

FINAL REPORT:

ATTACHMENT 2
40 NASHVILLE

Scoped Cultural Heritage Impact Assessment

40 Nashville Road, City of Vaughan, Ontario



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5 March 2024

Project # LHC0424

LHC

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REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A.

All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not a structural engineering assessment of the buildings unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.

This Scoped Cultural Heritage Impact Assessment solely reviews the architecture of the proposed shed and its consistency with the policies and guidelines identified within the Kleinburg-Nashville Heritage Conservation District plan. Analysis of the house, historical research, and the ownership history of the Property was not required, as identified by Nick Borcescu, Senior Heritage Planner at the City of Vaughan.

This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 9 February 2024 by Alexandra Battiston and Mark Tatone (the '**Owners**') to prepare a scoped Cultural Heritage Impact Assessment (**Scoped CHIA**) for the property located at 40 Nashville Road (the '**Property**') in the City of Vaughan, Ontario (the '**City**').

The Property is located in the Kleinburg-Nashville Heritage Conservation District (**KNHCD**) and is designated under Section 41 Part V of the *Ontario Heritage Act* (**OHA**). The Property is a non-contributing property in the KNHCD. The Owner is rebuilding a shed on the Property. Heritage clearance was initially received in 2023 for the deconstruction and reconstruction (with existing and new materials) of the shed on the Property with a new foundation. During deconstruction of the shed, it was determined that the condition of the existing timber structural members was not adequate to allow for their reuse in the rebuilt structure. Since reconstruction is not possible the owner plans to make some changes to the proposed shed's structural system and to its design. Shed dormers, alterations to the roof profile, skylights, and additional windows were added. As such, Heritage Staff at the City have requested that additional materials, including a Scoped CHIA, be submitted for their review and approval.

It is LHC's professional opinion that the proposed shed complies with the policies and guidelines in the KNHCD Plan and will not result in direct or indirect impacts to the cultural heritage value or interest of the Property, adjacent heritage properties, or the KNHCD.

TABLE OF CONTENTS

Right of Use	iv
Report Limitations.....	iv
Executive Summary.....	v
Table of Contents.....	vi
1 Introduction to the Property	1
1.1 Property Location	1
1.2 Property Description	1
1.3 Property Owner.....	1
1.4 Property Heritage Status.....	1
1.5 Adjacent Heritage Properties.....	2
2 Study Approach	6
2.1 Legislation and Policy Review	6
2.2 Site Visit.....	6
2.3 Understanding of Cultural Heritage Value or Interest.....	6
2.4 Description of the Proposed Development	7
2.5 Impact Assessment	7
2.5.1 <i>Info Sheet #5</i>	7
2.5.2 <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i>	7
2.5.3 Correspondence.....	8
3 Policy and Legislation Context.....	9
3.1 Kleinburg-Nashville Heritage Conservation District Study and Plan.....	9
4 Existing Conditions	13
4.1 Surrounding Context	13
4.2 Adjacent Heritage Properties.....	16
4.3 The Property.....	18
4.4 House.....	19
4.5 Shed.....	21
4.5.1 Before Redevelopment.....	21
4.5.2 Ongoing Redevelopment	22
5 Understanding of Cultural Heritage Value or Interest	26
5.1 Kleinburg-Nashville Heritage Conservation District.....	26

5.1.1	Statement of Significance	26
5.1.2	Heritage Attributes	26
5.2	Kleinburg Village.....	27
5.3	Nashville Road	28
6	Description of the Proposed Development.....	30
7	Impact of the Proposed Development	33
7.1	Potential Impacts to 40 Nashville Road	33
7.2	Potential Impacts to Adjacent Heritage Properties	33
7.3	Compliance with the <i>KNHCD Plan</i> Policies and Guidelines and Potential Impacts to the KNHCD	33
7.3.1	Compliance with <i>KNHCD Plan</i> Policies.....	33
7.3.2	Compliance with <i>KNHCD Plan</i> Guidelines.....	37
7.3.3	Summary of Compliance with Policies and Guidelines in the <i>KNHCD Plan</i> and Potential Impacts to the KNHCD	44
7.4	Impact Assessment – Ontario Heritage Tool Kit <i>Info Sheet #5</i>	44
7.5	Impact Assessment – <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i>	44
7.6	Impact Assessment Summary	45
7.7	Alternative Options, Mitigation Measures, and Conservation Methods.....	45
8	Conclusion and Recommendations	46
	Signatures	47
	References	48
	Appendix A Qualifications.....	49
	Appendix B Glossary	51
	Appendix C Letters of Support.....	53
	Appendix D Valentin Engineering Ltd.’s Existing Wood Members Memorandum	54

List of Figures

Figure 1: Location of the Property	3
Figure 2: Current Conditions of the Property	4
Figure 3: Location of the Property within the KNHCD.....	5
Figure 4: Southeast elevation of the proposed shed.....	31
Figure 5: Northwest elevation of the proposed shed.....	31
Figure 6: Southwest elevation of the proposed shed.....	32

Figure 7: Northeast elevation of the proposed shed.....	32
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List of Photos

Photo 1: View northeast showing Nashville Road as it passes in front of the Property	14
Photo 2: View northeast showing the adjacent property at 9 Lester B. Pearson Street	14
Photo 3: View northeast showing the adjacent property at 27 Lester B. Pearson Street	15
Photo 4: View northwest showing the adjacent property at 30 Nashville Road	15
Photo 5: View west showing the Property	19
Photo 6: View northwest showing the house on the Property's northeast and southeast (primary) elevations.....	20
Photo 7: View northeast showing the house on the Property's southeast (primary) and southwest elevations.....	21
Photo 8: View of structural members from the previous shed	22
Photo 9: View of structural member from the previous shed	22
Photo 10: View northwest showing the shed's southeast elevation	23
Photo 11: View northeast showing the shed's southwest elevation	23
Photo 12: View southeast showing the shed's northwest elevation	24
Photo 13: View southwest showing the shed's northeast elevation	24
Photo 14: View northeast taken from Main Street showing the shed. It is obscured by the houses on 9 Lester B. Person Street and 27 Lester B. Pearson Street and by mature coniferous trees..	25
Photo 15: View west taken from Nashville Road showing the shed. It is obscured by the house on 30 Nashville Road and by mature coniferous and deciduous trees.	25

List of Tables

Table 1: Adjacent Heritage Properties.....	16
Table 2: Proposed Development's Compliance with Policies Pertaining to New Residential Development in the <i>KNHCD Plan</i>	34
Table 3: Proposed Development's Compliance with Guidelines Pertaining to New Development in Residential Areas of the <i>KNHCD Plan</i>	38
Table 4: Applicable Standards from the <i>S&G</i>	44

1 INTRODUCTION TO THE PROPERTY

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 9 February 2024 by Alexandra Battiston and Mark Tatone (the 'Owners') to prepare a scoped Cultural Heritage Impact Assessment (**Scoped CHIA**) for the property located at 40 Nashville Road (the 'Property') in the City of Vaughan, Ontario (the 'City').

The Property is located in the Kleinburg-Nashville Heritage Conservation District (**KNHCD**) and is designated under Section 41 Part V of the *Ontario Heritage Act* (**OHA**). The Property is a non-contributing property in the KNHCD. The Owner is rebuilding a shed on the Property. Heritage clearance was initially received in 2023 for the deconstruction and reconstruction (with existing and new materials) of the shed on the Property with a new foundation. During deconstruction of the shed, it was determined that the condition of the existing timber structural members was not adequate to allow for their reuse in the rebuilt structure. Since reconstruction is not possible the owner plans to make some changes to the proposed shed's structural system and to its design. Shed dormers, alterations to the roof profile, skylights, and additional windows were added. As such, Heritage Staff at the City have requested that additional materials, including a Scoped CHIA, be submitted for their review and approval.

This Scoped CHIA was prepared in accordance with the City's *Guidelines for Preparing Cultural Heritage Impact Assessments* (2022), and the Ministry of Citizenship and Multiculturalism's (**MCM**) *Ontario Heritage Toolkit* (2006).

1.1 Property Location

The Property is located on the northwest side of Nashville Road in the City of Vaughan, Ontario (Figure 1). The Property is legally described as LT 16 PL 210 VAUGHAN.

1.2 Property Description

The Property is a rectangular lot of approximately 0.19 hectares (1900 square metres). It is occupied by a one-and-a-half to two-storey house built in 1992 with influences from the Georgian architectural style and the foundations and wood framing of a shed that is currently under construction (Figure 2).

1.3 Property Owner

The Property is owned by Alexandra Battiston and Mark Tatone.

