

ITEM: 6.12	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A160/22
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Report Date: March 28, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Adjournment
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Fire Department	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
YCDSB	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of Peel	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant	Arcadis Professional Services (Canada) Inc.	8261 Highway 50, Vaughan	01/31/2024	Cover letter
Applicant	Arcadis Professional Services (Canada) Inc.	8261 Highway 50, Vaughan	01/31/2024	Planning Report Justification

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
March 14, 2024	Minor Variance Application A160/22 was adjourned by the Committee of Adjustment to April 4, 2024, to accommodate statutory public notice (Property abutting Brampton).

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A160/22**

CITY WARD #:	2
APPLICANT:	8261 Highway 50 limited
AGENT:	Amy Shepherd
PROPERTY:	8261 Hwy 50, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"
RELATED DEVELOPMENT APPLICATIONS:	DA. 18.078
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit to permit reduced parking/loading space requirements to facilitate the construction of a proposed self-storage facility (with outdoor waste storage) and a retaining wall. Relief is also being requested to facilitate related Site Plan Application DA.18.078.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1 Prestige Employment Area, and under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 68 parking spaces are required for the site. Table 6-2	To permit a minimum of 26 parking spaces on the site.
2	A minimum of 1 Type A loading space dimensioned at 3.5m wide X 17m long X 4.4m high and 3 Type B loading spaces dimensioned at 3.5m wide X 11m long X 4.0m are required. Section 6.11.2 Table 6-16	To permit one loading space dimensioned at 3.5m wide X 9.0m long X 4.2m high.
3	A minimum of 1 Type A and 3 Type B loading spaces are required. Section 6.11.4 Table 6-18	To permit one Type B loading space.
4	A short-term bicycle parking space shall have a minimum setback of 3.0m from a parking area. Section 6.5.5 2b	To permit a short-term parking space to have a minimum setback of 2.8m from the parking area.
5	Waste storage shall be wholly located within a building, within a waste storage enclosure or within a private garage. Section 4.24 2	To permit the waste storage to be located outside of the building in the front yard.
6	A waste storage enclosure shall be prohibited in any part of a front yard and exterior side yard. Section 4.24.4.a	To permit a waste storage enclosure in the front yard.
7	The waste storage area does not meet the definition of waste storage enclosure. Section 3.0	To permit a waste storage area in the front yard that is not in a wholly enclosed detached building or structure and has no roof.
8	A retaining wall greater than 1.0m in height shall be setback an equal distance to the height of the highest portion of the retaining wall.	To permit the retaining walls at various heights between 1.0m and 2.4m to be setback 0.0m from interior side and rear lot lines and 1.0m from front lot line.

The subject lands are zoned EM1 Prestige Employment Area, under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
9	A minimum rear yard of 12.0 metres is required. Schedule A	To permit a minimum rear yard of 8.8 metres.
10	A minimum interior side yard of 6.0 metres is required. Schedule A	To permit a minimum interior side yard of 3.73 metres.
11	A minimum of 132 parking spaces are required for the site. Section 3.8	To permit a minimum of 26 parking spaces on the site.
12	A minimum parking space length and a minimum accessible parking space length of 6.0 metres is required. Section 2.0 and 3.8	To permit a minimum parking space length and an accessible parking space length of 5.7 metres.
13	A minimum of 4 loading spaces are required for the site. Section 3.9	To permit one loading space on the site.
14	Loading and unloading shall not be permitted between a building and a street. Section 3.9 d	To permit loading and unloading to be located between a building and a street.
15	A strip of land not less than 9 metres in width shall be provided along a lot line abutting a provincial highway or an arterial road. Section 6.1.6	To permit a strip of land not less than 6.19 metres in width to be provided along a lot line abutting a provincial highway or an arterial road.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 4, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:

March 21, 2024

COMMITTEE OF ADJUSTMENT

Date Applicant Confirmed Posting of Sign:	March 15, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit to permit reduced parking/loading space requirements to facilitate the construction of a proposed self-storage facility (with outdoor waste storage) and a retaining wall. Relief is also being requested to facilitate related Site Plan Application DA. 18.078.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application DA.18.078 be addressed to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Development Engineering Department does not object to the Minor Variance application A160/22.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

Builder to work within the OBC requirements and applicable standards.	
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FIRE DEPARTMENT

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.18.078 be addressed to the satisfaction of the Development Planning Department.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

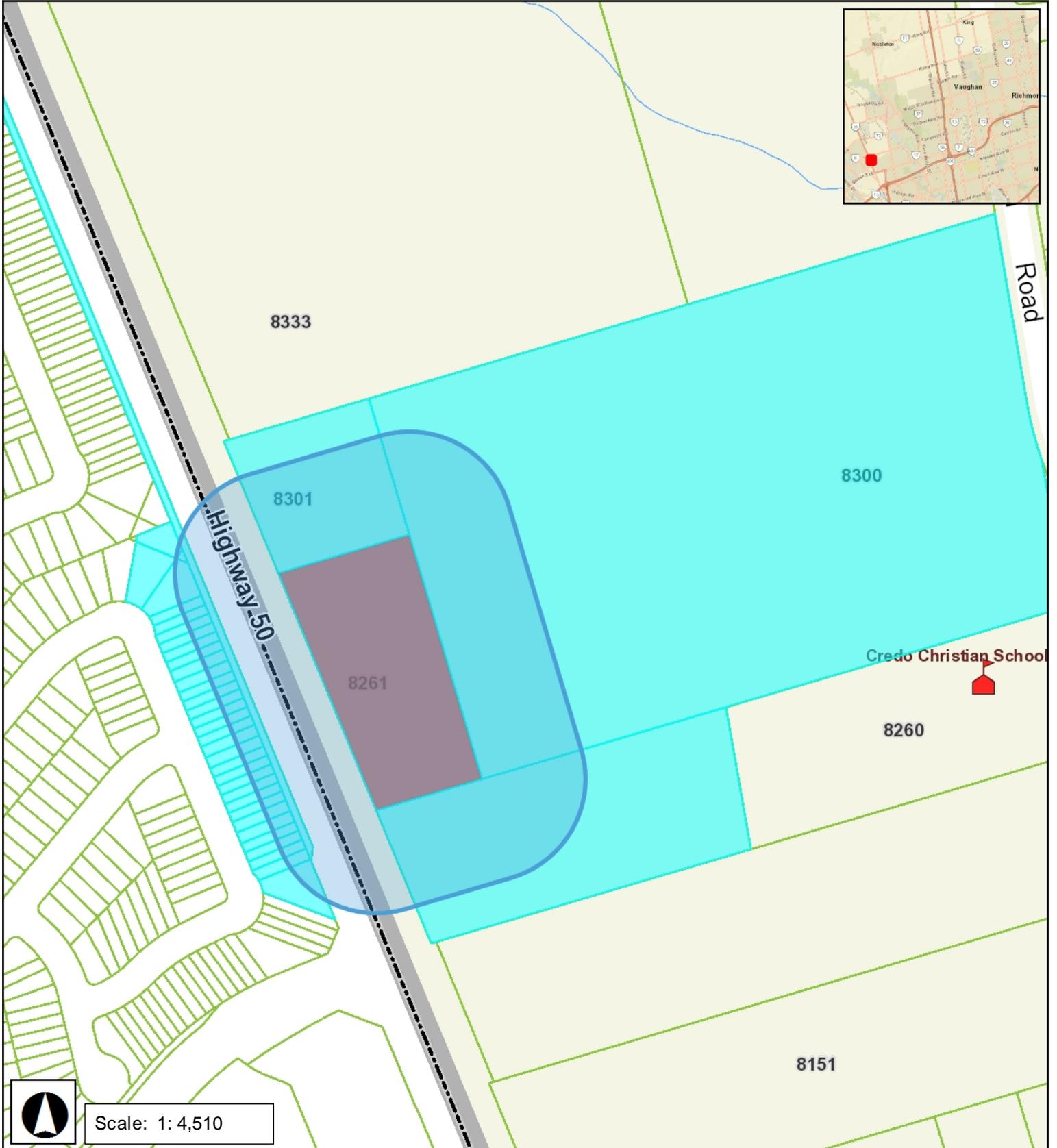
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

8261 Hwy 50, Vaughan



Scale: 1: 4,510

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

RECEIVED
By providel at 11:56 am, Feb 28, 2024

A160/22



Pearce McCuskey Architects
2203 Durwin Drive • Mississauga, Ontario • L5L 1X2
www.pmarchitects.ca 1.905.607.2444



This drawing is not to be used for construction unless signed and sealed by the principal architect in charge.

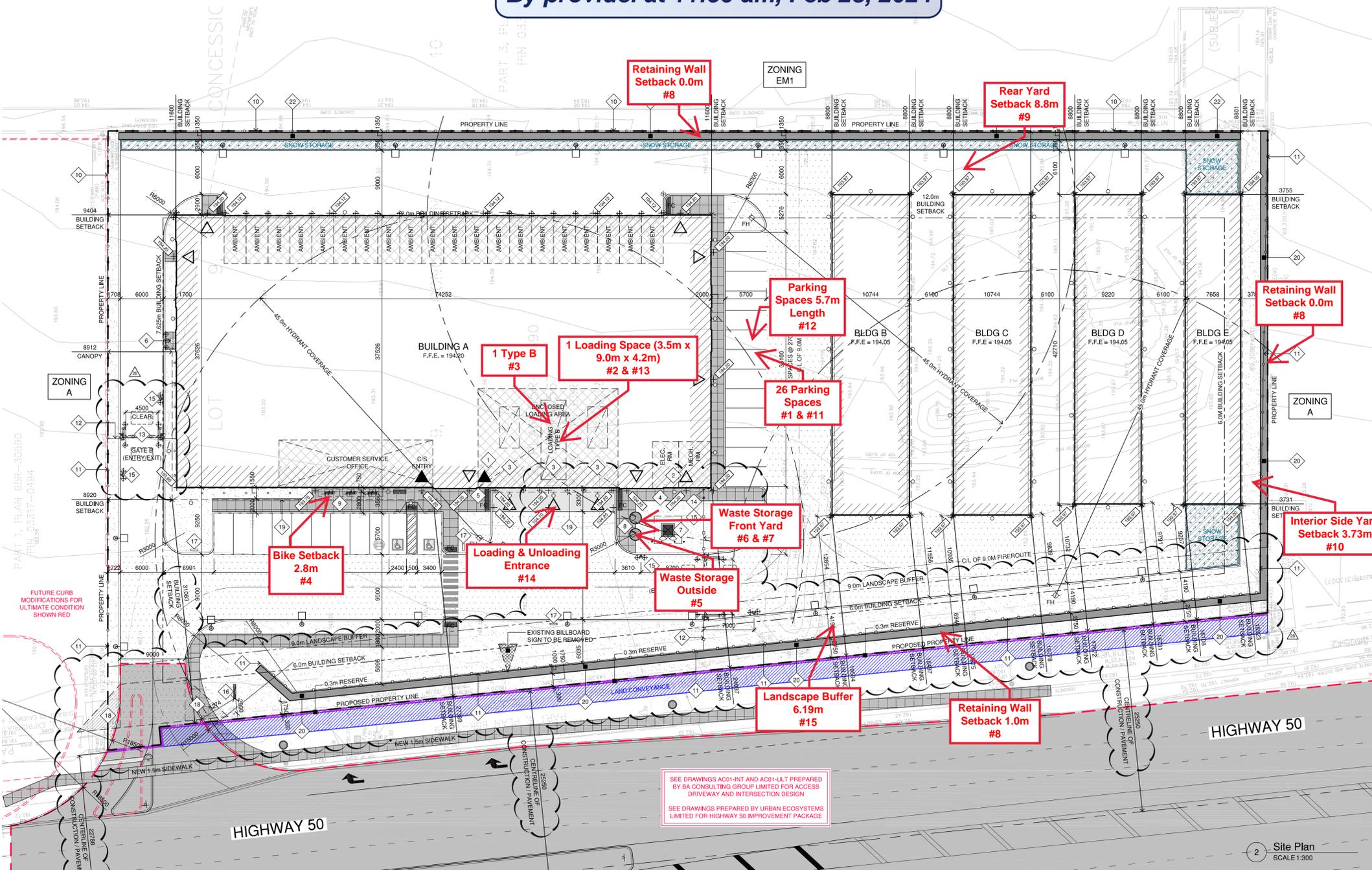
This drawing and related documents are copyright, and the property of the architect. Any reproduction of this drawing and related documents is a violation without the architect's written authorization.

Contractor shall verify all dimensions and be responsible for same. Any discrepancies shall be reported to the architect before commencing work. Prints are not to be scaled.



OWNER:
Hwy 50 Self Storage Limited
85 Scarsdale Road, Suite 302
Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
Arcade | IBI Group
55 St. Clair Avenue West, 7th Floor
Toronto | Ontario | M5A 1C6



1 context plan
SCALE 0:1.5

site statistics

ZONING	PRESTIGE EMPLOYMENT ZONE (EM1)	
CURRENT ZBL	No. 1-88 (The Corporation of the City of Vaughan)	
SITE AREA	1.255 hectares (2.919 acres) (11,051.58 s.m.) "after conveyance"	
Conveyance ROW	0.037 hectares (0.93 acres) (379.50 s.m.)	
Conveyance Reserve	0.004 hectares (0.012 acres) (49.34 s.m.)	

building classification

CLASSIFIED UNDER ONTARIO REGULATION 332/12
OBC 3.2.2.69(B); GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED
Building A (Building Area = 2,790.29 s.m.)
OBC 3.2.2.70(A); GROUP F, DIVISION 2, UP TO 4 STOREYS (GROUPED PER O.B.C. 3.10.4.2)
Buildings B / C / D / E (Building Area = 1,873.01 s.m.)

building floor area

4-Storey Self-Storage (Building A)	2,788.63 s.m.	30,016.56 s.f.
Ground Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
Second Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
Third Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
Fourth Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
TOTAL FLOOR AREA (GFA)	11,159.50 s.m.	120,119.85 s.f.
1-Storey (Ambient) Self-Storage (Grouped as per O.B.C. 3.10.4.2)	475.26 s.m.	5,115.65 s.f.
Building B (GFA)	475.26 s.m.	5,115.65 s.f.
Building C (GFA)	475.26 s.m.	5,115.65 s.f.
Building D (GFA)	393.79 s.m.	4,238.72 s.f.
Building E (GFA)	328.70 s.m.	3,535.09 s.f.
TOTAL FLOOR AREA (GFA)	1,673.01 s.m.	18,008.11 s.f.
TOTAL FLOOR AREA (All Buildings)	12,832.51 s.m.	138,127.96 s.f.

coverage calculations

BUILDING AREA / SITE AREA building coverage	4,461.64 s.m. / 12,051.58 s.m.	37.02%
PAVED AREA / SITE AREA paved coverage	5,103.31 s.m. / 12,051.58 s.m.	42.35%
LANDSCAPED AREA / SITE AREA landscaped coverage	2,486.63 s.m. / 12,051.58 s.m.	20.63%
TOTAL COVERAGE	100.00%	

density calculations

BUILDING AREA / SITE AREA	12,832.51 s.m. / 12,051.58 s.m.	1.064
Overall building density ratio		

parking calculations - required

STANDARD VEHICLE SPACES REQUIRED (Section 3.8 of ZBL 1-88)	WAREHOUSE = 1 space / 100 s.m. = 12,832.51 s.m. / 100 s.m. = 128.32 spaces (standard parking stall 2700 x 5700)
TOTAL STANDARD SPACES REQUIRED	= 129 spaces
BARRIER-FREE VEHICLE SPACES REQUIRED (Section 3.8 ZBL 1-88)	WAREHOUSE = 4% of total provided spaces = 4% of 129 spaces = 5.16 spaces minimum required is 1 + 3% of total number of parking spaces, of which 50% Type A, and 50% Type B
Type A (van accessible barrier-free 3400 x 5700)	= 1 spaces
Type B (standard barrier-free 2400 x 5700)	= 1 spaces
TOTAL BARRIER-FREE SPACES REQUIRED	= 2 spaces

parking calculations - provided

STANDARD VEHICLE SPACES PROVIDED Exterior (standard parking stall 2700 x 5700) Interior (standard parking stall 2700 x 5700)	WAREHOUSE = 22 spaces = 2 spaces
TOTAL STANDARD SPACES PROVIDED	= 24 spaces
BARRIER-FREE VEHICLE SPACES PROVIDED Type A (van accessible barrier-free 3400 x 5700) Type B (standard barrier-free 2400 x 5700)	WAREHOUSE = 1 spaces = 1 spaces
TOTAL BARRIER-FREE SPACES PROVIDED	= 2 spaces
TOTAL VEHICLE SPACES PROVIDED	= 26 spaces

*REFER TO PARKING JUSTIFICATION STUDY PREPARED BY IBI GROUP.

loading calculations - required

LOADING SPACE REQUIRED (Section 3.9 of ZBL 1-88)	WAREHOUSE Two (2) loading spaces required for every 10,000 s.m. or portion thereof of gross floor area. (9.0m long x 3.5m wide x 4.2m high)
TOTAL LOADING SPACES REQUIRED	= 4 spaces

loading calculations - provided

LOADING SPACES PROVIDED TYPE B (9.0m long x 3.5m wide x 4.2m high)	WAREHOUSE = 1 spaces
TOTAL LOADING SPACES PROVIDED	= 1 spaces

*REFER TO PARKING JUSTIFICATION STUDY PREPARED BY IBI GROUP.

bicycle parking - required / provided

BICYCLE PARKING REQUIREMENTS minimum bicycle spaces required (3.0m long x 1.0m wide x 1.9m high)	WAREHOUSE = 0 spaces
TOTAL BICYCLE SPACES PROVIDED	= 0 spaces

setbacks | buffers

MINIMUM SETBACKS BUFFERS - PRESTIGE EMPLOYMENT ZONE (EM1) (Schedule A of ZBL 1-88)			
LOT (m)	REQUIRED	PROVIDED	
Frontage	None	161.76m	
YARDS (m)	REQUIRED	PROVIDED	
Front	6.00 m	REFER TO DRAWING	
Interior Side	6.00 m	REFER TO DRAWING	
Exterior Side (As per 18.25m height)	7.62 m	REFER TO DRAWING	
Rear	6.00 m	REFER TO DRAWING	
LANDSCAPE BUFFER (m)	REQUIRED	PROVIDED	
Abutting a street	3.00 m	REFER TO DRAWING	
Abutting a Hwy or Arterial Road	9.00 m	REFER TO DRAWING	
COVERAGE (%)	REQUIRED	PROVIDED	
Maximum Lot Coverage	60.0%	37.02%	
Min. Landscape open space	5.0%	20.63%	

survey information
TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 9, CONCESSION 10
(GEOGRAPHIC TOWNSHIP OF VAUGHAN)
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

CONTOURS
CONTOURS SHOWN HEREON ARE DRAWN AT 0.50 METER INTERVALS.

ELEVATIONS
ELEVATIONS SHOWN HEREON ARE GEODETIC AND REFERRED TO CITY OF VAUGHAN BENCHMARK No. 55-2 HAVING A PUBLISHED ELEVATION OF 190.045 METERS.

