

<b>ITEM: 6.13</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A177/23</b>
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Report Date: March 28, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

**PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)**

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant	Steven McIntyre	5841 Kirkby Road	09/29/2023	Application Cover Letter
Applicant	Steven McIntyre	5841 Kirkby Road	03/13/2024	Presentation to Committee

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
March 14, 2024	Minor Variance Application <b>A177/23</b> was adjourned by the Committee of Adjustment to April 4, 2024, to permit time to address Development Planning comments.

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background





**MINOR VARIANCE APPLICATION  
FILE NUMBER A177/23  
5841 KIRBY ROAD, VAUGHAN**

<b>CITY WARD #:</b>	1
<b>APPLICANT:</b>	Lisa & Alessandro Vitaro
<b>AGENT:</b>	Steven McIntyre & Aaron Hershoff
<b>PROPERTY:</b>	5841 Kirby Road, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Agricultural".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to facilitate the construction of Copper Creek Pumping Station. Relief is also being requested to recognize the existing lot size.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RE – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A minimum Lot frontage of 45 metres is required [Table 7-3]	To permit a minimum lot frontage of 24.50 metres.
2	A minimum Lot area of 4,000 m2 is required [Table 7-3].	To permit a minimum lot area of 1,400 m2.
3	A minimum front yard of 15 metres is required [Table 7-3].	To permit a minimum front yard of 5.9 metres.
4	A minimum setback of 3.5 m is required for a retaining wall with a maximum height of 3.5m [Table 4-1].	To permit a retaining wall with a maximum height of 3.5 m to be setback 0 metres to the front lot line, and 2 metres from the interior side lot line.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, April 4, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	March 21, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	March 21, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	The location of the proposed pumping station/property limit does not comply with the front yard setback, minimum lot frontage and lot area outlined in Vaughans Zoning By-law
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

### COMMENTS:

**On March 6, 2024, Development Planning provided:**

We've had some further discussion about this Application as we've come across some complexities with having this move forward in advance of the lot being created. There are also additional issues with having the access easement as a condition of approval. I would like to set up a meeting as soon as possible to discuss our concerns. At this time, we do recommend that this Application be adjourned but we can discuss further at the meeting.

**On March 6, 2024, Committee of Adjustment provided:**

We request a site plan showing the entirety of the land, all existing structures and setbacks to those structures as we are now aware that the lot as shown on the site plan does not reflect the entirety of the parcel.

**On March 13, 2024, Development Planning Provided:**

Thank you for the drawing which provides the approximate location for the interim driveway access for the dwelling on the subject lands. We have had further internal discussions throughout the day on this matter and have come to the conclusion that additional time is needed to properly address the interim driveway access item. Therefore, Development Planning will be structuring a memo that outlines the merits of the proposal in addition to outlining why the adjournment is being requested.

While I know this is different from the approach we discussed with you at last week's meeting, the challenge we are confronted with right now is that most of the interim driveway access easement is on the subdivision lands, which are not part of this variance application, and the portion of the future easement that is on the subject lands cannot be created until the lands are under municipal ownership. As it is my understanding that:

- (1) The pumping station will not be conveyed until it is operational,
- (2) The pumping station sits upon the driveway, compelling driveway relocation before pumping station construction
- (3) Tying a condition of variance approval to lands beyond the subject lands could be quite challenging with respect to enforceability
- (4) Some of the variances are needed to site the building and retaining walls closer to Kirby Road regardless of whether/when the pumping station lot gets created.

Further discussions are needed between Development Engineering, Planning, and Legal to identify which application process is best to identify and require the access easement(s) and what the condition(s) would look like and there is insufficient time to hold such a meeting in advance of tomorrow's C of A meeting. We want to ensure that any imposed conditions are able to be reasonably fulfilled and may be fulfilled in

### COMMITTEE OF ADJUSTMENT

the correct order with respect to the construction timelines for Copper Creek and the pumping station without hindering the development stages of those processes.

On March 18, 2024, Development Planning requested adjournment to permit additional time for internal departments to discuss the proposal.

On March 18, 2024, the applicant confirmed that they want to proceed to the April 4, 2024, hearing date.

Should the application be adjourned from the April 4, 2024, hearing date additional fees (Adjournment Fee - \$605.78) would be required to reschedule the application.

<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None
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### BUILDING STANDARDS (ZONING)

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING

\*\*See Schedule B for Development Planning Comments. Application under review

<b>Development Planning Recommended Conditions of Approval:</b>	TBD
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### DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Application Under Review.

<b>Development Engineering Recommended Conditions of Approval:</b>	TBD
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### PARKS, FORESTRY & HORTICULTURE (PFH)

None

<b>PFH Recommended Conditions of Approval:</b>	A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018
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### DEVELOPMENT FINANCE

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC)

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT

No comments received to date

## FIRE DEPARTMENT

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm DBH) on the subject property or municipally owned trees of any size and trees located within 6 meters of the subject property, as per By-Law 052-2018.
2	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	<ol style="list-style-type: none"> <li>1. That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.</li> <li>2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.</li> </ol>
3	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	TBA
4	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	TBA

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

### IMPORTANT INFORMATION

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



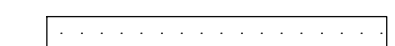
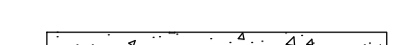
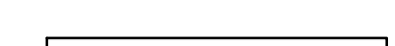
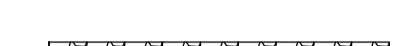


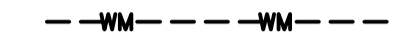
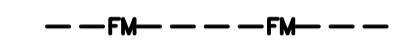
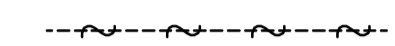












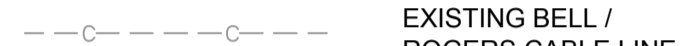







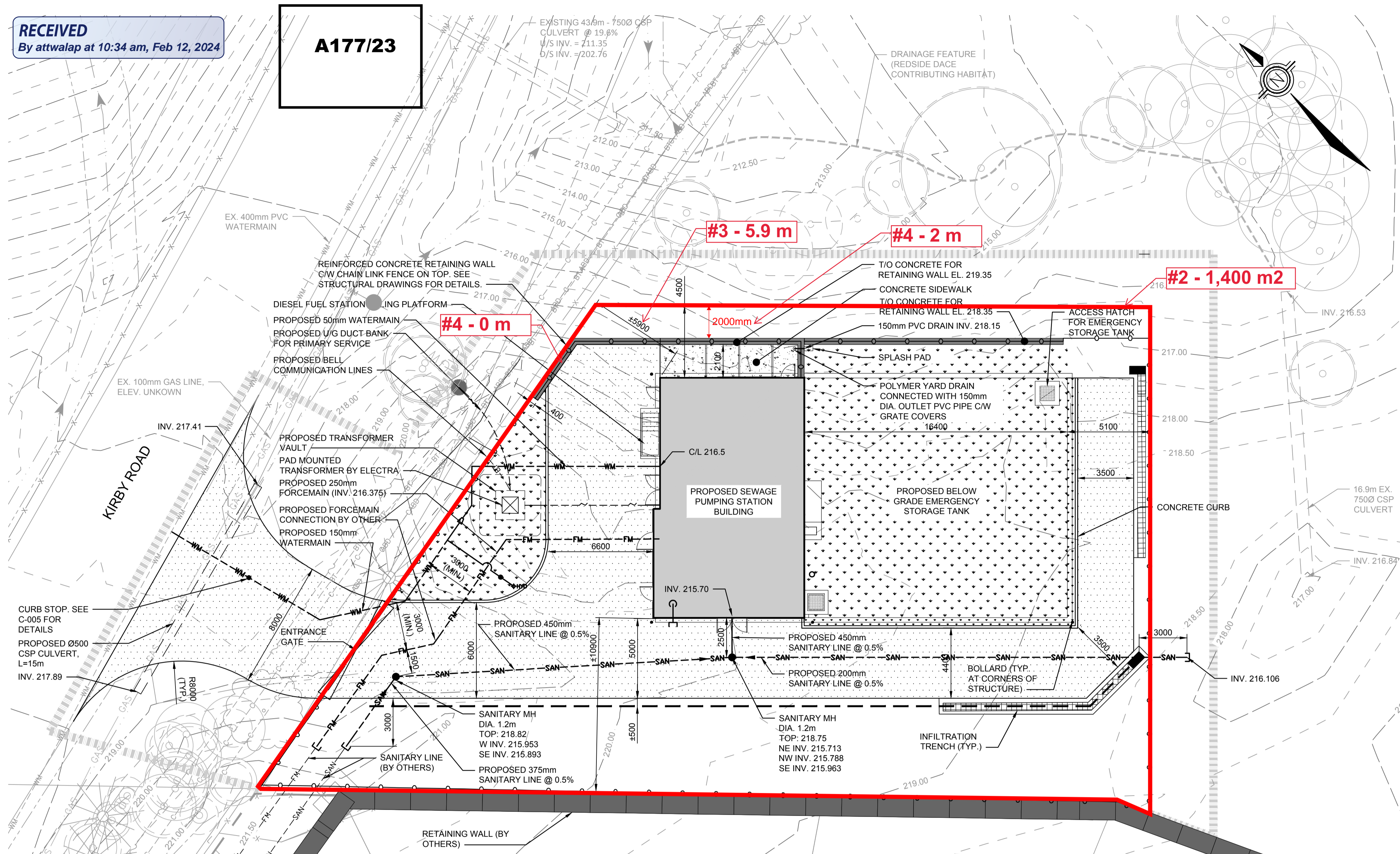
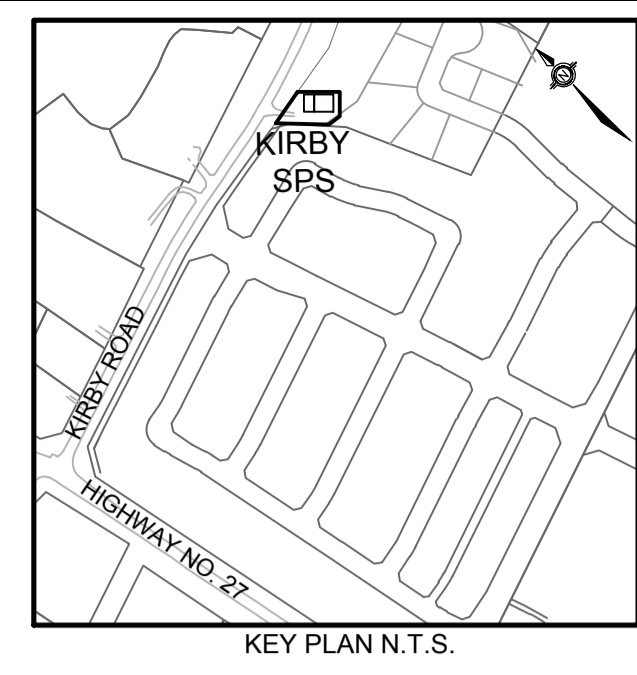