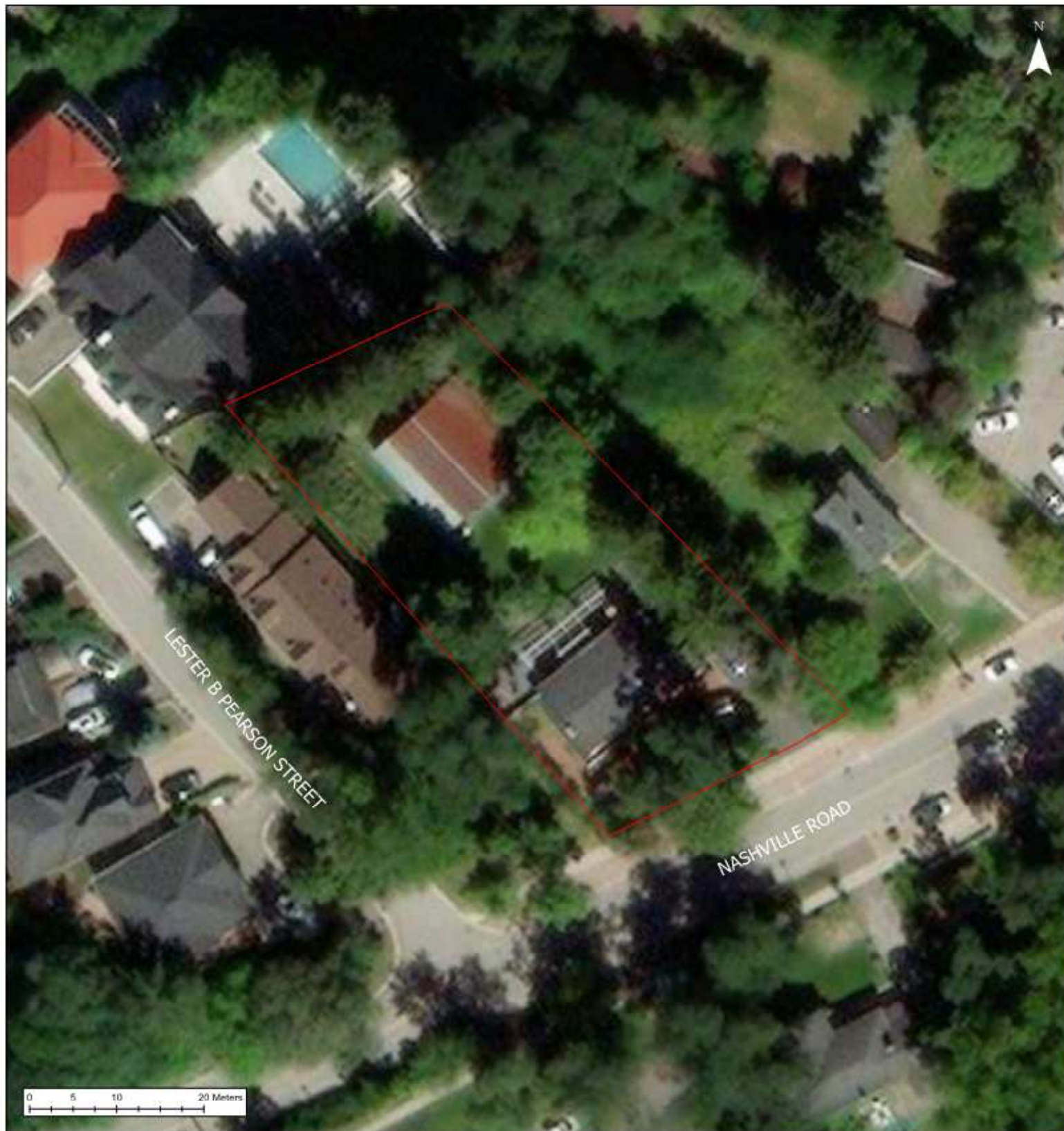
1.4 Property Heritage Status

The Property is designated under Section 41 Part V of the *OHA* as part of the KNHCD. The Property is a non-contributing property in the KNHCD (Figure 3).

1.5 Adjacent Heritage Properties

The City's *Official Plan* defines 'adjacent', as it pertains to cultural heritage, as "those lands contiguous to a protected heritage property."¹ Using this definition, the Property is adjacent to three heritage properties, including 9 Lester B. Pearson Street, 27 Lester B. Pearson Street, and 30 Nashville Road. All three adjacent heritage properties are designated under Section 41 Part V of the *OHA* as part of the KNHCD. The properties at 9 Lester B. Pearson Street and 27 Lester B. Pearson Street are classified as non-contributing properties and the property at 30 Nashville Road is classified as an existing non-historic and contributing style.

¹ City of Vaughan. "City of Vaughan Official Plan Volume I." Consolidated December 2020. Accessed 12 February 2024. <https://www.vaughan.ca/sites/default/files/2023-11/VOP%20Volume%201%20-%20OPA%20101%20Correction%20%28October%2017%202023%29%20Clean%20to%20Upload.pdf?file-verison=1703165857359>. 323.



Legend



Property

NOTE(S) 1. All locations are approximate.
 REFERENCE(S) 1. City of Toronto, ON, Peel Region, Maxar, Microsoft
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TITLE
Current Conditions

CLIENT
 Alexandra Battiston & Mark Tatone

PROJECT
 Scoped Cultural Heritage Impact Assessment, 40 Nashville Road, City of Vaughan, Ontario

PROJECT NO. LHC0424

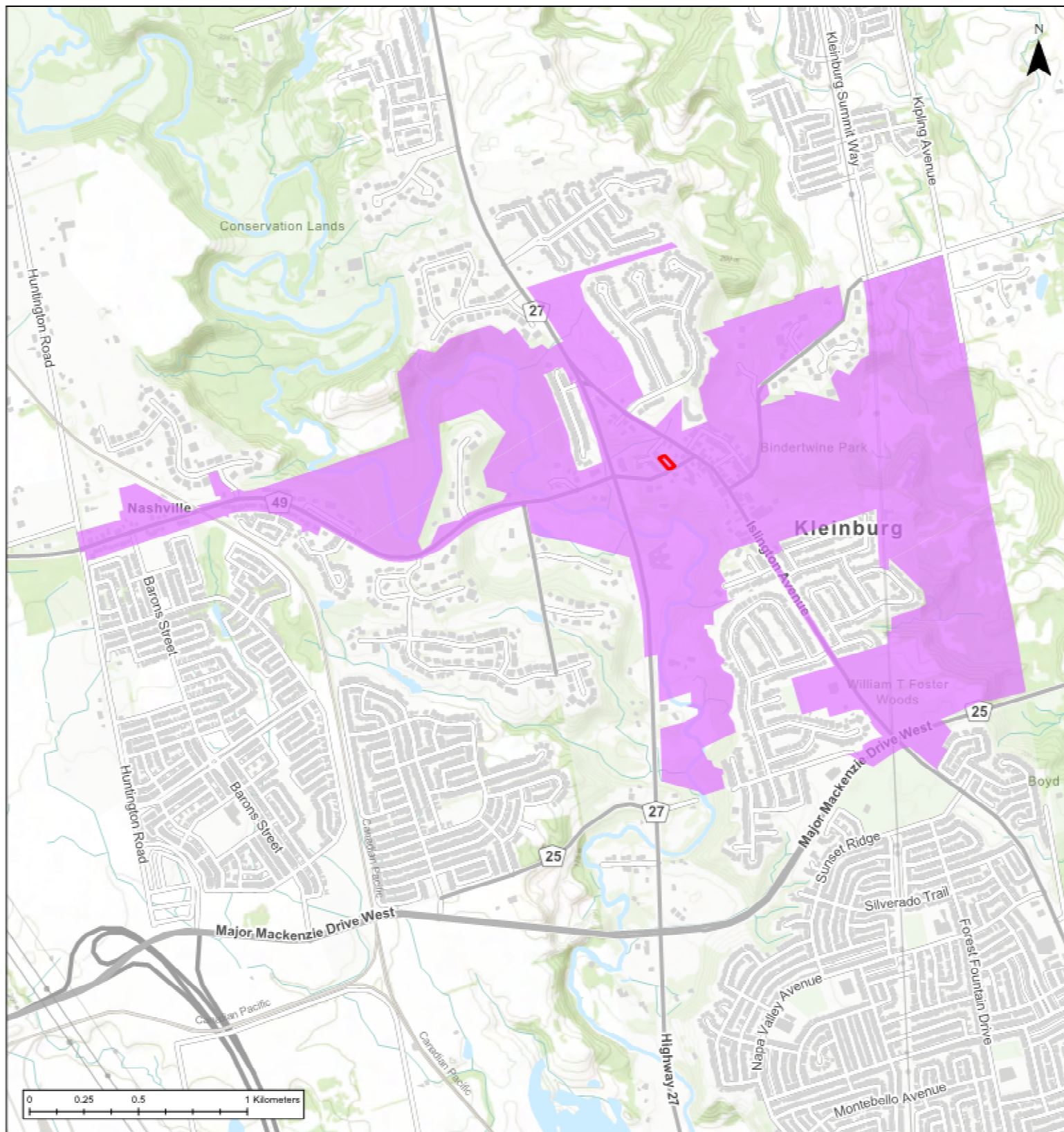


YYYY-MM-DD

2/20/2024

FIGURE #

2



Legend

Property HCD Boundary

NOTE(S) 1. All locations are approximate.

REFERENCE(S) 1. City of Toronto, Province of Ontario, York Region, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, NRCan, Parks Canada
2. City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." Last updated September 2021. Accessed 14 December 2023.
https://www.vaughan.ca/sites/default/files/2023-02/KNHCD%20Plan%20Update%202022%20Final_0.pdf?file-version=1703165767437.

TITLE
Location of the Property Within the Kleinburg-Nashville HCD

CLIENT
Alexandra Battiston & Mark Tatone

PROJECT
Scoped Cultural Heritage Impact Assessment, 40 Nashville Road, City of Vaughan, Ontario

PROJECT NO. LHC0424



YYYY-MM-DD

2/20/2024

FIGURE #

3

2 STUDY APPROACH

LHC generally follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning, and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* and the MCM's *Ontario Heritage Tool Kit*.² Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation, and evaluation—when necessary.
- Understanding the setting, context, and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

In the context of this Scoped CHIA, emphasis was placed on understanding the setting, context, and condition of the Property. The heritage planning regulatory framework surrounding the Property, adjacent heritage properties, and the KNHCD was also a primary point of focus. This approach is consistent with the recommended methodology outlined by the MCM in the *Ontario Heritage Tool Kit: Heritage Property Evaluation*.

2.1 Legislation and Policy Review

This Scoped CHIA includes review of policy and legislation focused on information directly related to the proposed new building and its consistency with the policies identified within the Kleinburg-Nashville Heritage Conservation District plan.

2.2 Site Visit

A site visit was conducted on 22 February 2024 by Intermediate Cultural Heritage Specialist Colin Yu. The purpose of this site visit was to document and gain an understanding of the Property and its surrounding context. The site visit included documentation of the Property and its surrounding area. Access to the Property was granted by the Owner. Unless otherwise attributed all photographs in this Scoped CHIA were taken during the site visit. A selection of photographs from the site visit that document the Property are included in Section 4.

2.3 Understanding of Cultural Heritage Value or Interest

A description of the heritage character of the area, cultural heritage value of Nashville Road as part of the KNHCD, and any relevant heritage attributes of the KNHCD are included in this Scoped CHIA to inform the impact assessment and design advice or mitigation measures.

² Canada's Historic Places. "Standards and Guidelines for the Conservation of Historic Places in Canada." 2010. Accessed 12 February 2024. <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>. 3; and Ministry of Citizenship and Multiculturalism. "Heritage Property Evaluation." Ontario Heritage Tool Kit." 2006. Accessed 12 February 2024. <https://www.publications.gov.on.ca/heritage-property-evaluation-a-guide-to-listing-researching-and-evaluating-cultural-heritage-property-in-ontario-communities>. 18.

2.4 Description of the Proposed Development

This Scoped CHIA includes a description and drawings for the redeveloped shed currently under construction on the Property.

2.5 Impact Assessment

The impact assessment considers the redeveloped shed's compliance to the policy and guidelines identified in the *Kleinburg-Nashville Heritage Conservation District Plan* (see Section 3.1) as well as its compliance with the MCM's *Info Sheet #5* and Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*, as described below. The impact assessment considers direct and indirect impacts to the Property itself, to the adjacent heritage properties at 9 Lester B. Pearson Street, 27 Lester B. Pearson Street, and 30 Nashville Road, and to the KNHCD.

2.5.1 Info Sheet #5

The MCM's *Info Sheet #5 Heritage Impact Assessments and Conservation Plans* outlines seven potential negative impacts to be considered with any proposed development or site alteration. The impacts include, but are not limited to:

1. **Destruction** of any part of any significant heritage attribute or features;
2. **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
3. **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
4. **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
5. **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
6. **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
7. **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

2.5.2 Standards and Guidelines for the Conservation of Historic Places in Canada

The *Standards and Guidelines for the Conservation of Historic Places in Canada (S&G)* has been adopted by most federal agencies (including Parks Canada), provinces, heritage agencies (such as the Ontario Heritage Trust), and many municipalities, including the City of Toronto, as the guiding document for heritage work. They are considered best practice guidance for heritage conservation in Canada. The City reviews the S&Gs as part of heritage permit applications.