DISTANCE NOTE
DISTANCES AND ELEVATIONS SHOWN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS
64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL: (416) 867-0101

general notes - city of vaughan

- BOULEVARDS SHALL BE GRADED, TOP SOILED AND SODDED TO SATISFACTION OF THE CITY OF VAUGHAN.
- EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTITATED TO THE SATISFACTION OF THE CITY OF VAUGHAN.
- EXISTING STREET FURNITURE SHALL BE RELOCATED TO MAINTAIN A MINIMUM SETBACK OF 1.0M FROM PROPOSED DRIVEWAYS AND SIDEWALKS.
- THE OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- THE OWNER SHALL PROVIDE FIRE ROUTE AND BARRIER-FREE SIGNAGE AS REQUIRED BY CITY OF VAUGHAN BYLAWS.
- SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL MAINTAIN A MINIMUM 1.5m CLEAR WIDTH THROUGHOUT.
- NON-ROOF HARDSCAPE ELEMENTS (SIDEWALKS AND HIGH ALBEDO PAVING) SHALL CONSIST OF STANDARD 'GREY' CONCRETE PAVING MATERIAL WITH AN SRI VALUE GREATER THAN 35.
- COOL ROOFING MATERIALS SHALL BE PROVIDED.

general notes

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE. REFER TO DRAWINGS AND REPORTS PREPARED BY:
- SERVICING AND GRADING BY: URBAN ECOSYSTEMS LTD.
- LANDSCAPING BY: BAKER TURNER INC.
- ELECTRICAL BY: HAMMERSCHLAG AND JOFFE INC.
- TRAFFIC BY: BA CONSULTING GROUP LTD.
- ALL WASTE AND RECYCLING SHALL BE STORED EXTERNALLY USING MOLOK WASTE COLLECTION SYSTEM AND COLLECTED UNDER PRIVATE CONTRACT. CLEARING AND REMOVAL OF EXCESS SNOW FROM SITE SHALL BE UNDER PRIVATE CONTRACT.
- FIRE ROUTE SHALL BE A COMBINATION OF 6.0M AND 9.0M MINIMUM CLEAR WIDTH WITH A 12.0M MINIMUM CENTERLINE TURNING RADIUS AND A 9.0M MINIMUM INSIDE TURNING RADIUS IN ACCORDANCE WITH O.B.C.
- FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT. PAVEMENT SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
- SIGNAGE IS TO BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMANCE WITH SIGNAGE BY-LAW.
- SIGNAGE SHALL BE PROVIDED TO IDENTIFY THE "PRINCIPAL" ENTRANCE FOR THE PURPOSE OF FIRE FIGHTING.
- ILLUMINATION SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES TO MAINTAIN ZERO CUT-OFF AT PROPERTY LINE. SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL MAINTAIN A MINIMUM 1.5m CLEAR WIDTH THROUGHOUT.
- EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTITATED.
- BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.

drawing notes

- PRINCIPAL ENTRANCE C/W FLAG
- SERVICE ROOMS (MECHANICAL / ELECTRICAL)
- DRIVE-IN DOOR (AT GRADE)
- FIRE DEPARTMENT CONNECTION - REFER TO FIRE PROTECTION
- RAPID ENTRY LOCKBOX (FIRE DEPARTMENT ACCESS)
- GAS METER - REFER TO MECHANICAL
- PAD MOUNTED TRANSFORMER - REFER TO ELECTRICAL
- WASTE COLLECTION AREA (MOLOK WASTE CONTAINERS)
- TANDEM BICYCLE RACK x3 - 3.0m long x 1.0m wide x 1.9m high
- CHAIN-LINK FENCING - 1.8m HIGH (BLACK)
- ORNAMENTAL FENCING - 1.2m HIGH (BLACK)
- ORNAMENTAL FENCING - 1.5m HIGH (BLACK)
- ORNAMENTAL VEHICLE GATE - 1.8m HIGH "BI-FOLDING" (BLACK)
- ORNAMENTAL PEDESTRIAN GATE - 1.8m HIGH "SWING" (BLACK)
- ACCESS CONTROL (KEYPADS) - REFER TO SECURITY & IT
- PYLON GROUND SIGNAGE
- DIRECTIONAL SIGNAGE
- 6.0m x 6.0m DAYLIGHT TRIANGLE - REFER TO ELECTRICAL
- CANOPY / OVERHANG ABOVE
- ARMOR STONE RETAINING WALL - REFER TO CIVIL
- RESERVED
- POURED CONCRETE TOE-WALL - REFER TO CIVIL

building height

MAXIMUM BUILDING HEIGHT - PRESTIGE EMPLOYMENT ZONE (EM1)
(Schedule A ZBL 1-88)

HEIGHT (m)	MAXIMUM	PROVIDED
Penthouse (4-Storey)	N/A	19.13m
Parapet (4-Storey)	N/A	18.25m
Roof (4-Storey)	15.0m	16.75m
Ridge (1-Storey Ambient)	15.0m	Varies
Eave (1-Storey Ambient)	N/A	2.89m

*may exceed max height of 15.0m provided the minimum interior side yard is increased by 0.3 meters for every 0.6 meters of additional building height beyond 15m but cannot exceed 25m.

drawing legend

LANDSCAPED AREA	PRINCIPAL ENTRANCE
HEAVY DUTY PAVING	SECONDARY ACCESS / EXIT
CONCRETE SIDEWALK	POLE MOUNTED FIXTURE
CONCRETE APRON	WALL MOUNTED FIXTURE
FLUSH CURB WITH TACTILE INDICATOR PAINTED STRIPPING	RECESSED FIXTURE
CHAIN-LINK FENCING	FI FIRE HYDRANT
PAINTED CROSSWALK	SNOW STORAGE AREA (APPROX. 7.5% OF PAVED AREA)

Hwy 50 Storage
New Self Storage Facility
8251 Highway 50
Vaughan | Ontario

Site Plan



Project Number:
20056

Drawn By: RAS
Checked By: RAS
Date: April 2021
Scale: 1:200
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A1.0

SITE PLAN FILE NO. DA.10.078

ABBREVIATIONS LEGEND cont'd	
RB	RUBBER BASE
RD	ROOF DRAIN
RM	ROOM
R.O.	ROUGH OPENING
RWL	RAIN WATER LEADER
SCR	SHOWER CURTAIN ROD
SCWD	SOLID CORE WOOD
SD	SOAP DISPENSER
SDS	SOLID SURFACE
SH	SHOWER HEAD
SLR	SEALER
SM	SURFACE MOUNTED
SND	SANITARY NAPKIN DISPOSAL
SAPF	SPRAY APPLIED FIRE PROOFING
SR	SEMI RECESSED
SS	STAINLESS STEEL
ST	SATIN
STL	STEEL
SU	SEALED UNIT
TB	THERMALLY BROKEN
TG	TEMPERED GLASS
TNT	TINTED GLASS
T/O	TOP OF
TTD	TOILET TISSUE DISPENSER
UH	UNIT HEATER
U.N.O.	UNLESS NOTED OTHERWISE
UR	URINAL
URE	URETHANE
USHJ	UTILITY SHELF - JANITOR
US	UTILITY SHELF
US	UNDERSIDE
VB	VINYL BASE
VCT	VINYL COMPOSITE TILE
VN	VENEER
VWC	VINYL WALL COVERING
WC	WATER CLOSET
WD	WOOD
WM	WIRE MESH
WR	WASTE RECEPTACLE

SYMBOLS LEGEND	
	PARTITION TAG (REFER TO PARTITION TYPE SCHEDULE)
	NOTE
	FINISH TAG (REFER TO FINISH SCHEDULE)
	ASSEMBLY TAG
	DOOR & SCREEN TAG
	EQUIPMENT TAG
	ELEVATION TAG
	ROOM NAME AND NUMBER TAG

	EXISTING COLUMN GRID LINE
	PROPOSED COLUMN GRID LINE
	DRAWING TITLE
	ELEVATION MARKER
	INTERIOR ELEVATION TAG
	SECTION TAG
	ELEVATION TAG
	DETAIL REFERENCE TAG

ABBREVIATIONS LEGEND	
AB	ANODIZED - BLACK
AC	ANODIZED - CLEAR
ACP	ACOUSTIC CEILING PANEL
ACT	ACOUSTICAL CEILING TILE IN SUSPENDED CEILING GRID
ADO	AUTOMATIC DOOR OPERATOR
A.F.F.	ABOVE FLOOR FINISH
AHD	AUTOMATIC HAND DRYER
ALUM	ALUMINUM
AP	ANNUNCIATOR PANEL
AV	AIR VAPOUR
BCS	BABY CHANGE STATION
BE	BENCH
BFCR	BARRIER-FREE CURB RAMP
BLD	BLINDS
BPJ	BENT PLATE JAMB
BR	BACK REST (BF TOILET / UNIVERSAL ONLY)
CB	CONCRETE BLOCK
CT	CERAMIC TILE
CG	CORNER GUARD
CH	COAT HOOK
CL	CENTERLINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CPT	CARPET
CR	CARD READER
CW	CURTAINWALL
CW	COMPLETE WITH
DOC	DOOR OPERATOR CONTROL
DTL	DETAIL
DP	DIAMOND PLATE
ECB	EMERGENCY CALL BUTTON
ECS	EMERGENCY CALL SYSTEM
EFV	ELECTRONIC FLUSH VALVE
ELEC	ELECTRICAL
EPXY	EPOXY COATING
EQ	EQUAL
ERT	ENHANCED RESILIENT TILE
EXT	EXTERIOR
FAU	FAUCET
FD	FLOOR DRAIN (SLOPE FLOOR TO DRAIN)
FDC	FIRE DEPARTMENT CONNECTION
FG	FLOAT GLASS
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FLM	FILM (VINYL)
FIO	FACE OF
FR	FULLY RECESSED
FRP	FIBERGLASS REINFORCED PLASTIC
F.R.R.	FIRE-RESISTANCE RATING
FSS	FOLDING SHOWER SEAT
GALV	GALVANIZED
GB3	SWING UP GRAB BAR
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GL	GLASS
GMT	GLASS MOSAIC TILE
GWB	GYPSUM WALLBOARD
HCWD	HOLLOW CORE WOOD
HM	HOLLOW METAL
H.P.	HIGH POINT
HT	HEIGHT
INSUL	INSULATED
INT	INTERIOR
LAV	LAVATORY
LC	LIGHT COVE
LN	LENGTH
L.P.	LOW POINT
MB	MAIL BOX
MECH	MECHANICAL
ML	MELAMINE
MTL	METAL
MTPL	METAL PANEL
MIR	MIRROR
MS	MOP SINK
OBC	ONTARIO BUILDING CODE
OPG	OPENING
OS	OPAQUE STRIP
PCT	PORCELAIN CERAMIC TILE
PDC	POWDER COAT FINISH
PGBV	PAINT GRADE BIRCH VENEER
PLAM	PLASTIC LAMINATE
PLY	PLYWOOD
PNT	PAINT
POL	POLISHED
POLY	POLYCARBONATE
PREFIN	PREFINISHED
PFLS	PREFABRICATED LOCKER SYSTEM
PTD-WR	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
PV	PLUMBING VENT
PWG	POLISHED WIRE GLASS
QT	QUARRY TILE

Name of Project:
Hwy 50 Storage
New 4-Storey Self-Storage (Building A)

Project Location:
8261 Highway 50
Vaughan, Ontario

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By attwalap at 10:34 am, Feb 02, 2024

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ITEM	2012 ONTARIO BUILDING CODE DATA MATRIX	O.B.C. REFERENCE
1.	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> PART 3 1.1.2. [A] <input type="checkbox"/> PART 9 9.10.13
2.	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2, UP TO 4 STOREYS, INCREASED AREA, SPRINKLERED	3.1.2.1 (1) & 3.2.2.6B
3.	BUILDING AREA (m ²) Existing: N/A New: 2,788.70 Total: 2,788.70	1.4.1.2. [A] 1.4.1.2. [A]
4.	GROSS AREA Existing: N/A New: 11,159.90 Total: 11,159.90	1.4.1.2. [A] 1.4.1.2. [A]
5.	NUMBER OF STOREYS Above grade: 4 Below grade: 0	1.4.1.2. [A] & 3.2.1.1 1.4.1.2. [A] & 9.10.4
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS 1	3.2.2.10 & 3.2.5 9.10.20
7.	BUILDING CLASSIFICATION 3.2.2.6B.8	3.2.2.20 -83 9.10.2
8.	SPRINKLER SYSTEM PROPOSED AS SELECTED <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> basement only <input type="checkbox"/> selected floor areas <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.15 3.2.2.17 INDEX INDEX
9.	STANDPIPE REQUIRED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9 N/A
10.	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4 9.10.18
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7 N/A
12.	HIGH BUILDING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6 N/A
13.	PERMITTED CONSTRUCTION <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both ACTUAL CONSTRUCTION <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20 -83 9.10.6
14.	MEZZANINE(S) AREA (m ²) N/A	3.2.1.1.(3)-(8) 9.10.4.1
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building BASEMENT: OCCUPANCY N/A LOAD N/A PERSONS 1ST FLOOR: OCCUPANCY GROUP F LOAD 4 PERSONS 2ND FLOOR: OCCUPANCY GROUP F LOAD N/A PERSONS 3RD FLOOR: OCCUPANCY GROUP F LOAD N/A PERSONS 4TH FLOOR: OCCUPANCY GROUP F LOAD N/A PERSONS	3.1.17 9.9.1.3 OCCUPANT LOAD CALCULATIONS DO NOT APPLY TO SELF-STORAGE FACILITIES AS PER O.B.C. 3.10.2.2 ANTICIPATED OCCUPANT LOAD: - EMPLOYEES = 4
16.	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (explain)	3.8 9.5.2
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19 9.10.13.(4)
18.	REQUIRED FIRE RESISTANCE RATINGS (FRR) FLOOR: 1 Hours Roof: N/A Hours Mezzanine: 1 Hours FRR OF SUPPORTING MEMBERS Column: 1 Hours Beam: 1 Hours Bracing: 1 Hours	3.2.2.20 -83 & 3.2.1.4 9.10.8 9.10.9 REFER TO A0.2A FOR FURTHER FLOOR ASSEMBLIES LEGEND AND ADDITIONAL SPRAY FIREPROOFING INFO.
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS WALL AREA OF EBF (m ²) L.D. (m) L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION NON-COMB CONSTR COMB CONSTR NON-COMB CLADDING COMB CLADDING NORTH 635.68 10.31 N/A 53.00 52.50 1 ULC W605 YES - YES - SOUTH 632.74 0.00 N/A 0.00 0.00 2 ULC W606 YES - YES - EAST 1,246.37 13.60 N/A 87.20 82.39 1 ULC W605 YES - YES - WEST 1,246.37 > 15.00 N/A 100.00 100.00 N/A - YES - YES - FOR ADDITIONAL WALLS REFER TO PAGE - N/A	3.2.3.1 9.10.14
20.	ADDITIONAL NOTES / OTHER: 1) REFER TO SITE PLAN A1.0 FOR LIMITING DISTANCE LINES USED IN THE DETERMINATION OF SPATIAL SEPARATION CALCULATIONS ABOVE. 2) REFER TO EXTERIOR ELEVATIONS ON SHEET A3.0 & A3.1 FOR SPATIAL SEPARATION REQUIREMENTS AND EXTENT OF EXTERIOR FIRE RATED ASSEMBLIES. 3) STAIRWELLS: AS PER 3.4.4.(1) MUST BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE SEPARATION WITH A FRR OF NOT LESS THAN 1 HOUR PER OBC 3.2.2.6B.8.	

OBC SIGNAGE cont'd	
EMERGENCY ACCESS	
EMERGENCY ACCESS SIGNAGE:	
1.	SIGNAGE SHALL BE PROVIDED ON THE STAIR SIDE OF EACH STAIRWELL DOOR AT ALL FLOORS INCLUDING GROUND IN ACCORDANCE WITH O.B.C. 3.4.6.18.
2.	SIGNAGE SHALL BE SELF-ADHERING VINYL AND INSTALLED AT 1200MM ABOVE FINISHED FLOOR. (BELOW STAIR DESIGNATION SIGNAGE)
3.	LETTERING SHALL BE "BLACK" ON "WHITE" BACKGROUND, NO LESS THAN 60MM HIGH.
LABELING REQUIREMENTS:	
OPERABLE DOORS:	
1.	SIGNAGE SHALL IDENTIFY DOORS ARE OPERABLE FROM STAIR SIDE IN ACCORDANCE WITH O.B.C. 3.4.6.18(3).
SAMPLE SIGNAGE: UNLOCKED	
*APPLIES TO FLOORS 2 AND 4 ONLY.	
LOCKED DOORS:	
1.	SIGNAGE SHALL IDENTIFY THAT DOORS ARE LOCKED FROM STAIR SIDE AND INDICATE NEAREST LOCATION OF UNLOCKED DOORS IN EACH DIRECTION OF TRAVEL.
SAMPLE SIGNAGE: LOCKED	
*APPLIES TO FLOORS 1 AND 3 ONLY.	

OBC SIGNAGE	
STAIR DESIGNATION	
STAIR SIGNAGE REQUIREMENTS:	
1.	SIGNAGE SHALL BE PROVIDED ON BOTH SIDES OF EACH INTERIOR DOOR AT ALL FLOORS INCLUDING GROUND.
2.	SIGNAGE SHALL BE INSTALLED AT 1500MM ABOVE FINISHED FLOOR IN ACCORDANCE WITH O.B.C. 3.4.6.19
3.	LETTERING SHALL BE NOT LESS THAN 60MM HIGH, RAISED APPROXIMATELY 0.7MM ABOVE THE SURFACE O/W BRAILLE TRANSLATION IN ACCORDANCE WITH O.B.C. 3.4.6.19
4.	LETTERING SHALL BE "WHITE" ACRYLIC ON "CHARCOAL" ACRYLIC BACKGROUND IN ACCORDANCE WITH O.B.C. 3.4.6.19
5.	G.O. TO COORDINATE STAIR SIGNAGE WITH OWNERS' INTERIOR WAY-FINDING SIGNAGE CONTRACTOR TO ENSURE UNIFORMITY.
6.	ACCESSIBILITY SIGNS SHALL BE PROVIDED IN ACCORDANCE O.B.C. 3.8.3.1
LABELING REQUIREMENTS:	
1. SIGNAGE SHALL INCORPORATE BOTH PICTOGRAMS, ARABIC NUMERALS AND UPPERCASE LETTERING INDICATING ASSIGNED FLOOR NUMBER AND DESIGNATION IN ACCORDANCE WITH O.B.C. 3.4.6.19 AND O.B.C. 3.8.3.1	
SAMPLE LABELING DESIGNATIONS:	
A1	STAIRWELL A 1 (GROUND)
B2	STAIRWELL B 2 (SECOND)
C3	STAIRWELL C 3 (THIRD)
SUGGESTED SIZE: 216mm x 114mm	
STAIRWELL	
30. ALL DIMENSIONS TO BE VERIFIED ON SITE	

GENERAL NOTES cont'd	
21.	LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES AND OR STREETS. "SHIELDS" MUST BE PROVIDED WHERE NEEDED, TO COMPLETELY ELIMINATE GLARE TO ADJACENT PROPERTIES.
22.	ALL BUILDING MATERIALS AND PRODUCTS SHALL NOT CONTAIN ASBESTOS OR OTHER KNOWN HAZARDOUS MATERIALS.
23.	ALL INSPECTION REPORTS BY CONSULTANTS FORM PART OF THE CONTRACT DOCUMENTS AND ARE REQUIRED PRIOR TO FINAL REVIEW BY ARCHITECT.
24.	THIRD PARTY TESTING AND INSPECTION REPORTS ARE TO BE PROVIDED FOR BUILDING ENVELOPE COMPONENTS AND ALL FIRE RATED ASSEMBLIES.
25.	COLOR AND FINISH SAMPLES FOR ALL PRODUCTS, MATERIALS AND OR SYSTEMS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
26.	ARCHITECTURAL DRAWINGS ARE INTENDED TO BE READ IN CONJUNCTION WITH OTHER DISCIPLINES FORMING PART OF THE CONTRACT DOCUMENTS.
27.	REFER TO SEPARATE DOCUMENTATION FOR COMPLETE BUILDING SPECIFICATIONS.
28.	ALL DIMENSIONS NOTED ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
29.	DIMENSIONS (UNLESS NOTED OTHERWISE) ARE TO: - CENTERLINE OF STUD PARTITIONS - FACE OF BLOCK / MASONRY - FACE OF ALUMINUM FRAMING (EXTERIOR OR SIDE)
30.	ALL DIMENSIONS TO BE VERIFIED ON SITE

OBC NOTES cont'd	
5.	DOORWAYS AND DOORS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.3.3.
6.	TRANSPARENT DOORS AND PANELS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.3.1.18.
7.	EGRESS DOORS FROM RENTAL UNITS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.10.2.4.(4) AND O.B.C. 3.10.2.5.
STAIRS / GUARDS / LANDINGS:	
1.	STAIRS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.3.2. / O.B.C. 3.4.7.5. AND O.B.C. 3.10.2.5.
2.	SURFACE FINISH OF STAIRS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.1.
3.	DIMENSIONS OF LANDINGS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.4.
4.	STAIR TREADS AND RISERS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.3. / 3.4.6.8. AND 3.4.7.5.
5.	GUARDS AND HANDRAILS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.3.1.17. / 3.4.6.5. AND 3.4.6.6.
6.	LOADS ON GUARDS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 4.1.5.14.
7.	LOADS ON GUARDS ACTING AS WALLS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 4.1.5.16.
8.	EMERGENCY CROSSOVER ACCESS TO FLOOR AREAS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.18.
ELEVATOR CAB / HOISTWAY / MACHINE ROOM:	
1.	ELEVATOR CAB SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.5.2.2. / 3.5.4.1.
2.	ELEVATOR HOISTWAY SHALL PROVIDE A (1.5 HOUR) F.R.R. IN ACCORDANCE WITH O.B.C. 3.5.3.1. AND TABLE 2.1.1. OF SB-2.
3.	ELEVATOR DOORS SHALL PROVIDE A (1 HOUR) CLOSURE IN ACCORDANCE WITH O.B.C. 3.1.8.4.

