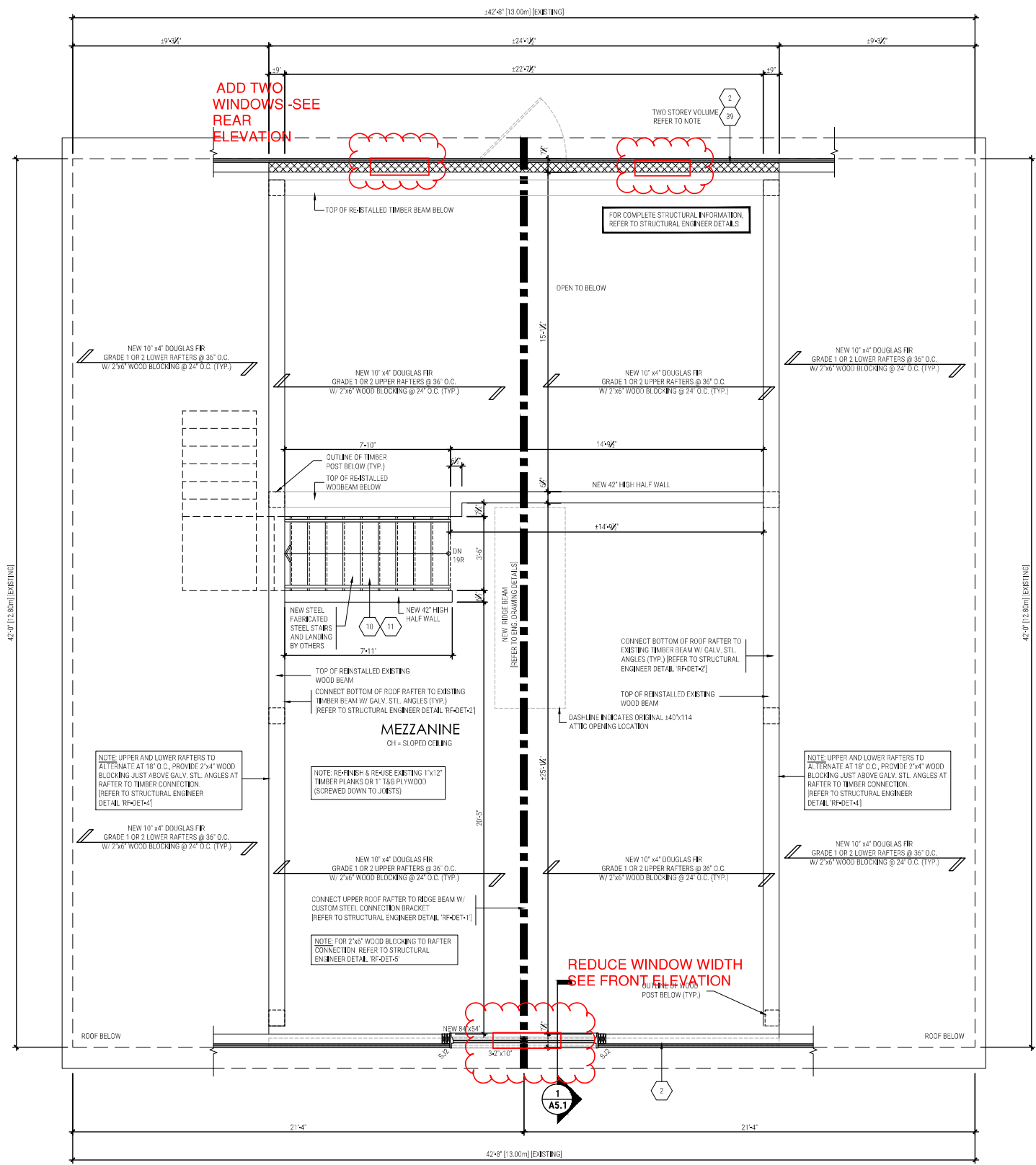
PROPOSED GROUND FLOOR PLAN

As Noted

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

A3.2

- NOTE**
- CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION.
 - PROVIDE TEMPORARY BRACING/SHOING CONTIN. TO SMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)
 - PROVIDE APPROVED "SIMPSON STRONG-TIE" GALV. MTL. HANGERS AT ALL FLUSH BEAM JOIST CONNECTIONS AS REQ. (TYP.)
 - G.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



- 39 TWO STOREY VOLUME SPACES**
- FOR WIND LOADS $\leq 0.5 \text{ kPa}$ (g50): FOR A MAXIMUM 18'-4" (5600) HEIGHT. PROVIDE 2"x6" (2x38x140) SPR #2 CONTINUOUS STUDS @ 12" (300) O.C. FOR BRICK & 16" (400) O.C. FOR SIDING (W/ 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY. (O.B.C. 9.23.10.1)
 - FOR WIND LOADS $> 0.5 \text{ kPa}$ (g50): FOR A MAXIMUM 18'-4" (5600) HEIGHT. PROVIDE 2"x6" (2x38x140) SPR #2 CONTINUOUS STUDS @ 8" (200) O.C. FOR BRICK & 12" (300) O.C. FOR SIDING (W/ 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY.
 - FOR HORIZONTAL DISTANCES LESS THAN 9'-6" (2900) PROVIDE CONTINUOUS 2"x6" (38x140) STUDS @ 16" (400) O.C. WITH CONTINUOUS 2"x6" (2x38x140) TOP PLATE + 2"x6" (1x38x140) BOTTOM PLATE & MINIMUM OF 2"x2" (2x38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL. TOP-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.
- 2 SIDING WALL (2"x6") - O.B.C. 9.23**
- SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXTERIOR TYPE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C. (P/BOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - O.B.C. 9.23.16.3)