The S&G document is a tool to help guide change for cultural heritage resources. It provides an overview to the conservation decision-making process, identifies appropriate conservation treatments, and provides standards and guidelines appropriate for conservation. The S&Gs view conservation as a sequence of actions — from understanding the historic place, to planning for its conservation and intervening through projects or maintenance. In the context of the S&Gs, conservation is understood to embrace several key concepts including preservation, rehabilitation, and restoration.

Since the proposed redevelopment of the shed does not fall under the purview of preservation, rehabilitation, or restoration, as they are described in the S&G, the applicability of the S&Gs are limited. Moreover, the Property is a non-contributing property in the KNHCD and it does not have any specific heritage attributes connected to it. Nevertheless, some guidance with applicability to the proposed development as an intervention in a HCD is provided through the following standards:

3. Conserve heritage value by adopting an approach calling for minimal intervention.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

2.5.3 Correspondence

The Owner has obtained letters of support for the proposed development from the owners of seven adjacent and nearby properties and from the Kleinburg & Area Ratepayers' Association. Letters of support are appended in Appendix C.

3 POLICY AND LEGISLATION CONTEXT

3.1 Kleinburg-Nashville Heritage Conservation District Study and Plan

The Kleinburg-Nashville Heritage Conservation District Study (*KNHCD Study*) and Kleinburg-Nashville Heritage Conservation Plan (*KNHCD Plan*) were prepared by Dillon Consulting, ARA, and AREA in 2021.

Per Section 1.3 of the *KNHCD Plan*, activities that are subject to review include:

- All exterior construction activity, including **new buildings or structures**, additions and alterations to existing buildings and structures, and maintenance and repair activity on existing buildings and structures that affects the heritage character of the HCD; and,
- All activity in the HCD that falls under the purview of Site Plan Control, the Sign By-Law, the Building Code Act, and the Planning Act. These include **activities that require planning permission**, site plan review, building permits, signage permits, and demolition and relocation permits.³

Section 2.1 of the *KNHCD Plan* defines its objectives, among them is to “[m]anage designs for new development to ensure appropriate contribution to the heritage character”. The intent of this objective is:

Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Reiterating again that lot consolidation, particularly in the residential areas, shall be discouraged in order to protect and maintain the original lot design of the 19th century as much as possible, new developments will be restricted to the original lot fabric.⁴

Section 2.4.2 of the *KNHCD Plan* identifies a **policy** for alterations and additions to non-contributing properties. It states:

Many of the buildings and properties within the HCD are non-contributing and many of these non-contributing properties are ‘good neighbours’ to adjacent existing historic and contributing properties with appropriate scale, massing and design.

Additions and alterations to non-contributing buildings have an impact on their contributing neighbours, the streetscape and the overall character of the HCD. As non-contributing buildings are altered and added to, these shall aim not to detract from the heritage character of the HCD overall and to adjacent

³ City of Vaughan. “Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan.” Last updated September 2021. Accessed 14 December 2023. https://www.v Vaughan.ca/sites/default/files/2023-02/KNHCD%20Plan%20Update%202022%20Final_0.pdf?file-verison=1703165767437. 6.

⁴ City of Vaughan. “Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan.” 20.

properties. Any irreversible alterations or modifications [sic.] proposed will require a Cultural Heritage Impact Assessment within the HCD. Designs shall be sympathetic in nature and materials without recreating heritage styles.⁵

Section 2.4.3 of the *KNHCD Plan* identifies a **policy** for the demolition of non-contributing properties. It states:

The process of evaluation of a building's design (scale, massing and/or architectural design) will be completed through a formal Cultural Heritage Impact Assessment drafted by a member with professional qualifications. Their assessment will determine if the property is sympathetic and supportive to the adjacent properties and the overall character of the HCD. They will provide their conclusion based on the distinctions within the assessment and either support or not support the proposed demolition.⁶

Section 2.5 of the *KNHCD Plan* identifies **policies** for new development. The following description is provided:

New development shall complement and enhance the character of the HCD and shall be sympathetic in siting, scale, material, texture, and general design to the heritage buildings around them. New development shall be limited to vacant sites or to sites currently occupied by unsympathetic buildings. Even the most skillfully executed heritage-friendly building cannot replace the value of a real heritage building. The City may require a Cultural Heritage Impact Assessment when new development is proposed within the HCD...

Within the District, new development as reflected in any zoning, variance, subdivision, consent or part lot control exemption application, will be designed to respect and reinforce the existing physical character and uses of the surrounding area, specifically respecting and reinforcing the following elements:

- A. the local pattern of lots, streets and blocks;
- B. the size and configuration of lots;
- C. the building type of nearby residential properties;
- D. the orientation of buildings;
- E. the heights and scale of adjacent and immediately surrounding residential properties;
- F. the setback of buildings from the street;
- G. the pattern of rear and side-yard setbacks;

⁵ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 36.

⁶ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 36.

- H. the presence of mature trees and general landscape character of the streetscape;
- I. the existing topography and drainage pattern on the lot and in the adjacent and immediately surrounding properties; and,
- J. conservation and enhancement of heritage buildings, heritage districts and cultural heritage landscapes.

The above elements are not meant to discourage the incorporation of features that can increase energy efficiency (e.g. solar configuration, solar panels) or environmental sustainability (e.g. natural lands, rain barrels). Different uses and different settings within the HCD have different characters and requirements for new development. These are outlined in the following sections.⁷

Section 2.5.1 identifies **policies** pertaining to new residential development in the KNHCD. Each of the relevant policies from this section of the *KNHCD Plan* are described in Section 7.3.1 of this Scoped CHIA along with commentary on how the proposed house does or does not comply with HCD Plan policy.

Section 4.4 of the *KNHCD Plan* identifies design and architectural **guidelines** for new development. The following description is provided:

The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Different settings within the district have different characters of siting, landscaping and streetscaping.

New development within the District shall conform to qualities established by neighbouring contributing buildings which form the heritage context, and the overall character of the setting. Designs shall reflect a suitable local heritage precedent style. Research shall be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail. The following guidelines, describing the dominant elements that contribute to the heritage character of the District, are divided according the principal settings found in the District.⁸

Subsection 4.4.2 addresses new development specifically in residential areas of the KNHCD. It is prefaced with the following discussion:

⁷ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 37.

⁸ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 134.

The historical residential villages were laid out with large lots, ranging between a quarter- to a half-acre. Houses were mostly of a modest scale, leaving generous yards on all sides. Front- yard setbacks vary somewhat, but are small compared to the rear yards, where space was needed for stabling, herb and vegetable gardens, and orchards. An early village household needed these means for self-sufficiency, and lawns and decorative planting were minimal. The use of the yards has changed, and they provide more pleasure and less production now, but to a great extent the original village scale has persisted. Building height, lot coverage, and density are all low. The streetscapes are unified by a canopy of trees, planted in front of, behind, and beside most houses.⁹

Subsection 4.4.4 of the *KNHCD Plan* provides guidelines regarding materials. Subsection 4.4.5 of the *KNHCD Plan* provides the following guidelines regarding lighting. Section 4.5 of the *KNHCD Plan* provides the following guidelines regarding urban design. Section 4.6 of the *KNHCD Plan* includes guidance on landscaping. Specific guidelines relevant to the proposed development on the Property are included in Section 7.3.2 of this Scoped CHIA along with commentary on how the proposed shed does or does not comply with the guidance from the HCD Plan.

⁹ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 135.

4 EXISTING CONDITIONS

4.1 Surrounding Context

The Property is located in the City of Vaughan in York Region. The Property is in the KNCHD located in the City's northwest corner. The KNHCD is divided into three areas including Kleinburg Village, Nashville Village, and areas surrounding the Humber River. It includes properties on Bell Court, Highway 27 near its intersection with Islington Avenue to the north and the property at 10299 Highway 27 to the south, Howland Mill Road, Islington Avenue between Highway 27 and the property at 10341 Islington Avenue, John Street, Kellam Street, Klein's Crescent, Lester B. Pearson Street, Main Street, Napier Street, Nashville Road between Huntington Road and Islington Avenue, Stegman's Mill Court, Valley Road, and Windrush Road.

The Property is located near the centre of Kleinburg Village. It is bound by Nashville Road to the southeast, and three residential properties; 9 Lester B. Pearson Street to the southwest, 27 Lester B. Pearson Street to the northwest, and 30 Nashville Road to the northeast. Nashville Road provides access between Islington Avenue to the east and Highway 50 to the west. Although it is generally a regional arterial road, it is classified as a minor collector road between Islington Avenue and Highway 27. Nashville Road is approximately 7.8 metres wide in front of the Property and is composed of one eastbound and one westbound lane. The road has an asphalt driving surface with concrete mower edge curb, brick shoulder, and concrete sidewalk on both sides. The brick shoulder on the north side of the road is wider than that on the south side and permits on-street parking. Streetlights are present on both sides of the road (Photo 1).

The adjacent property at 9 Lester B. Pearson Street is a rectangular shaped lot with an approximate area of 0.11 hectares. The house on it is a single detached, brick one-and-a-half storey building (Photo 2). The adjacent property at 27 Lester B. Pearson Street is an irregularly shaped lot with an approximate area of 0.14 hectares. The house on it is a single detached, brick two-and-a-half storey building (Photo 3). The adjacent property at 30 Nashville Road is a rectangular shaped lot with an approximate area of 0.19 hectares. The house on it is a single detached, clapboard one-and-a-half storey building (Photo 4).

The topography surrounding the Property is defined by a hill that slopes downward to the west to meet the Humber River. Mature deciduous trees are common along property lines in the area, as well as in front, side, and rear yards. Properties in the area typically have a manicured front lawn with hedges, shrubs, and gardens with perennial flowers.

The area is typically contained within a Main Street Mixed-Use – Kleinburg Zone (KMS). Other nearby zones include First Density Residential (R1B), Estate Residential (RE), Environmental Protection (EP), Open Space (OS), and Institutional (I1). Single detached houses are the most common building type in the area. Houses range from one to two-and-a-half storeys. Brick and clapboard siding are the most common cladding materials in the area, with board and batten and stucco also being present. Properties in the area are most often rectangular in shape and have a narrow lot frontage and deep length. Buildings typically have a setback from the road ranging from no less than approximately 6.8 metres to no more than approximately 18.8 metres.