GENERAL NOTES	
1.	SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE SHELL BUILDING INCLUDING THE INSTALLATION OF ALL INTERIOR FINISHES AS IDENTIFIED ON THESE PLANS.
2.	ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE 2012 ONTARIO BUILDING CODE COMPENDIUM (ONTARIO REGULATION 332/12).
3.	ALL WORK SHALL MEET SECTION 3.8. OF THE O.B.C FOR SPECIFIC BARRIER-FREE DESIGN REQUIREMENTS INCLUDING, BUT NOT LIMITED TO: PATH OF TRAVEL, DOORWAYS, DOORS AND HARDWARE.
4.	BUILDING DESIGN SHALL MEET THE REQUIREMENTS OF O.B.C 2.1.1.1 AND O.B.C. 2.2.1.1 ALONG WITH THE REQUIREMENTS OF SB-10 FOR ENERGY EFFICIENCY DESIGN.
5.	INTERIOR PARTITIONS / FURRING SHALL RUN CONTINUOUS FROM T/O SLAB TO US OF STEEL DECK UNLESS OTHERWISE NOTED.
6.	OWS / BEAMS SHALL BE SHIFTED ACCORDINGLY TO AVOID INTERFERENCE WITH FULL HEIGHT PARTITIONS.
7.	MINERAL WOOL SOUND ATTENUATION BLANKETS SHALL FILL STUD CAVITY FOR THE FULL HEIGHT OF THE WALL AND ACHIEVE A MIN. STC=7 RATING.
8.	WATER-RESISTANT GYPSUM WALLBOARD SHALL BE PROVIDED AT JANITORS ROOM, MECHANICAL ROOM AND ELECTRICAL ROOM UNLESS NOTES OTHERWISE.
9.	SOLID BLOCKING AND OR ADDITIONAL FRAMING SHALL BE PROVIDED FOR SUPPORT OF WALL MOUNTED FIXTURES.
11.	ACCESS PANELS SHALL BE PROVIDED IN WALLS AND OR CEILINGS WHERE REQUIRED.
12.	FIRE EXTINGUISHERS TO BE PROVIDED IN CONFORMANCE WITH THE ONTARIO FIRE CODE AND TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT.
13.	STEEL FRAME SUPPORTS SHALL BE PROVIDED FOR FIRE HOSE CABINETS INSTALLED WITHIN LOCKER PARTITION SYSTEM.
14.	POLYETHYLENE VAPOUR RETARDER SHALL BE PROVIDED BENEATH SLAB-ON-GRADE FOR ENTIRE BUILDING FOOTPRINT.
15.	CONTRACTOR SHALL ENSURE THAT ALL ROOFTOP EQUIPMENT / VENTS ARE LOCATED AWAY FROM DRAINS, PARAPETS AND PENTHOUSES.
16.	CONTRACTOR SHALL COORDINATE ROOF PENETRATIONS WITH MECHANICAL AND STRUCTURAL CONSULTANTS.
17.	CONTRACTOR SHALL PROVIDE ANY AND ALL CONSTRUCTION HOARDING / FENCING AS REQUIRED TO MAINTAIN SECURITY AND LIMIT ACCESS TO AREAS OF WORK.
18.	CONTRACTOR SHALL ENSURE THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
19.	CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES AND OR SITE CONDITIONS DISCOVERED WHICH MAY IMPACT THE SCOPE OF WORK BEING PERFORMED.
20.	CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL CLEANING OF ALL SURFACES FOLLOWING COMPLETION OF WORK.

OBC NOTES	
GENERAL:	
1.	OCCUPANT LOAD SHALL BE DETERMINED IN ACCORDANCE WITH O.B.C. 3.10.2.2.
2.	OCCUPANT LOAD SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.1.17.1.(2)
3.	ACCESSIBILITY SIGNS SHALL BE PROVIDED IN ACCORDANCE O.B.C. 3.8.3.1.
4.	FLOOR NUMBERING SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.19.
5.	BARRIER-FREE ENTRANCES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.1.2.
6.	BARRIER-FREE PATH OF TRAVEL SHALL BE PROVIDED IN ACCORDANCE WITH 3.8.1.3.
7.	CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.1.5.
8.	EXTERIOR WALKS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.3.2.
9.	TACTILE ATTENTION INDICATORS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.3.18.
10.	FIXED ACCESS LADDERS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.6.1.5. AND SB-8.
11.	PLENUM SPACES SHALL BE DESIGNED IN ACCORDANCE WITH O.B.C. 3.6.4.3.
WASHROOMS:	
1.	WASHROOMS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.10.2.7.
2.	PLUMBING FIXTURES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.1.7.2. / 3.7.4.7. AND 3.7.4.9.
3.	UNIVERSAL WASHROOMS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.3.12.
4.	AREAS REQUIRING A BARRIER-FREE PATH OF TRAVEL SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.2.1. / 3.8.1.3.
5.	WATER CLOSET STALLS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.8.3.8.
6.	WATER CLOSETS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.7.4.7. / 3.7.4.9. AND 3.8.3.9.
7.	LAVATORIES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.7.4.7. / 3.7.4.9. AND 3.8.3.11.
RATED ASSEMBLIES / FIRESTOP:	
1.	THERMAL RESISTANCE OF ASSEMBLIES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 5.3.1.1.
2.	JANITORS ROOMS SHALL PROVIDE A (0 HOUR) FIRE RESISTANCE RATING IN ACCORDANCE WITH O.B.C. 3.3.1.20.
3.	SERVICE ROOMS SHALL PROVIDE A (1 HOUR) FIRE RESISTANCE RATING IN ACCORDANCE WITH O.B.C. 3.6.2.1.
4.	CONTINUITY OF FIRE SEPARATIONS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.1.8.3.
5.	CONTINUITY OF FIRE SEPARATIONS SHALL BE IN ACCORDANCE WITH O.B.C. 3.1.8.3.
6.	FIRESTOP MATERIALS AND ASSEMBLIES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.1.9.1. AND UNDERWRITERS LABORATORIES OF CANADA (ULC) "FIRE RESISTANCE MANUAL"
BUILDING ENVELOPE:	
1.	AIR BARRIER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 5.4.1.
2.	VAPOUR BARRIERS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 5.5.1.
3.	SEALING AND DRAINING SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 5.6.2.1.
4.	HEAT TRANSFER MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 5.10.2.4.
5.	CONTROL FLOW ROOF DRAINS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 7.4.10.4.(2)
6.	ROOF SCUPPERS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 7.4.10.4.(2)(c)
7.	ROOF ACCESS HATCH SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.2.5.3.
EXITING AND EXISTS:	
1.	DISTANCE BETWEEN EXITS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.2.3.
2.	TRAVEL DISTANCE SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.3.1.16. AND O.B.C. 3.4.2.5.1.(c) AND O.B.C. 3.10.2.4.
3.	EXIT WIDTH SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.3.2. AND O.B.C. 3.10.2.5.
4.	HEADROOM CLEARANCE AT EXITS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.3.5.
5.	FIRE SEPARATION OF EXITS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.4.1.
6.	CORRIDORS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.10.2.4.
DOORS AND DOORWAYS:	
1.	EGRESS DOORWAYS SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.3.1.5.1.(1)(b) / O.B.C. 3.3.1.5.2.(2) AND O.B.C. 3.3.1.10.(2)
2.	DOORS AND DOOR HARDWARE SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.3.1.12.
3.	SELF-CLOSING DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.13.
4.	DOOR RELEASE HARDWARE SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.4.6.16.

DRAWING LIST cont'd	
ARCHITECTURAL:	
A0.1A	OBC MATRIX, NOTES AND LEGENDS
A0.2A	ASSEMBLY AND PARTITION TYPE SCHEDULES
A1.1	SITE PLAN
A2.0A	GROUND FLOOR PLAN
A2.1A	SECOND FLOOR PLAN
A2.2A	THIRD FLOOR PLAN
A2.3A	FOURTH FLOOR PLAN

RATED FLOOR AND SUPPORTING ASSEMBLIES SCHEDULE

FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS PROVIDING A 1 HOUR FIRE RESISTANCE RATING IN ACCORDANCE WITH O.B.C. 3.2.2.6(9) 2.

- DECK (UL/UL DESIGN NO. F906) - RESTRAINED
- BEAMS (UL/UL DESIGN NO. N800)
- COLUMNS (ULC DESIGN NO. X827 HSS) (ULC DESIGN NO. X829 WF)
- BRACING (ULC DESIGN NO. X827 HSS) (ULC DESIGN NO. X829 WF)

STRUCTURAL MEMBERS SUPPORTING ALL FLOORS SHALL BE PROTECTED WITH SPRAY FIREPROOFING MATERIAL IN ACCORDANCE WITH THE SPECIFIED LISTINGS AS PER UNDERWRITERS LABORATORIES OF CANADA (ULC) "FIRE RESISTANCE MANUAL".

MISC. RATED ASSEMBLIES

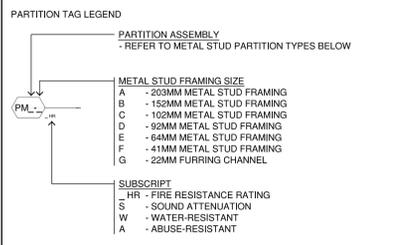
1 HOUR FIRE RATED STANDPIPE FIRE WRAP
 APPLIES TO: STANDPIPE RISERS
 APPROVED FIRE WRAP
 - REFER TO FIRE PROTECTION DRAWINGS

LOCKER PARTITIONS

- PL1** - FLUSH CORRIDOR PARTITION (FULL SYSTEM HEIGHT) (LOCKER FRONT IN CORRIDOR)
- PL2** - CORRUGATED UNIT DIVIDING PARTITION (FULL SYSTEM HEIGHT) (LOCKER INTERIOR)
- PL3** - CORRUGATED CORRIDOR PARTITION (FULL SYSTEM HEIGHT) (LOCKER ENDS IN CORRIDOR)
- PL4** - CORRUGATED CORRIDOR LINER (FULL SYSTEM HEIGHT) (ON EXPOSED WALL ASSEMBLIES IN CORRIDOR)
- PL4a** - CORRUGATED CORRIDOR LINER "PONY WALL" (2440MM TO 3660MM) (ABOVE GROUND FLOOR LOCKER SYSTEM)
- PL5** - CORRUGATED UNIT LINER (FULL HEIGHT) (ON EXPOSED GYPSUM WALLBOARD PARTITIONS WITHIN LOCKER)

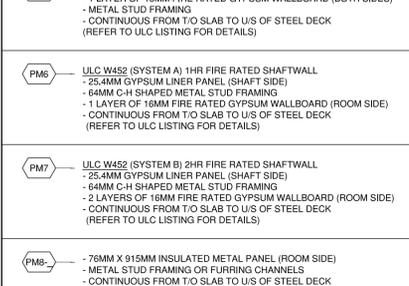
PARTITION TYPES SCHEDULE

METAL STUD PARTITIONS



- METAL STUD PARTITION TYPES**
- PM1** - 1 LAYER OF 16MM GYPSUM WALLBOARD (BOTH SIDES) - METAL STUD FRAMING - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK
 - PM2** - 1 LAYER OF 16MM GYPSUM WALLBOARD (ROOM SIDE) - METAL STUD FRAMING - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK (U/S OF STAIR STRINGER WHERE APPLICABLE)
 - PM3** - 1 LAYER OF 16MM GYPSUM WALLBOARD (BOTH SIDES) - METAL STUD FRAMING - CONTINUOUS FROM T/O SLAB TO 150MM ABOVE FINISHED CEILING
 - PM4** - 1 LAYER OF 16MM GYPSUM WALLBOARD (ROOM SIDE) - METAL STUD FRAMING OR FURRING CHANNELS - CONTINUOUS FROM T/O SLAB TO 150MM ABOVE FINISHED CEILING
 - PM5** - ULC W453 1HR FIRE RATED PARTITION - 1 LAYER OF 16MM FIRE RATED GYPSUM WALLBOARD (BOTH SIDES) - METAL STUD FRAMING - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK (REFER TO ULC LISTING FOR DETAILS)
 - PM6** - ULC W452 (SYSTEM A) 1HR FIRE RATED SHAFTWALL - 25.4MM GYPSUM LINER PANEL (SHAFT SIDE) - 64MM C-H SHAPED METAL STUD FRAMING - 1 LAYER OF 16MM FIRE RATED GYPSUM WALLBOARD (ROOM SIDE) - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK (REFER TO ULC LISTING FOR DETAILS)
 - PM7** - ULC W452 (SYSTEM B) 2HR FIRE RATED SHAFTWALL - 25.4MM GYPSUM LINER PANEL (SHAFT SIDE) - 64MM C-H SHAPED METAL STUD FRAMING - 2 LAYERS OF 16MM FIRE RATED GYPSUM WALLBOARD (ROOM SIDE) - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK (REFER TO ULC LISTING FOR DETAILS)
 - PM8** - 76MM X 915MM INSULATED METAL PANEL (ROOM SIDE) - METAL STUD FRAMING OR FURRING CHANNELS - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK

CONCRETE MASONRY UNIT PARTITIONS



- CONCRETE MASONRY UNIT PARTITION TYPES**
- PB1** - CONCRETE MASONRY UNIT - CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK
- CONCRETE MASONRY UNIT EQUIVALENT THICKNESS VALUES**
- OBC SB-2 / TABLE 2.1.1: STANDARD SOLID AND HOLLOW TYPE 'S' OR 'N' CONCRETE MASONRY UNITS WITH VERTICAL STAGGERED JOINTS
- REQUIRED EQUIVALENT THICKNESS:**
 MINIMUM REQUIRED: 12 HOUR = 448MM
 MINIMUM REQUIRED: 3/4 HOUR = 59MM
 MINIMUM REQUIRED: 1.0 HOUR = 73MM
 MINIMUM REQUIRED: 1.5 HOUR = 99MM
 MINIMUM REQUIRED: 2.0 HOUR = 113MM
- PROVIDED EQUIVALENT THICKNESS:**
 56% HOLLOW CONCRETE MASONRY UNITS:
 MINIMUM PROVIDED: 190MM HOLLOW CMU = 109MM (1.5 HR F.R.R.)
 MINIMUM PROVIDED: 240MM HOLLOW CMU = 149MM (2.0 HR F.R.R.)
- 76% SEMI-SOLID CONCRETE MASONRY UNITS:
 MINIMUM PROVIDED: 190MM HOLLOW CMU = 194MM (2.0 HR F.R.R.)
 AS PER CANADIAN CONCRETE MASONRY PRODUCER ASSOCIATION

GENERAL PARTITION NOTES

- MINERAL WOOL SOUND ATTENUATION BLANKET (S) WHERE REQUIRED SHALL FULL STUD VOIDS FROM T/O SLAB TO U/S OF METAL DECK (TO COMPLY WITH O.B.C. 3.1.5.12) AND TO ACHIEVE AN STC = 47 RATING MIN.
- WATER-RESISTANT GYPSUM WALLBOARD (W) SHALL BE PROVIDED AT ALL WASHROOMS, JANITORS ROOMS AND MECHANICAL ROOMS (WHERE APPLICABLE).
- ABUSE-RESISTANT GYPSUM WALLBOARD (A) SHALL BE PROVIDED AT ALL MECHANICAL ROOMS (WHERE APPLICABLE).
- FOR ULC FIRE RATED PARTITIONS REFER TO UNDERWRITERS LABORATORIES OF CANADA "FIRE RESISTANCE" MANUAL FOR CONSTRUCTION DETAILS AND SPECIFICATIONS.
- FIRE RATED PARTITIONS SHALL RUN CONTINUOUS FROM T/O SLAB TO U/S OF STEEL DECK.
- FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED AS PER O.B.C. 3.1.9.1 FROM BOTH SIDES AND BUILT IN ACCORDANCE WITH UNDERWRITERS LABORATORIES OF CANADA (ULC) "FIRE RESISTANCE MANUAL".
- ENSURE FIRE SEPARATIONS ARE SEALED AT ALL PENETRATIONS AND TO STRUCTURE WITH FIRE STOP.
- INTERIOR CONCRETE MASONRY UNIT PARTITIONS AND FURRING SHALL RUN CONTINUOUS FROM SLAB TO U/S OF METAL DECK / STRUCTURE UNLESS OTHERWISE NOTED.
- WALL ACCESS PANELS TO BE PROVIDED FOR ANY EQUIPMENT OR SERVICES REQUIRING ACCESS. FINISH TO MATCH WALL COLOUR FINISH.

MATERIAL AND ASSEMBLY TYPES SCHEDULE

ALUMINUM CLADDING TYPES

- AC1** - TYPE: 3MM ALUMINUM PLATE (NON-COMBUSTIBLE) - VENTED DRY JOINT SYSTEM - PROFILE: SMOOTH C/W 13MM WIDE X 25MM DEEP REVEALS - FINISH: DURANAR COATING - COLOUR: UC140709 "BRIGHT WHITE" - TO MATCH QC-28783 "BRIGHT WHITE" BY AGWAY METALS - BY: KANGLCO OR EQUAL
- AC1a** - AC1 ON - CONTINUOUS SELF-ADHERED, VAPOUR PERMEABLE AIR BARRIER MEMBRANE - 16MM FIBERGLASS MAT GYPSUM WALLBOARD - 256MM (HORIZONTAL) GALVANIZED METAL SUB-GIRT - 203MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2) - CONTINUOUS SELF-ADHERED AIR / VAPOUR RETARDER - 16MM FIBERGLASS MAT GYPSUM WALLBOARD - 152MM METAL STUD FRAMING
- AC1b** - AC1 ON - CONTINUOUS SELF-ADHERED, VAPOUR PERMEABLE AIR BARRIER MEMBRANE - 16MM FIBERGLASS MAT GYPSUM WALLBOARD - 256MM (HORIZONTAL) GALVANIZED METAL SUB-GIRT - 203MM SEMI-RIGID MINERAL WOOL INSULATION (R=33.6) - GALVANIZED STEEL LINER
- AC1c** - AC1 ON - CONTINUOUS SELF-ADHERED, VAPOUR PERMEABLE AIR BARRIER MEMBRANE - 16MM FIBERGLASS MAT GYPSUM WALLBOARD - 152MM METAL STUD FRAMING - VOID - 203MM (HORIZONTAL) GALVANIZED METAL SUB-GIRT - 203MM SEMI-RIGID MINERAL WOOL INSULATION (R=33.6) - GALVANIZED STEEL LINER
- AC1d** - AC1 ON - CONTINUOUS SELF-ADHERED, VAPOUR PERMEABLE AIR BARRIER MEMBRANE - 16MM FIBERGLASS MAT GYPSUM WALLBOARD - 207MM (HORIZONTAL) GALVANIZED METAL SUB-GIRT - 152MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2) - GALVANIZED STEEL LINER

FLOOR SLAB TYPES

- FS1** - 150MM POURED CONCRETE SLAB-ON-GRADE - 10 MIL POLYOLEFIN VAPOUR RETARDER - 76MM EXPANDED POLYSTYRENE INSULATION (R=15.0 MIN.) (INSTALLED HORIZONTALLY FOR 1220MM MIN. ALONG PERIMETER) - REFER TO STRUCTURAL
- FS2** - 200MM POURED CONCRETE SLAB-ON-GRADE - 100MM X 100MM GALVANIZED EDGE ANGLE AT O/H DOOR OPENINGS - 76MM EXPANDED POLYSTYRENE INSULATION (R=15.0 MIN.) (INSTALLED HORIZONTALLY FOR 1220MM MIN. ALONG PERIMETER) - REFER TO STRUCTURAL
- FS3** - 64MM POURED CONCRETE SLAB C/W WELDED WIRE MESH - 38MM GALVANIZED COMPOSITE METAL DECK - REFER TO STRUCTURAL
- FS4** - POURED CONCRETE FOOTING / SLAB - PROTECTION BOARD - 1.5MM THICK SINGLE PLY SELF-ADHERING RUBBERIZED ASPHALT WATERPROOFING MEMBRANE (INSTALLED VERTICALLY) - SEE SPECS

ROOF ASSEMBLY TYPES

- RA1** - SINGLE PLY 1.52MM (60MIL) THERMOPLASTIC OLEFIN (TPO) REINFORCED MEMBRANE (MECHANICALLY FASTENED) - 2 LAYERS OF 75MM POLYISOCYANURATE FOAM INSULATION TO MEET MIN. (LTTR) OF RSI 6.13 / R=34.8 (MECHANICALLY FASTENED) - 6 MIL POLYURETHANE VAPOUR RETARDER (LOOSE LAID AND TIE-IN TO ADJACENT ASSEMBLIES) - REFER TO ROOF PLAN FOR ADDITIONAL REQUIREMENTS

ROOF CURB TYPES

- RC1** - SINGLE-PLY (60 MIL) TPO ROOFING MEMBRANE (FRONT SIDE) - 16MM FIBERGLASS MAT GYPSUM ROOFBOARD - 92MM METAL STUD FRAMING - 92MM SEMI-RIGID MINERAL WOOL BATT INSULATION (R=15.2 MIN.) - 31MM AIR SPACE - CONTINUOUS SELF-ADHERED AIR / VAPOUR RETARDER - 190MM CONCRETE MASONRY UNITS