**RECEIVED**  
By attwlap at 10:34 am, Feb 12, 2024

**A177/23**

**LEGEND:**

-  NEW ASPHALT PAVING
-  NEW CONCRETE PAVERS
-  SODDING
-  INFILTRATION TRENCH (SEE DETAIL ON C-006)
-  RETAINING WALL
-  PROPOSED SANITARY LINE
-  PROPOSED WATERMAIN
-  PROPOSED SANITARY FORCEMAIN
-  PROPOSED ELECTRICAL LINE
-  SWALE
-  ENTRANCE GATE
-  PROPERTY LINE
-  PROPERTY FENCE (1.8m TALL)
-  LIMIT OF DISTURBANCE
-  EXISTING MAJOR CONTOUR LINE
-  EXISTING MINOR CONTOUR LINE
-  EXISTING DRAINAGE FEATURE
-  EXISTING DITCH
-  EXISTING TREE
-  EXISTING WATERMAIN
-  EXISTING ELECTRICAL LINE
-  EXISTING BELL / ROGERS CABLE LINE
-  EXISTING GASMAIN
-  EXISTING GUARD RAIL
-  EXISTING FENCE
-  EXISTING BELL CABLE
-  ABANDONED BELL CABLE

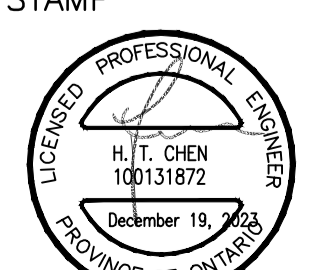




**UTILITY (SANITARY SEWERS, MAINTENANCE HOLES, SANITARY FORCEMAINS, WATER SERVICES) NOTES:**

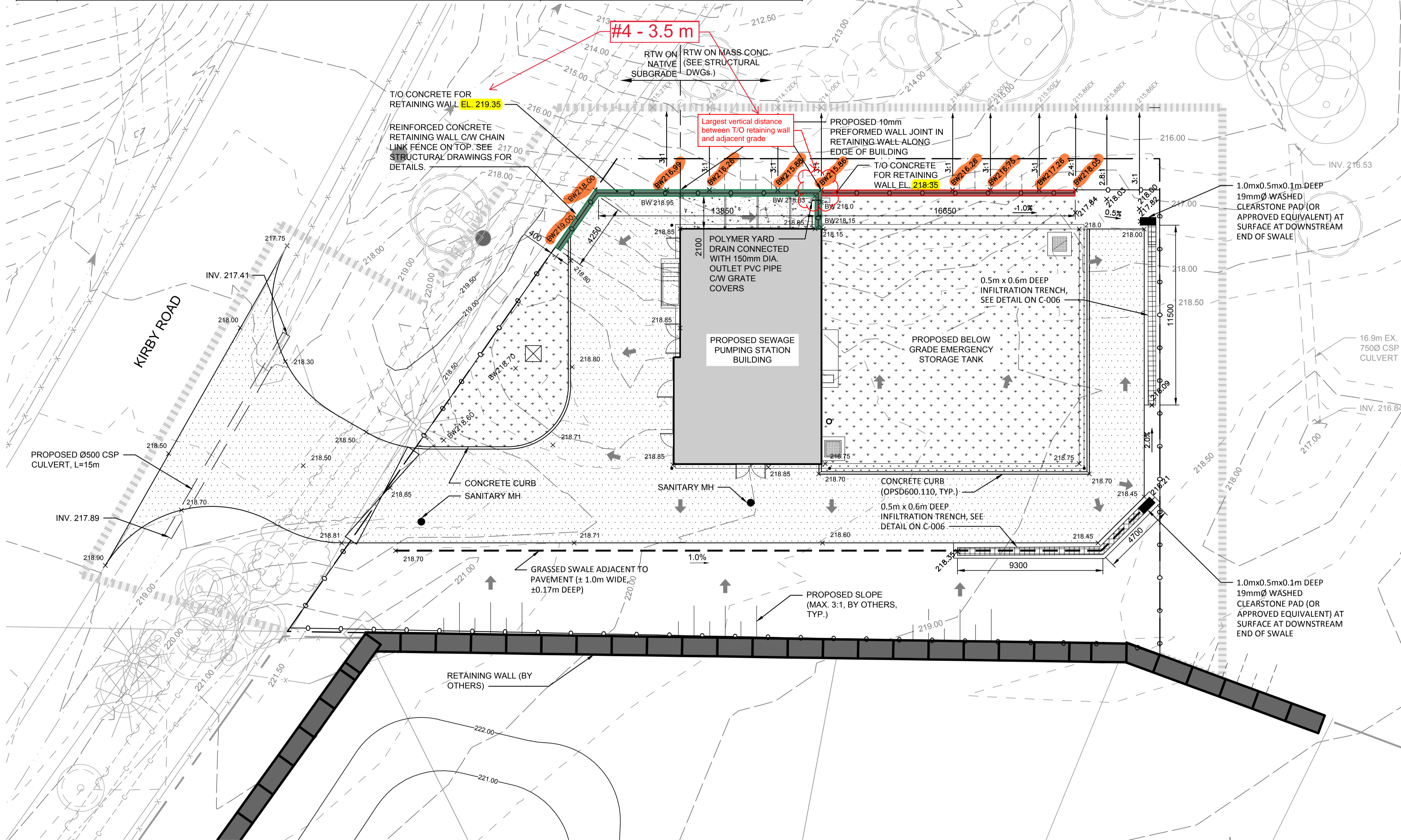
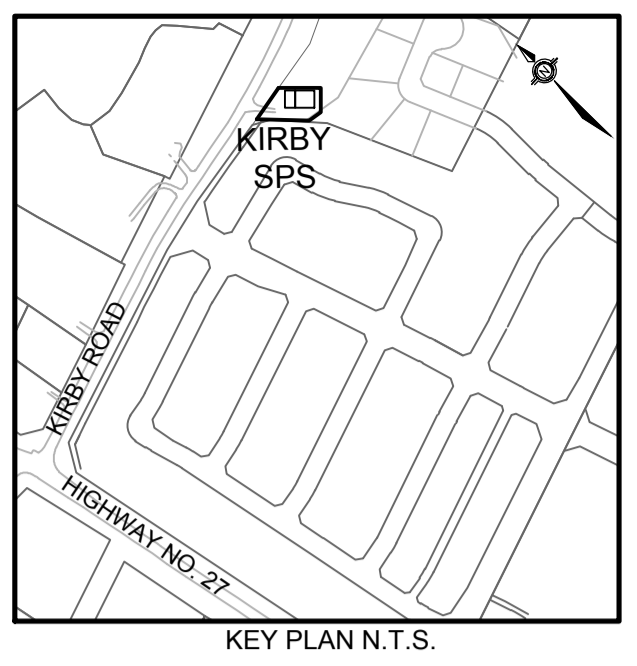
1. MINIMUM COVER ON WATER SERVICE PIPES TO BE 1.8 METERS.
2. WATER SERVICE PIPES TO BE TYPE K SOFT COPPER TUBING AT A DIAMETER OF 50mm, OR AS INDICATED ON THE CONTRACT DRAWINGS.
3. WATER SERVICES TO BE INSTALLED TO GRADES AS SHOWN ON THE CONTRACT DRAWINGS. COPY OF THE GRADE SHEET MUST BE SUPPLIED TO THE CITY INSPECTOR PRIOR TO COMMENCEMENT OF WORK.
4. ALL WATER SERVICES PIPES AND APPURTENANCES TO CONFORM TO THE CITY OF VAUGHAN MATERIAL SPECIFICATIONS.
5. FOR WATER SERVICE CROSSINGS OVER UTILITIES, A MINIMUM 0.3m VERTICAL CLEARANCE SHALL BE PROVIDED. WHEN WATER SERVICE CROSSING UNDER UTILITIES, THE MINIMUM VERTICAL CLEARANCE SHALL BE 0.5m. A MINIMUM 2.5m HORIZONTAL SEPARATION FROM SANITARY SEWERS MUST BE MAINTAINED.
6. FOR A WATER SERVICE CROSSING A SANITARY SEWER, WATER SERVICE JOINTS/CONNECTIONS ARE TO BE OFFSET A MINIMUM OF 2.5m HORIZONTALLY FROM THE CENTER LINE OF THE SANITARY SEWER.
7. SANITARY SEWERS SHALL BE PVC PIPE, AS PER DR35 CSA B182.2-06 CERTIFIED ASTM D3034-040, F679-03.
8. SANITARY MAINTENANCE HOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OPSD 701.010, OR 701.011 AS INDICATED ON THE CONTRACT DRAWINGS. FRAME AND COVER AS PER OPSD 401.010 TYPE 'A' CLOSED. BENCHING SHALL BE AS PER OPSD 701.021. TO THE SPRING LINE OF THE INLET SEWER.
9. SANITARY FORCEMAINS SHALL BE PVC PIPE, AS PER DR21 CSA B137.3, OR AS INDICATED ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL SUPPLY AND INSTALL WARNING TAPE AT THE TOP OF THE COVER MATERIAL INDICATED THE PRESENCE OF A FORCEMAIN.
10. MINIMUM COVER ON THE 250mm SANITARY FORCEMAIN TO BE 1.8m.
11. BEDDING AND COVER MATERIAL FOR ALL PIPELINES SHALL BE GRANULAR 'A' AS PER OPSS 1010, MODIFIED TO RESTRICT THE MAXIMUM STONE SIZE TO 19mm. ALL BEDDING COVER MATERIAL SHALL BE COMPACTED TO 98% SPMD.
12. TRACER WIRE SHALL BE INSTALLED ON ALL WATER SERVICE PIPING. TRACER WIRE TO BE MINIMUM #10 GAUGE (3.2mm) TWU STRANDED COPPER WIRE LAID ALONG THE TOP OF THE WATERMAIN, AND FASTENED WITH STRAPS AT 6.0m CENTERS. TRACER WIRE TO BE BROUGHT TO GRADE AND TERMINATED IN A TEST BOX. TRACER WIRE TO BE TESTED FOR CONTINUITY PRIOR TO THE INITIAL ACCEPTANCE OF THE WORKS.
13. THE CONTRACTOR SHALL TEST, DISINFECT, AND FLUSH PROPOSED WATER SERVICE PIPE PRIOR TO CONNECTING TO THE EXISTING WATERMAIN IN ACCORDANCE WITH CONTRACT SPECIFICATIONS.
14. FOR ALL PRESSURE PIPING, THE CONTRACTOR SHALL INSTALL RESTRAINED JOINTS AT ALL BENDS.
15. THE WATER SERVICE BOX SHALL BE INSTALLED AT THE LOCATION INDICATED ON CONTRACT DRAWINGS, AND SHALL BE THE CAST IRON SLIDING TYPE, COMPLETE WITH VALVE GUIDE PLATES AS PER OPSD 1104.020.
16. PIPE JOINT DEFLECTIONS ARE NOT ALLOWED.
17. CATHODIC PROTECTION IS REQUIRED ON ALL WATER SERVICE PIPING AND SANITARY FORCEMAIN, INCLUDING ALL METALLIC FITTINGS, STAINLESS STEEL NUTS AND BOLTS WHICH ARE TO BE USED ON ALL FITTINGS AND JOINT RESTRAINTS.
18. THE CONTRACTOR TO BACKFILL THE UNDERSIDE OF THE SANITARY FORCEMAIN AND SANITARY SEWER AND AREAS OF DISTURBED SOIL TO A MINIMUM OF 5.0m FOR THE WET WELL BACKFILL MATERIAL TO BE UNSHRINKABLE FILL 0.4MPa.
19. TRACER WIRE TO BE INSTALLED ON ALL NEW UNDERGROUND PIPING UNDER THIS CONTRACT.