Photo 1: View northeast showing Nashville Road as it passes in front of the Property



Photo 2: View northeast showing the adjacent property at 9 Lester B. Pearson Street



Photo 3: View northeast showing the adjacent property at 27 Lester B. Pearson Street

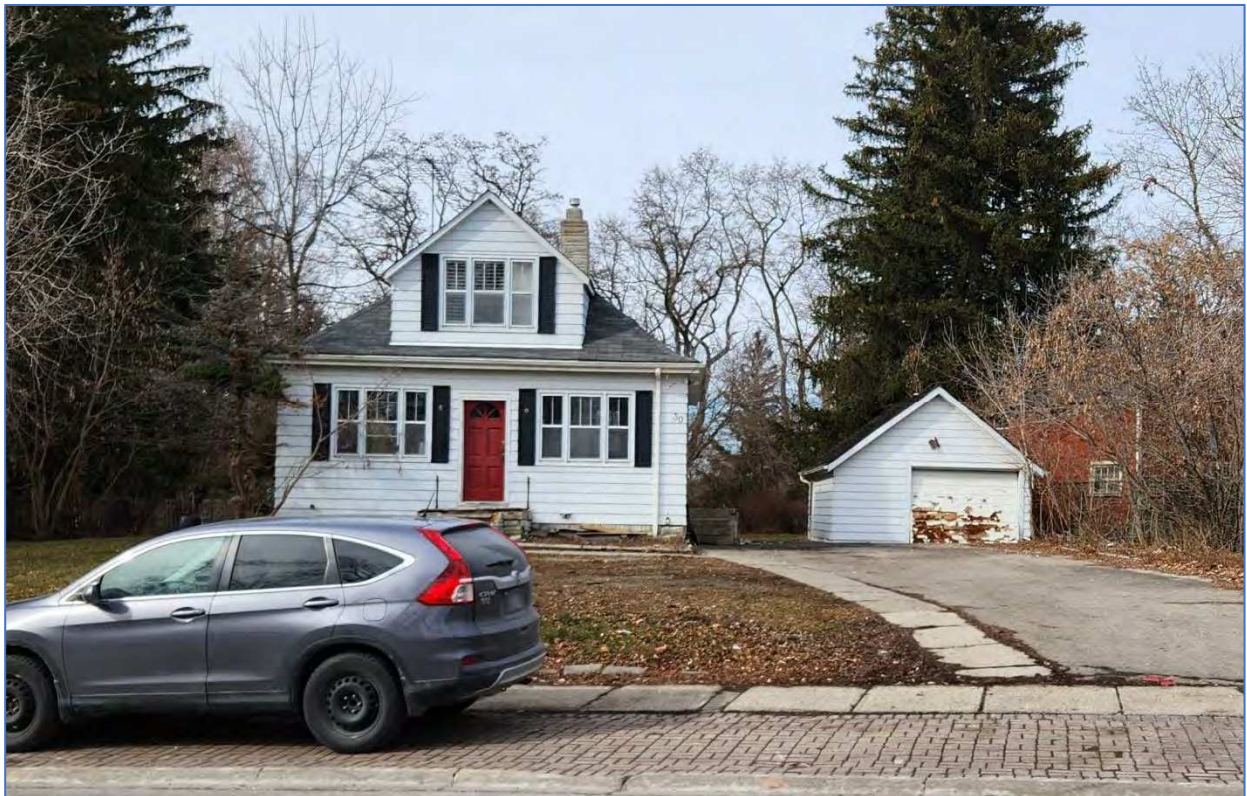


Photo 4: View northwest showing the adjacent property at 30 Nashville Road

4.2 Adjacent Heritage Properties

Descriptions of each adjacent property in the *KNHCD Plan* are included in Table 1.

Table 1: Adjacent Heritage Properties

Property	Description from <i>KNHCD Plan</i>
9 Lester B. Pearson Street (see Photo 2)	<p><i>The building described below was demolished and the property was redeveloped with the current house between 2002 and 2005.</i></p> <p>1½ storey, traditional frame house with former board-and-batten siding, now altered (c. 1870).</p> <p>Comments</p> <p>This once-small-and-rustic house, set high on a prominent lot surrounded by large, sugar-maple trees, has been rather compromised by the passage of time; and although now being reworked, restoration is apparently not intended. Vertical boards of original cladding, surprisingly, remain, and are unfortunately about to be hidden again. Large development to north suggests that period house is to become, in effect, a façade. In this case, investigation might be made into restoration of building. Front door should be replaced, probably with solid, four-panel or half-glazed wooden door. Front windows, to either side, should be reinstated, probably with 2/2, square-headed units with thick sills and simple casings. Verandah should also be reinstated, probably with four posts with chamfered corners and without railing. And of course, rough-sawn battens should be reinstated, using cut nails, and building should be painted to match an original colour, if indeed it was originally painted. Period windows at the side elevations should also be replicated, and a wood-shingle roof should be installed, with half-round gutters at eaves.</p> <p>Description</p> <p>South elevation – now largely concealed by chipboard, displays mud sills at the south-west corner, with a tenon just visible. There are no front windows visible, but original broad boards of board-and-batten siding may be seen above. Central pressed-metal door has two lower panels and leaded-light above. Witness of lean-to front verandah remains at high level.</p> <p>West elevation – shows history of cladding materials, from original, wide boards (now without battens), through panels of asphalt-shingle Insulbrick cladding (presumably installed circa 1950), to most recent, horizontal, metal siding. Ground-floor window, with 1/1 either side of fixed central sash, is probably contemporary with Insulbrick. 1/1 window</p>

Property	Description from <i>KNHCD Plan</i>
	(behind metal storm window) at gable peak probably occupies original aperture. Soffits are aluminum-clad, brick chimney is later alteration to serve furnace, and roof is clad in asphalt shingles. Lean-to addition to west is assumed to be later addition to original. ¹⁰
27 Lester B. Pearson Street (see Photo 3)	<p><i>The building described below was demolished and the property was redeveloped with the current house in 2020.</i></p> <p>Pitched-roof, L-shaped red-brick bungalow (c. 1960).</p> <p>Comments</p> <p>Modest bungalow is typical of early suburban Kleinburg, including unusual gravel drive. Replacement windows have thinner frame sections than original, which were presumably of wood. Gable cladding also was presumably of wood, and soffits may be plywood under current aluminum. Nonetheless, replacement materials are more of less typical of the period and may remain. Any addition to this house should not rise above the present roof lines. For possible redevelopment of the site, see the Plan and Guidelines.</p> <p>Description</p> <p>Pitched-roof bungalow is set on slight rise and is reached by small flight of concrete steps up from gravel drive to north. Front door, and adjacent sidelight, is hidden within small, aluminum-framed, glazed vestibule tucked under eaves adjacent projection of living room within. Living room has large picture window flanked by replacement, aluminum 1/1 units. Sill is thin, sawn limestone and lintel is concealed. Windows to right of door are small 1/1 and larger horizontal slider, both replacements and both apparently set within original frames, now flashed in aluminum, over similar stone sills. Gables are clad in closely spaced aluminum siding, and soffits, fascias and rainwater goods are in conventional aluminum profiles. Roof is clad in grey asphalt shingles.¹¹</p>

¹⁰ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 3 – The Inventory." Last updated September 2021. Accessed 12 February 2024. https://www.v Vaughan.ca/sites/default/files/2023-02/KNHCD%20Plan%20Update%202022%20Final_0.pdf?file-verison=1703165767437. 74.

¹¹ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 3 – The Inventory." 78.

Property	Description from <i>KNHCD Plan</i>
30 Nashville Road (see Photo 4)	<p>Symmetrical, 1½ storey, aluminum-clad, post-war house with large dormer (c. 1950).</p> <p>Comments</p> <p>Despite some recent interventions at front stairs, exposed basement level and at chimney, house retains a fairly traditional aspect. Bell-cast roof, gabled dormer, and double hung windows help to achieve this, and thus building is a quiet neighbour within heritage district. Removal of the recent stone cladding, so contemporary in nature, is recommended, and a door more in keeping with period of house would be an improvement. Metal storm windows, however, are not obtrusive in this instance, nor is aluminum siding, which is assumed to replicate original wooden clapboard.</p> <p>Description</p> <p>Modest house is square in plan, and symmetrical in front elevation, with central door reached by small flight of stone-clad stairs having plain metal railings to either side. Replacement front door is panelled, with so-called fanlight in upper area (behind ¾ glazed metal storm). House is clad entirely in aluminum siding, with base below clad in veneer similar to Angelstone. Windows at either side consist of 3 units each, with central 3/1 flanked by narrower 2/1 units (all behind 1/1 metals storms). Window trim is all aluminum and includes narrow shutters beyond – two of these being behind the electric lights at either side of front door. Narrow soffits are finished in aluminum, and narrow fascias support ogee-type aluminum gutters leading to conventional downpipes. At second floor, broad, gabled, central dormer is also fully clad in horizontal aluminum siding and contains window similar in size and type to windows at ground floor. Main roof has slight bell-cast, and all pitches are clad in dark grey asphalt shingles. A single chimney stack rises from the upper east pitch of the roof, and this too is clad in bands of stone veneer as at base of house.¹²</p>

4.3 The Property

The Property is a rectangular lot of approximately 0.19 hectares (1900 square metres) on the northwest side of Nashville Road that is occupied by a one-and-a-half to two-storey house and a shed. The Property can be accessed from a cobbled driveway that connects to Nashville Road and extends along the northeast property line to the east of the house. A cobbled walkway extending along the southeast and southwest sides of the house provides access to the house's

¹² City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 3 – The Inventory." 116.

entrances and to the backyard. Two stone paths, one on either side of the house, provide access to the shed. The Property's front yard is composed of a manicured front lawn surrounded by hedges and shrubs. Three mature deciduous trees are also situated in the front yard. Mature deciduous and coniferous trees and hedges extend along the northeast and southwest property lines, respectively. The back yard is generally composed of a manicured lawn with mature deciduous trees interspersed throughout. The northwest property line is covered with mature coniferous trees (Photo 5).



Photo 5: View west showing the Property

4.4 House

The house is a single detached, rectangular building that is approximately 18.1 metres wide and 10.4 metres deep (Photo 6 and Photo 7). The house is typically two storeys; however, the eastmost section is one-and-a-half storeys. The primary, southeast elevation is divided into four bays. The house is clad in grey-painted clapboard siding with white cornerboards. It has a side gable roof that varies in pitch. The west section has a low pitch, and the east section has a moderate pitch. A return eave is present at the gable end on both sides of the house. The west roof peak has a small kingpost/finial. External chimneys are on both sides of the house. The chimney on the southwest elevation is slightly offset towards the house's southeast elevation. It is composed of light red brick set in stretcher bond, has decorative corbelling, and has a concrete cap. The chimney on the northeast elevation is centred on its elevation. It is composed of dark red brick set in stretcher bond, has decorative corbelling, and has a concrete cap. The

house has two wall dormers with front gable roofs and bargeboard on its east section. Windows typically have a flatheaded opening, simple eared wood heading, plain side trim, and wood slip sill. Eight-over-eight double-hung windows are typical, with six-over-six double-hung also being present. Windows appear as single units or as two mulled units. Two bay windows are also located on the house's southeast elevation. The house's main door has a single leaf door with three lights. It has a flatheaded opening, simple eared wood heading, and plain side trim with a single window on either side. The main door is accessed from the house's porch, which wraps around the west side of the southeast elevation and southwest elevation. The porch has a shed roof supported by square posts with decorative bargeboard.