PARAPET TYPES

- PT1** - SINGLE-PLY (60 MIL) TPO ROOFING MEMBRANE (BACKSIDE & CAP) - 16MM FIBERGLASS MAT GYPSUM ROOFBOARD - 152MM METAL STUD FRAMING - 152MM SEMI-RIGID MINERAL WOOL BATT INSULATION (R=25.2 MIN.) (C/W 19MM EXTERIOR GRADE SLOPED PLYWOOD CAP (SEE DETAILS))
- PT2** - SINGLE-PLY (60 MIL) TPO ROOFING MEMBRANE (BACKSIDE) - 1 LAYER OF 75MM POLYISOCYANURATE INSULATION (R=17.5 MIN.) - CONTINUOUS SELF-ADHERED AIR / VAPOUR RETARDER - 190MM CONCRETE MASONRY UNITS (C/W 19MM EXTERIOR GRADE SLOPED PLYWOOD CAP (SEE DETAILS))

METAL FLASHING TYPES

- MF1** - TYPE: PREFINISHED METAL - COLOUR: QC-28730 "REGENT GREY" - BY: AGWAY METALS
- MF2** - RESERVED
- MF3** - TYPE: PREFINISHED METAL - COLOUR: QC-28783 "BRIGHT WHITE" - BY: AGWAY METALS
- MF4** - TYPE: PREFINISHED METAL - COLOUR: QC-28013 "SLATE GREY" - BY: AGWAY METALS

MISCELLANEOUS COMPONENT TYPES

- ML1** - TYPE: MECHANICAL LOUVRE - FINISH: PREFINISHED - COLOUR: TO MATCH ADJACENT CLADDING
- ML2** - TYPE: OVERFLOW ROOF SCUPPER - FINISH: PREFINISHED - COLOUR: TO MATCH ADJACENT CLADDING - BY: AGWAY METALS

ALUMINUM FRAMING TYPE

- AF1** - TYPE: THERMAWALL 2600 SERIES - 13MM FRAME BODY - SSG JOINTS (HORIZONTAL) TO MATCH SU1 WHERE APPLICABLE - 19MM CAPS (VERTICAL) - FINISH: "CLEAR ANODIZED" - BY: ALUMICOR OR EQUAL

GLAZING UNIT TYPES

- GU1** - TYPE: SEALED GLAZING UNIT IN AF1 - CLEAR EXTERIOR LITE (TEMPERED) - VISUAL MARKERS ON SURFACE 2 - 6MM DIAMETER "WHITE" CERAMIC FRIT MARKERS - 50MM X 50MM SQUARE DOT PATTERN - CLEAR INTERIOR LITE (TEMPERED) - PPG SOLARBAN 60 LOW-E COATING ON SURFACE 3 - BY: PPG INDUSTRIES OR EQUAL

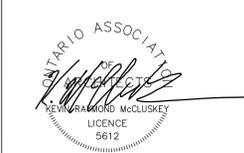
SPANDREL UNIT TYPES

- SU1** - TYPE: SPANDREL UNIT IN AF1 - 6MM STAIRPIRE CLEAR EXTERIOR LITE "TEMPERED" BY VITRO ARCHITECTURAL GLASS OR EQUAL - OPACI-COAT FINISH ON SURFACE 2 - COLOUR: 0-1060 "PRIMARY WHITE" - BY: ICD HIGH PERFORMANCE COATINGS - BACKPAN: 102MM SEMI-RIGID MINERAL WOOL INSULATION (R=16.8)

METAL CLADDING TYPES

- MC1** - TYPE: 4MM RIBBED METAL CLADDING - ORIENTATION: VERTICAL - PROFILE: 7-175 - FINISH: PREFINISHED - COLOUR: QC-28730 "REGENT GREY" - BY: AGWAY METALS
- MC1a** - MC1 ON - 230MM (HORIZONTAL) GALVANIZED METAL SUB-GIRTS - 152MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2 MIN.) - GALVANIZED STEEL LINER
- MC1b** - MC1 ON - 13MM CERAMIC FIBRE BLANKET - 152MM (HORIZ.) GALV. METAL SUB-GIRTS @ 1525MM MAX. O.C. - 2 LAYERS OF 76MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2) C/W STAGGERED JOINTS - GALVANIZED STEEL LINER (1 HR RATED ASSEMBLY (ULC W605))
- MC1c** - MC1 ON - 13MM CERAMIC FIBRE BLANKET - 203MM (HORIZ.) GALV. METAL SUB-GIRTS @ 1525MM MAX. O.C. - 2 LAYERS OF 102MM SEMI-RIGID MINERAL WOOL INSULATION (R=33.6) C/W STAGGERED JOINTS - GALVANIZED STEEL LINER (2 HR RATED ASSEMBLY (ULC W606))
- MC1d** - MC1 ON - 75MM (HORIZONTAL) GALVANIZED METAL SUB-GIRTS - 75MM POLYISOCYANURATE INSULATION (R=17.5 MIN.) - CONTINUOUS SELF-ADHERED AIR / VAPOUR RETARDER - 190MM CONCRETE MASONRY UNITS
- MC2** - TYPE: 4MM RIBBED METAL CLADDING - ORIENTATION: HORIZONTAL - PROFILE: 7-175 - FINISH: PREFINISHED - COLOUR: QC-28730 "REGENT GREY" - BY: AGWAY METALS
- MC2a** - MC2 ON - 152MM (VERTICAL) GALVANIZED METAL SUB-GIRTS - 152MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2 MIN.) - GALVANIZED STEEL LINER
- MC3** - TYPE: 22MM CORRUGATED METAL CLADDING - ORIENTATION: VERTICAL - PROFILE: 7/8" CORRUGATED - FINISH: PREFINISHED - COLOUR: QC-28783 "BRIGHT WHITE" - BY: AGWAY METALS
- MC3a** - MC3 ON - 152MM (HORIZONTAL) GALVANIZED METAL SUB-GIRTS - 152MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2 MIN.) - GALVANIZED STEEL LINER
- MC3b** - MC3 ON - 13MM CERAMIC FIBRE BLANKET - 152MM (HORIZ.) GALV. METAL SUB-GIRTS @ 1525MM MAX. O.C. - 2 LAYERS OF 76MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2) C/W STAGGERED JOINTS - GALVANIZED STEEL LINER (1 HR RATED ASSEMBLY (ULC W605))
- MC3c** - MC3 ON - 13MM CERAMIC FIBRE BLANKET - 203MM (HORIZ.) GALV. METAL SUB-GIRTS @ 1525MM MAX. O.C. - 2 LAYERS OF 102MM SEMI-RIGID MINERAL WOOL INSULATION (R=33.6) C/W STAGGERED JOINTS - GALVANIZED STEEL LINER (2 HR RATED ASSEMBLY (ULC W606))
- MC4** - TYPE: 22MM CORRUGATED METAL CLADDING - ORIENTATION: VERTICAL - PROFILE: 7/8" CORRUGATED - FINISH: PREFINISHED - COLOUR: QC-28013 "SLATE GREY" - BY: AGWAY METALS
- MC4a** - MC4 ON - 152MM (HORIZONTAL) GALVANIZED METAL SUB-GIRTS - 152MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2 MIN.) - GALVANIZED STEEL LINER
- MC4b** - MC4 ON - 13MM CERAMIC FIBRE BLANKET - 152MM (HORIZ.) GALV. METAL SUB-GIRTS @ 1525MM MAX. O.C. - 2 LAYERS OF 76MM SEMI-RIGID MINERAL WOOL INSULATION (R=25.2) C/W STAGGERED JOINTS - GALVANIZED STEEL LINER (1 HR RATED ASSEMBLY (ULC W605))
- MC4c** - MC4 ON - 13MM CERAMIC FIBRE BLANKET - 203MM (HORIZ.) GALV. METAL SUB-GIRTS @ 1525MM MAX. O.C. - 2 LAYERS OF 102MM SEMI-RIGID MINERAL WOOL INSULATION (R=33.6) C/W STAGGERED JOINTS - GALVANIZED STEEL LINER (2 HR RATED ASSEMBLY (ULC W606))
- MC4d** - MC4 ON - GALVANIZED STEEL SCREEN FRAMING - REFER TO STRUCTURAL

Pearce McCuskey Architects
 2203 Durwin Drive • Mississauga, Ontario • L5L 1X2
 www.pmarcitects.ca 1.905.607.2444

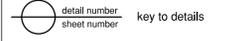


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OWNER:
 Hwy 50 Self Storage Limited
 85 Scarsdale Road, Suite 302
 Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
 IBI Group
 55 St. Clair Avenue West, 7th Floor
 Toronto | Ontario | M3A 1C6

- △ Re-issued for Site Plan Approval 29 Jul 22
- △ Issued for Building Permit 03 Jun 22
- △ Issued for Coordination 31 May 22
- △ Issued for Coordination 22 Apr 22
- △ Issued for Site Plan Approval 25 Feb 22

Hwy 50 Storage
 New Self Storage Facility
 8251 Highway 50
 Vaughan | Ontario
 Building A

Assembly and Partition Type Schedules

Project Number:

20056

Drawn By: AD
 Checked By: RAS
 Date: April 2021
 Scale: N.T.S.
 Sheet Number:

A0.2A

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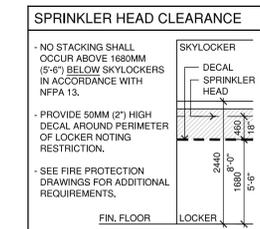
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detail number key to details
sheet number



OWNER:
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835 Scarsdale Floor, Suite 302
Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
IBI Group
55 St. Clair Avenue West, 7th Floor
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- ### DRAWING NOTES
- REFER TO SHEET A0.1A FOR O.B.C. MATRIX, O.B.C. NOTES, GENERAL NOTES AND O.B.C. STAIR SIGNAGE SCHEDULE.
 - REFER TO SHEET A0.1A FOR SYMBOLS LEGEND AND ABBREVIATIONS.
 - REFER TO SHEET A0.2A FOR EXTERIOR MATERIALS ASSEMBLIES AND PARTITION TYPE SCHEDULES.
 - REFER TO SHEET A3.0A FOR FIRE RATED ASSEMBLY SCHEDULE.
 - REFER TO SHEETS A3.0A AND A3.1A FOR EXTENT OF FIRE RATINGS AT EXTERIOR.
 - REFER SHEETS A14.0A AND A14.1A FOR DOOR AND SCREEN SCHEDULES.

- ### LOCKER NOTES
- COLUMNS, CROSS BRACING, SPRINKLER RISERS AND GYPSUM WALLBOARD WITHIN LOCKERS SHALL BE COVERED / CONCEALED WITH A METAL COVER / LINER.
 - COLUMNS AND EXTERIOR WALL COMPONENTS WITHIN DISPLAY WINDOWS SHALL BE COVERED / CONCEALED WITH CORRUGATED METAL LINER "GLOSS WHITE".
 - CORRUGATED CORRIDOR PARTITION / LINER SHALL RECEIVE 300MM HIGH ALUMINUM DIAMOND PLATE BASE UNLESS NOTED OTHERWISE.
 - LOCKER PARTITION SYSTEM SHALL BE SELF-SUPPORTING AND BRACED / REINFORCED BY INSTALLER.
 - TYPICAL LOCKER DOORS SHALL BE "GLOSS WHITE" UNLESS NOTED OTHERWISE.
 - DISPLAY "DUMMY" DOORS SHALL BE "SMART BLUE" UNLESS NOTED OTHERWISE.

- ### CONSTRUCTION NOTES
- | | |
|----|--|
| N1 | COILING FIRE SHUTTER
(1 HOUR) RATED |
| N2 | GAS LINE
- REFER TO MECHANICAL |
| N3 | AC REFRIGERANT LINE
- REFER TO MECHANICAL |
| N4 | DOGHOUSE ENCLOSURE
- REFER TO MECHANICAL |
| N5 | FLOOR PENETRATION |
| N6 | PROJECTION ABOVE |
| N7 | PROJECTION BELOW |
| N8 | WALL BELOW |

FLOOR AREA SUMMARY

GROUND FLOOR:	
STORAGE AREA	= 2,209.15 S.M.
CUSTOMER SERVICE	= 128.23 S.M.
LOADING	= 265.79 S.M.
STAIRS	= 70.85 S.M.
ELEVATORS	= 25.07 S.M.
WASHROOMS	= 18.56 S.M.
I.T. ROOM	= 11.34 S.M.
JANITOR ROOM	= 7.79 S.M.
MECHANICAL ROOM	= 31.83 S.M.
ELECTRICAL ROOM	= 20.09 S.M.
TOTAL FLOOR AREA	= 2,788.70 S.M.

RATED WALL LEGEND

---	0 HR F.R.R. (JANITOR'S ROOM)
---	1.0 HR F.R.R. (EXTERIOR, ELEVATOR, STAIRS, SERVICE RMS)
---	1.5 HR F.R.R. (LOADING)
---	2.0 HR F.R.R. (EXTERIOR)

*REFER TO A0.1A FOR COMPLETE DESCRIPTION OF FIRE RATED ASSEMBLIES

DRAWING LEGEND

	SKY LOCKER LOCKER 5'-0" x 5'-0" W x 4'-0" H
	FIRE DEPARTMENT CONNECTION
	FIRE ANNUNCIATOR CONTROL PANEL
	RECESSED FIRE HOSE CABINET
	NON-FREEZE HOSE BIB
	CATCH BASIN
	ELEVATOR SUMP PIT
	DOOR OPERATOR CONTROL
	EXTERIOR LIGHTING FIXTURE
	150MM CONCRETE FILLED GALVANIZED STEEL PIPE BOLLARD
	RAINWATER LEADER
	ELEVATION TAG

- | | | |
|--|----------------------------------|-----------|
| | Re-issued for Site Plan Approval | 29 Jul 22 |
| | Issued for Permit | 03 Jun 22 |
| | Issued for Coordination | 31 May 22 |
| | Re-issued for Coordination | 22 Apr 22 |
| | Issued for Coordination | 22 Apr 22 |
| | Issued for Site Plan Approval | 25 Feb 22 |

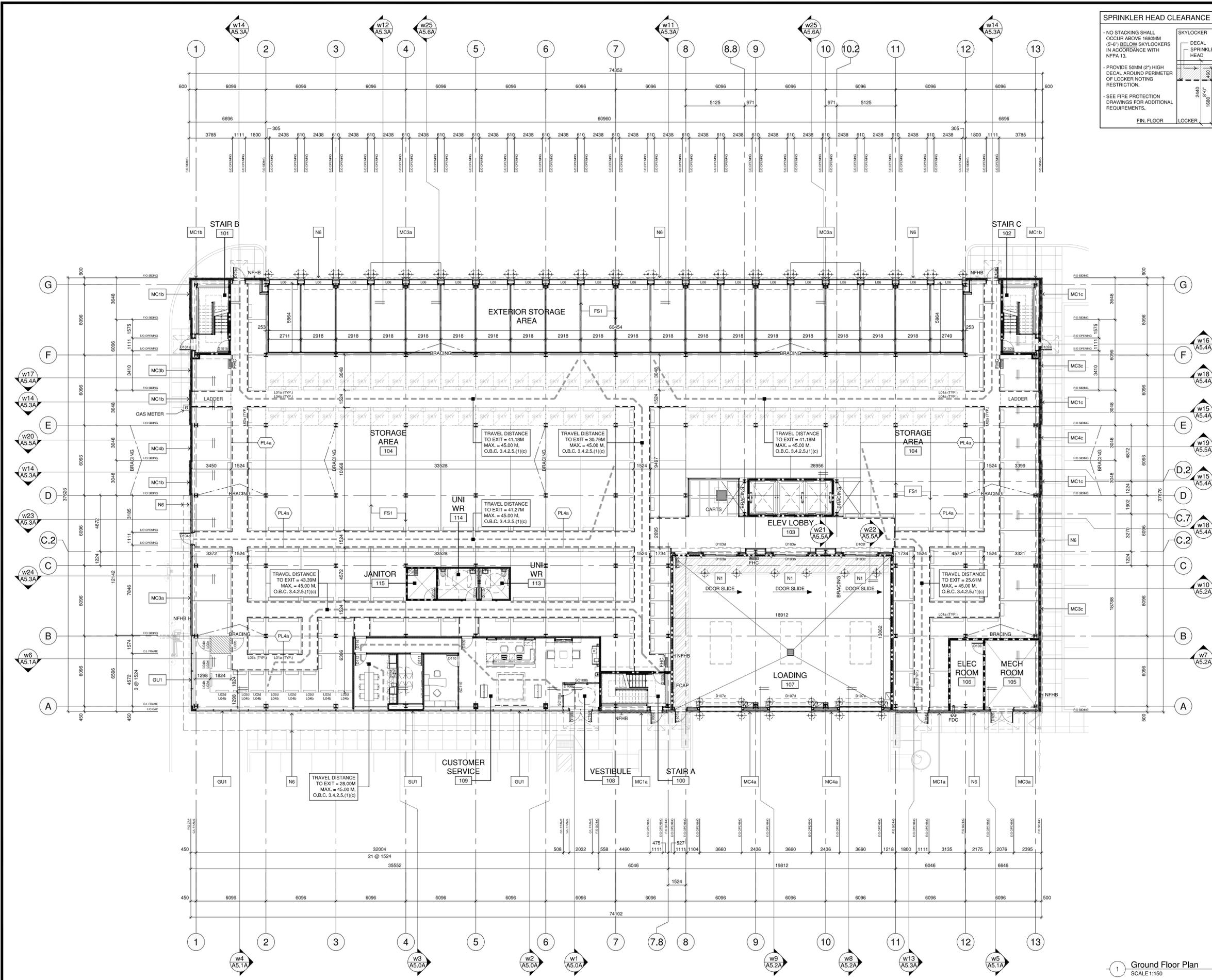
Hwy 50 Storage
New Self Storage Facility
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Vaughan | Ontario
Building A

Ground Floor Plan

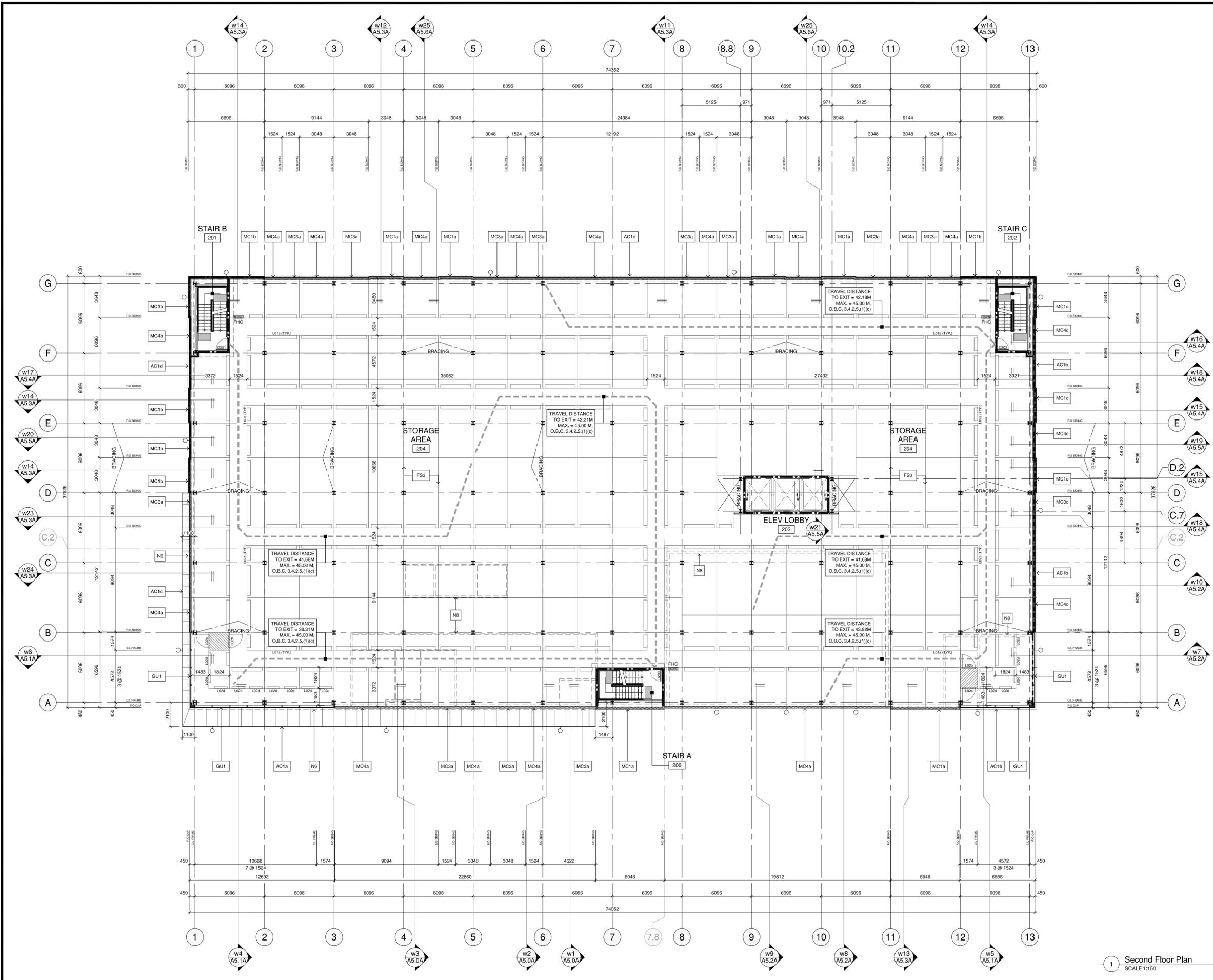
Project Number:
20056

Drawn By: AD
Checked By: RAS
Date: April 2021
Scale: 1:150
Sheet Number:

A2.0A



1 Ground Floor Plan
SCALE: 1:150



- ### DRAWING NOTES
- REFER TO SHEET A0.1A FOR O.B.C. MATRIX, O.B.C. NOTES, GENERAL NOTES AND O.B.C. STAIR SIGNAGE SCHEDULE.
 - REFER TO SHEET A0.1A FOR SYMBOLS LEGEND AND ABBREVIATIONS.
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 - REFER TO SHEETS A3.0A AND A3.1A FOR EXTENT OF FIRE RATINGS AT EXTERIOR.
 - REFER SHEETS A14.0A AND A14.1A FOR DOOR AND SCREEN SCHEDULES.