#	Zoning By-law 001-2021	Variance requested
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2	A minimum Lot area of 4,000 m2 is required [Table 7-3].	To permit a minimum lot area of 1,400 m2.
3	A minimum front yard of 15 metres is required [Table 7-3].	To permit a minimum front yard of 5.9 metres.
4	A minimum setback of 3.5 m is required for a retaining wall with a maximum height of 3.5 m [Table 4-1].	To permit a retaining wall with a maximum height of 3.5 m to be setback 0 metres to the front lot line, and 2 metres from the interior side lot line.

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 Layout Tab: C-002  
 Date: 12/19/2023 Time: 10:30:35 AM  
 By: FAN ZHOU

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">1</td> <td style="width: 10%;">DEC 2023</td> <td style="width: 10%;">H.W.</td> <td style="width: 10%;">ISSUED FOR TENDER</td> <td style="width: 10%;"></td> <td style="width: 10%;"></td> </tr> <tr> <td>NO.</td> <td>DATE</td> <td>BY</td> <td>REVISIONS</td> <td>MANU</td> <td>CAD</td> </tr> <tr> <td>DESIGN</td> <td>J.P.</td> <td>CH'KD</td> <td>H.W.</td> <td>DATE</td> <td></td> </tr> <tr> <td>DRAWN</td> <td>L.C.</td> <td>CH'KD</td> <td></td> <td>DEC 2023</td> <td></td> </tr> <tr> <td>SCALE</td> <td colspan="4"></td> <td>REFERENCES</td> </tr> <tr> <td>1:150</td> <td colspan="4"></td> <td></td> </tr> </table>	1	DEC 2023	H.W.	ISSUED FOR TENDER			NO.	DATE	BY	REVISIONS	MANU	CAD	DESIGN	J.P.	CH'KD	H.W.	DATE		DRAWN	L.C.	CH'KD		DEC 2023		SCALE					REFERENCES	1:150						<p>FIELD NOTES</p> <hr/> <p>STAMP</p> 	<p>REGIONAL</p> <p>ACCEPTED FOR CONSTRUCTION OF REGIONAL INFRASTRUCTURE</p> <p>REVIEWED FOR COMPLIANCE WITH REGIONAL STANDARDS ONLY.</p> <hr/> <p>DIRECTOR</p> <hr/> <p>MANAGER</p>	 <p><b>ETO Engineering</b> Richmond Hill, Ontario, Canada Tel: 289.599.7755</p> <hr/> 	<p>CITY OF VAUGHAN KIRBY SEWAGE PUMPING STATION CIVIL PROPOSED SITE PLAN</p> <hr/> <table style="width: 100%;"> <tr> <td>CONSULTANT FILE NO. 19077</td> <td>REGIONAL DRAWING NO.</td> </tr> <tr> <td>CONTRACT NO. 19077-00</td> <td>DRAWING NO. C-002 SHEET OF</td> </tr> </table>	CONSULTANT FILE NO. 19077	REGIONAL DRAWING NO.	CONTRACT NO. 19077-00	DRAWING NO. C-002 SHEET OF
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**LEGEND**

x 297.52	EXISTING ELEVATION
x 296.96	PROPOSED SPOT ELEVATION
x TW296.96	PROPOSED TOP OF WALL ELEVATION
x BW296.96	PROPOSED BOTTOM OF WALL ELEVATION
x TC296.96	PROPOSED TOP OF CURB ELEVATION
2.0%	PROPOSED SLOPE
→	OVERLAND FLOW DIRECTION
---	SWALE
⊗	ENTRANCE GATE
---	PROPERTY LINE
○	PROPERTY FENCE (1.8m TALL)
XXX.X	CONTOUR LINE (MAJOR)
XXX.X	CONTOUR LINE (MINOR)
▨	INFILTRATION TRENCH (SEE DETAIL ON C-006)
▨	NEW ASPHALT PAVING
▨	NEW CONCRETE PAVERS
▨	SODDING
▨	RETAINING WALL
---	LIMIT OF DISTURBANCE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING DRAINAGE FEATURE
---	EXISTING DITCH
⊗	EXISTING TREE
WM	EXISTING WATERMAIN
---	EXISTING ELECTRICAL LINE
---	EXISTING BELL / ROGERS CABLE LINE
GAS	EXISTING GASMAIN
---	EXISTING GUARD RAIL
X-X	EXISTING FENCE
BT-BT	EXISTING BELL CABLE
ABD	ABANDONED BELL CABLE

Drawing: P:\2019\19077 KIRBY SPS DD\_CA\_S\80 CAD\WORKING\01 - CIVIL - C\C-003.DWG  
 Layout: Tab: C-003  
 Date: 12/19/2023 Time: 10:37:56 AM  
 By: FAN ZHOU

	FIELD NOTES  STAMP 	REGIONAL ACCEPTED FOR CONSTRUCTION OF REGIONAL INFRASTRUCTURE REVIEWED FOR COMPLIANCE WITH REGIONAL STANDARDS ONLY.  DIRECTOR  MANAGER	 Richmond Hill, Ontario, Canada Tel: 289.599.7755  	CITY OF VAUGHAN KIRBY SEWAGE PUMPING STATION CIVIL <b>GRADING PLAN</b>																											
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> <th>MANU</th> <th>CAD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>DEC 2023</td> <td>H.W.</td> <td>ISSUED FOR TENDER</td> <td></td> <td></td> </tr> </tbody> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DESIGN</td> <td>J.P.</td> <td>CH'KD</td> <td>H.W.</td> <td>DATE</td> </tr> <tr> <td>DRAWN</td> <td>L.C.</td> <td>CH'KD</td> <td></td> <td>DEC 2023</td> </tr> </table> SCALE 1:150	NO.	DATE	BY	REVISIONS	MANU	CAD	1	DEC 2023	H.W.	ISSUED FOR TENDER			DESIGN	J.P.	CH'KD	H.W.	DATE	DRAWN	L.C.	CH'KD		DEC 2023	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>CONSULTANT FILE NO.</td> <td>19077</td> <td>REGIONAL DRAWING NO.</td> <td></td> </tr> <tr> <td>CONTRACT NO.</td> <td>19077-00</td> <td>DRAWING NO. C-003</td> <td>SHEET OF</td> </tr> </table>	CONSULTANT FILE NO.	19077	REGIONAL DRAWING NO.		CONTRACT NO.	19077-00	DRAWING NO. C-003	SHEET OF
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THE KING'S HIGHWAY No. 27

NORTHWEST CORNER OF LOT 30, CONCESSION 8

LOT 30, CONCESSION 8  
PLAN 4028(P--2103--22)

KIRBY ROAD  
(ROAD ALLOWANCE BETWEEN LOTS 30 AND 31 CONCESSION 8)  
PIN 03348--0076(LT)

LOT 30, CONCESSION 8  
PART 2, EXPROPRIATION  
PLAN 7492, INST. VA55205  
PIN 03348--0076(LT)

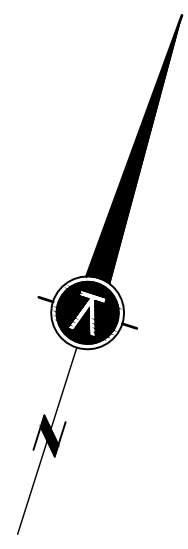
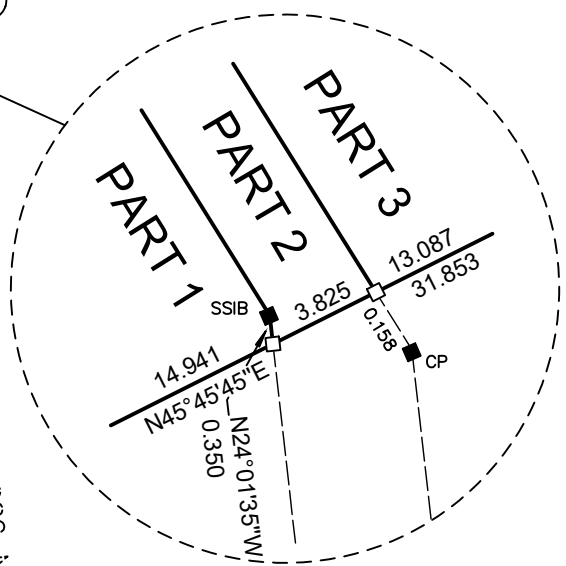
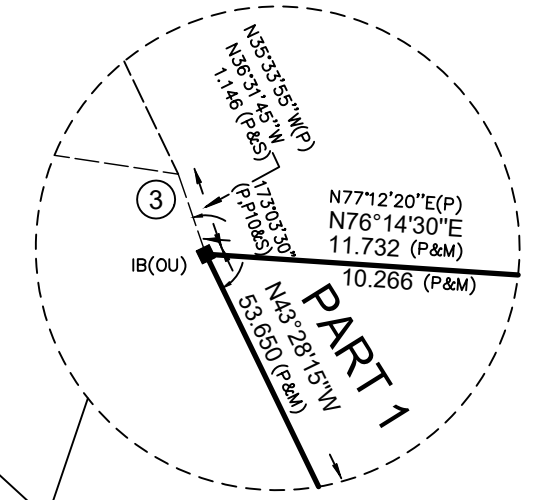
LOT 30, CONCESSION 8  
PART 1, EXPROPRIATION PLAN 7492  
INST. VA55205  
PIN 03348--0076(LT)

PART 1, PLAN 65R--39718  
PIN 03347--2075(LT)

LOT 30, CONCESSION 8

PART 3, EXPROPRIATION  
PLAN 7492, INST. VA55205  
PIN 03348--0076(LT)

LOT 30, CONCESSION 8  
PIN 03347--0038(LT)



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 65R--

RECEIVED AND DEPOSITED

DATE \_\_\_\_\_, 2024

DATE \_\_\_\_\_, 2024

STUART M. MOORE  
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION (No.65)

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA (m <sup>2</sup> )
1				612.1
2	PART OF LOT 30	8	PART OF PIN 03347--0038(LT)	181.4
3				626.5

PART 2 - SUBJECT TO RIGHT OF WAY AS IN INST. VA82567

PLAN OF SURVEY OF  
**PART OF LOT 30  
CONCESSION 8**  
(GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)  
**CITY OF VAUGHAN**  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:500

KRCMAR SURVEYORS LTD. 2024

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BEARING**  
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM HORIZONTAL CONTROL MONUMENTS No. 105980026 AND No. 105980027, AND ARE REFERRED TO THE 6° UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE. (NAD 83 (CSRS)(2010)).