Photo 6: View northwest showing the house on the Property's northeast and southeast (primary) elevations



Photo 7: View northeast showing the house on the Property's southeast (primary) and southwest elevations

4.5 Shed

4.5.1 Before Redevelopment

The former shed was a rectangular, one-and-a-half storey building measuring 13.0 metres wide by 12.8 metres deep built in 1976. The primary, southeast elevation was divided onto four uneven bays composed of three doors and one window. The barn was clad in board and batten siding and had a multi-pitched, side gable roof. The centre section of the roof had a +8:12 pitch, and the sides had a +6:12 pitch. The roof had projecting eaves with exposed rafters. The barn had four windows that were each composed of a flatheaded opening and simple wood trim. Two windows were on the southeast elevation, including a +47"x20" window in the eastmost bay of the first storey and a central, four pane window centrally set into the upper half storey. One +30"x50" window was centrally located on the first storey of the southwest elevation and one +48"x38.5" window was centrally located on the upper half storey of the northwest elevation. The shed had three doors, each located on its southeast elevation. All three doors had a flatheaded opening, simple trim, and 6" sill. The eastmost door was composed of a solid inward swinging single leaf door. The central door and westmost door were composed of two solid outward swinging leaves. The central door was +124" wide and the westmost door was +86" wide.

4.5.2 Ongoing Redevelopment

The Owner is in the process of rebuilding the shed on the Property. The initial plan was to deconstruct and reconstruct the shed, with new and reused materials, onto a new foundation. During deconstruction, the existing timber beams and columns were determined to not be structurally adequate for reuse (see Photo 8 and Photo 9; refer to Appendix D for Valentin Engineering Ltd.'s structural memorandum). As a result, new wood framing members were used. At the time of writing, the new barn's foundation wall, footings and piers, wood frame, and roof deck have been constructed (Photo 10 through Photo 13). The shed is obscured from view from the public right-of-way on Nashville Road and Lester B. Pearson Street by other buildings and vegetation (Photo 14 and Photo 15).



Photo 8: View of structural members from the previous shed



Photo 9: View of structural member from the previous shed



Photo 10: View northwest showing the shed's southeast elevation



Photo 11: View northeast showing the shed's southwest elevation



Photo 12: View southeast showing the shed's northwest elevation



Photo 13: View southwest showing the shed's northeast elevation



Photo 14: View northeast taken from Main Street showing the shed. It is obscured by the houses on 9 Lester B. Person Street and 27 Lester B. Pearson Street and by mature coniferous trees.



Photo 15: View west taken from Nashville Road showing the shed. It is obscured by the house on 30 Nashville Road and by mature coniferous and deciduous trees.

5 UNDERSTANDING OF CULTURAL HERITAGE VALUE OR INTEREST

5.1 Kleinburg-Nashville Heritage Conservation District

5.1.1 Statement of Significance

The *KNHCD Study* provides the following statement of significance for the HCD:

The Kleinburg-Nashville Heritage Conservation District contains the historic villages of Kleinburg and Nashville, portions of the Humber River valley and historic road linkages. The HCD boundary is generally centred around the Kleinburg's historic core at the intersections of Islington Avenue, Nashville Road and County Road 27. It extends westerly along Nashville Road to encompass the Hamlet of Nashville, also known as Kleinburg Station, which is historically connected to the Village of Kleinburg. It includes the Humber River Valley which was the reason for development of mills at this location, thus the functional tie between the river and the villages has been preserved.¹³

5.1.2 Heritage Attributes

The *KNHCD Study* identifies the following list of heritage attributes:

- Landmark properties:
 - Pierre Berton Heritage Centre, 10418 Islington Avenue, (Former Kleinburg United Church Building)
 - McMichael Art Gallery, 10365 Islington Avenue
 - Railway Station, 10415 Islington Avenue (By-law 144-78)
 - 10535 Islington Avenue (By-law 30-85)
 - 10483 Islington Avenue (By-law 32-85)
 - Arthur McNeil House, 10499 Islington Avenue (By-law 39-88)
 - Doctor's House, 21 Nashville Road (By-law 48-79)
 - Kline House, 8 Nashville Road (By-law 73-83)
- Cultural Heritage Landscapes including:
 - Humber River and Valleys
 - McMichael Canadian Collection Property (10365 Islington Avenue)
 - Historic Village Core of Kleinburg
 - Historic Village Core of Nashville
 - Windrush Co-operative (properties on Valley Road, Windrush Road, and No. 30 Stegman's Mill Road)
 - Kleinburg Cemetery (59 Nashville Road)
- Mature trees in front, side and rear yards of residential and commercial properties;

¹³ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 1 – The Study." Last updated September 2021. Accessed 14 December 2023. https://www.vaughan.ca/sites/default/files/2023-02/KNHCD%20Plan%20Update%202022%20Final_0.pdf?file-verison=1703165767437. 163.

- Collection of structures dating from the mid-19th to early-20th century representing different architectural styles and materials expressed in rural Ontario villages during this era;
- Collection of modernist architecture;
- Commercial core of Kleinburg that is pedestrian oriented with narrow setbacks from the street, and the building entrances that face the street;
- Variety of setbacks in the residential areas;
- Islington Avenue as a remnant of the Carrying Place Trail;
- Nashville Road as an historic link between Kleinburg and Nashville;
- Rural curbless cross-section, with drainage ditches on both sides of the roadway of Islington Avenue from Major Mackenzie to Pennon Road, and Nashville Road intermittently from Lester B. Pearson Street to Highway 27, and west of the bridge along Nashville Road to Huntington Road;
- Low-density scale and massing of structures ranging from one to two-and-a-half storeys in building heights; and
- Views to/from heritage attributes including:
 - Classic village views exist along Islington Avenue within the business district of Kleinburg generally extending between Redcroft House (west side) and the McMichael Canadian Art Collection (east side) to the intersection with Nashville Road. In particular the views looking north in the vicinity of Stegman's Road and south from Nashville Road.
 - Between Howland Road and Klein's Ridge Road, Nashville Road curves northward and crosses the Humber River affording views up and down the valley, particularly to the north. Driving eastward through this area gives long range views to the hilly terrain that surrounds Kleinburg.
 - View directly south from the Nashville Road along the railway to the relic of the grain elevator that portrays the early industrial history of Nashville.
 - Highway 27, at the crossing of the Humber River, views of the river and valley, particularly to the west.¹⁴

5.2 Kleinburg Village

The Property is in the Kleinburg Village character area, which is given the following description in the *KNHCD Plan* "Kleinburg Village, which is set on the narrow ridge between the valleys of the two branches of the Humber River and centred on what is now Islington Avenue. The village was founded in 1848 around the existence of several mills."¹⁵ Additional description is provided in Section 2.7.2 of the *KNHCD Plan*, which states:

Within the historic Village Core of Kleinburg, the major artery is Islington Avenue, with Nashville Road as a secondary route. The remaining streets within the Village Core include: Stegmans Mill Road, Main Street, Lester B Pearson Street, John Street, Napier Street, and Kellam Street. The streetscapes are unified by a

¹⁴ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 1 – The Study." 166-167.

¹⁵ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 16.

canopy of trees, planted in front of, behind, and beside most houses. The existing condition is a great deal more urban than that of the Village of Nashville, and in some areas the new development along the west side of Islington Avenue are over-urbanized which dampen the visual quality of the village character, which has been buried under an array of standard pavers, bollards, and planting tubs. Reconfiguring these elements can help to restore the village character of Kleinburg.

Majority of the houses along the Islington Avenue do not front onto the street and thus require reinforcing of the sense of place. Other buildings within the Kleinburg Village Core include a few commercial properties which front onto the street and have a shorter setback. Building frontages and mature trees enhance the streetscape. The width of the right of way creates space for a wide range of activities and programs. Currently, the roadway is busy and should be designed to calm traffic and focus on transforming the street into a pedestrian-oriented place.

There is an existing set of streetscape guidelines, Village of Kleinburg: Islington Avenue Streetscape Master Plan Study (2011), for the stretch of Islington Avenue from Major Mackenzie Road north to Regional Road 27 and also along Nashville Road from Regional Road 27 to Islington Avenue. The guidelines support the pedestrian-oriented road design and village character of Kleinburg and will be reinforced in this Plan.¹⁶

5.3 Nashville Road

Nashville Road is one of the major throughfares through the KNHCD and, accordingly, contains several of HCD's heritage attributes as identified in Section 6.1.2. Two landmark properties, including 9 Nashville Road and 21 Nashville Road are on the street, as well as section of three cultural heritage landscapes including Historic Village Core – Kleinburg, Historic Village Core – Nashville, and Humber River and Valleys. The following heritage attributes are also present along Nashville Road:

- Mature trees in front, side and rear yards of residential and commercial properties;
- Collection of structures dating from the mid-19th to early-20th century representing different architectural styles and materials expressed in rural Ontario villages during this era;
- Nashville Road as an historic link between Kleinburg and Nashville;
- Rural curbless cross-section, with drainage ditches on both sides of the roadway of Islington Avenue from Major Mackenzie to Pennon Road, and Nashville Road intermittently from Lester B. Pearson Street to Highway 27, and west of the bridge along Nashville Road to Huntington Road;
- Low-density scale and massing of structures ranging from one to two-and-a-half storeys in building heights; and

¹⁶ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 42.

- Views to/from heritage attributes including:
 - Classic village views exist along Islington Avenue within the business district of Kleinburg generally extending between Redcroft House (west side) and the McMichael Canadian Art Collection (east side) to the intersection with Nashville Road. In particular the views looking north in the vicinity of Stegman's Road and south from Nashville Road.
 - Between Howland Road and Klein's Ridge Road, Nashville Road curves northward and crosses the Humber River affording views up and down the valley, particularly to the north. Driving eastward through this area gives long range views to the hilly terrain that surrounds Kleinburg.
 - View directly south from the Nashville Road along the railway to the relic of the grain elevator that portrays the early industrial history of Nashville.

Nashville Road has a mix of new and old building stock and is predominantly developed with single-detached residential houses. Historic and non-historic building styles that contribute to the KNHCD are most common in the historic village cores of Nashville and Kleinburg.

Contemporary infill and redevelopment are most notable on Nashville Road between the historic villages. Most contemporary infill and redevelopment occurred in the late 20th century with some also being more recent. Building styles vary considerably along Nashville Road, with most contributing historic and non-historic architectural styles being represented. Buildings generally have a short to moderate setback from the road; mature deciduous and/or coniferous trees in front, side, and rear yards (most common with properties developed earlier); manicured front lawns; and hedges, shrubs, and gardens with perennial flowers.