- ### LOCKER NOTES
- COLUMNS, CROSS BRACING, SPRINKLER RISERS AND GYPSUM WALLBOARD WITHIN LOCKERS SHALL BE COVERED / CONCEALED WITH A METAL COVER / LINER.
 - COLUMNS AND EXTERIOR WALL COMPONENTS WITHIN DISPLAY WINDOWS SHALL BE COVERED / CONCEALED WITH CORRUGATED METAL LINER "GLOSS WHITE".
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 - TYPICAL LOCKER DOORS SHALL BE "GLOSS WHITE" UNLESS NOTED OTHERWISE.
 - DISPLAY "DUMMY" DOORS SHALL BE "SMART BLUE" UNLESS NOTED OTHERWISE.

- ### CONSTRUCTION NOTES
- | | |
|----|--|
| N1 | COILING FIRE SHUTTER
(1 HOUR) RATED |
| N2 | GAS LINE
- REFER TO MECHANICAL |
| N3 | AC REFRIGERANT LINE
- REFER TO MECHANICAL |
| N4 | DOGHOUSE ENCLOSURE
- REFER TO MECHANICAL |
| N5 | FLOOR PENETRATION |
| N6 | PROJECTION ABOVE |
| N7 | PROJECTION BELOW |
| N8 | WALL BELOW |

FLOOR AREA SUMMARY

SECOND FLOOR:	
STAIRS	= 2,695.31 S.M.
ELEVATORS	= 70.02 S.M.
TOTAL FLOOR AREA	= 2,790.40 S.M.

RATED WALL LEGEND

---	0 HR F.R.R (JANITOR'S ROOM)
---	1.0 HR F.R.R (EXTERIOR, ELEVATOR, STAIRS, SERVICE RMS)
---	1.5 HR F.R.R (LOADING)
---	2.0 HR F.R.R (EXTERIOR)

*REFER TO A0.1A FOR COMPLETE DESCRIPTION OF FIRE RATED ASSEMBLIES

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Hwy 50 Storage

New Self Storage Facility

8251 Highway 50
Vaughan | Ontario

Building A

Second Floor Plan

Project Number:
20056

DRAWING LEGEND

□	STACKED LOCKER 5'-0" L x 5'-0" W x 4'-0" H
□	RECESSED FIRE HOSE CABINET
□	RAINWATER LEADER

1 Second Floor Plan
SCALE 1:150

Pearce McCuskey Architects
2203 Durwin Drive • Mississauga, Ontario • L5L 1X2
www.pmaarchitects.ca 1.905.607.2444

ONTARIO ASSOCIATION OF ARCHITECTS

Michael McCuskey

MICHAEL MCCUSKEY
LICENCE
5612

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detail number key to details
sheet number

Vault Storage

OWNER:
Hwy 50 Self Storage Limited
825 Scarsdale Road, Suite 302
Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
IBI Group
55 St. Clair Avenue West, 7th Floor
Toronto | Ontario | M3A 1C6

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Hwy 50 Storage
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8251 Highway 50
Vaughan | Ontario

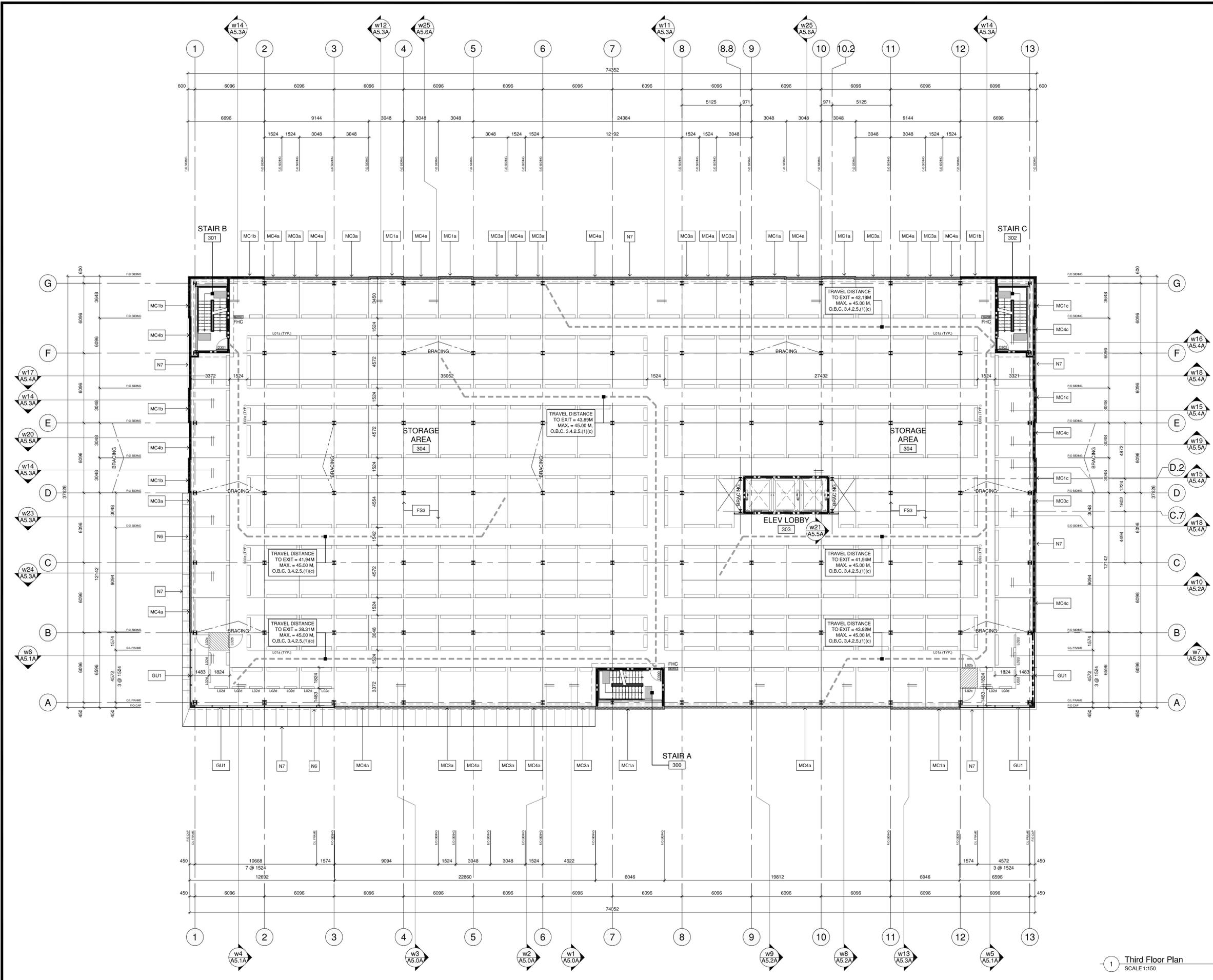
Building A

Second Floor Plan

Project Number:
20056

Drawn By:	AD
Checked By:	RAS
Date:	April 2021
Scale:	1:150
Sheet Number:	

A2.1A



- ### DRAWING NOTES
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 - REFER TO SHEET A0.2A FOR FIRE RATED ASSEMBLY SCHEDULE.
 - REFER TO SHEETS A3.0A AND A3.1A FOR EXTENT OF FIRE RATINGS AT EXTERIOR.
 - REFER SHEETS A14.0A AND A14.1A FOR DOOR AND SCREEN SCHEDULES.

- ### LOCKER NOTES
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FLOOR AREA SUMMARY

THIRD FLOOR:	
STORAGE AREA	= 2,695.31 S.M.
STAIRS	= 70.02 S.M.
ELEVATORS	= 25.07 S.M.
TOTAL FLOOR AREA	= 2,790.40 S.M.

RATED WALL LEGEND

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---	1.0 HR F.R.R (EXTERIOR, ELEVATOR, STAIRS, SERVICE RMS)
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Hwy 50 Storage
New Self Storage Facility
8251 Highway 50
Vaughan | Ontario
Building A

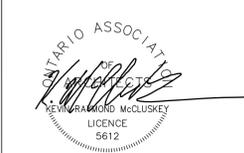
Third Floor Plan

Project Number:
20056

DRAWING LEGEND

[Symbol]	STACKED LOCKER 5'-0" L x 5'-0" W x 4'-0" H
[Symbol]	RECESSED FIRE HOSE CABINET FHC
[Symbol]	RAINWATER LEADER R/WL

1 Third Floor Plan
SCALE 1:150



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Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
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Toronto | Ontario | M3A 1C6

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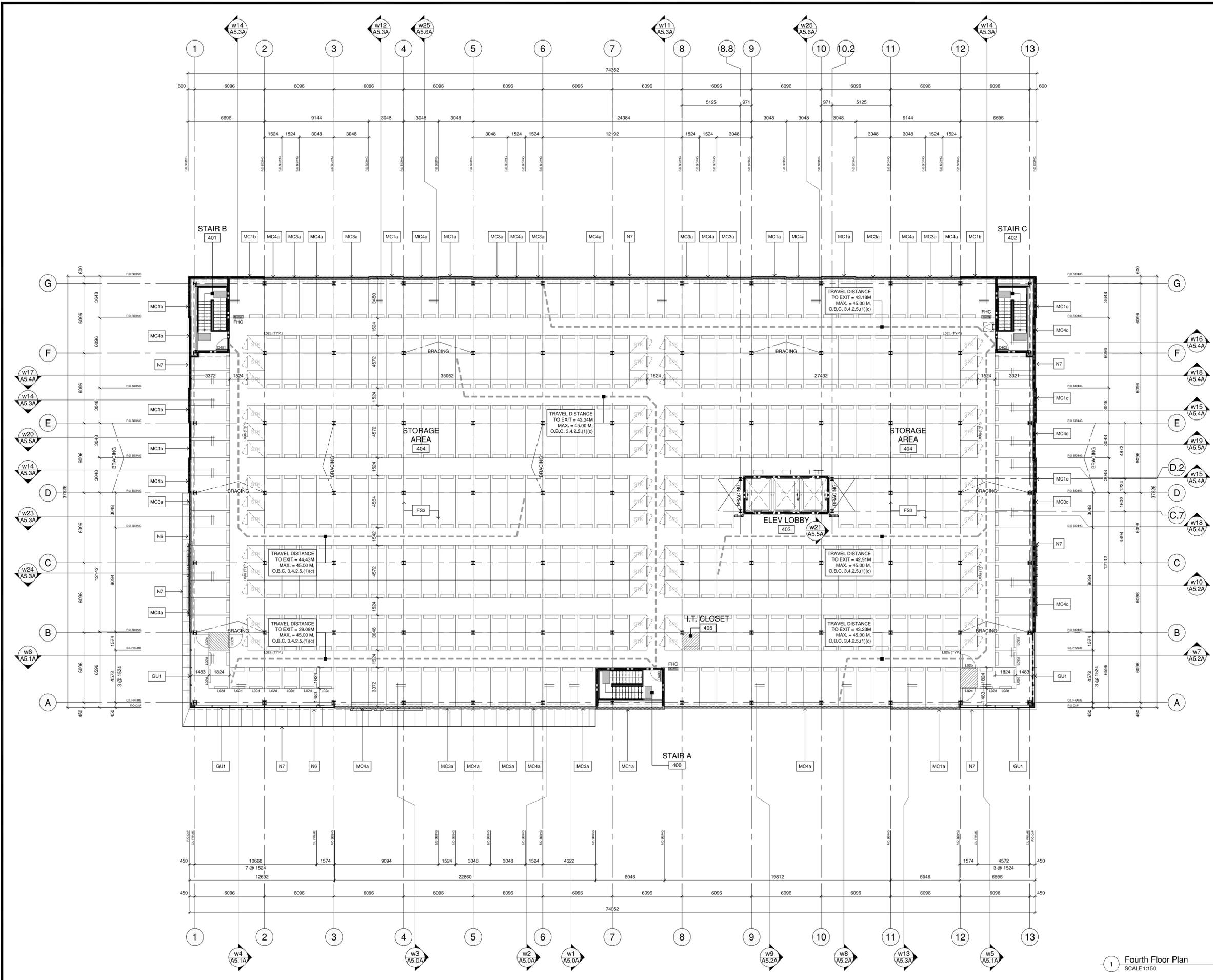
Hwy 50 Storage
New Self Storage Facility
8251 Highway 50
Vaughan | Ontario
Building A

Third Floor Plan

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FLOOR AREA SUMMARY

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Hwy 50 Storage
New Self Storage Facility
8251 Highway 50
Vaughan | Ontario
Building A

Fourth Floor Plan

Project Number:
20056

DRAWING LEGEND

[Symbol]	STACKED LOCKER 5'-0" L x 5'-0" W x 4'-0" H
[Symbol]	RECESSED FIRE HOSE CABINET
[Symbol]	RAINWATER LEADER

1 Fourth Floor Plan
SCALE 1:150



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OWNER:
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85 Scarsdale Road, Suite 302
Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
IBI Group
55 St. Clair Avenue West, 7th Floor
Toronto | Ontario | M3A 1C6

- | | | |
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Hwy 50 Storage
New Self Storage Facility
8251 Highway 50
Vaughan | Ontario
Building A

Fourth Floor Plan

Project Number:
20056

Drawn By: AD
Checked By: RAS
Date: April 2021
Scale: 1:150
Sheet Number:

A2.3A

ROOFING NOTE

MAINTAIN A SOLAR REFLECTIVE INDEX (SRI) VALUE OF 90 "WHITE" WITH A 3-YEAR AGED (SRI) VALUE OF 69 IN ACCORDANCE WITH LEED AND COOL ROOF RATINGS COUNCIL (CRR).

ROOFS SHALL HAVE A CLASS A, B OR C CLASSIFICATION DETERMINED IN CONFORMANCE WITH CANULC-S107 AND DESIGNED IN ACCORDANCE WITH (O.B.C. 3.1.14.2 / 3.1.15 / SB-10).

ABOVE DECK ROOF ASSEMBLY AND FLASHINGS SHALL BE SECURED TO RESIST WIND UPLIFT ACCORDING TO FM GLOBAL GUIDELINES FOR 140 APPROVAL RATING AND COMPLY WITH (O.B.C. 5.1.4.1).

- DRAWING NOTES**
- REFER TO SHEET A0.1A FOR O.B.C. MATRIX, O.B.C. NOTES, GENERAL NOTES AND O.B.C. STAIR SIGNAGE SCHEDULE.
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 - REFER TO SHEET A0.2A FOR EXTERIOR MATERIALS AND ASSEMBLIES ALONG WITH PARTITION AND CEILING TYPE SCHEDULES.
 - REFER TO SHEETS A3.0A AND A3.1A FOR EXTENT OF EXTERIOR MATERIALS AND EXTERIOR FIRE RATING ASSEMBLIES.
 - NON-SLIP TPO WALKING SURFACE SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 4.14 OF CAN/CSA-B149-1-05 "NATURAL GAS AND PROPANE INSTALLATION CODE AND LOCAL AUTHORITIES."
 - FIXED ACCESS LADDER SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 4.14 OF CAN/CSA-B149-1-05 "NATURAL GAS AND PROPANE INSTALLATION CODE ALONG WITH PART II, SECTION 88 OF THE "OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS" AND LOCAL AUTHORITIES.

- CONSTRUCTION NOTES**
- N1 COILING FIRE SHUTTER - (1 HOUR) RATED
 - N2 GAS LINE - REFER TO MECHANICAL
 - N3 AC REFRIGERANT LINE - REFER TO MECHANICAL
 - N4 DOGHOUSE ENCLOSURE - REFER TO MECHANICAL
 - N5 FLOOR PENETRATION
 - N6 PROJECTION ABOVE
 - N7 PROJECTION BELOW
 - N8 WALL BELOW

Pearce McCuskey Architects
 2203 Durwin Drive • Mississauga, Ontario • L5L 1X2
 www.pmacchitects.ca 1.905.607.2444

ONTARIO ASSOCIATION OF ARCHITECTS
 LICENCE 5612

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detail number key to details
 sheet number

Vaulta Storage

OWNER:
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 85 Scarsdale Road, Suite 302
 Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
 IBI Group
 55 St. Clair Avenue West, 7th Floor
 Toronto | Ontario | M3A 1C6

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Hwy 50 Storage
 New Self Storage Facility
 8261 Highway 50
 Vaughan | Ontario
 Building A

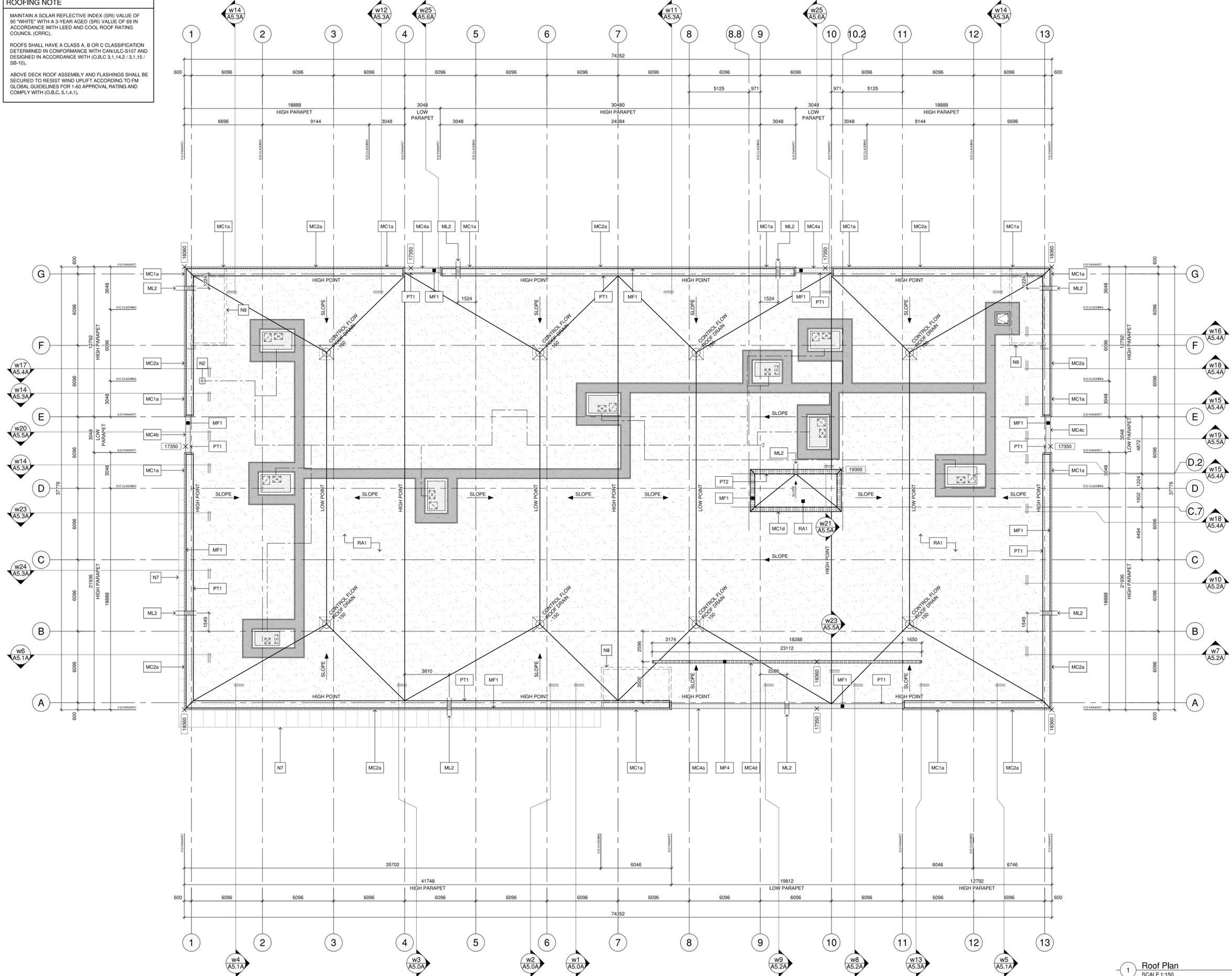
Roof Plan

Project Number:
20056

Drawn By: AD
 Checked By: RAS
 Date: April 2021
 Scale: 1:150
 Sheet Number:

A2.4A

SITE PLAN FILE NO. DA.18.078



- DRAWING LEGEND**
- ROOFTOP UNIT
 - DH DOGHOUSE
 - RH ROOF HATCH
 - PV PLUMBING VENT
 - RD ROOF DRAIN
 - NON-SLIP WALKING SURFACE
 - ELEVATION TAG

1 Roof Plan
 SCALE 1:150

RECEIVED
By attwalap at 10:31 am, Feb 02, 2024

- DRAWING NOTES**
1. REFER TO SHEET A0.1A FOR CODE MATRIX, GENERAL AND OBC NOTES INCLUDING SIGNAGE AND FIRE RATED ASSEMBLIES.
 2. INTERIOR WALLS AND PARTITIONS SHALL RUN CONTINUOUS FROM SLAB TO U/S OF STEEL DECK.
 3. INTERIOR LOCKER PARTITIONS SHALL RUN CONTINUOUS FROM SLAB TO U/S OF WELDED WIRE MESH CEILINGS.
 4. WELDED WIRE MESH CEILINGS SHALL BE INSTALLED ABOVE ALL LOCKERS.
 5. REFER TO SHEETS A10.0A THROUGH A10.3A FOR CEILING TYPE AND HEIGHTS.