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

1 PROPOSED MEZZANINE PLAN
A3.3 1/4" = 1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Name: Nick Menonna Signature: *[Signature]* 23967 B.C.N.

Firm Name: VERUS DESIGN INC. 110512 B.C.N.

MARK TATONE

The undersigned hereby certifies that he is a member of the Ontario Professional Engineers Association and is duly licensed as a Professional Engineer in the Province of Ontario. He is duly qualified to prepare and seal drawings for the purpose of obtaining a building permit for the work shown on these drawings. He is not providing any professional engineering services for the work shown on these drawings. He is not providing any professional engineering services for the work shown on these drawings. He is not providing any professional engineering services for the work shown on these drawings.

PROPOSED MEZZANINE PLAN

As Noted

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

A3.3

1. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Architects (O.A.A.) and is duly registered as an architect in the Province of Ontario.
2. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Engineers (O.A.E.) and is duly registered as an engineer in the Province of Ontario.
3. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Engineers (O.A.P.E.) and is duly registered as a professional engineer in the Province of Ontario.
4. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Planners (O.A.P.P.) and is duly registered as a professional planner in the Province of Ontario.
5. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Geographers (O.A.P.G.) and is duly registered as a professional geographer in the Province of Ontario.
6. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Surveyors (O.A.P.S.) and is duly registered as a professional surveyor in the Province of Ontario.
7. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Accountants (O.A.P.A.) and is duly registered as a professional accountant in the Province of Ontario.
8. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Actuaries (O.A.P.A.) and is duly registered as a professional actuary in the Province of Ontario.
9. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Engineers (O.A.P.E.) and is duly registered as a professional engineer in the Province of Ontario.
10. The undersigned certifies that he is a member of a professional body that is a member of the Ontario Association of Professional Engineers (O.A.P.E.) and is duly registered as a professional engineer in the Province of Ontario.

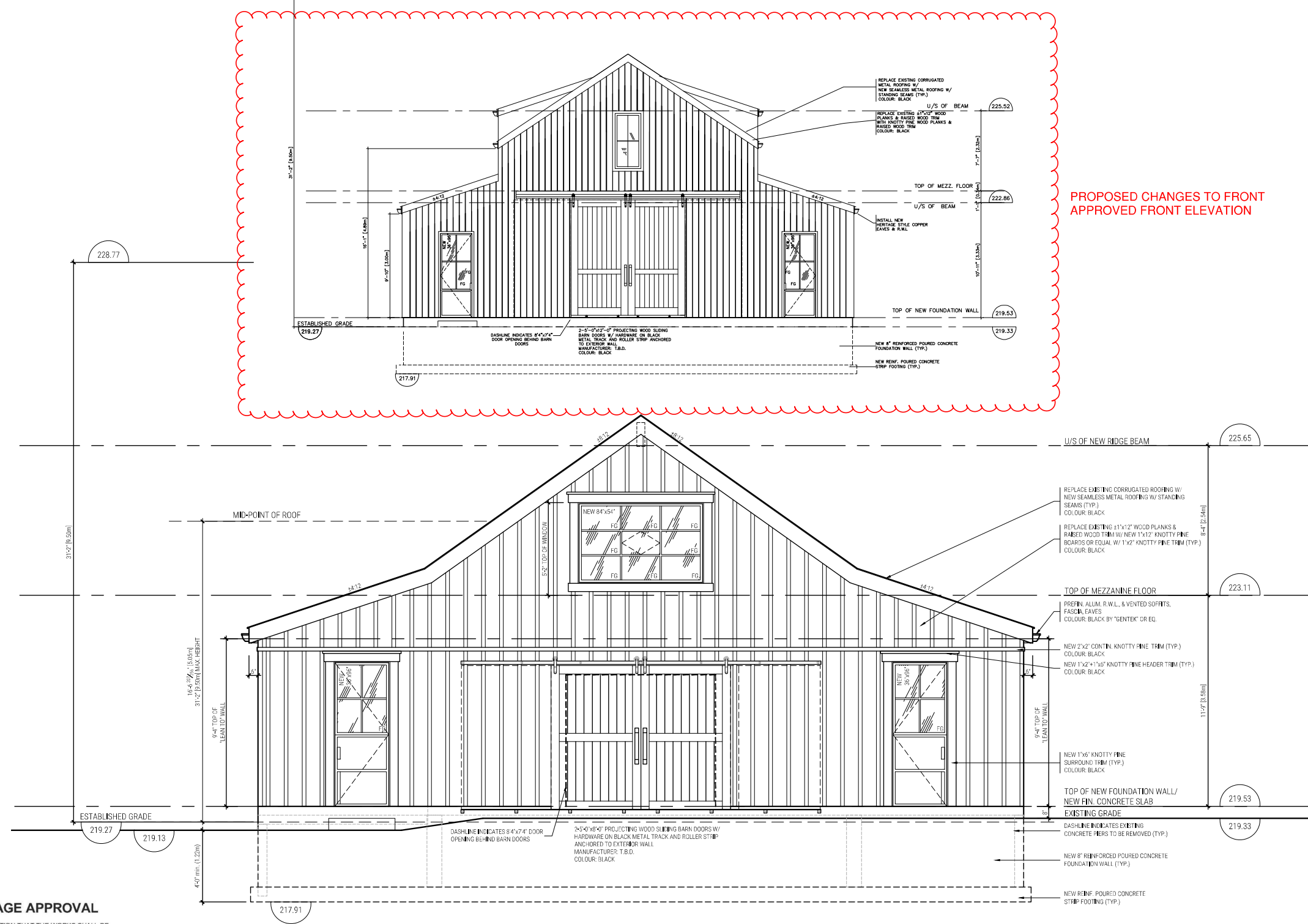
1. Issued for Building Permit August 21, 2023
2. Issued for Heritage Review August 21, 2023
3. Issued for Construction Review May 25, 2023