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999723.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - HCM DENOTES HORIZONTAL CONTROL MONUMENT
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - CP DENOTES CONCRETE PIN
  - (M) DENOTES MEASURED
  - (S) DENOTES SET
  - (WIT) DENOTES WITNESS
  - (D) DENOTES INSTRUMENT VA48848
  - (P) DENOTES PLAN 65R--39718
  - (P10) DENOTES EXPROPRIATION PLAN 7492

APPLY BEARING ROTATION FOR NAD83 CSRS 2010

PLAN	ORIGINAL BEARING REFERENCE	ROTATION ANGLE
D,P,P10	ASTRONOMIC	-00°57'50"

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024

DATE \_\_\_\_\_, 2024

STUART M. MOORE  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-60239

MUNICIPAL ADDRESS: No.				
FIELD:	DRAWN:	D.F.	CHECKED:	JOB NO: 01-192
DWG NAME: 01-192RP04	PLOT INFO: 08:00 12/Jan/2024	WORK ORDER NO: 39092		
1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca				
PLAN AVAILABLE AT www.ProtectYourBoundaries.ca				

**KRCMAR**

**INTEGRATION DATA**

**6° UTM ZONE 17 COORDINATES**  
NAD 83 (CSRS)(2010) (CENTRAL MERIDIAN 81°00' WEST LONGITUDE)  
THE UTM COORDINATES LISTED BELOW ARE TO URBAN ACCURACY AND COMPLY WITH SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT.

SPECIFIED CONTROL POINTS		
MONUMENT ID.	NORTHING	EASTING
HCM #105980026	4 857 302.709	609 073.637
HCM #105980027	4 857 858.037	609 114.455
REFERENCE POINTS		
POINT	NORTHING	EASTING
1	4 857 880.73	609 376.12
2	4 857 860.64	609 352.35
3	4 857 900.50	609 314.76
4	4 857 906.21	609 351.32

COORDINATE VALUES SHOWN ARE FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY. COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.	<b>PLAN 65R-</b>
	RECEIVED AND DEPOSITED
DATE _____, 2024	DATE _____, 2024
STUART M. MOORE ONTARIO LAND SURVEYOR	REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION (No.65)

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA (m <sup>2</sup> )
1				609.5
2	PART OF LOT 30	8	PART OF PIN 03347-0038(LT)	180.7
3				624.3

PART 2 - SUBJECT TO RIGHT OF WAY AS IN INST. VA82567

PLAN OF SURVEY OF  
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 (GEOGRAPHIC TOWNSHIP OF VAUGHAN, COUNTY OF YORK)  
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 SCALE 1:500  
 KRCMAR SURVEYORS LTD. 2024

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APPLY BEARING ROTATION FOR NAD83 CSRS 2010		
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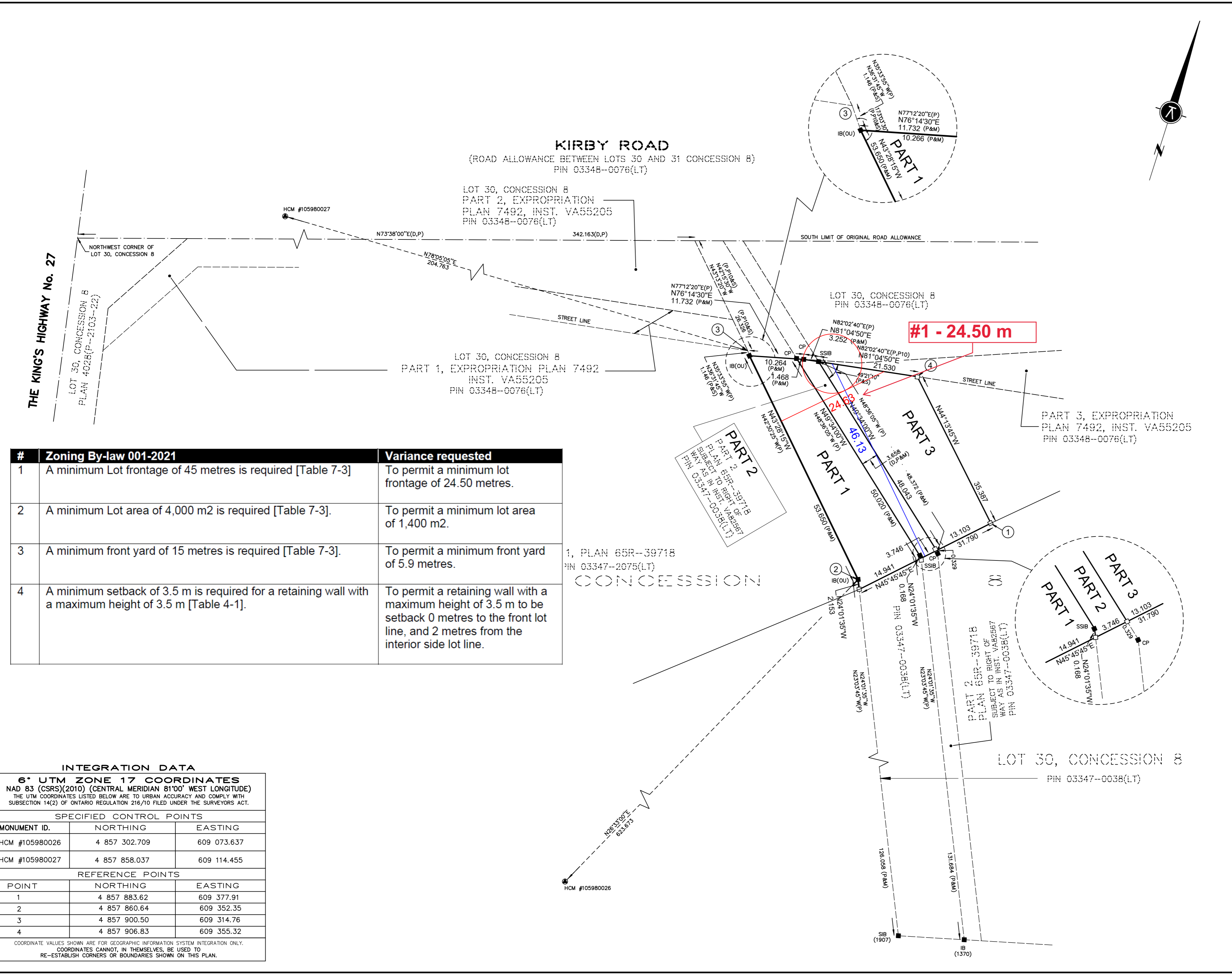
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THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-60239