6 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposed shed will be a one-and-a-half storey wood frame building. The mid-point of the shed's roof will be 6.25 metres above established grade. It will have a rectangular footprint measuring 13.0 metres wide by 12.8 metres deep. It faces southeast and it will have a symmetrical, three-bay façade with a central barn door and standard pedestrian doors on either side. The shed will be clad in black-painted knotty pine board and batten siding. It will have a monitor roof with a moderately-pitched centre section and low-pitched side sections. The roofs have a very shallow overhang and will be clad in black metal roofing. Two shed roof wall dormers, one on both the northeast and southwest sides, are proposed. They will be centrally located along their respective elevations, will be clad in black board and batten siding, and will be clad in black metal roofing. Three skylights are proposed including one on the northeast side of the roof's centre section, one on the southwest side of the roof's centre section, and one on the low-pitched roof on the northeast side of the building. The skylights on the centre section will be located towards the building's northwest elevation to the northwest of the dormers. They will be composed of six fixed pane windows mulled within an aluminum frame. The skylight on the low-pitched, northeast roof will be near the building's southeast elevation and will be composed of three fixed pane windows mulled within an aluminum frame. All proposed materials remain the same as in the original heritage clearance.

The shed will have five windows. All windows have a flatheaded opening and simple wood trim. The southeast elevation has one two-over-two window centrally located on its upper half storey, the northwest elevation has two two-over-two windows equally spaced on its upper half storey, and the northeast and southwest dormers each have one one-by-five window. The barn will have six doors. The primary door is a barn door centrally located on the building's southeast elevation. The barn door has a flatheaded opening and has two projecting solid wood leaves fastened to a black metal rail. All other doors have similar characteristics and are composed of a flatheaded opening with simple trim and have a single leaf door composed of steel with central lights. The two doors on the northwest elevation also have a transom (Figure 4 through Figure 7).