PROPOSED ELEVATIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Nick Menonna *Nick Menonna* 23967
Name Signature I.C.B.
VERUS DESIGN INC. 110512
Firm Name I.C.B.

As Noted

A4.1



PROPOSED CHANGES TO FRONT APPROVED FRONT ELEVATION

1 PROPOSED FRONT (SOUTH) ELEVATION
A4.1 1/4" = 1'-0"

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *Nick Menonna*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

MARK TATONE

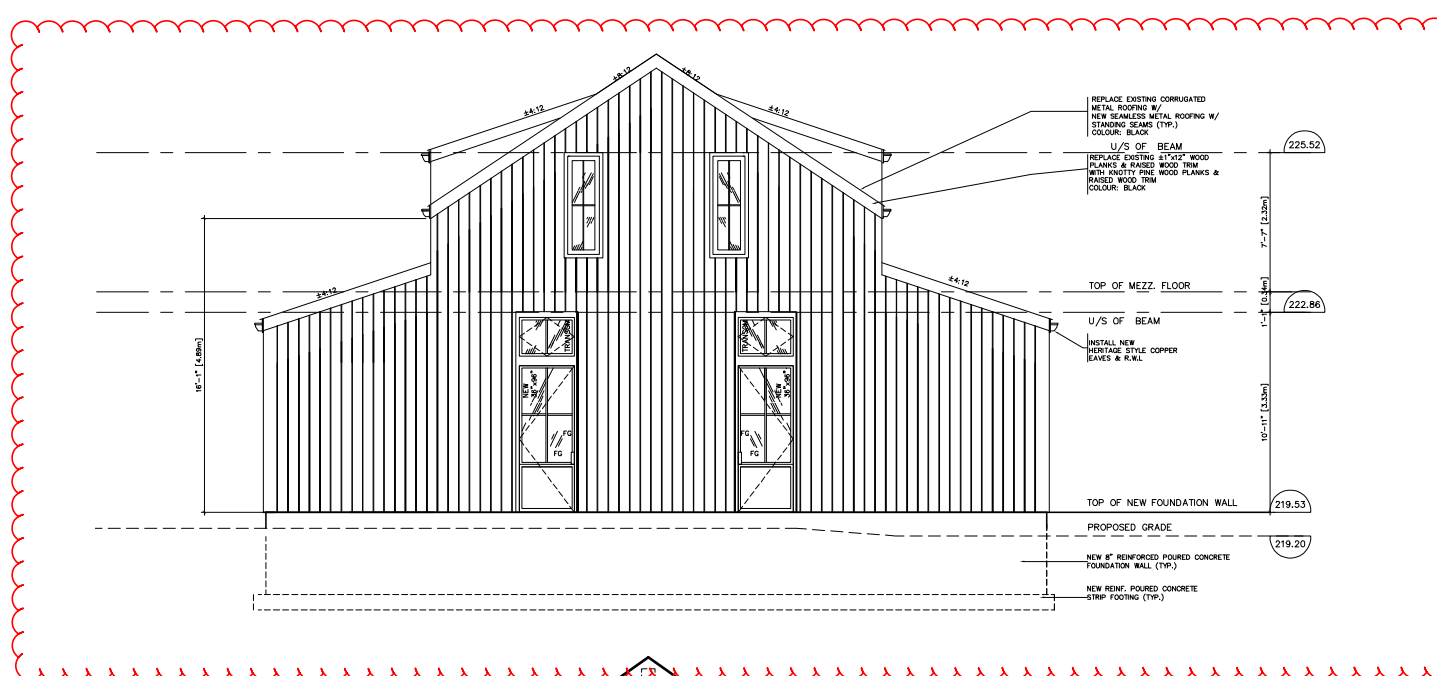
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