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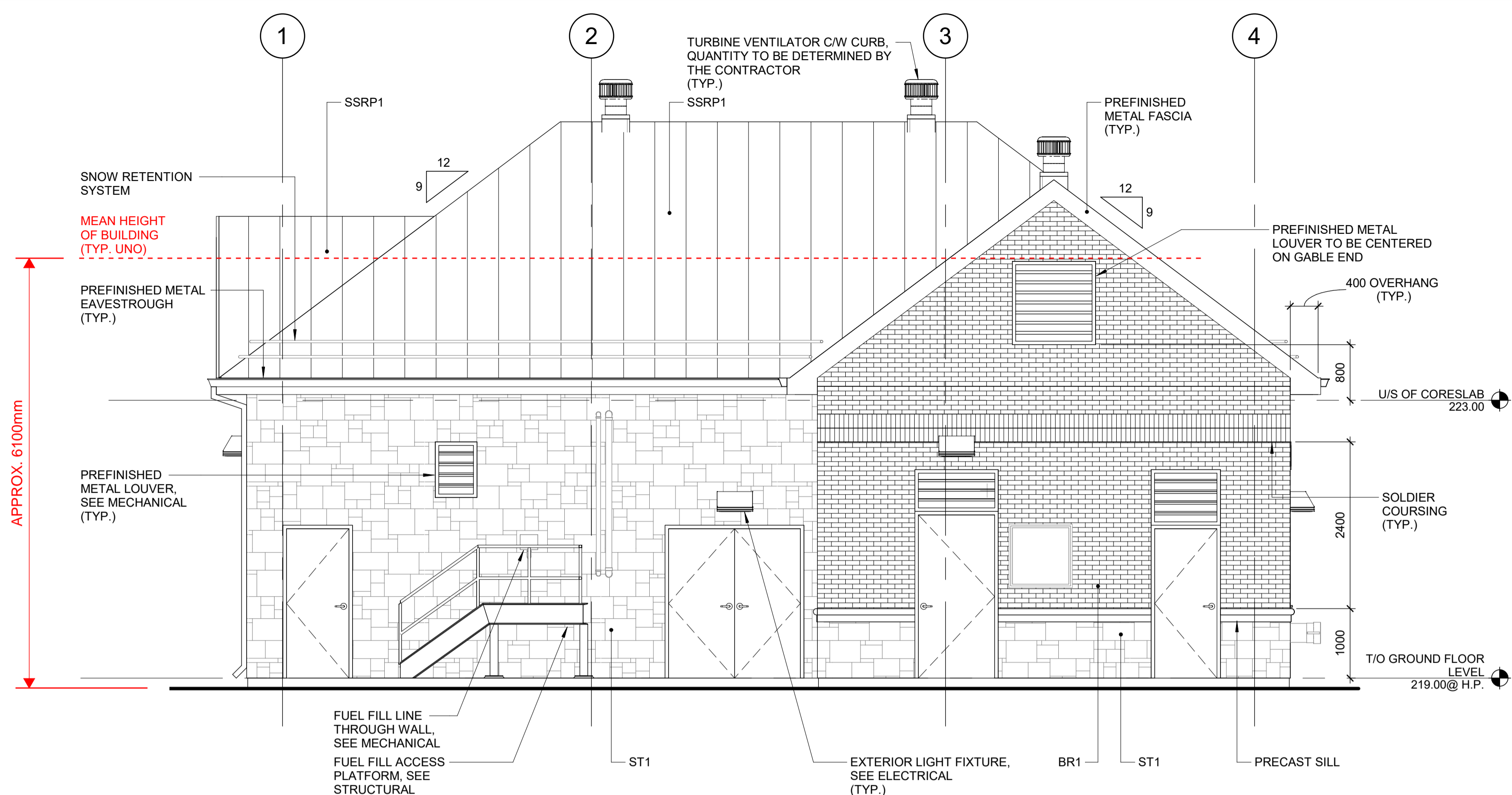
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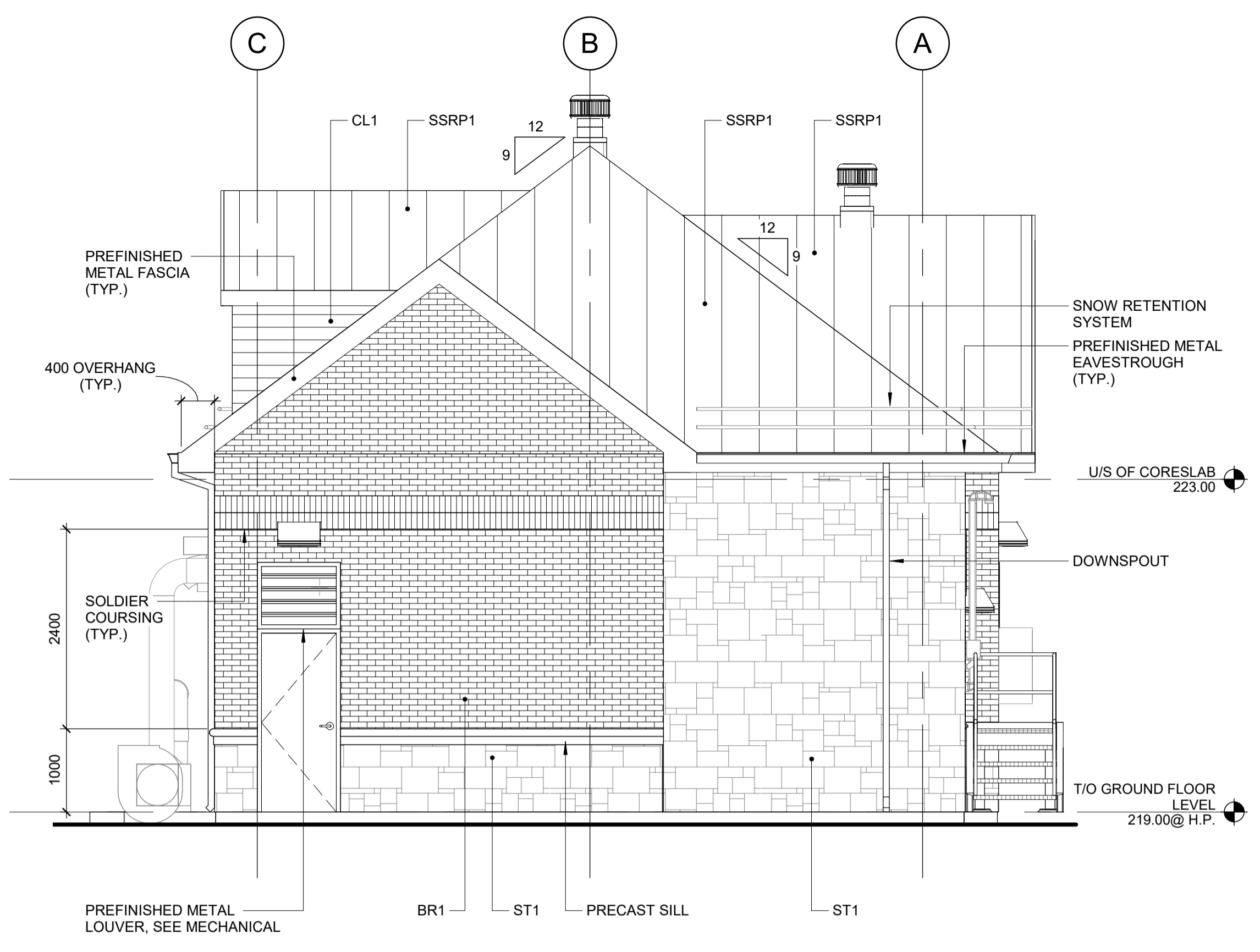
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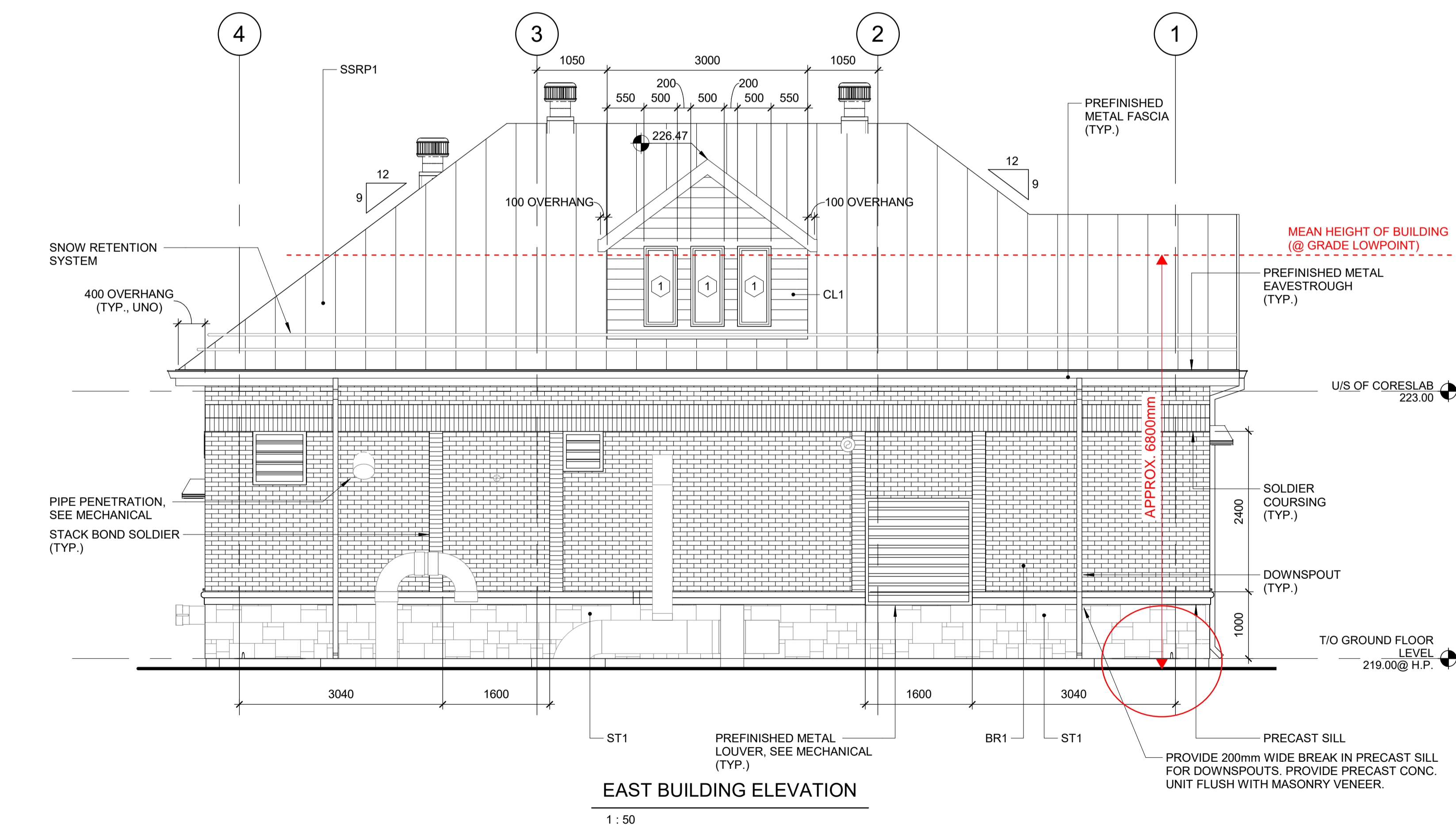
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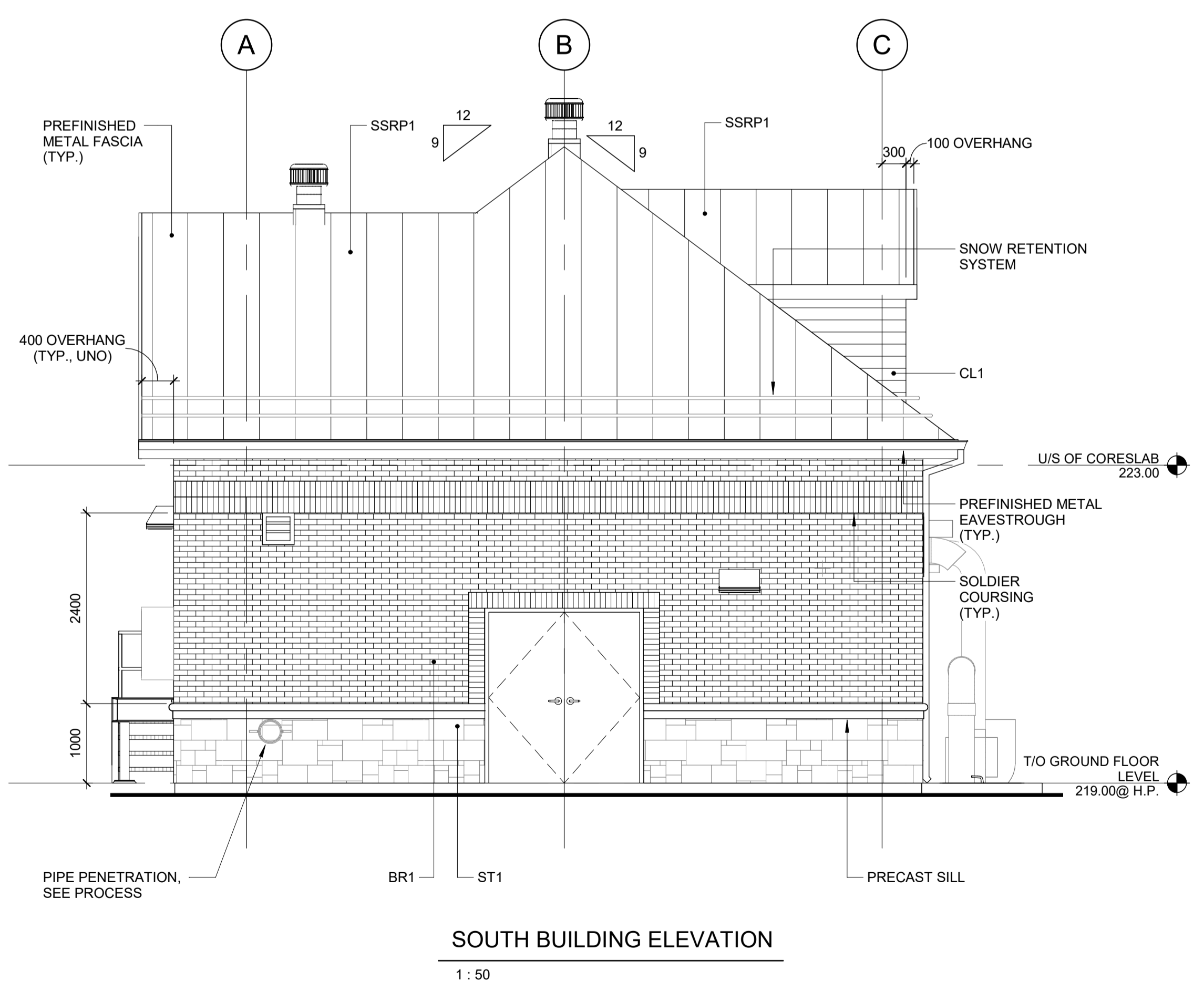
**WEST BUILDING ELEVATION**  
1 : 50



**NORTH BUILDING ELEVATION**  
1 : 50



**EAST BUILDING ELEVATION**  
1 : 50



**SOUTH BUILDING ELEVATION**  
1 : 50

File: P:\2019\19077 Kirby SPS DD\_CA\_S\180 CAD\Working\Mult Disc 3D Model\Kirby SPS RV120 - AS.rvt  
 Sheet: A-201  
 Date: 6/23/2023 8:58:41 AM

NO.	DATE	BY	REVISIONS	MANU	CAD
D	JUN 2023	H.W.	ISSUED FOR 100% DETAILED DESIGN		
C	SEP 2022	H.W.	ISSUED FOR 90% DETAILED DESIGN		
B	JAN 2021	H.W.	ISSUED FOR PRE-DESIGN		
A	SEP 2020	H.W.	ISSUED FOR REVIEW		

DESIGN	J.F.	CH'KD	J.P.	DATE	JUN 2023
DRAWN	J.F.	CH'KD	T.C.	REFERENCES	
SCALE		1 : 50			

**FIELD NOTES**

REGIONAL  
ACCEPTED FOR CONSTRUCTION  
OF REGIONAL INFRASTRUCTURE  
REVIEWED FOR COMPLIANCE WITH  
REGIONAL STANDARDS ONLY.