REFERENCE NOTE

GRADING INFORMATION HAS BEEN ADDED FOR THE PURPOSES OF SITE PLAN APPROVAL ONLY. SEE REFERENCE DRAWING SEC-2 DATED SEPTEMBER 2023 BY URBAN ECOSYSTEMS LIMITED.



The drawing is not to be used for construction unless signed and sealed by the principal architect in charge.

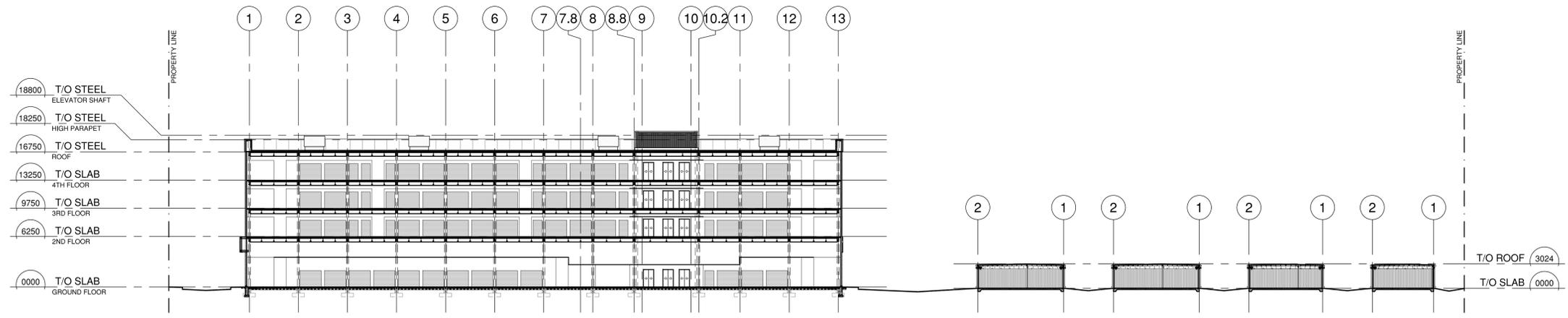
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OWNER:
Hwy 50 Self Storage Limited
85 Scarsdale Road, Suite 302
Toronto | Ontario | M3B 2R2



1 Building Section
SCALE 1:300 north | south (Streetscape)

Issued for Minor Variance 09 Nov 23
Issued for Site Plan Approval - Per SPA Comments 15 Sept 23

Hwy 50 Storage
New Self Storage Facility
8261 Highway 50
Vaughan | Ontario
Building A

Building Section

Project Number:
20056

Drawn By: AD
Checked By: RAS
Date: February 2022
Scale: 1:300
Sheet Number:

A4.1A

- DRAWING NOTES**
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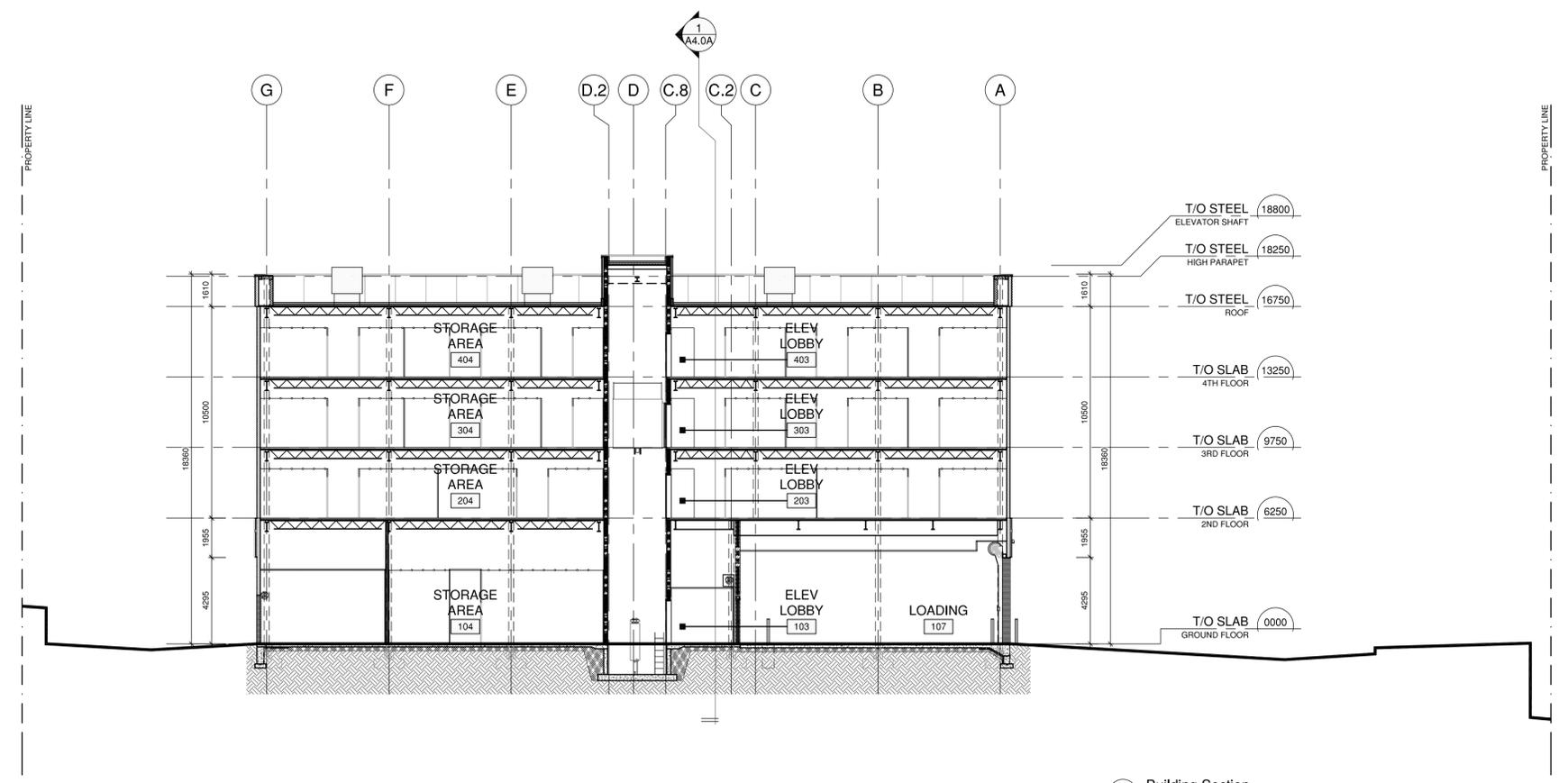
Hwy 50 Storage
 New Self Storage Facility
 8261 Highway 50
 Vaughan | Ontario
 Building A

Building Sections

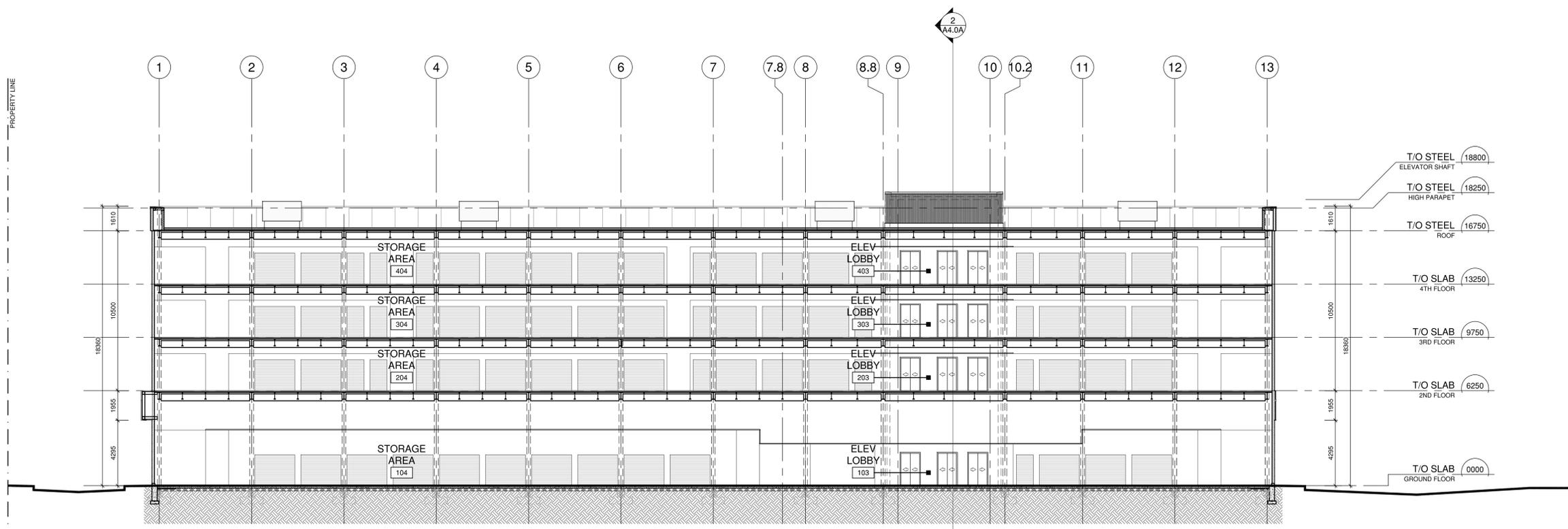
Project Number:
 20056

Drawn By: AD
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 Date: February 2022
 Scale: 1:150
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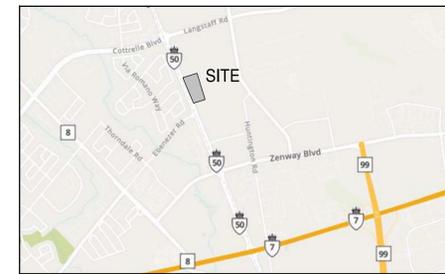
A4.0A



2 Building Section
 SCALE 1:150 east | west



1 Building Section
 SCALE 1:150 north | south



1 context plan
SCALE n.t.s.

site statistics

ZONING	PRESTIGE EMPLOYMENT ZONE (EM1)
CURRENT ZBL	No. 1-88 (The Corporation of the City of Vaughan)
"SITE AREA"	1.51 hectares (2.943 acres) (11,912.30 s.m.) "after conveyance"
Conveyance ROW	0.010 hectares (0.252 acres) (102.00 s.m.)
Conveyance Buffer	0.004 hectares (0.011 acres) (48.52 s.m.)

building classification

CLASSIFIED UNDER ONTARIO REGULATION 332/12
OBC 3.2.2.69(B); GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED
Building A (Building Area = 2,788.63 s.m.)
OBC 3.2.2.70(A); GROUP F, DIVISION 2, UP TO 4 STOREYS (GROUPED PER O.B.C. 3.10.4.2)
Buildings B / C / D / E (Building Area = 1,873.01 s.m.)

building floor area

4-Storey Self-Storage (Building A)		
Ground Floor (GFA)	2,788.63 s.m.	30,016.56 s.f.
Second Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
Third Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
Fourth Floor (GFA)	2,790.29 s.m.	30,034.43 s.f.
TOTAL FLOOR AREA (GFA)	11,159.50 s.m.	120,119.85 s.f.
1-Storey (Ambient) Self-Storage (Grouped as per O.B.C. 3.10.4.2)		
Building B (GFA)	475.26 s.m.	5,115.65 s.f.
Building C (GFA)	475.26 s.m.	5,115.65 s.f.
Building D (GFA)	393.79 s.m.	4,238.72 s.f.
Building E (GFA)	328.70 s.m.	3,535.09 s.f.
TOTAL FLOOR AREA (GFA)	1,673.01 s.m.	18,008.11 s.f.
TOTAL FLOOR AREA (All Buildings)	12,832.51 s.m.	138,127.96 s.f.

coverage calculations

BUILDING AREA / SITE AREA	4,461.64 s.m. / 11,912.30 s.m.	37.45%
PAVED AREA / SITE AREA	5,077.72 s.m. / 11,912.30 s.m.	42.63%
LANDSCAPED AREA / SITE AREA	2,372.94 s.m. / 11,912.30 s.m.	19.92%
TOTAL COVERAGE	100.00%	

density calculations

BUILDING AREA / SITE AREA	12,830.56 s.m. / 11,912.30 s.m.	1,077
Overall building density ratio		1.077

parking calculations - required

STANDARD VEHICLE SPACES REQUIRED (Section 3.8 of ZBL 1-88)	WAREHOUSE	= 1 space / 100 s.m.
(standard parking stall 2700 x 5700)		= 12,832.51 s.m. / 100 s.m.
		= 128.32 spaces
TOTAL STANDARD SPACES REQUIRED		= 129 spaces
BARRIER-FREE VEHICLE SPACES REQUIRED (Section 3.8 ZBL 1-88)	WAREHOUSE	= 4% of total provided spaces
minimum required is 1 + 3% of total number of parking spaces, of which 50% Type A, and 50% Type B		= 4% of 129 spaces
		= 5.16 spaces
Type A (van accessible barrier-free 3400 x 5700)		= 1 space
Type B (standard barrier-free 2400 x 5700)		= 1 space
TOTAL BARRIER-FREE SPACES REQUIRED		= 2 spaces

parking calculations - provided

STANDARD VEHICLE SPACES PROVIDED	WAREHOUSE	= 22 spaces
Exterior (standard parking stall 2700 x 5700)		= 2 spaces
Interior (standard parking stall 2700 x 5700)		= 2 spaces
TOTAL STANDARD SPACES PROVIDED		= 24 spaces
BARRIER-FREE VEHICLE SPACES PROVIDED	WAREHOUSE	= 1 space
Type A (van accessible barrier-free 3400 x 5700)		= 1 space
Type B (standard barrier-free 2400 x 5700)		= 1 space
TOTAL BARRIER-FREE SPACES PROVIDED		= 2 spaces
TOTAL VEHICLE SPACES PROVIDED		= 26 spaces

*REFER TO PARKING JUSTIFICATION STUDY PREPARED BY IBI GROUP.

loading calculations - required

LOADING SPACE REQUIRED (Section 3.9 of ZBL 1-88)	WAREHOUSE	= 4 spaces
Two (2) loading spaces required for every 10,000 s.m. or portion thereof of gross floor area. (9.0m long x 3.5m wide x 4.2m high)		= 4 spaces
TOTAL LOADING SPACES REQUIRED		= 4 spaces

loading calculations - provided

LOADING SPACES PROVIDED	WAREHOUSE	= 1 space
TYPE B (9.0m long x 3.5m wide x 4.2m high)		= 1 space
TOTAL LOADING SPACES PROVIDED		= 1 space

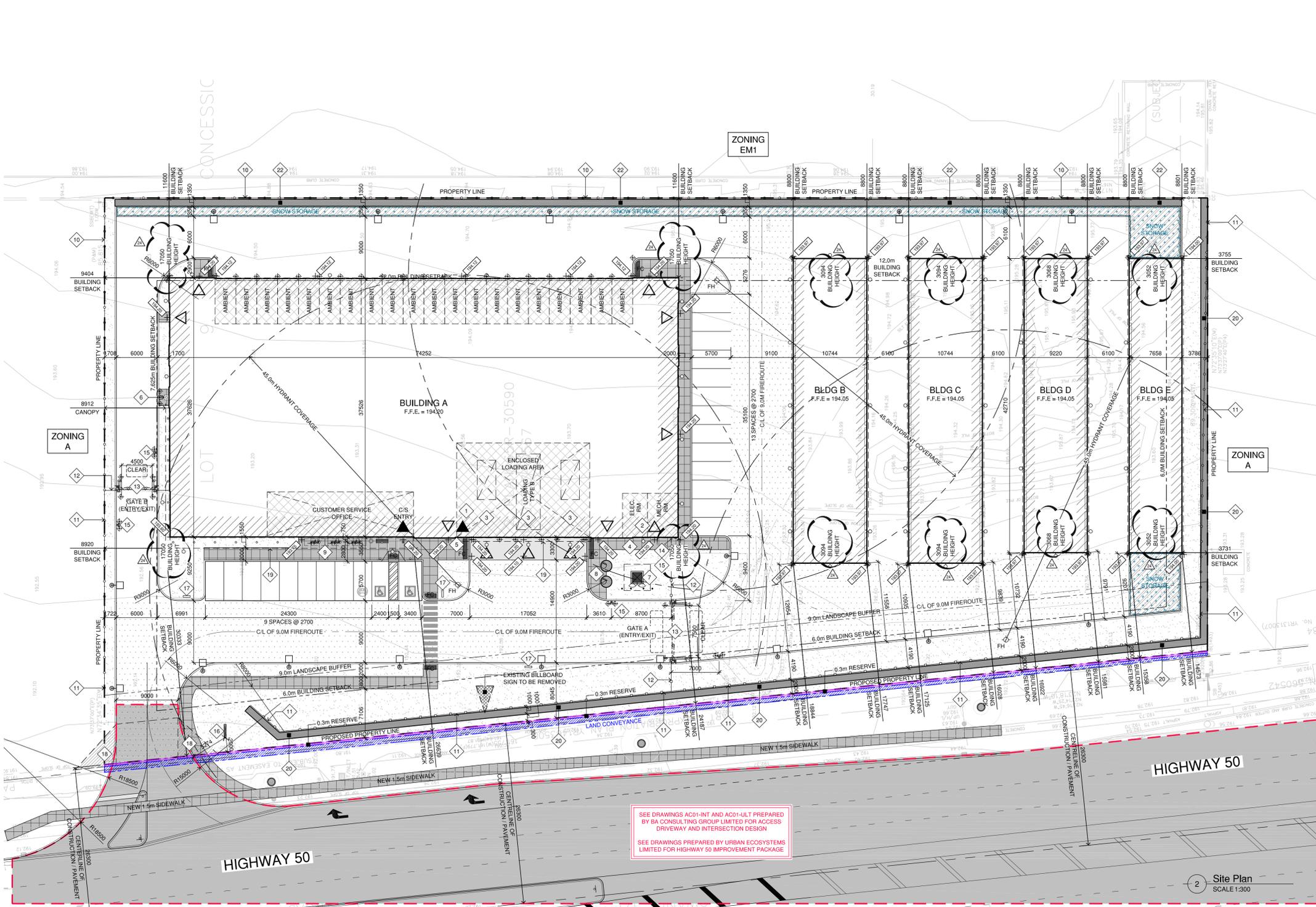
*REFER TO PARKING JUSTIFICATION STUDY PREPARED BY IBI GROUP.

bicycle parking - required / provided

BICYCLE PARKING REQUIREMENTS (minimum bicycle spaces required (3.0m long x 1.0m wide x 1.9m high))	WAREHOUSE	= 0 spaces
TOTAL BICYCLE SPACES PROVIDED		= 6 spaces

setbacks | buffers

MINIMUM SETBACKS BUFFERS - PRESTIGE EMPLOYMENT ZONE (EM1) (Schedule A of ZBL 1-88)		
LOT (m)	REQUIRED	PROVIDED
Frontage	None	161.76m
YARDS (m)	REQUIRED	PROVIDED
Front	6.00 m	REFER TO DRAWING
Interior Side	6.00 m	REFER TO DRAWING
Exterior Side (As per 18.25m height)	7.62 m	REFER TO DRAWING
Rear	6.00 m	REFER TO DRAWING
LANDSCAPE BUFFER (m)	REQUIRED	PROVIDED
Abutting a street	3.00 m	REFER TO DRAWING
Abutting a Hwy or Arterial Road	9.00 m	REFER TO DRAWING
COVERAGE (%)	REQUIRED	PROVIDED
Maximum Lot Coverage	60.0%	37.80%
Min. Landscape open space	5.0%	19.14%



survey information

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 9, CONCESSION 10
(GEOGRAPHIC TOWNSHIP OF VAUGHAN)
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

CONTOURS

CONTOURS SHOWN HEREON ARE DRAWN AT 0.50 METER INTERVALS.