1. Issued for Building Permit August 21, 2023
2. Issued for Heritage Review August 21, 2023
3. Issued for Construction Review May 26, 2023

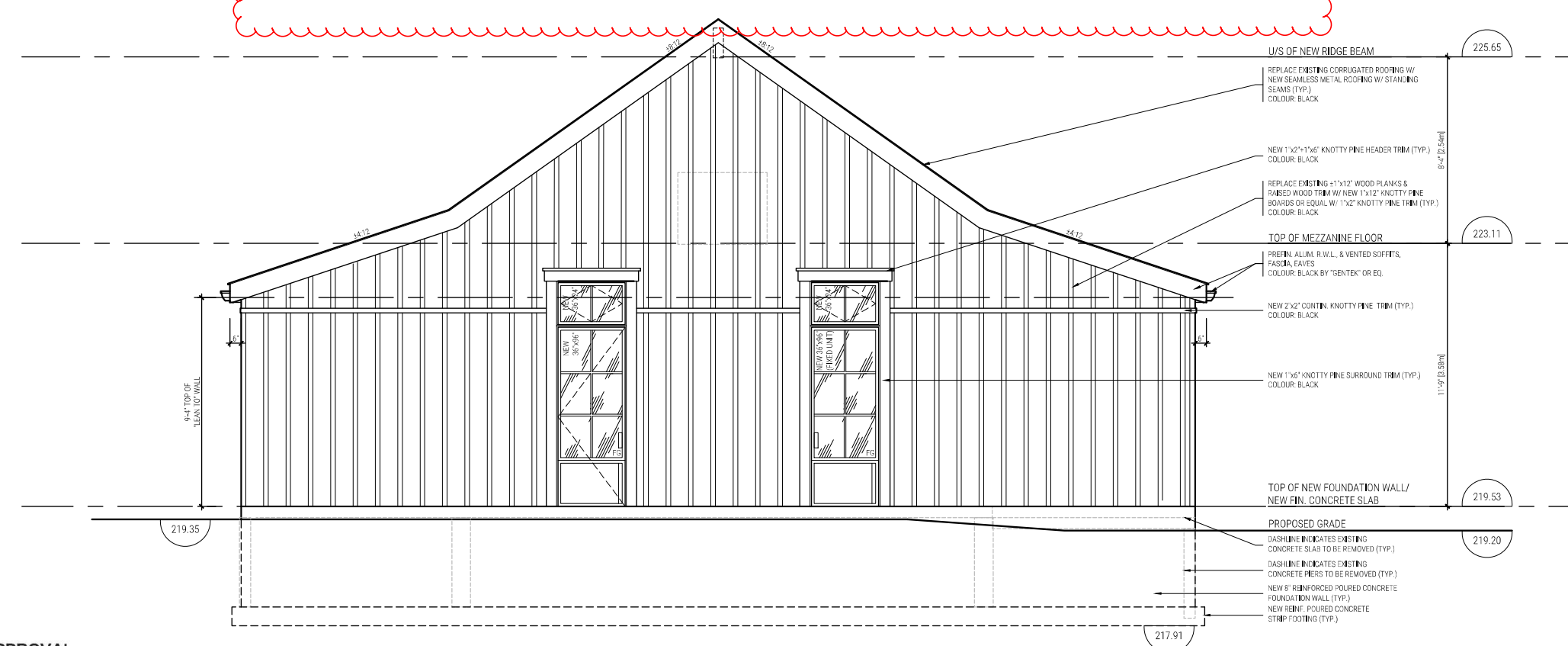
PROPOSED ELEVATIONS

As Noted

A4.2



PROPOSED CHANGES TO APPROVED REAR (NORTH) ELEVATION



1 **PROPOSED REAR (NORTH) ELEVATION**
A4.2 1/4" = 1'-0"

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Nick Menonna 23967
Name Signature BCIN