**STAMP**

LICENSED PROFESSIONAL ENGINEER  
J.C.W. PANG  
100319539  
June 23, 2023  
PROVINCE OF ONTARIO

DIRECTOR

MANAGER

**ETO Engineering**  
Richmond Hill, Ontario, Canada Tel: 289.599.7755

**VAUGHAN**

CITY OF VAUGHAN  
KIRBY SEWAGE PUMPING STATION  
ARCHITECTURAL  
BUILDING ELEVATIONS

CONSULTANT FILE NO. 19077	REGIONAL DRAWING NO.
CONTRACT NO. 19077-00	DRAWING NO. A-201 SHEET OF

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions



**Date:** January 9<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A177-23**

**Related Files:**

**Applicant** Malone Given Parsons Ltd.

**Location** 5841 Kirby Road



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

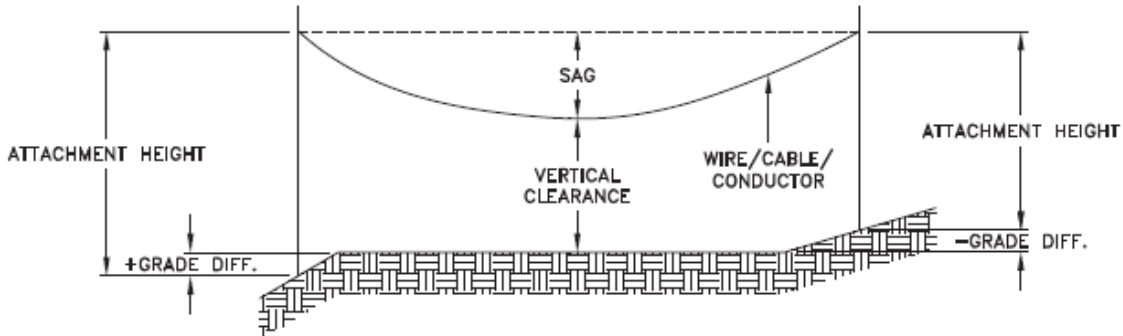
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

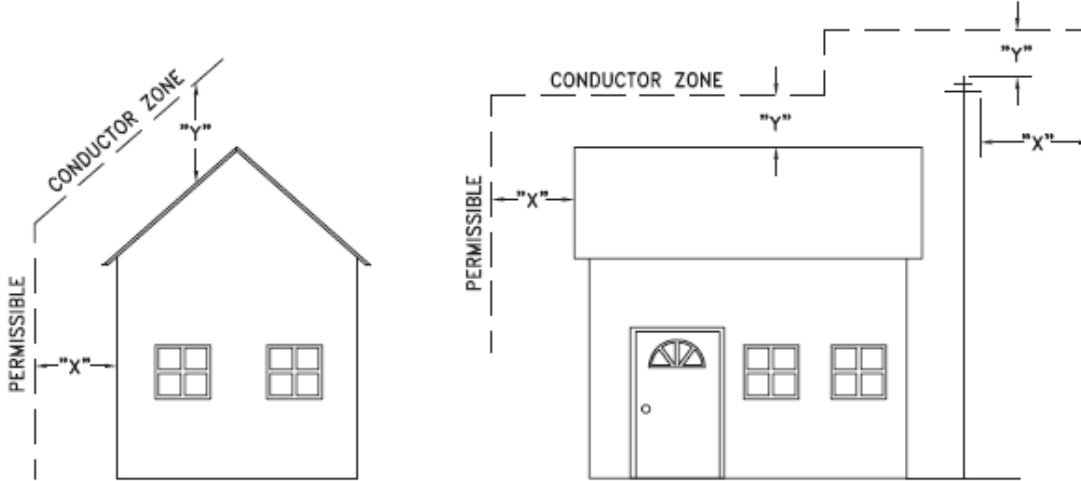
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Lindsay Haviland, Building Standards Department  
**Date:** January 11, 2024  
**Applicant:** Malone Given Parsons Ltd.  
**Location:** 5841 Kirby Road  
 CONC 8 Part of Lot 30  
**File No.(s):** A177/23

**Zoning Classification:**

The subject lands are zoned RE – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum Lot frontage of 45 metres is required [Table 7-3]	To permit a minimum lot frontage of 24.50 metres.
2	A minimum Lot area of 4,000 m2 is required [Table 7-3].	To permit a minimum lot area of 1,400 m2.
3	A minimum front yard of 15 metres is required [Table 7-3].	To permit a minimum front yard of 5.9 metres.
4	A minimum setback of 3.5 m is required for a retaining wall with a maximum height of 3.5 m [Table 4-1].	To permit a retaining wall with a maximum height of 3.5 m to be setback 0 metres to the front lot line, and 2 metres from the interior side lot line.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 23-103443 for Single Use (Industrial) - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands are located within the Greenbelt.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

1. The proposed new lot shall be created under the associated Draft Plan of Subdivision 19T-22V006, and the subdivision shall be approved.

\* Comments are based on the review of documentation supplied with this application.

February 1, 2024

CFN 70450.02  
X-Ref: 67834, 61792

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A177/23  
Concession 8, Part Lot 30  
5841 Kirby Road  
City of Vaughan, Region of York  
Owner: Alessandro Vitaro c/o Copper Kirby Developments Limited & East Kleinburg  
Developments Inc./ 1045501 Ontario Limited  
Agent: Malone Givens Parsons Ltd.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 4, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum lot frontage of 26.27 metres, whereas a minimum lot frontage of 45 metres is required.
- To permit a minimum lot area of 1,504 sq. m., whereas a minimum lot area of 4,000 sq. m. is required.
- To permit a minimum front yard of 5.9 metres, whereas a minimum front yard of 15 metres is required.
- To permit a retaining wall with a maximum height of 3.5 metres to be setback 0 metres from the front lot line and 2 metres from the interior side lot line, whereas a minimum setback of 3.5 metres is required for a retaining wall with a maximum height of 3.5 metres.

The noted variance is being requested to facilitate the construction of a sanitary pumping station.

### **Ontario Regulation 166/06**

A portion of the subject lands are located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

### **Background**

The subject property is located within the Block 55 West planning area. TRCA staff were involved in the review of the Block 55 West Block Plan / Master Environmental Servicing Plan (MESP) and are currently reviewing associated Draft Plan of Subdivision and Zoning By-Law Amendment applications for properties within the Block.

TRCA staff are also currently reviewing an Ontario Regulation 166/06 permit application (CFN 67834) to facilitate the construction of the sanitary pumping station.

### **Application-Specific Comments**

Based on a review of the materials submitted as a part of this minor variance application, TRCA staff have no objection to the requested variances. As noted above, staff are currently working with the proponent and their consultants to review technical aspects of the development through a permit application. TRCA's recommendation of no objection to the approval of this minor variance application does not include clearance and/or approval for the technical issues related to the TRCA permit application that is currently under review.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1250.00 (Minor Variance – Industrial/Commercial/Subdivision/Institutional - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A177.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1250.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Ontario Regulation 166/06.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at [Kristen.regier@trca.ca](mailto:Kristen.regier@trca.ca)

Sincerely,



Kristen Regier  
Planner  
Development Planning and Permits

KR/sb

## Prabhdeep Kaur

---

**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Tuesday, February 13, 2024 1:06 PM  
**To:** Pravina Attwala  
**Cc:** Committee of Adjustment  
**Subject:** [External] RE: A177/23 (5841 KIRBY ROAD) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A177/23 (5841 KIRBY ROAD) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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Please consider the environment before printing this email.



## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Steven McIntyre	5841 Kirkby Road	09/29/2023	Application Cover Letter
Applicant	Steven McIntyre	5841 Kirkby Road	03/13/2024	Presentation to Committee

January 9, 2024

MGP File: 19-2816

City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, ON L6A 1T1

via email: [pravina.attwala@vaughan.ca](mailto:pravina.attwala@vaughan.ca)

**Attention: Ms. Pravina Attwala**  
**Assistant Secretary Treasurer, Committee of Adjustment**

Dear Ms. Attwala:

**RE: Copper Creek Pumping Station Minor Variance Application, 5841 Kirby Road  
City of Vaughan File # A177/23  
Response to Zoning Review**

On behalf of Alessandro Vitaro c/o Copper Kirby Developments Limited & East Kleinburg Developments Inc./1045501 Ontario Limited, Malone Given Parsons Ltd. is resubmitting materials in support of the Copper Creek Pumping Station Block Minor Variance Application for 5841 Kirby Road in the City of Vaughan.

Ms. Lindsay Haviland of the Building Standards Department provided additional comments on the Minor Variance Application on January 4, 2024. Since that time, there have been email correspondences between myself and City staff regarding changes made to the proposed pumping station block boundaries, which has resulted in changes being required to the requested variances.

In the latest Site Plan drawing submitted in December 2023, the eastern property limit was shifted approximately 3.3 m west and the southern property limit was shifted approximately 0.6 m south, from the property limits shown in the Site Plan drawing included within the initial submission.

As a result, we are proposing the following revisions to the variances included in the January 4<sup>th</sup>, 2024 comments. Changes are shown below in red.

#	Zoning By-law 001-2021	Variance requested
1	A minimum Lot frontage of 45 metres is required [Table 7-3]	To permit a minimum lot frontage of <del>26.27</del> 24.50 metres.
2	A minimum Lot area of 4,000 m2 is required [Table 7-3].	To permit a minimum lot area of <del>1,504</del> 1,400 m2.
3	A minimum front yard of 15 metres is required [Table 7-3].	To permit a minimum front yard of 5.9 metres.