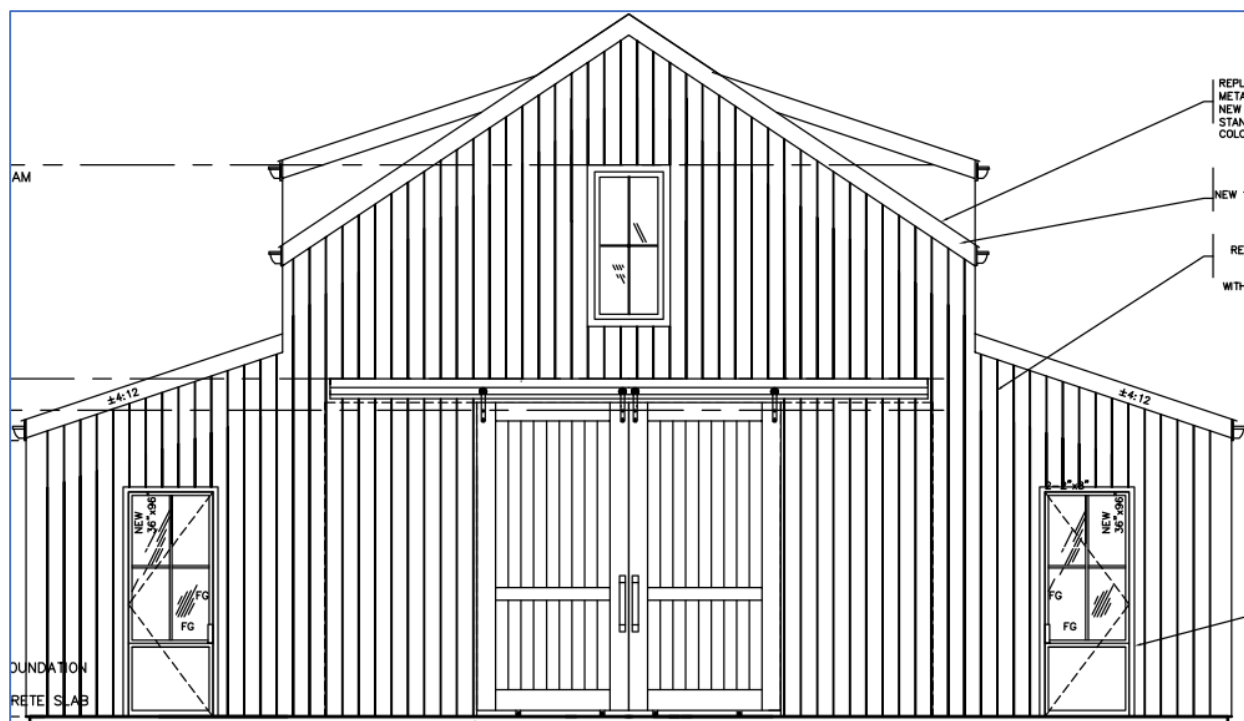


Figure 4: Southeast elevation of the proposed shed

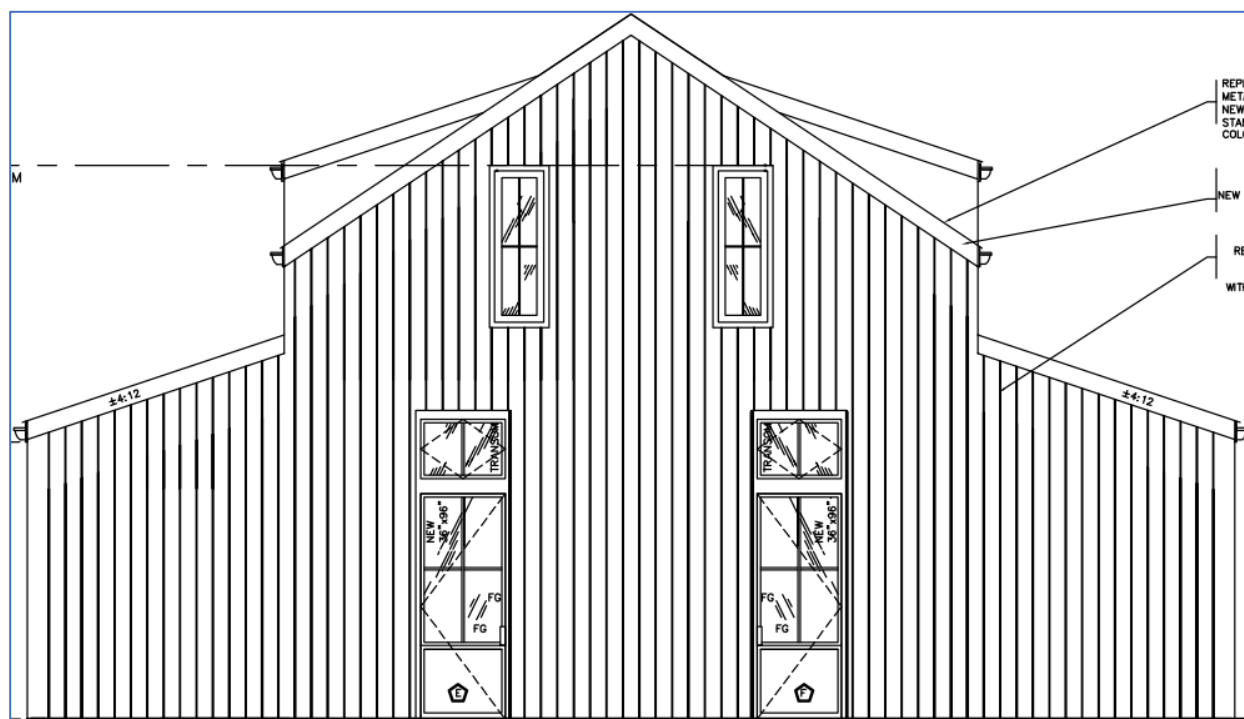


Figure 5: Northwest elevation of the proposed shed

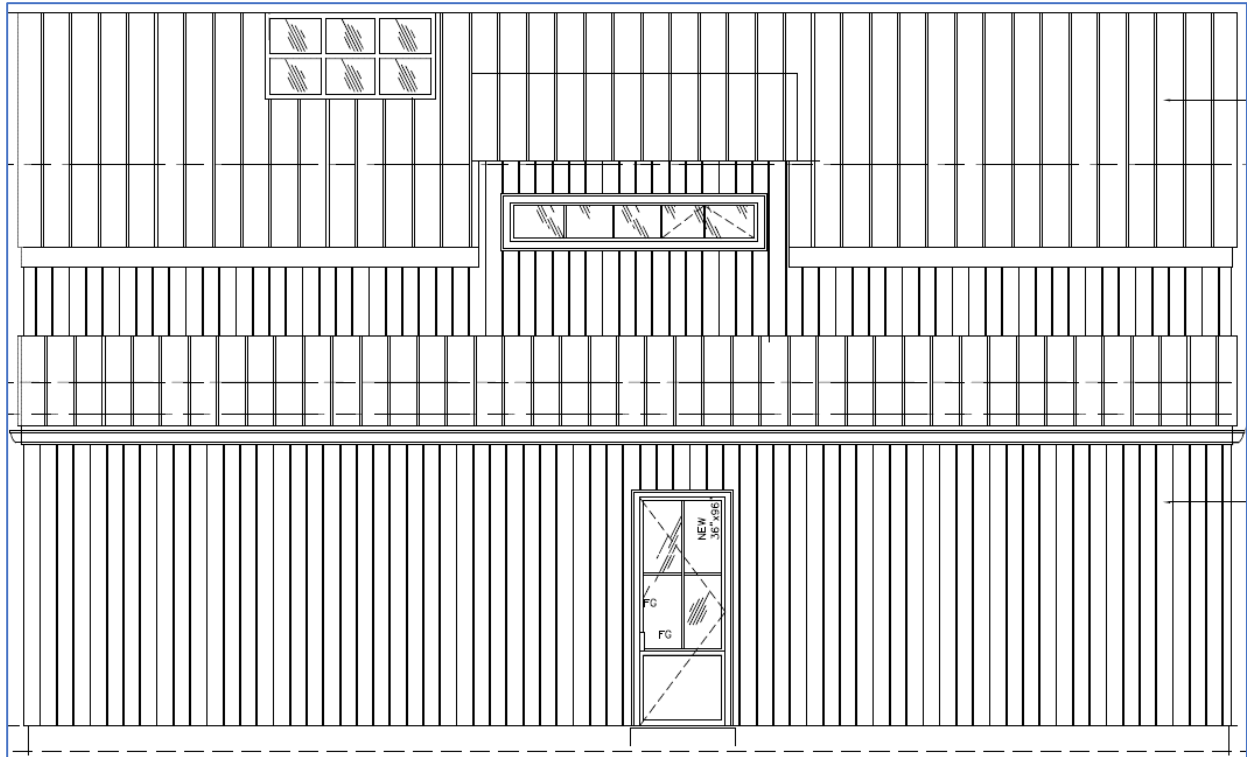


Figure 6: Southwest elevation of the proposed shed

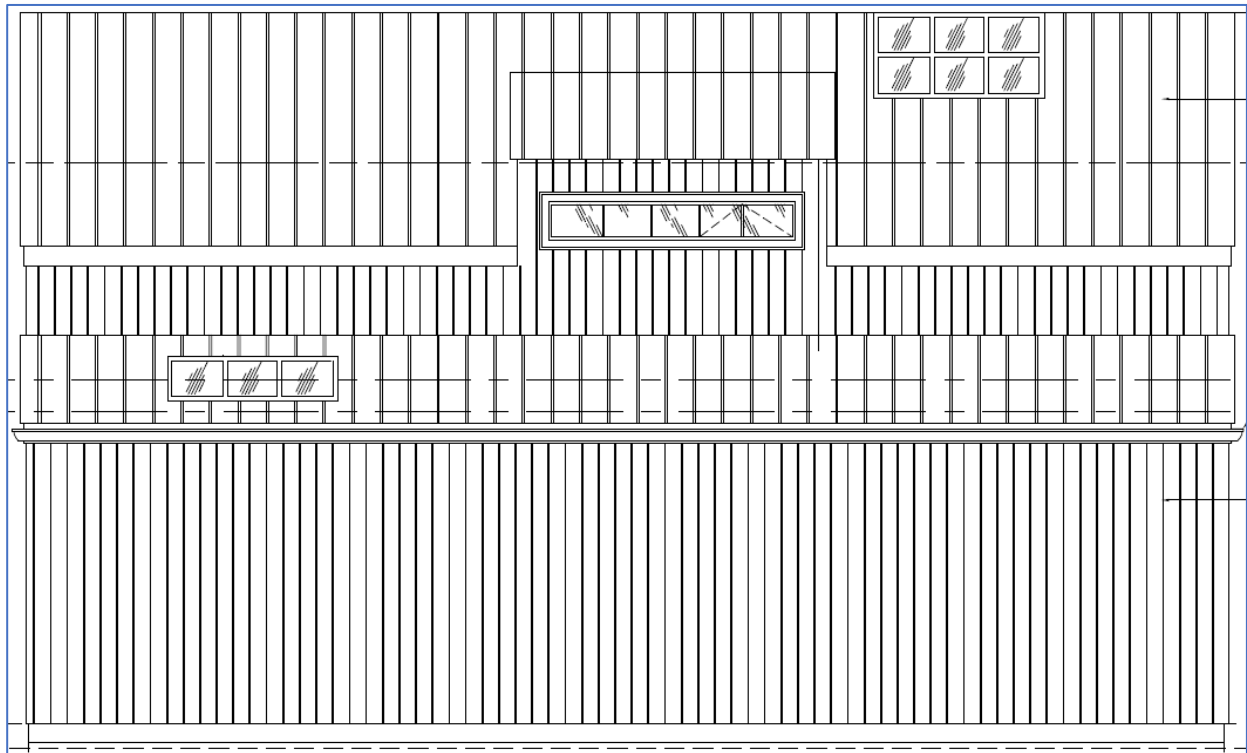


Figure 7: Northeast elevation of the proposed shed

7 IMPACT OF THE PROPOSED DEVELOPMENT

7.1 Potential Impacts to 40 Nashville Road

The Property does not contribute to the KNHCD. Accordingly, there are no specific heritage attributes that will be affected by the proposed shed.

7.2 Potential Impacts to Adjacent Heritage Properties

Given that the adjacent heritage properties at 9 Lester B. Pearson Street and 27 Lester B. Pearson Street are non-contributing properties in the KNHCD, the proposed shed will not result in direct or indirect impacts to those properties. It is also unlikely that the contributing property at 30 Nashville Road will be directly or indirectly affected because of the proposed shed. This is because the proposed shed is located to the rear of the house on 30 Nashville Road and is predominantly blocked from view by mature deciduous and coniferous trees.

7.3 Compliance with the *KNHCD Plan* Policies and Guidelines and Potential Impacts to the KNHCD

7.3.1 Compliance with *KNHCD Plan* Policies

Table 2 assesses the proposed development's compliance with policies pertaining to alterations and additions to non-contributing properties and to new development in the KNHCD.

Table 2: Proposed Development's Compliance with Policies Pertaining to New Residential Development in the *KNHCD Plan*¹⁷

Policy #	Policy	Discussion
2.4.2 Alteration and Additions to Non-Contributing Properties	Additions and alterations to non-contributing buildings have an impact on their contributing neighbours, the streetscape and the overall character of the HCD. As non-contributing buildings are altered and added to, these shall aim not to detract from the heritage character of the HCD overall and to adjacent properties. Any irreversible alterations or modifications [sic] proposed will require a Cultural Heritage Impact Assessment within the HCD. Designs shall be sympathetic in nature and materials without recreating heritage styles.	This policy is met. The proposed addition to the Property will not detract from the heritage character of the HCD overall and to adjacent properties.
2.4.3 Demolition of Non-Contributing Properties	The process of evaluation of a building's design (scale, massing and/or architectural design) will be completed through a formal Cultural Heritage Impact Assessment drafted by a member with professional qualifications. Their assessment will determine if the property is sympathetic and supportive to the adjacent properties and the overall character of the HCD. They will provide their conclusion based on the distinctions within the assessment and either support or not support the proposed demolition.	This policy is met. This Scoped CHIA assesses the proposed building's design and its supportiveness to the character of the KNHCD.

¹⁷ City of Vaughan. "Kleinburg-Nashville Heritage Conservation District Plan Update: Part 2 – The Plan." 38.

Policy #	Policy	Discussion
2.5.1.1 Site Planning	<p>The historical residential villages of Kleinburg and Nashville were laid out with large lots, ranging between a quarter- to a half-acre. Houses were mostly of a modest scale, leaving generous yards on all sides. Front yard setbacks vary somewhat, but are small compared to the rear yards, where space was needed for stabling, herb and vegetable gardens, and orchards. An early village household needed these means for self sufficiency, and lawns and decorative planting were minimal. The use of the yards has changed, and they provide more pleasure and less production now, but to a great extent the original village scale has persisted. Building height, lot coverage, and density are all low.</p> <p>The streetscapes are unified by a canopy of trees, planted in front of, behind, and beside most houses. Elements that define the heritage character of the residential village include:</p> <ul style="list-style-type: none">• Generous lot sizes and modest house sizes, compared to historic urban development or recent suburban development;• A variety of front-yard setbacks;• Original yards may have been enclosed with low picket fencing. Currently, fenced front yards are rare; and,	<p>This policy is met. The general characteristics described in this policy will remain unaltered, including the Property’s mature trees and decorative shrubbery.</p>

Policy #	Policy	Discussion
	<ul style="list-style-type: none">The generous presence of mature trees, in addition to decorative shrubbery, in the front, side, and rear yards.	
2.5.1.2 Architectural Style	New construction in the residential villages shall be sympathetic and complementary to the historic built form of neighbouring properties. New buildings shall be designed with local heritage styles in mind. Designs shall not look to re-create but rather incorporate and highlight appropriate features. In particular, windows, doors and trim shall be similarly attenuated and architectural detailing should be visible in spirit but not a direct duplication. Materials shall be of a similar palette those found within the HCD.	This policy is met. The proposed shed is a modest building that has been designed to fit sympathetically within the KNHCD. The building does not look to re-create or duplicate any local heritage styles and it uses materials of a similar palette to those found within the HCD.

7.3.2 Compliance with *KNHCD Plan* Guidelines

Table 3 assesses the proposed development's compliance with relevant guidelines in the *KNHCD Plan*.

Table 3: Proposed Development's Compliance with Guidelines Pertaining to New Development in Residential Areas of the *KNHCD Plan*

Guideline #, Section	Guideline	Discussion
4.4.2, Garages and Outbuildings	Garages shall be lower in profile than the principle building and complementary in design and colour.	This guideline is met. The proposed shed is lower in profile than the principle building and complementary in design and colour.
4.4.2, Garages and Outbuildings	A garage shall be located in such a way that the house not the garage is the focal point of the new construction. Below grade garages for single family dwellings is not supported.	This guideline is met. The proposed shed is behind the house on the Property and is obscured by trees and other buildings in the area.
4.4.2, Garages and Outbuildings	Windows and doors shall be compatible with the District character.	This guideline is met. The proposed shed uses windows and doors that are compatible within the KNHCD.
4.4.2, Garages and Outbuildings	The use of traditional materials and products such as wood windows and sidings, is always preferred.	This guideline is met. The proposed shed uses traditional materials including wood board and batten siding.
4.4.2, Garages and Outbuildings	Non-traditional materials and products (aluminium, cement board) in historical configurations and profiles that provide the appearance of traditional materials may be used.	This guideline is met. The proposed shed will be clad in board and batten siding and will have aluminium windows and doors. Non-traditional materials are used in historical configurations and profiles.
4.4.2, Garages and Outbuildings	New garage doors shall reflect simple historic doors in a form that is consistent with the historic vernacular architecture of Kleinburg-Nashville HCD.	This guideline is met. The proposed shed's doors reflect simple historic doors in a form that is consistent within the KNHCD.

Guideline #, Section	Guideline	Discussion
4.4.4.1 Appropriate Materials	<p>Exterior Finish: Use materials compatible with the nearby contributing buildings which form the heritage context.</p> <p>Roofs: Slopes and layouts compatible with the nearby contributing buildings which form the heritage context.</p> <p>Doors: Use materials and designs compatible with the nearby contributing buildings which form the heritage context.</p> <p>Windows: Use windows compatible with the nearby contributing buildings which form the heritage context.</p> <p>Refer to Section 4.2.2 for a list of appropriate materials used in the HCD.</p>	<p>The proposed shed will have a painted board and batten siding exterior finish, moderate/low monitor roof clad in standing seam metal roofing, wood primary entrance and aluminum secondary entrances, and aluminum windows. All proposed materials are consistent with Section 4.2.2. of the <i>KNHCD Plan</i>.</p>
4.4.4.2 Inappropriate Materials	<p>Exterior Finish:</p> <ul style="list-style-type: none"> • Concrete block; calcite or concrete brick; • Textured, clinker, or wire cut brick; • Precast concrete panels or cast-in-place concrete; • Prefabricated metal or plastic siding; • Stone or ceramic tile facing; and, • “Rustic” clapboard or “rustic” board and batten siding; wood shake siding. 	<p>This guideline is met. None of the listed inappropriate materials are proposed. The proposed skylights do not face the street.</p>

Guideline #, Guideline Section		Discussion
	<div>Exterior Detail:<ul style="list-style-type: none">• Prefinished metal fascias and soffits;• “Stock” suburban pre-manufactured shutters, railings, and trims;• Unfinished pressure-treated wood decks, porches, railings, and trim;</div> <div>Shopfronts:<ul style="list-style-type: none">• Standard metal shopfronts and prefinished metal spandrel material; and,• Frameless tempered glass shopfronts.</div> <div>Roofs:<ul style="list-style-type: none">• Slopes or layouts not suitable to the architectural style;• Non-traditional metal roofing such as prefinished or corrugated metal; and,• Modern skylights, when facing the street.</div> <div>Doors:<ul style="list-style-type: none">• “Stock” suburban door assemblies;• Flush doors. Sidelights on one side only;• Aluminum storm and screen doors;• Sliding patio doors; and,• Double-bay, slab, or metal garage doors.</div>	

Guideline #, Section	Guideline	Discussion
	<p>Windows:</p> <ul style="list-style-type: none"> • Large “picture” windows; • Curtain wall systems; • Metal and plastic frames; • Metal or plastic cladding; • Awning, hopper, or sliding openers; and, • “Snap-in” or tape simulated glazing bars. <p>Flashings:</p> <ul style="list-style-type: none"> • Pre-finished metal in inappropriate colours. 	
4.4.5, Exterior Lighting	Minimize new exterior lighting in the valleys and on the ridgelines: Use small, low fixtures; use minimum required lighting levels. Use “dark sky” certified fixtures.	This guideline is met. No new lighting fixtures will be introduced on the Property.
4.4.5, Exterior Lighting	Do not light trails.	This guideline is met. No new lighting fixtures will be introduced on the Property.
4.4.5, Exterior Lighting	Minimize existing exterior lighting in the valleys and on the ridgelines, on the basis of the normal replacement schedule. The use of timed, seasonal lighting on the playing fields in Bindertwine Park only, is considered to be minimized lighting.	This guideline is met. No new lighting fixtures will be introduced on the Property.
4.4.5, Exterior Lighting	Prevent the spread of light beyond where it is required, by screening with suitable planting. See Section 4.6 for planting guidelines.	This guideline is met. No new lighting fixtures will be introduced on the Property.