VERUS DESIGN INC. 110512
Firm Name BCIN

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

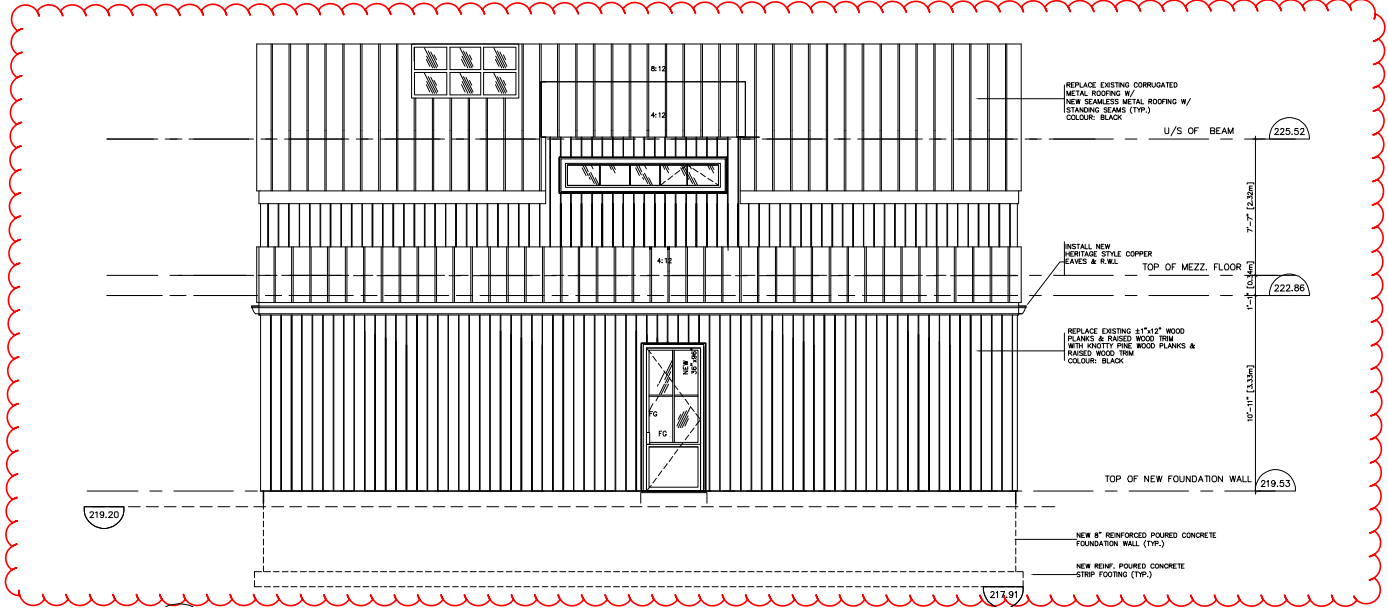
1. The undersigned hereby certifies that as a member of a professional body, he is qualified to prepare the drawings of this design. The undersigned is not a member of any other professional body.
2. The undersigned certifies that he is a member of a professional body and is qualified to prepare the drawings of this design. The undersigned is not a member of any other professional body.
3. The undersigned certifies that he is a member of a professional body and is qualified to prepare the drawings of this design. The undersigned is not a member of any other professional body.
4. The undersigned certifies that he is a member of a professional body and is qualified to prepare the drawings of this design. The undersigned is not a member of any other professional body.
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10. The undersigned certifies that he is a member of a professional body and is qualified to prepare the drawings of this design. The undersigned is not a member of any other professional body.

1. Issued for Building Permit August 21, 2023
2. Issued for Heritage Review August 21, 2023
3. Issued for Clear Review May 26, 2023