#	Zoning By-law 001-2021	Variance requested
4	A minimum setback of 3.5 m is required for a retaining wall with a maximum height of 3.5 m [Table 4-1].	To permit a retaining wall with a maximum height of 3.5 m to be setback 0 metres to the front lot line, and 2 metres from the interior side lot line.

As was discussed, the following materials are being resubmitted:

- A Plans Package which includes:
  - The December 2023 submitted Site Plan with variances identified;
  - A revised Survey Sketch with the lot depth and frontage calculations identified, along with the variances identified; and,
  - Elevations of the proposed Pumping Station with the mean building height identified. This document has not changed from what has been previously submitted.
- A revised Surveyor's Certificate.

We trust that you will find this submission sufficient and respectfully request to be scheduled on the next available Committee of Adjustment agenda. Please do not hesitate to contact the undersigned if you have any questions.

Yours very truly,  
Malone Given Parsons Ltd.



**Steven McIntyre, MCIP, RPP**

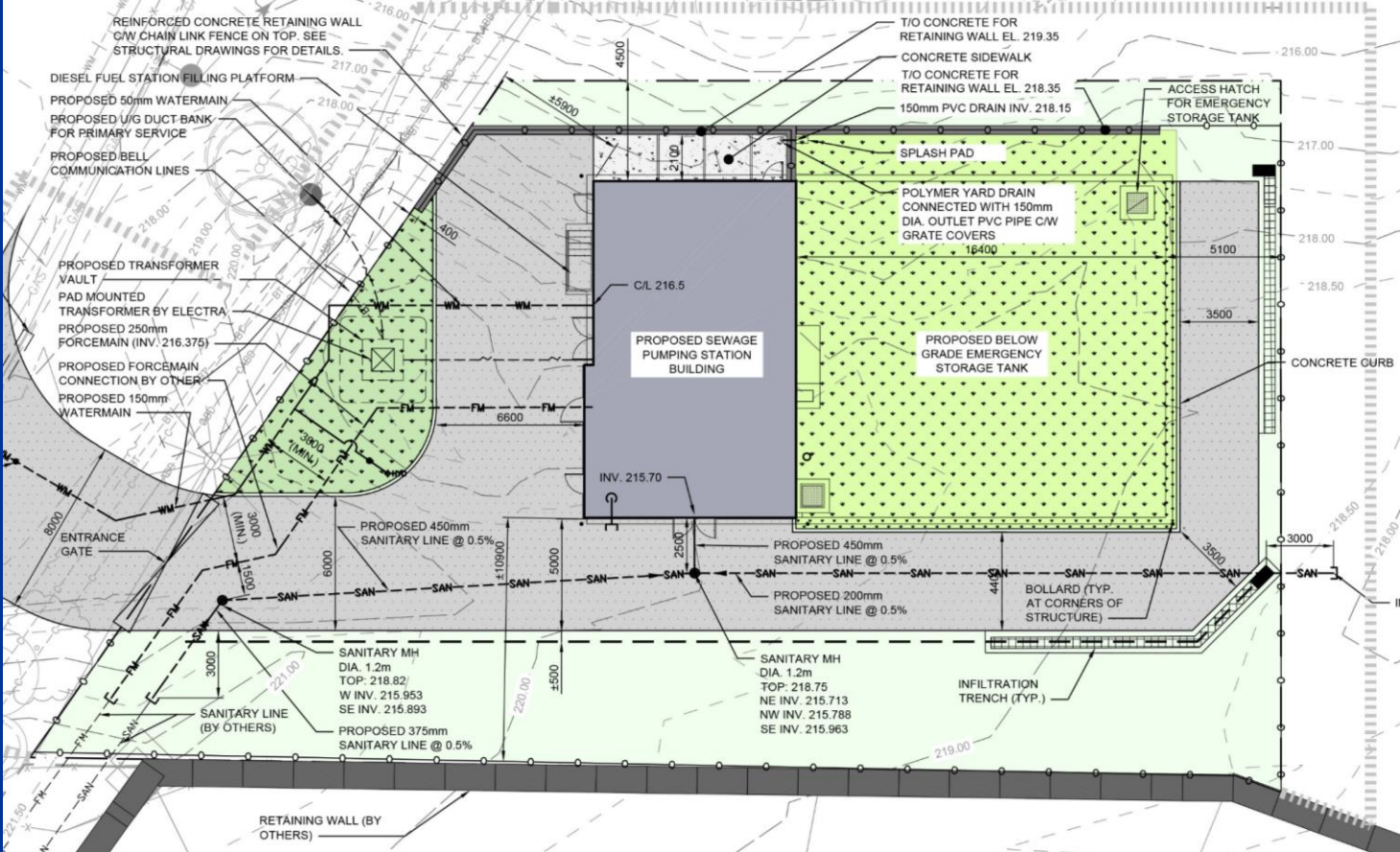
Cc. Christine Vigneault, City of Vaughan  
Lindsay Havaland, City of Vaughan  
Aaron Hershoff, TACC  
Alessandro Vitaro  
Rosemarie Humphries, Humphries Planning  
Joan MacIntyre, Malone Given Parsons

# Minor Variance Application

(A177/23)

Block 55NW Block Plan Area  
5841 Kirby Road – Pumping Station

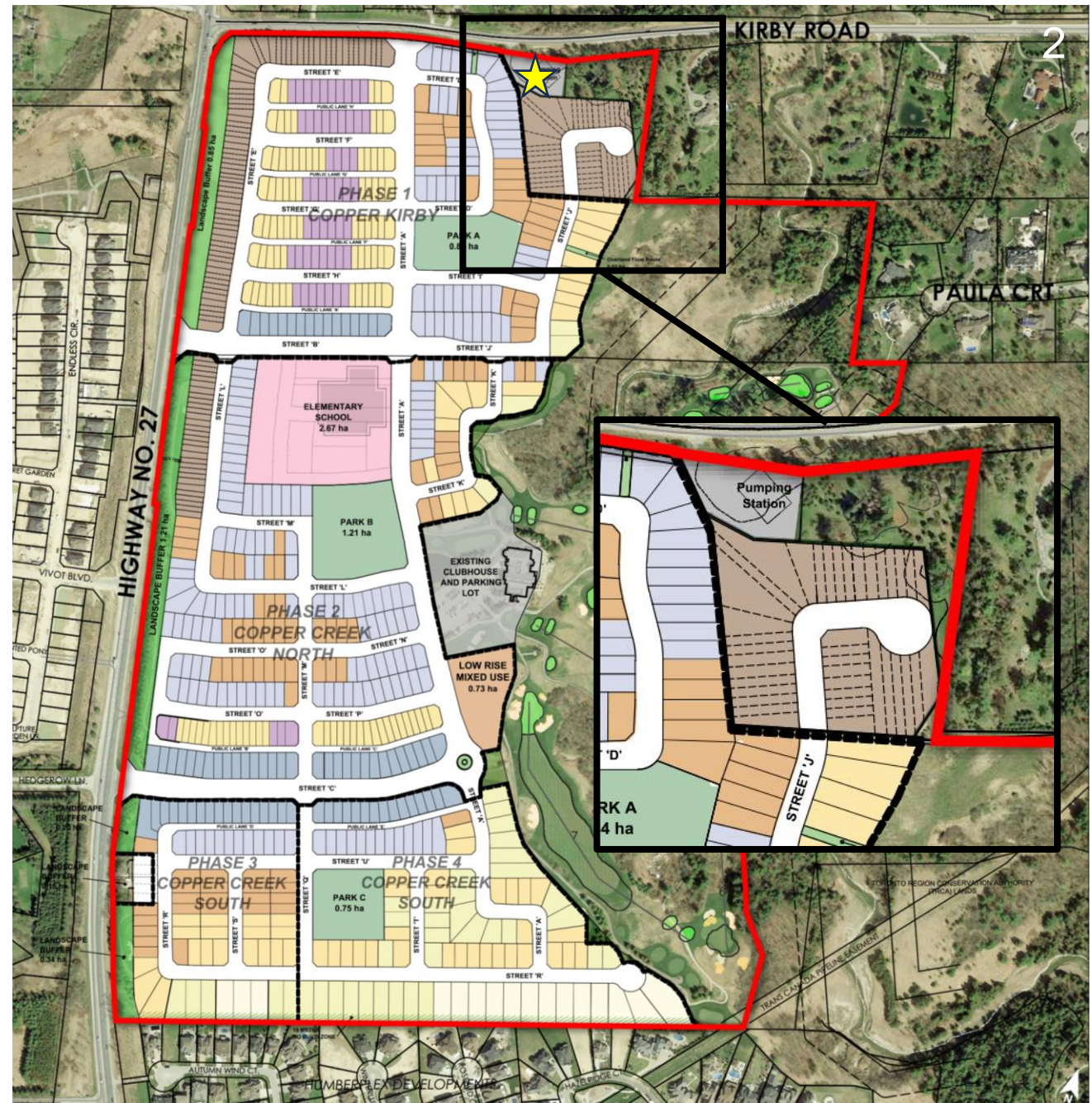
Agenda Item 6.5



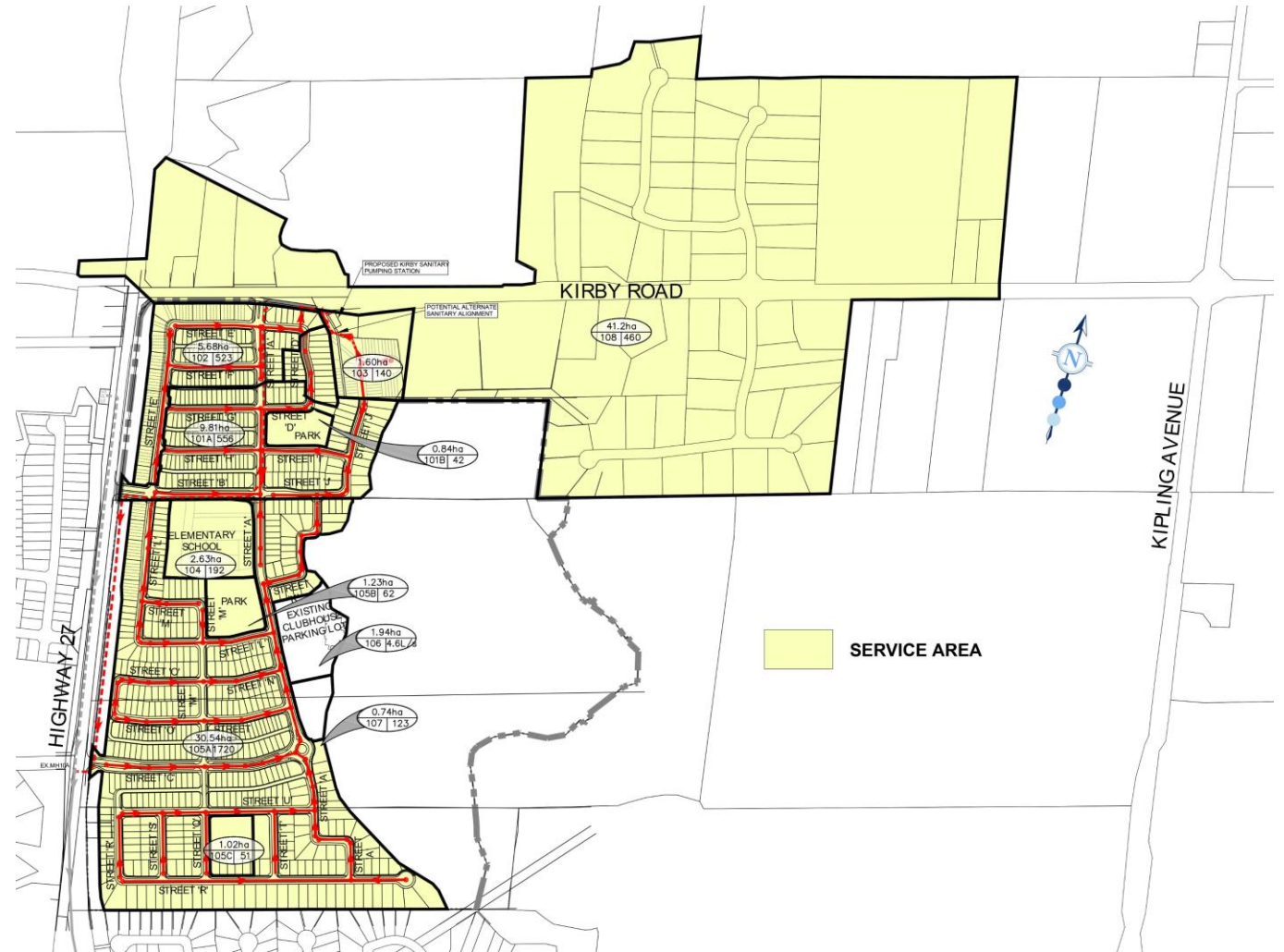
March 14<sup>th</sup> 2024 Committee of Adjustment Hearing