ELEVATIONS

ELEVATIONS SHOWN HEREON ARE GEODETIC AND REFERRED TO CITY OF VAUGHAN BENCHMARK No. 55-2 HAVING A PUBLISHED ELEVATION OF 190.045 METERS.

DISTANCE NOTE

DISTANCES AND ELEVATIONS SHOWN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS
64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL: (416) 667-0101

general notes - city of vaughan

- BOULEVARDS SHALL BE GRADED, TOP SOILED AND SODDED TO SATISFACTION OF THE CITY OF VAUGHAN.
- EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATE TO THE SATISFACTION OF THE CITY OF VAUGHAN.
- EXISTING STREET FURNITURE SHALL BE RELOCATED TO MAINTAIN A MINIMUM SETBACK OF 1.0M FROM PROPOSED DRIVEWAYS AND SIDEWALKS.
- THE OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- THE OWNER SHALL PROVIDE FIRE ROUTE AND BARRIER-FREE SIGNAGE AS REQUIRED BY CITY OF VAUGHAN BYLAWS.
- SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL MAINTAIN A MINIMUM 1.5m CLEAR WIDTH THROUGHOUT.
- NON-ROOF HARDSCAPE ELEMENTS (SIDEWALKS AND HIGH ALBEDO PAVING) SHALL CONSIST OF STANDARD "GREY" CONCRETE PAVING MATERIAL WITH AN SRI VALUE GREATER THAN 35.
- COOL ROOFING MATERIALS SHALL BE PROVIDED.

general notes

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- REFER TO DRAWINGS AND REPORTS PREPARED BY:
-SERVICING AND GRADING BY: URBAN ECOSYSTEMS LTD.
-LANDSCAPING BY: BAKER TURNER INC.
-ELECTRICAL BY: HAMMERSCHLAG AND JOFFE INC.
-TRAFFIC BY: BA CONSULTING GROUP LTD.
- ALL WASTE AND RECYCLING SHALL BE STORED EXTERNALLY USING MOLK WASTE COLLECTION SYSTEM AND COLLECTED UNDER PRIVATE CONTRACT. CLEARING AND REMOVAL OF EXCESS SNOW FROM SITE SHALL BE UNDER PRIVATE CONTACT.
- FIRE ROUTE SHALL BE A COMBINATION OF 6.0M AND 9.0M MINIMUM CLEAR WIDTH WITH A 12.0M MINIMUM CENTERLINE TURNING RADIUS AND A 9.0M MINIMUM INSIDE TURNING RADIUS IN ACCORDANCE WITH O.B.C.
- FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT. PAVEMENT SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
- SIGNAGE IS TO BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMANCE WITH SIGNAGE BY-LAW.
- SIGNAGE SHALL BE PROVIDED TO IDENTIFY THE "PRINCIPAL" ENTRANCE FOR THE PURPOSE OF FIRE FIGHTING.
- ILLUMINATION SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES TO MAINTAIN ZERO CUT-OFF AT PROPERTY LINE.
- SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL MAINTAIN A MINIMUM 1.5m CLEAR WIDTH THROUGHOUT.
- EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATE.
- BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.

drawing notes

- PRINCIPAL ENTRANCE C/W FLAG
- SERVICE ROOMS (MECHANICAL / ELECTRICAL)
- DRIVE-IN DOOR (AT GRADE)
- FIRE DEPARTMENT CONNECTION - REFER TO FIRE PROTECTION
- RAPID ENTRY LOCKBOX (FIRE DEPARTMENT ACCESS)
- GAS METER - REFER TO MECHANICAL
- PAD MOUNTED TRANSFORMER - REFER TO ELECTRICAL
- WASTE COLLECTION AREA (MOLK WASTE CONTAINERS)
- TANDEM BICYCLE RACK x3 - 3.0m long x 1.0m wide x 1.9m high
- CHAIN-LINK FENCING - 1.8m HIGH (BLACK)
- ORNAMENTAL FENCING - 1.2m HIGH (BLACK)
- ORNAMENTAL FENCING - 1.5m HIGH (BLACK)
- ORNAMENTAL VEHICLE GATE - 1.8m HIGH "BI-FOLDING" (BLACK)
- ORNAMENTAL PEDESTRIAN GATE - 1.8m HIGH "SWING" (BLACK)
- ACCESS CONTROL (KEYPADS) - REFER TO SECURITY & IT
- PYLON GROUND SIGNAGE
- DIRECTIONAL SIGNAGE
- 6.0m x 6.0m DAYLIGHT TRIANGLE - REFER TO ELECTRICAL
- CANOPY / OVERHANG ABOVE
- ARMOR STONE RETAINING WALL - REFER TO CIVIL
- RESERVED
- POURED CONCRETE TOE-WALL - REFER TO CIVIL

building height

MAXIMUM BUILDING HEIGHT - PRESTIGE EMPLOYMENT ZONE (EM1) (Schedule A ZBL 1-88)		
HEIGHT (m)	MAXIMUM	PROVIDED
Penthouse (4-Storey)	N/A	19.10m
Parapet (4-Storey)	N/A	18.25m
Roof (4-Storey)	15.0m	16.75m
Ridge (1-Storey Ambient)	15.0m	Varies
Eave (1-Storey Ambient)	N/A	2.89m

*may exceed max height of 15.0m provided the minimum interior side yard is increased by 0.3 meters for every 0.6 meters of additional building height beyond 15m but cannot exceed 25m.

drawing legend

LANDSCAPED AREA	PRINCIPAL ENTRANCE
HEAVY DUTY PAVING	SECONDARY ACCESS / EXIT
CONCRETE SIDEWALK	POLE MOUNTED FIXTURE
CONCRETE APRON	WALL MOUNTED FIXTURE
FLUSH CURB WITH TACTILE INDICATOR	RECESSED FIXTURE
PAINTED STRIPPING	FIRE HYDRANT
PAINTED CROSSWALK	SNOW STORAGE AREA (APPROX. 7.5% OF PAVED AREA)

Pearce McCuskey Architects
2203 Durwin Drive • Mississauga, Ontario • L5L 1X2
www.pmarchitects.ca 1.905.607.2444

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Contractors must verify all dimensions and be responsible for same, report any discrepancies to the architect before commencing the work.
Prints are not to be scaled.

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detail number key to details
sheet number

Vault Storage

OWNER:
Hwy 50 Self Storage Limited
835 Scarab Road, Suite 302
Toronto | Ontario | M3B 2R2

PLANNING CONSULTANT:
Arcadia | IBI Group
55 St. Clair Avenue West, 7th Floor
Toronto | Ontario | M3A 1C6

Re-issued for COA Application	01 Dec 23
Issued for Building Permit	24 Nov 23
Re-issued for Site Plan Approval - Per SPA Comments	21 Nov 23
Re-issued for Coordination - Per SPA Comments	19 Oct 23
Re-issued for Site Plan Approval - General Revisions and Updates	05 Jul 23
Re-issued for Site Plan Approval - Per 1st Round SPA Comments	29 Jul 22
Re-issued for Coordination	27 Jul 22
Re-issued for Coordination	15 Jul 22
Re-issued for Site Plan Approval - As Per 1st Round SPA Comments	27 Jun 22
Re-issued for Coordination	24 Jun 22
Re-issued for Site Plan Approval - As Per Waste Management Comments	14 Jun 22
Re-issued for Coordination	13 Jun 22
Issued for Building Permit	03 Jun 22
Re-issued for Site Plan Approval	03 Jun 22
Re-issued for Coordination	03 Jun 22
Issued for COA Application	03 May 22
Issued for Pricing - Basis - Ambient Buildings	20 Apr 22
Issued for Site Plan Approval	25 Feb 22

Hwy 50 Storage
New Self Storage Facility
8251 Highway 50
Vaughan | Ontario

Site Plan

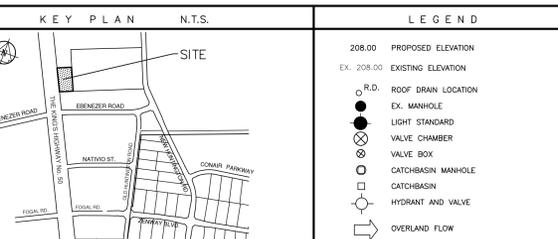
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20056

Drawn By: RAS
Checked By: RAS
Date: Apr 2021
Scale: 1:200
Sheet Number:

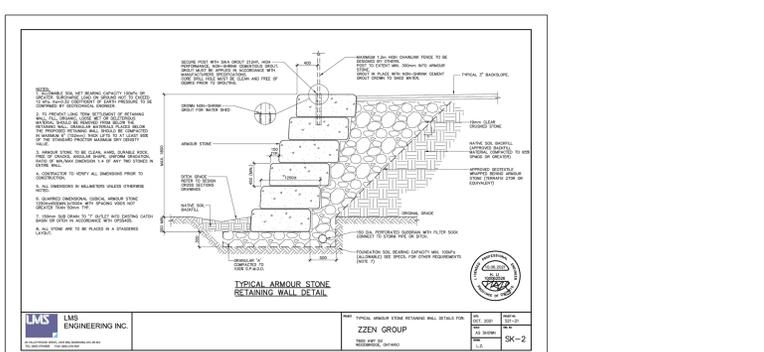
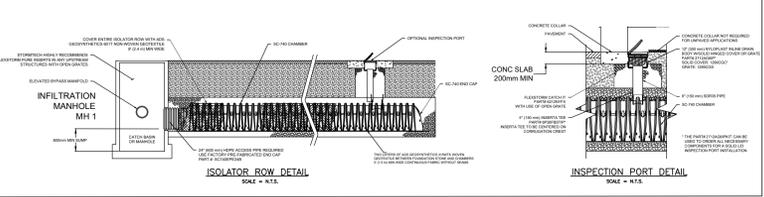
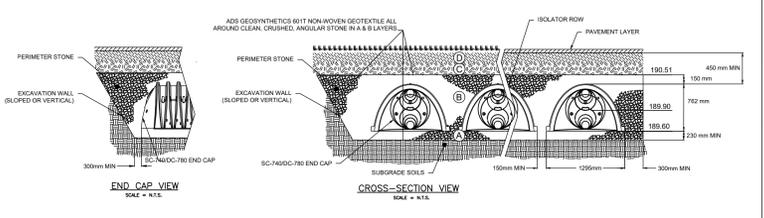
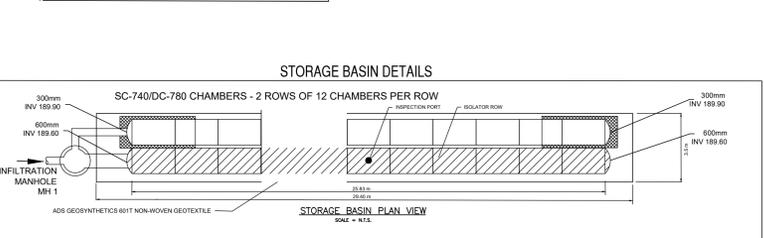
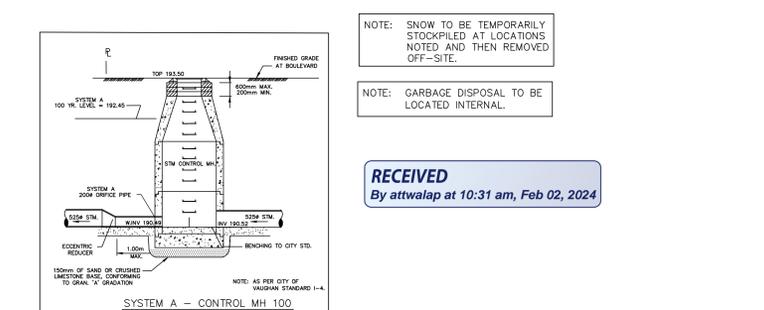
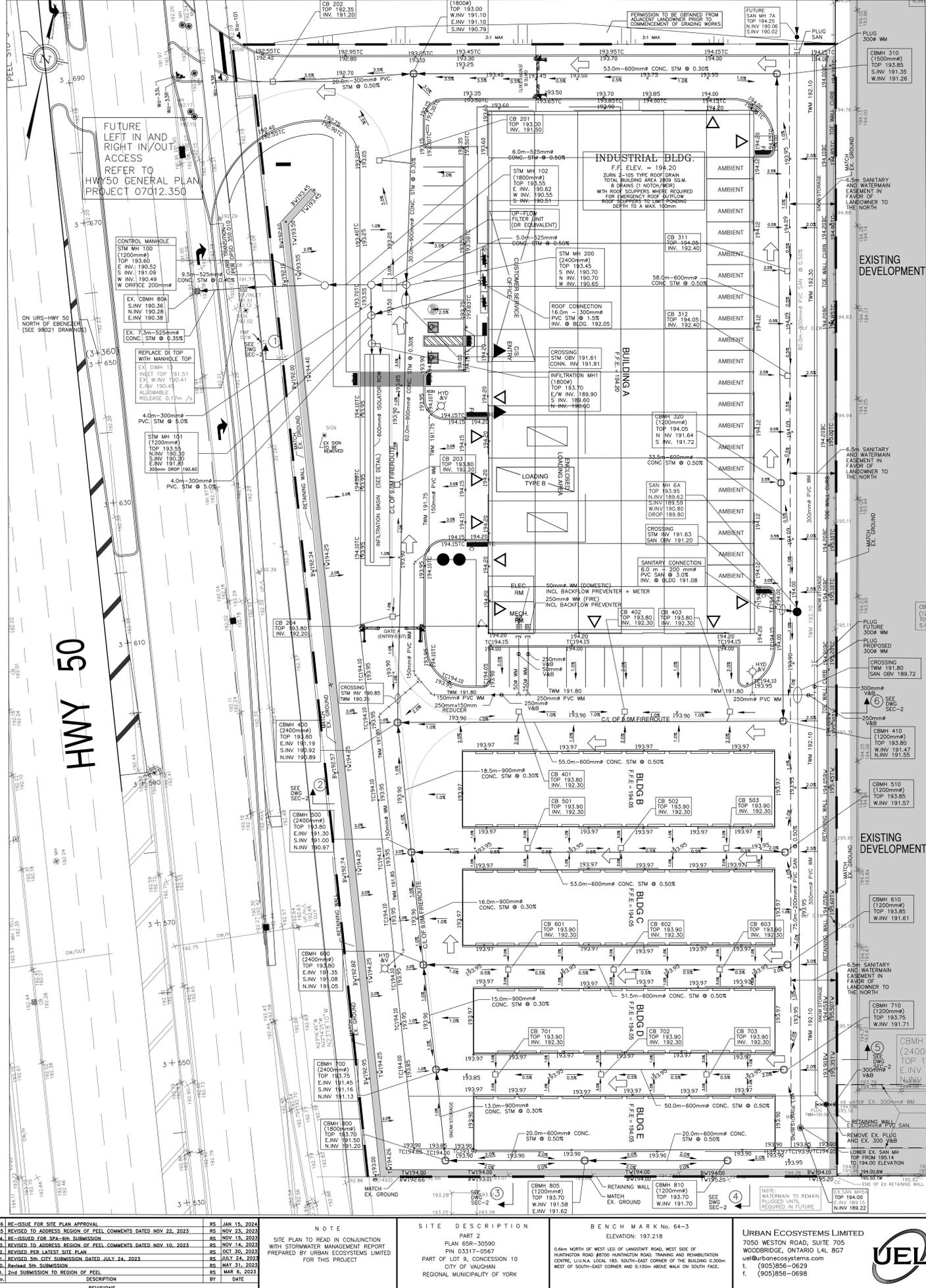
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CITY OF VAUGHAN SITE PLAN NOTES