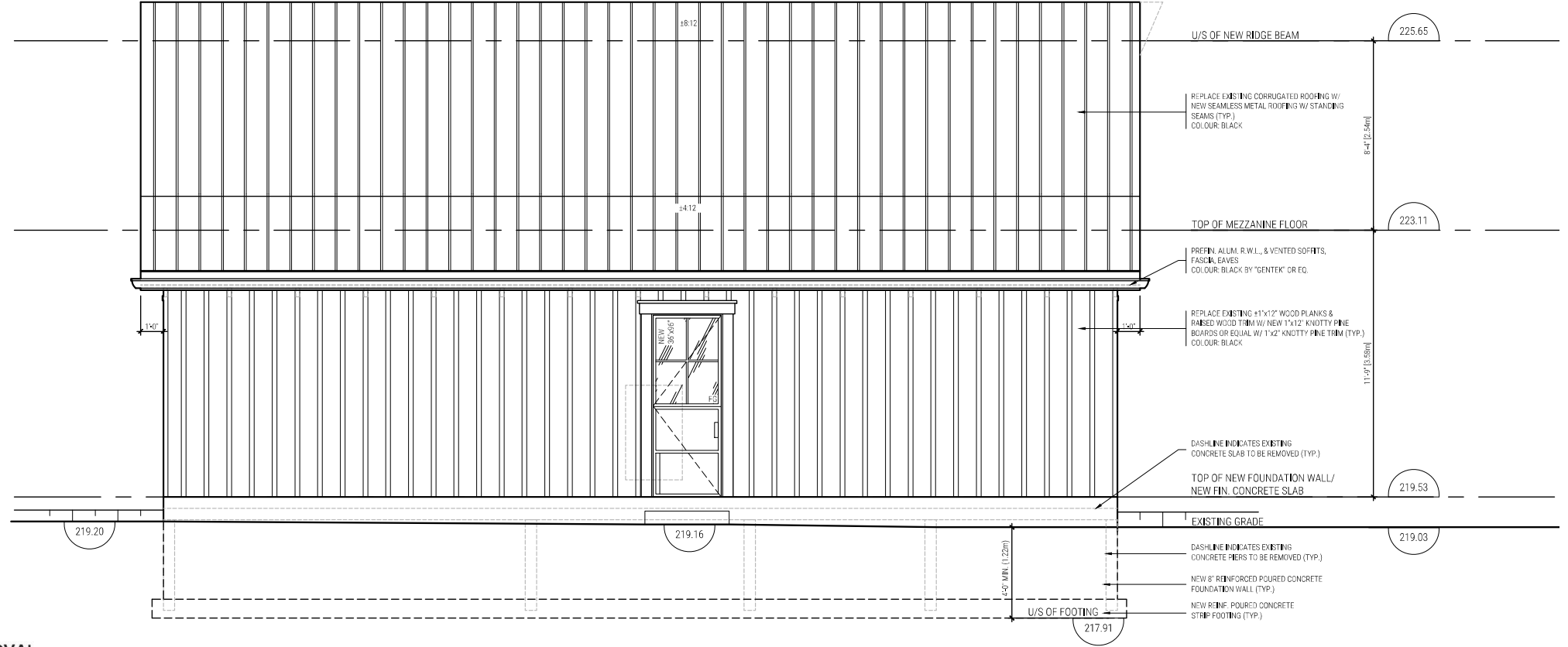
PROPOSED ELEVATIONS

As Noted

A4.3



PROPOSED CHANGES TO LEFT SIDE (WEST) ELEVATION



1 PROPOSED LEFT SIDE (WEST) ELEVATION
A4.3 1/4" = 1'-0"

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Name: Nick Menonna 23967 BDN
Signature: *[Signature]*
Firm Name: VERUS DESIGN INC. 110512 BDN

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

MARK TATONE

The undersigned hereby certifies that he is a member of a professional body and is duly qualified to practice the profession of Architect in the Province of Ontario. He is also a member of the Ontario Association of Architects and is duly registered as an Architect in the Province of Ontario. He is also a member of the Ontario Association of Architects and is duly registered as an Architect in the Province of Ontario. He is also a member of the Ontario Association of Architects and is duly registered as an Architect in the Province of Ontario.

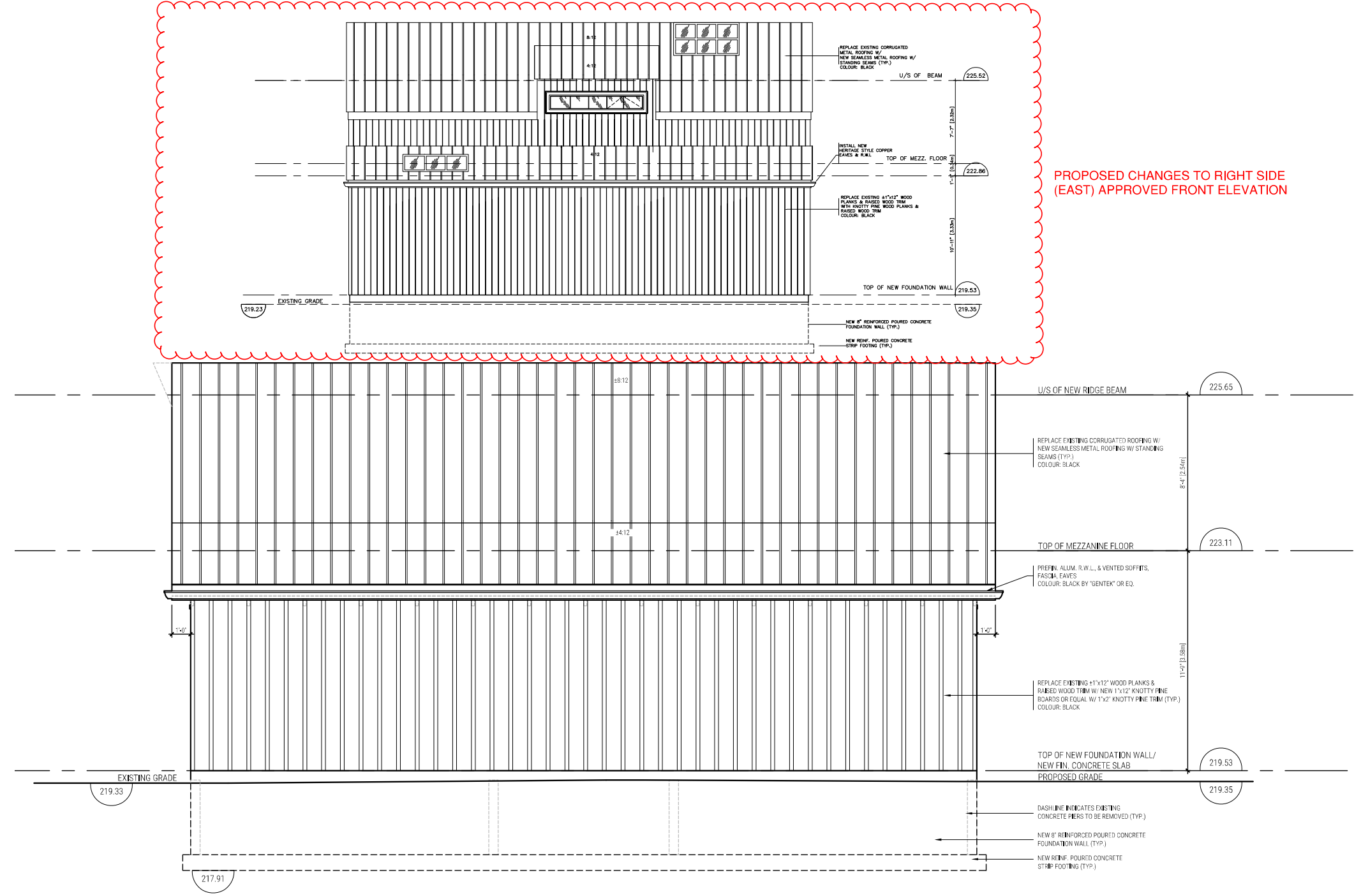
1. Issued for **Heritage Permit** August 21, 2023
2. Issued for **Heritage Review** August 21, 2023
3. Issued for **Clearance Review** May 25, 2023