Guideline #, Section	Guideline	Discussion
4.5.3.3	Building heights shall not exceed maximums outlined in the Zoning By-law.	This guideline is met. The proposed shed's roof will have a mid-point of 6.25 metres which complies with the City of Vaughan Zoning By-law 001-2021.
4.5.3.3	Heights shall be sympathetic to neighbouring properties.	This guideline is met. The proposed shed's height is sympathetic to neighbouring properties.
4.5.4.1	New construction must be designed sympathetically to the adjacent character and must not detract from, or block the view of existing contributing buildings.	This guideline is met. The proposed shed is designed sympathetically to the adjacent character and it does not detract from or block the view of existing contributing buildings.
4.5.4.1	<p>New buildings and additions to contributing buildings may be given consideration if and when:</p> <ul style="list-style-type: none"> the new construction/addition is not visible from the public realm; the new construction/addition is set back from the street frontage to maintain views to the contributing building; the portions of the contributing building that will have obstructed views do not contain significant heritage attributes; and, The new construction/addition is of a good architectural quality and design and contributes to the character of the HCD. 	<p>This guideline is met. The proposed shed will be obscured from view from the public realm by the house on the Property, it is deeply setback from Nashville Road, and it is of good architectural quality and design and contributes to the character of the KNHCD.</p>

Guideline #, Section	Guideline	Discussion
4.5.6.2	Existing mature trees shall be preserved, and new tree planting shall be designed to reflect the traditional village pattern described above.	This guideline is met. The proposed shed will be surrounded by existing trees on the Property.
4.5.6.2	Trees shall be planted in front of and beside new buildings and, where possible, behind them. Even when planted in an island in a parking area, these trees will contribute to the village character.	This guideline is met. The proposed shed will be surrounded by existing trees on the Property.
4.6.4	Regional Road #27, Nashville Road, and Stegman's Mill Road shall be planted to maintain or create the feeling that the natural valley plantings are encroaching on the road right-of-way or the road was carefully cut through the existing vegetation. In some cases vegetation shall be cut back to provide views into the valleys. A mix of typical "roadside" shrubs and wildflowers could be added to forest plants.	This guideline is met. Development of the proposed shed will not affect the vegetation pattern on the Property or its contributions to Nashville Road.
4.6.4	Conserve existing natural forest stands or groupings of trees.	This guideline is met. Development of the proposed shed will not affect existing natural forest stands or groupings of trees.
4.6.4	Streetscapes shall conserve the existing green canopy and provide new tree planting where none exists, in order to create a continuous tree canopy along the street.	This guideline is met. Development of the proposed shed will not affect the existing green canopy.

7.3.3 Summary of Compliance with Policies and Guidelines in the *KNHCD Plan* and Potential Impacts to the *KNHCD*

The proposed shed complies with the policies and guidelines in the *KNHCD Plan*, and it will not have a direct or indirect adverse affect on the Property, adjacent heritage properties, or the *KNHCD*.

7.4 Impact Assessment – Ontario Heritage Tool Kit *Info Sheet #5*

No direct adverse impacts from destruction or alteration will occur to the Property, adjacent properties, or the *KNHCD* from as a result of the development of the proposed shed. The proposed shed is replacing an old (1976) shed, and a replacement shed will not result in the destruction or alteration of any heritage attributes. Likewise, no indirect adverse impacts from shadows, isolation, obstruction, changes in land use, or land disturbances will occur. The proposed shed is deeply setback from Nashville Road and is largely obscured from view from the public realm by existing house on the Property and the Property's landscaping.

7.5 Impact Assessment – *Standards and Guidelines for the Conservation of Historic Places in Canada*

Table 4 below identifies the applicable standards from the *S&G*, as described in Section 2.5.2, and discusses them in the context of the proposed development.

Table 4: Applicable Standards from the *S&G*

Standard	Discussion
Standard 3: Conserve heritage value by adopting an approach calling for minimal intervention.	In the context of the proposed development, this standard is met. The Owner first sought to redevelop the shed using the existing structural members. When it was determined that the existing members were not structurally sufficient, the client had comparable, contemporary members made. The proposed shed also retains the same footprint and location as the former shed.
Standard 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.	In the context of the proposed development, this standard is met. The Owner is using the gentlest means possible to redevelop the shed. The proposed shed retains the same footprint and location as the former shed.

Standard	Discussion
Standard 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.	In the context of the proposed development, this standard is met. The proposed interventions are physically and visually compatible with the character-defining elements of the KNHCD.

7.6 Impact Assessment Summary

The proposed shed complies with the policies and guidelines in the *KNHCD Plan* and will not result in direct or indirect impacts to the cultural heritage value or interest of the Property, adjacent heritage properties, or the KNHCD. Likewise, the proposed shed complies with *Info Sheet #5* and the applicable standards in the *S&G*.

7.7 Alternative Options, Mitigation Measures, and Conservation Methods

The proposed shed is compliant with the policies and guidelines in the *KNHCD Plan*. No alternative options or mitigation measures are required.

8 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 9 February 2024 by Alexandra Battiston and Mark Tatone to prepare a Scoped CHIA for the property located at 40 Nashville Road in the City of Vaughan, Ontario.

The Property is located in the KNHCD and is designated under Section 41 Part V of the *OHA*. The Property is a non-contributing property in the KNHCD. The Owner is rebuilding a shed on the Property. Heritage clearance was initially received in 2023 for the deconstruction and reconstruction (with existing and new materials) of the shed on the Property with a new foundation. During deconstruction of the shed, it was determined that the condition of the existing timber structural members was not adequate to allow for their reuse in the rebuilt structure. Since reconstruction is not possible the owner plans to make some changes to the proposed shed's structural system and to its design. Shed dormers, alterations to the roof profile, skylights, and additional windows were added. As such, Heritage Staff at the City have requested that additional materials, including a Scoped CHIA, be submitted for their review and approval.

It is LHC's professional opinion that the proposed shed complies with the policies and guidelines in the KNHCD Plan and will not result in direct or indirect impacts to the cultural heritage value or interest of the Property, adjacent heritage properties, or the KNHCD.

SIGNATURES



Ben Daub, MA CAHP Intern
Heritage Planner



Christienne Uchiyama, MA CAHP
Principal, Manager Heritage Consulting
Services

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APPENDIX A Qualifications

Ben Daub, MA (Plan) – Heritage Planner

Ben Daub is a heritage planner with LHC. He holds a Bachelor of Applied Technology in Architecture – Project and Facility Management from Conestoga College and a Master of Arts in Planning from the University of Waterloo. During his academic career, Ben gained a detailed understanding of the built environment through exposure to architectural, engineering, and urban planning processes. Over the course of his time with LHC, Ben has worked on a wide range of technical cultural heritage projects including Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Environmental Assessments, Heritage Conservation District Studies, and Official Plan Amendments. In addition to his work at LHC, Ben instructs the Urban and Community Planning course in Conestoga College's Architecture – Project and Facility Management degree program and has presented his master's thesis research to ICOMOS Canada. Ben is an intern member of the Canadian Association of Heritage Professionals and a candidate member with the Ontario Professional Planners Institute.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with

extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Christienne Uchiyama, MA CAHP - Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Jordan Greene, B.A. (Hons) – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

APPENDIX B Glossary

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, and the *Vaughan Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent when applied to cultural or built heritage means, those lands contiguous to a protected heritage property (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb. “Alteration” has a corresponding meaning (*OHA*).

Areas of archaeological potential means areas with the likelihood of containing archaeological resources. Methods to identify archaeological potential are established by the Province, but municipal approaches which achieve the same objectives may also be used. The Ontario Heritage Act requires archaeological potential to be confirmed through archaeological fieldwork (*PPS*).

Built heritage means a building, building, monument, installation or any manufactured remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Aboriginal community. Built heritage resources are generally located on property that has been designated under Part IV or V of the Ontario Heritage Act, or included on local, provincial and/or federal registers (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Cultural heritage landscape means a defined geographical area of heritage significance that human activity has modified and that a community values. Such an area involves a grouping(s) of individual heritage features, such as buildings, spaces, archaeological sites, and natural elements, which together form a significant type of heritage form distinct from its constituent elements or parts. Heritage conservation districts designated under the Ontario Heritage Act, villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trails, and industrial complexes of cultural heritage value are some examples (*PPS*).

Cultural Heritage Impact Assessment a document prepared by a qualified professional with appropriate expertise comprising text and graphic material including plans, drawings and photographs that contains the results of historical research, field work, survey, and analysis, and descriptions of cultural heritage resources together with a description of the process and procedures in deriving potential effects and mitigation measures. The document shall include:

a. a description of the cultural heritage values of the Property; b. contextual information, including any adjacent heritage properties; c. the current condition and use of all constituent features; d. relevant planning and land use considerations; e. a description of the proposed development and potential impacts, both adverse and beneficial, on the cultural heritage values; f. alternative strategies to mitigate adverse impacts; and g. recommendations to conserve the cultural heritage values (*OP*).

Designated Heritage Property real property designated under Parts IV, V or VI of the Ontario Heritage Act or real property that is subject to a heritage conservation easement under Parts II or IV of the Act (*OP*).

Heritage attributes means, in relation to real property, and to the buildings and buildings on the real property, the attributes of the Property, buildings and buildings that contribute to their cultural heritage value or interest (“attributs patrimoniaux”) (*OHA*).

Heritage attributes means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the Property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property) (*PPS*).

APPENDIX C Letters of Support