# Site History

- Within Block 55 NW, approved by Council on September 26, 2023
- Shown as “Pumping Station” on approved Block Plan
- Remainder of property is planned for future development, no development applications currently submitted
- Adjacent Phase 1 Draft Plan of Subdivision and Zoning approved on December 12, 2023
- Phases 2-4 under review by the City



- Pumping Station planned in this area by the City since 2012
- Site shifted west outside of valley features
- Station will service new development, as well as ~41 ha of existing development to north and east
- Variances will permit the Subject Lands to be used as a pumping station
- Public Uses are permitted within all zones, including existing Estate Residential zone.
- Lands will be conveyed to City through Agreement

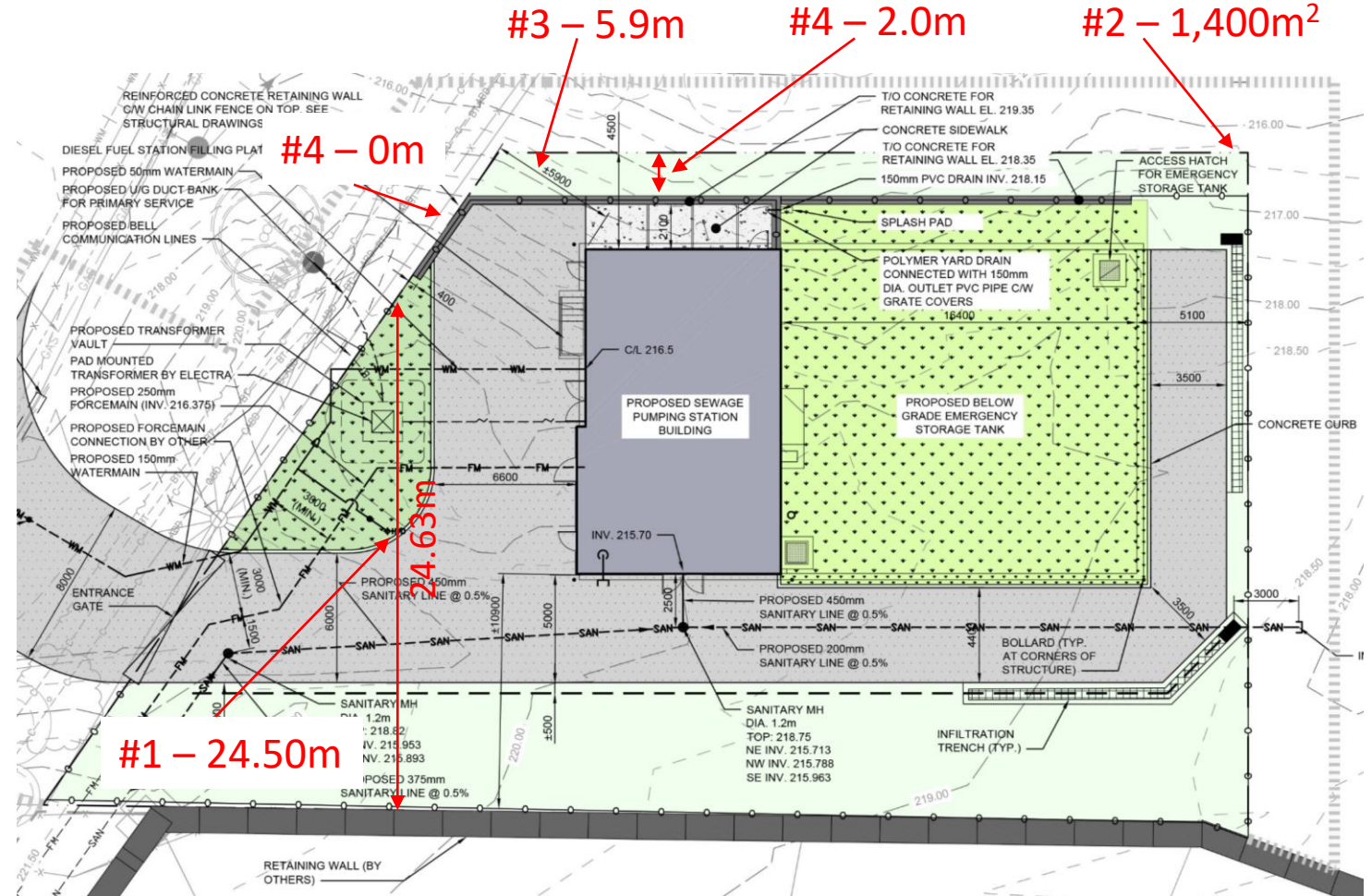


- Site is 0.14 ha at north-west corner of larger 2.7 ha Vitaro property
- Temporary easements for access on Phase 1 lands and Pumping Station
- Ultimate access to retained house will be through Phase 1 subdivision



## Proposed variances:

1. Minimum Frontage  
From 45m to 24.5m
2. Minimum Lot Area  
From 4,000m<sup>2</sup> to 1,400m<sup>2</sup>
3. Minimum Front Yard  
From 15m to 5.9m
4. Retaining Wall Setback  
From 3.5m to 0m (front lot line) and 2m (interior lot line)





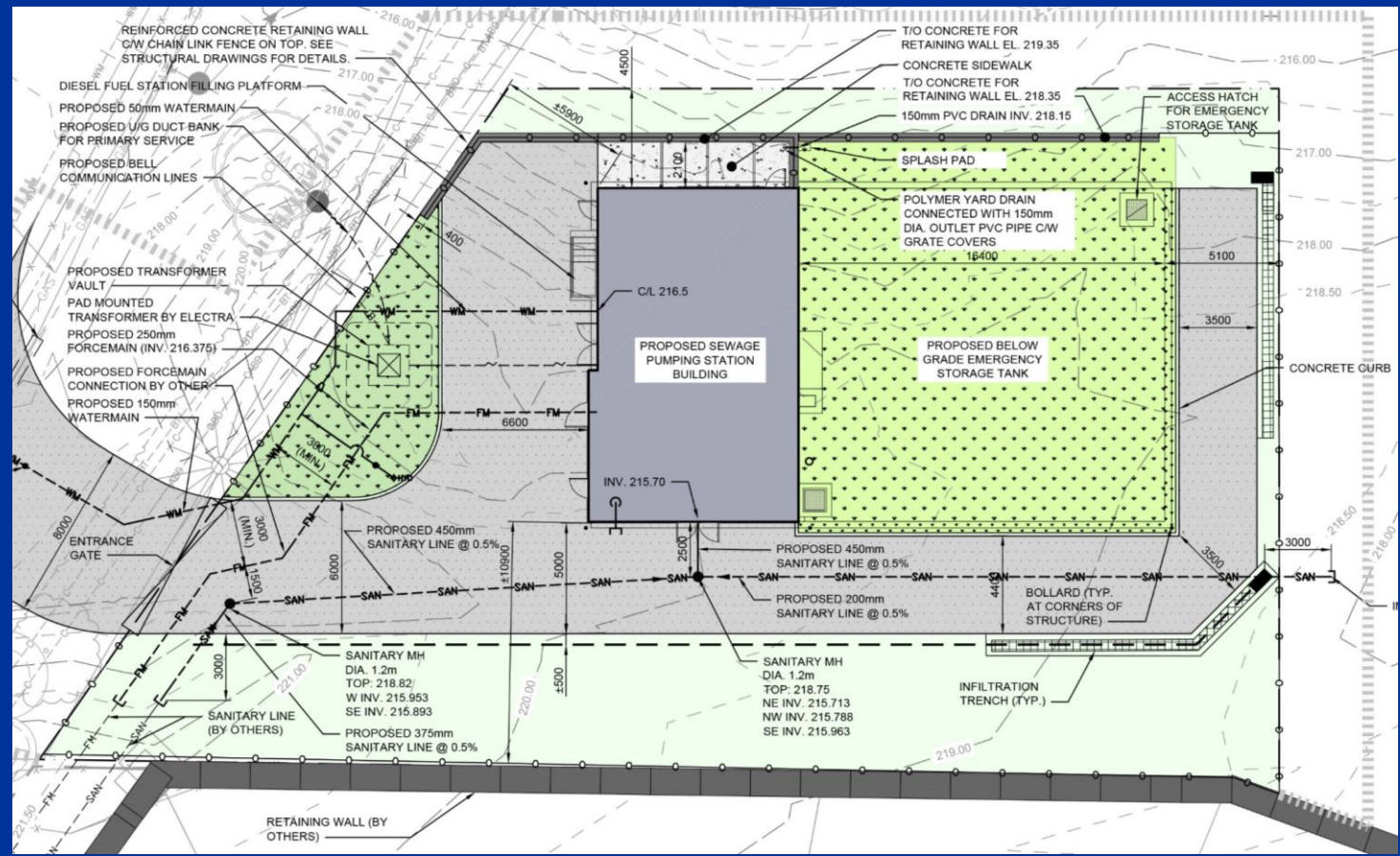
# Minor Variance Application

(A177/23)

Block 55NW Block Plan Area  
5841 Kirby Road – Pumping Station

Agenda Item 6.5

March 14<sup>th</sup> 2024 Committee of Adjustment Hearing



## SCHEDULE D: BACKGROUND

None