PROPOSED ELEVATIONS

As Noted

A4.4

PROPOSED CHANGES TO RIGHT SIDE (EAST) APPROVED FRONT ELEVATION



1 **PROPOSED RIGHT SIDE (EAST) ELEVATION**
A4.4 1/4" = 1'-0"

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:
HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Nick Menonna *[Signature]* 23967
Name Signature BCIN

VERUS DESIGN INC. 110512
Firm Name BCIN

STRUCTURAL REBUILD/ALTERATION FOR EXISTING REAR YARD SHED

VERUS DESIGN INC. is a registered professional engineering firm under the Professional Engineers Act, R.S.O. 1990, Chapter 122, and is licensed by the Professional Engineers Board of Ontario. The undersigned is a registered professional engineer under the Professional Engineers Act, R.S.O. 1990, Chapter 122, and is licensed by the Professional Engineers Board of Ontario. The undersigned is a registered professional engineer under the Professional Engineers Act, R.S.O. 1990, Chapter 122, and is licensed by the Professional Engineers Board of Ontario.



1. Issued for Building Permit August 21, 2023
2. Issued for Planning Review August 21, 2023
3. Issued for Client Review May 26, 2023

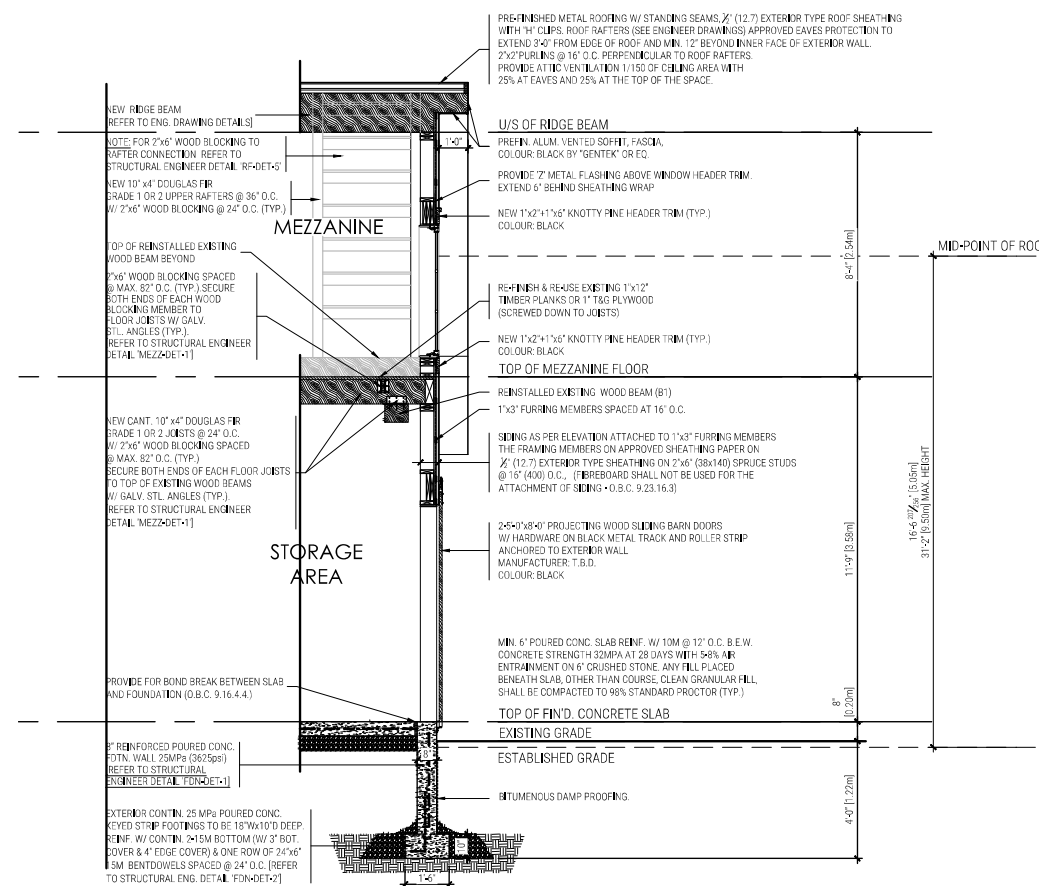
PROPOSED WALL SECTION

As Noted

A5.1

SEE ELEVATIONS AND PLANS WHERE NOTED FOR CHANGES

- NOTE**
- CONTRACTOR TO VERIFY ALL DIMENSION & EXISTING STRUCTURAL CONDITIONS & NOTIFY ARCHITECT & ENGINEER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION & AWAIT INSTRUCTION.
 - PROVIDE TEMPORARY BRACING/SHORING CONTIN. TO SVMT. SLAB FOR ALL EXISTING FLOOR JOISTS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS AS REQ. (TYP.)
 - PROVIDE APPROVED SIMPSON STRONG-TIE GALV. MTL. HANGERS AT ALL FLUSH BEAM/JOIST CONNECTIONS AS REQ. (TYP.)
 - O.C. IS RESPONSIBLE TO CHECK ALL SHOP DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION.



1 **PROPOSED WALL SECTION**
A5.1 1/4" = 1'-0"

VAUGHAN HERITAGE APPROVAL

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29 AUGUST 2023

HERITAGE PERMIT

HERITAGE CLEARANCE APPROVED BY: *[Signature]*

ADDITIONAL NOTES:

HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Nick Menonna *[Signature]* 23967
Name Signature B.C.N.

VERUS DESIGN INC. 110512
Firm Name B.C.N.

GENERAL NOTES - REVISED JANUARY 2014

1.0 GENERAL

- 1.1 ALL WORK SHALL BE THE PROPERTY OF VERUS DESIGN INC. ANY AND ALL RIGHTS RESERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

4.0 MASONRY

- 4.1 MASONRY CONSTRUCTION TO CONFORM TO CANADIAN STANDARDS (CSA A305.1).
- 4.2 CONCRETE BLOCKS SHALL BE CONFORM TO ONE OF THE FOLLOWING: CSA A305.1, CSA A305.2, OR CSA A305.3.
- 4.3 ALL CONCRETE BLOCKS SHALL BE NORMAL WEIGHT, LEAD BLENDED WITH A MINIMUM OF 2% LEAD BY WEIGHT. ALL CONCRETE BLOCKS SHALL BE MANUFACTURED TO MEET THE REQUIREMENTS OF CANADIAN STANDARDS (CSA A305.1).

CONSTRUCTION NOTES (UNLESS NOTED OTHERWISE)

- CONSTRUCTION NOTES TO BE READ IN CONJUNCTION WITH THE DRAWINGS.
- ROOF CONSTRUCTION TO BE IN ACCORDANCE WITH CANADIAN STANDARDS (CSA A305.1).
- BEARING STUD PARTITION WALLS TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.
- STEEL BASEMENT COLUMN TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.

7.0 THERMAL & MOISTURE PROTECTION

- 7.1 THERMAL AND MOISTURE PROTECTION TO BE CONSTRUCTED IN ACCORDANCE WITH CANADIAN STANDARDS (CSA A305.1).
- 7.2 THERMAL AND MOISTURE PROTECTION TO BE CONSTRUCTED IN ACCORDANCE WITH CANADIAN STANDARDS (CSA A305.1).
- 7.3 THERMAL AND MOISTURE PROTECTION TO BE CONSTRUCTED IN ACCORDANCE WITH CANADIAN STANDARDS (CSA A305.1).

8.0 WINDOWS & DOORS

- 8.1 WINDOWS AND DOORS TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.
- 8.2 WINDOWS AND DOORS TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.
- 8.3 WINDOWS AND DOORS TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.

CONCRETE

- CONCRETE TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.
- CONCRETE TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.
- CONCRETE TO BE CONSTRUCTED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.

STRUCTURAL LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for walls, columns, and beams.

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH > 92%

Table showing U-values for various components: Ceiling, Walls, Windows, Doors, Floors, etc.

DOOR SCHEDULE

Table with 5 columns: Ref. No., Width, Height, Style, and Description. Lists door models and their specifications.

ELECTRICAL LEGEND

Table with 2 columns: Symbol and Description. Lists electrical symbols for switches, outlets, and conduits.

ELECTRICAL NOTES

- ALL WORK MUST CONFORM TO ONTARIO HYDRO REGULATIONS & THE ONTARIO BUILDING CODE.
- ELECTRICAL LAYOUTS SHOWN ARE INTENDED AS A GUIDELINE ONLY. SITE CONDITIONS MAY VARY. DRAINAGE LIGHTING IS SHOWN IN AREA SPECIFIED OR TO MATCH EXISTING.

ELECTRICAL, HVAC, PLUMBING NOTED

- ALL PLUMBING SHALL BE INSTALLED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.
- ALL HVAC EQUIPMENT SHALL BE INSTALLED TO THE FINISH FLOOR LEVEL AND TO BE SUPPORTED BY FOUNDATION WALLS.

VAUGHAN HERITAGE APPROVAL

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MARK TATONE

Professional Engineer, License No. 10453, Province of Ontario. Includes contact information for Mark Tatone.



ADDITIONAL NOTES:

- HERITAGE CLEARANCE ISSUED FOR BARN REBUILD AT 40 NASHVILLE ROAD AS SHOWN.
- HERITAGE CLEARANCE NUMBER: 23967.

ADDITIONAL NOTES:

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code as a designer.

Signature and Name fields for Nick Menonna and Verus Design Inc.

STRUCTURAL REBUILD ALERA FOR EXISTING REAR YARD SHED