- 1. STANDARD DRAWINGS OF THE CITY OF VAUGHAN CONSTITUTE PART OF THE SITE PLAN DRAWING.
2. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
3. THE OWNER SHALL RETAIN THE SERVICES OF HIS CONSULTANTS TO ENSURE REQUIRED INSPECTION REPORTS AND/OR CERTIFICATION REQUIREMENTS ARE SUBMITTED TO THE ENGINEERING DEPARTMENT AND OTHER AFFECTED CITY DEPARTMENTS.
4. THE OWNER AND/OR HIS REPRESENTATIVE/CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
5. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY, AND WHERE SHOWN ON THE DRAWINGS THE ACCURACY OF THE LOCATION OF SUCH UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE/CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVIDE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION TO SAME.
6. ANY CONTACTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
7. SANITARY AND STORM MANHOLES SHALL BE IN ACCORDANCE WITH OPSD 701.010, OPSD 702.011, OPSD 701.012 AS REQUIRED. MANHOLES SHALL BE BENCHMARKED TO THE SURFACE OF EXISTING CATCHBASIN MANHOLES.
8. FRAME AND COVERS SHALL BE AS PER OPSD 401.010 TYPE 'A'.
9. ALL SANITARY MANHOLE COVERS IN THE PONDING AREAS TO BE WATER TIGHT TO CITY STANDARD DRAWING S-104. ALL CATCHBASIN FRAMES AND COVERS SHALL BE PER OPSD 400.010, OPSD 400.020, OR OPSD 400.110 OR APPROVED EQUAL.
10. ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DRAWING S-104. ALL CATCHBASIN FRAMES AND COVERS SHALL BE PER OPSD 400.010, OPSD 400.020, OR OPSD 400.110 OR APPROVED EQUAL.
11. ALL INDUSTRIAL/COMMERCIAL/CONCRETE WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DRAWING S-104. W-106 & W-111 ARE NOT APPLICABLE AS METER AND BACKFLOW PREVENTERS ARE LOCATED IN MECHANICAL ROOM.
12. WATERMAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5m AND HORIZONTAL SEPARATION OF 2.5m BETWEEN ANY SEWER OR MANHOLE.
13. HYDRANTS TO BE INSTALLED AS PER CITY STANDARD DRAWING S-104 WITH 1.5m MINIMUM CLEARANCE FROM ALL OBSTRUCTIONS.
14. DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED WITH HEAVY DUTY ASPHALT FROM THE BACK OF THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE (AREA HIGHLIGHTED ON DRAWINGS) IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
(a) 75MM COMPACTED DEPTH OF 100MM CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
(b) 150MM COMPACTED DEPTH OF 20MM CRUSHER RUN LIMESTONE - GRANULAR BASE
(c) 300MM COMPACTED DEPTH OF 50MM CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
15. ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB CITY STANDARD OPSD 600.110. ALL CONCRETE CURB HEIGHTS SHALL BE 150MM UNLESS OTHERWISE NOTED. DRIVEWAY CURB TO BE DISCONTINUOUS AT SIDEWALK AND TAPERED BACK 600MM MINIMUM.
16. ALL REQUIRED CURB CUTTING AT DRIVEWAY ENTRANCES) AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY.
17. BARRIER CURB TRANSITIONS TO FULL ROADWAY CURB TO BE AS PER OPSD 350.010.
18. EXISTING ROADWAY CURB AND CUTTER TO BE CONTINUED THROUGH THE PROPOSED DRIVEWAY ENTRANCES) ALONG WITH THE MUNICIPAL SIDEWALK.
19. SIDEWALK TO BE 200MM THICK THROUGH DRIVEWAY ENTRANCE PER CITY STANDARD S-128.
20. FROST COLLARS ARE TO BE PROVIDED ON CURB STOPS AND VALVE BOXES WHEN LOCATED WITHIN THE DRIVEWAY.
21. DRIVEWAYS SHALL BE BACK A MINIMUM CLEARANCE OF 1.0M FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
22. APPROPRIATE CONSTRUCTION DETAILS SHALL BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0M. DETAILS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER UPON APPROVAL. HANDRAIL/GUARD IS REQUIRED WHEN HEIGHT EXCEEDS 0.60M (AS PER CITY STANDARD DRAWING FRW-105 OR APPROVED EQUAL) UPON COMPLETION RETAINING WALLS GREATER THAN 1.0M TO BE CERTIFIED BY A STRUCTURAL AND GEOTECHNICAL ENGINEER.
23. LANDSCAPING SHALL NOT ENTAIL GRASS OR BOLLARD CURB SHALL BE MAINTAINED TO ORIGINAL GRADE.
24. SLOPES IN LANDSCAPED AREAS AND ON BERMS SHALL NOT EXCEED 0.5 HORIZONTALS TO 1 VERTICAL.
25. PAVEMENT GRADES (MIN. 0.5%, MAX. 5%).
26. DRAINAGE SWALES WITH GRADES (MIN. 2%, MAX. 5%).
27. OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
28. SANITARY, STORM AND WATER SERVICE CONNECTIONS WHICH ARE NOT IN PLACE ON THE MUNICIPAL ROAD ALLOWANCE TO THE PROPERTY LINE SHALL BE ARRANGED FOR INSTALLATION BY THE CITY ON PAYMENT OF INSTALLATION COSTS BY THE OWNER. TO INITIATE THE INSTALLATION OF THE SERVICE CONNECTIONS, THE OWNER SHALL FILE AN APPLICATION WITH THE CONSTRUCTION SERVICES DIVISION OF THE ENGINEERING DEPARTMENT WHICH INCLUDES A COPY OF THE APPROVED SITE PLAN DRAWINGS.
29. SILT FENCES TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS.
30. CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 450MM CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.
31. THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS, PARKING SPACES, AND MANEUVERING AREAS WITHIN THE SITE SHALL BE PAVED WITH A HARD SURFACE. THE RECOMMENDED MINIMUM DEPTH REQUIREMENTS ARE AS FOLLOWS:
(a) 50MM COMPACTED DEPTH OF ASPHALT - TOP COURSE
(b) 75MM COMPACTED DEPTH OF ASPHALT - BINDER COURSE
(c) 125MM COMPACTED DEPTH 20MM CRUSHER RUN LIMESTONE-GRANULAR BASE
(d) 350MM COMPACTED DEPTH 50MM CRUSHER RUN LIMESTONE-GRANULAR SUB-BASE
32. ALL PROPOSED PARKING SPACES FOR DISABLED TO INCLUDE 'B8-93 BY PERMIT ONLY' TRAFFIC SIGN AND PAVEMENT DISASSEMBLY MARKING IN ACCORDANCE WITH CITY STANDARD DRAWING.
33. THE OWNER/CONSULTING ENGINEER SHALL DESIGN, IMPLEMENT AND MONITOR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION IN THE PLAN IN ACCORDANCE WITH THE TRCA EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION, DATED 2019, TO SATISFACTION OF THE CITY AND TRCA.
GENERAL NOTES
1. ALL MEASUREMENTS ARE IN METERS AND PIPE SIZES ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
2. THE DESIGN BY URBAN ECOSYSTEMS LIMITED IS LIMITED TO SITE GRADING, STORMWATER MANAGEMENT, STORM SEWERS, SANITARY SEWERS AND WATER DISTRIBUTION SYSTEMS, INCLUDING APPURTENANCES, PLUMBING, DRAINAGE, AND WATER DISTRIBUTION WITHIN THE BUILDING STRUCTURE ARE SPECIFICALLY EXCLUDED FROM THE DESIGN BY URBAN ECOSYSTEMS LIMITED. FOR THOSE WORKS, THE CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MECHANICAL DESIGN DRAWINGS.
3. THE LOCATION AND DIMENSIONS OF PROPOSED BUILDINGS, PARKING LOTS AND LANDSCAPED AREAS HAVE BEEN OBTAINED FROM THE SITE PLANS PREPARED BY ARCHITECT FIRM. FOR DIMENSIONS AND OTHER DETAILS, THE CONTRACTOR SHALL REFER TO THE ARCHITECT'S SITE PLAN.
4. ALL EXISTING TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM QLS SURVEYOR, SURVEYORS.
5. ALL CONSTRUCTION WORKS, INCLUDING TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT.
6. FOR DETAILS AND DIMENSIONS, THE CONTRACTOR SHALL REFER TO STANDARD DRAWINGS APPROVED BY THE LOCAL MUNICIPALITY/REGION.
7. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF OF THE ACTUAL CONDITIONS TO BE ENCOUNTERED AND THE REQUIREMENTS OF THE WORK.
8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN OR OMISSIONS FROM THE DRAWINGS.
9. ALL TRAFFIC CONTROL AND SIGNALING SHALL BE IN ACCORDANCE WITH MTO TRAFFIC CONTROL MANUAL.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PROVIDE HIM WITH A CONSTRUCTION SCHEDULE 48 HOURS PRIOR TO COMMENCING CONSTRUCTION OF UNDERGROUND SERVICES.
11. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE LOCAL MUNICIPALITY/REGION 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN A MUNICIPAL ROAD ALLOWANCE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, PROTECT, AND SUPPORT AS NECESSARY ALL EXISTING UTILITIES AND MUNICIPAL SERVICES.
13. ANY TRENCHES WITHIN THE TRAVEL PORTION OF A ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNDRIBABLE FILL UNLESS OTHERWISE NOTED.
14. ALL AREAS WITHIN AN EXISTING ROAD ALLOWANCE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND THE LOCAL MUNICIPALITY/REGION.
15. ALL EXISTING MANHOLES, CATCHBASINS, VALVE CHAMBERS, HYDRANTS, VALVES, ETC. ARE TO BE ADJUSTED TO FINAL GRADES TO THE SATISFACTION OF THE ENGINEER.
16. WHEREVER PIPES, MANHOLES, CATCHBASINS, VALVE CHAMBERS OR OTHER APPURTENANCES ARE CONSTRUCTED IN FILL AREAS OR IN DISTURBED GROUND, THE TRENCH SHALL BE EXCAVATED AND BACKFILLED WITH GRANULAR OR OTHER SUITABLE MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER COMPACTED TO 100% STANDARD PROCTOR DENSITY.
STORM SEWERS AND APPURTENANCES
1. ALL STORM SEWERS UP TO AND INCLUDING 450mm DIAMETER SHALL BE PVC CONFORMING TO CSA B182.2, ASTM D3034 MIN. OR 35 OR LATEST AMENDMENT THEREOF.
2. ALL STORM SEWERS 450mm DIAMETER AND LARGER SHALL CONFORM TO OPSD 1830, CSA A257.3 (C165-D) AND CSA A257.1 ASTM C14, OR CSA Z37.2 ASTM C76 ASTM C695 OR THE LATEST AMENDMENT THEREOF.
3. PVC PEOPLE PIPE CSA B182 IS NOT PERMITTED.
4. ALL CATCHBASIN MANHOLES AND MANHOLES SHALL CONFORM TO OPSD STANDARD 701.01, 701.03, 704.01 & 400.02 AND CITY OF VAUGHAN STANDARD M-1.
5. ALL CATCHBASINS SHALL CONFORM TO OPSD 700.01, 704.01 AND 400.02 AND CITY OF VAUGHAN STANDARD DWG 4.4. CATCHBASIN LEADS SHALL BE 300mm PVC CSA B182.2 MIN. OR 35 UNLESS OTHERWISE NOTED.
6. ALL STORM MANHOLES ARE TO BE BENCHMARKED THROUGHOUT TO THE CROWN OF ALL PIPES ON A VERTICAL PROJECTION FROM SPRINGLINE UNLESS OTHERWISE NOTED.
7. ALL STORM SEWER BEDDING SHALL CONFORM TO CITY OF VAUGHAN STANDARD UNLESS OTHERWISE NOTED.
(a) PVC PIPE: BEDDING AND COVER MATERIAL TO CONFORM TO OPSD 1010 GRANULAR D
(b) CONCRETE PIPE: BEDDING MATERIAL SHALL CONFORM TO OPSD1010 GRANULAR A. COVER MATERIAL SHALL BE MORTAR SAND CONFORMING TO OPSD 1010 GRANULAR D
(c) RECYCLED MATERIALS ARE NOT PERMITTED.
(d) HIGH PERFORMANCE BEDDING IS NOT ACCEPTED UNLESS WRITTEN CONFIRMATION PROVIDED BY THE CITY OF VAUGHAN.
8. NOT ALL CATCHBASINS AND OR MANHOLES REQUIRE A CONTINUOUS CIRCULAR SUBIRAN INSTALLATION (@ 2.0 M RADII) AROUND EACH STRUCTURE WITH A MINIMUM OF TWO CONNECTIONS TO THE STRUCTURE.
SANITARY SEWERS AND APPURTENANCES
1. ALL SANITARY SEWERS SHALL BE PVC CONFORMING TO CSA B182.2, ASTM D-3034, ASTM F679 (T-3) MIN. DR 35 OR LATEST REVISION THEREOF.
2. ALL MANHOLES SHALL CONFORM TO OPSD 701.01, 701.03 AND 401.01 TYPE 'A', AS WELL AS CITY OF VAUGHAN STANDARD M-1.
3. ALL SANITARY SEWER BEDDING SHALL CONFORM TO CITY OF VAUGHAN STANDARD UNLESS OTHERWISE NOTED.
(a) PVC PIPE: BEDDING AND COVER MATERIAL TO CONFORM TO OPSD 1010 GRANULAR A
(b) CONCRETE PIPE: BEDDING MATERIAL SHALL CONFORM TO OPSD1010 GRANULAR A. COVER MATERIAL SHALL BE MORTAR SAND CONFORMING TO OPSD 1010 GRANULAR D
(c) RECYCLED MATERIALS ARE NOT PERMITTED.
(d) HIGH PERFORMANCE BEDDING IS NOT ACCEPTED UNLESS WRITTEN CONFIRMATION PROVIDED BY THE CITY OF VAUGHAN.
WATERMANS AND APPURTENANCES
1. ALL WATERMANS 150mm DIAMETER AND LARGER SHALL BE PVC CONFORMING TO CSA B13.6, AWWA C900-75 AND AWWA C901-78. THE PIPE JOINTS SHALL BE APPROVED PUSH ON, MECHANICAL OR FLANGED AS REQUIRED FOR 1,000 PSI RATED PRESSURE.
2. ALL WATERMANS SHALL HAVE A MINIMUM COVER OF 2.1m TO TOP OF PIPE.
3. ALL FIRE HYDRANTS SHALL CONFORM TO CITY OF VAUGHAN STANDARDS.
4. THRUST BLOCKING SHALL CONFORM TO CITY OF VAUGHAN STANDARD DRAWINGS.
5. PIPE BEDDING SHALL CONFORM TO CITY OF VAUGHAN STANDARD DRAWING CLASS B.
6. SERVICE CONNECTIONS SHALL CONFORM TO CITY OF VAUGHAN STANDARD DRAWING S-2.
7. ALL MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT CITY OF VAUGHAN STANDARDS AND SPECIFICATIONS.
8. 50mm DOWNS OFF SHALL BE INSTALLED AT ALL DEAD ENDED WATERMANS FOR BLEEDING OFF, CHARGING AND FLUSHING THE WATER SYSTEM. UPON COMPLETION OF THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM, THE CONTRACTOR SHALL FLUSH, PRESSURE TEST AND DISINFECT THE WATER DISTRIBUTION SYSTEM AS DIRECTED BY THE ENGINEER AND THE LOCAL MUNICIPALITY/REGION.
9. ALL CURB STOPS SHALL BE INSTALLED 3.0m FROM THE FACE OF THE BUILDING WALLS UNLESS OTHERWISE NOTED.
10. WATERMANS SHALL BE INSTALLED TO GRADES AS SHOWN ON THE APPROVED SITE PLANS. A COPY OF ALL GRADE SHEETS MUST BE SUPPLIED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
11. WATERMANS SHALL HAVE A MINIMUM CLEARANCE OF 0.5m VERTICALLY AND 2.5m HORIZONTALLY FROM UTILITIES.
SURFACE WORKS
1. ALL CONCRETE CURBS SHALL CONFORM TO OPSD STANDARD 600.60 AND 600.11 AS NOTED.
2. DRIVEWAY ENTRANCE CURB TRANSITIONS TO BE AS PER OPSD 350.010
3. SIDEWALKS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
4. ALL ASPHALT PAVEMENTS SHALL BE CONSTRUCTED AS SPECIFIED ON THE ARCHITECTS SITE PLAN OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
5. ALL LANDSCAPED AREAS SHALL BE GRADED AND CONSTRUCTED AS SPECIFIED ON THE LANDSCAPE ARCHITECTS DRAWINGS AND SPECIFICATIONS.



LEGEND table with symbols for proposed elevation, existing elevation, roof drain location, manhole, light standard, valve chamber, valve box, catchbasin manhole, catchbasin, hydrant and valve, and overland flow.



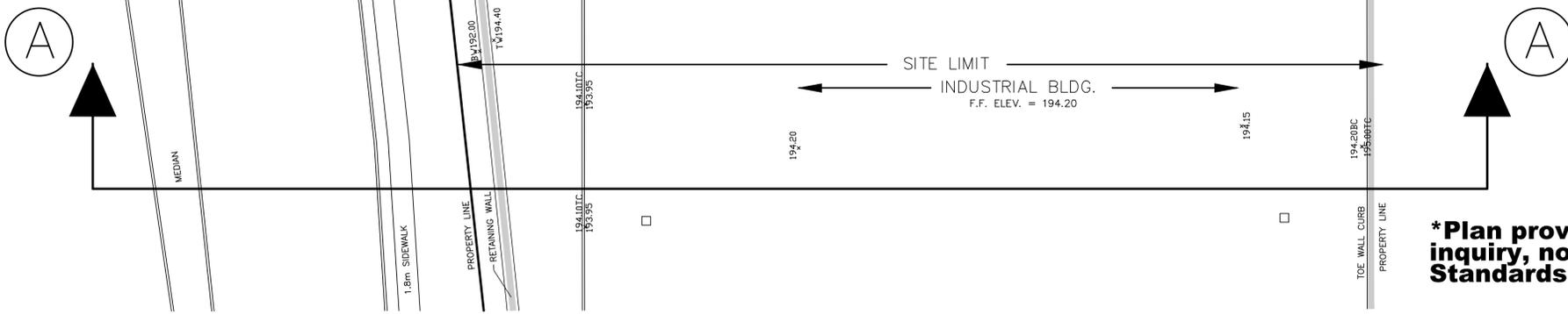
STORM WATER MANAGEMENT SUMMARY table. Includes SITE AREA SUMMARY (PAVED LANDSCAPED ROOF, UNCONTROLLED PAVED, UNCONTROLLED LANDSCAPED) and SITE DRAINAGE SYSTEM (100 YEAR SYSTEM A) with parameters like ORIFICE DIAMETER, MAXIMUM PONDING ELEV., and AVAILABLE SITE STORAGE.

NOTES table with columns for NO., DESCRIPTION, DATE, and BY. Includes notes about site plan approval, revision dates, and submission details.

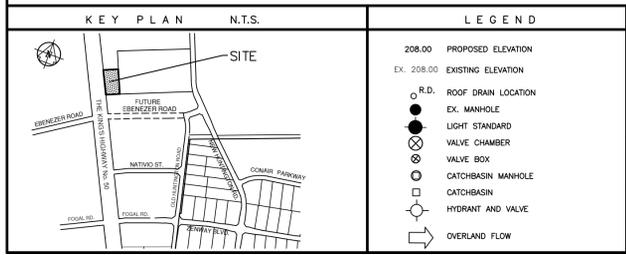
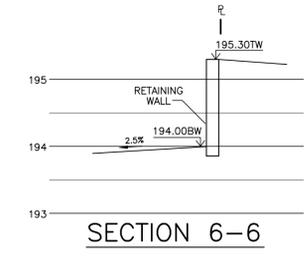
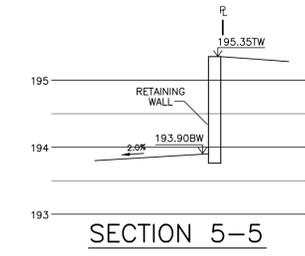
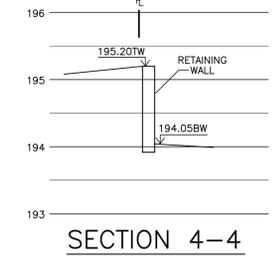
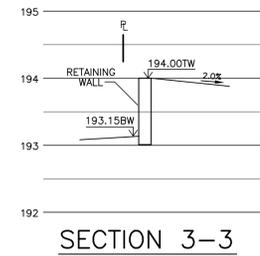
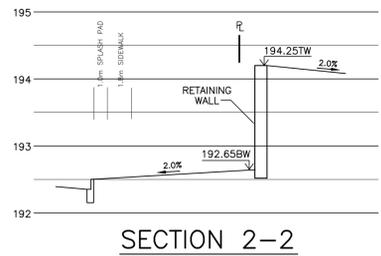
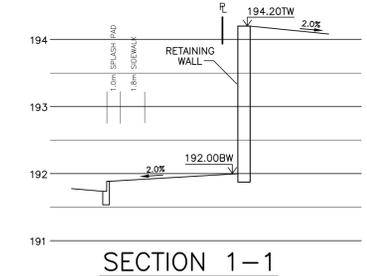
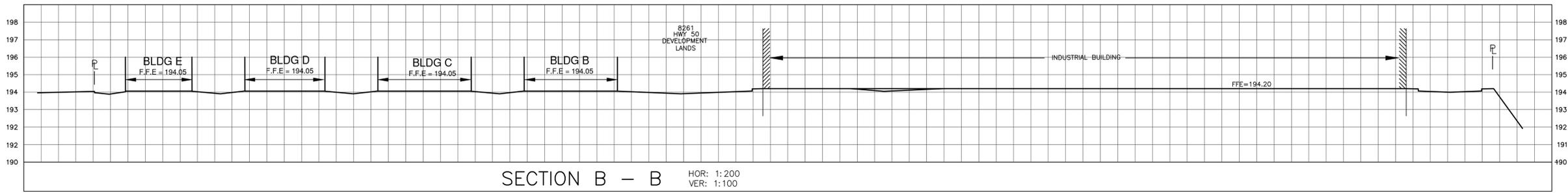
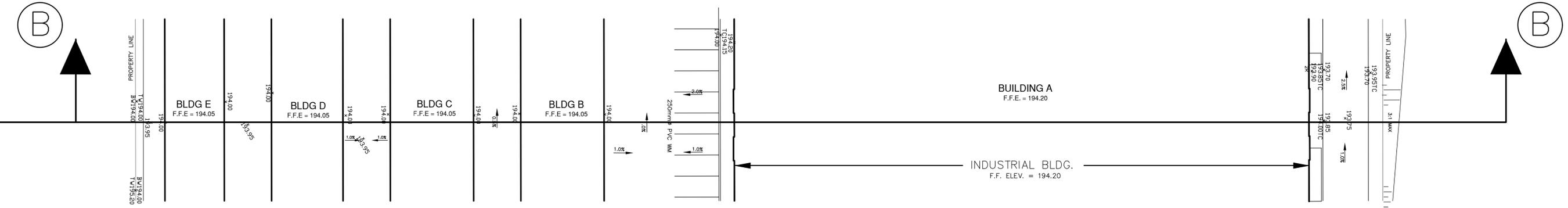
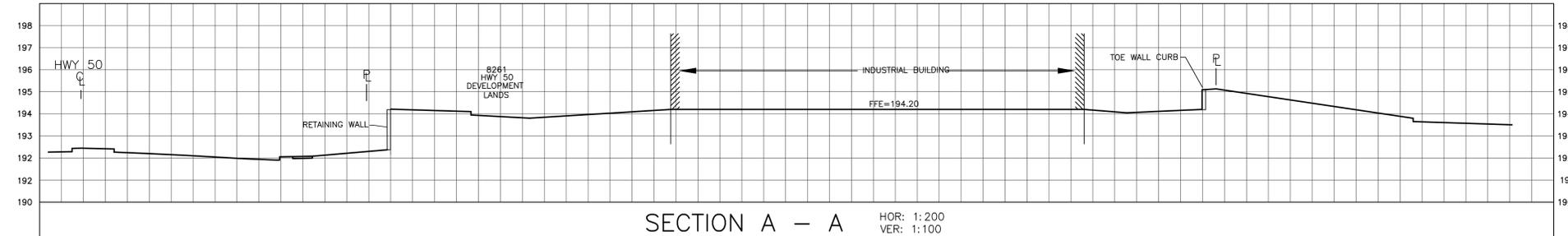
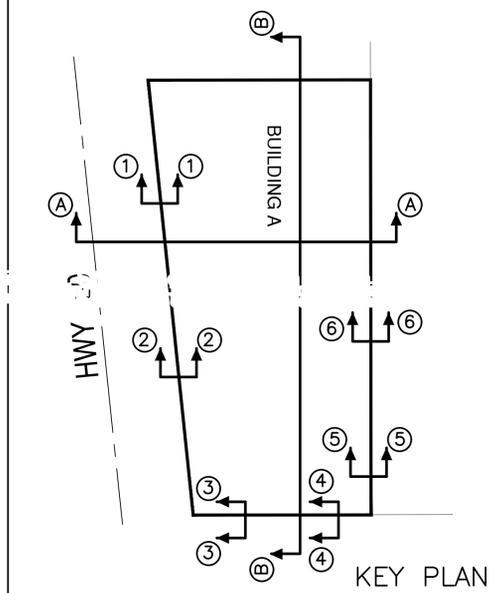
SITE DESCRIPTION table with columns for SITE DESCRIPTION, PART, PLAN, and BENCH MARK NO. Includes details about the project location and coordinates.

URBAN ECOSYSTEMS LIMITED contact information table including address, phone, and website.

Project summary and approval section including UEL logo, ZZEN - VAULTA STORAGE FACILITY 8261 HIGHWAY 50 SITE SERVICING - GRADING PLAN, and approval signatures for the City of Vaughan Engineering Department.



***Plan provided to address public inquiry, not reviewed by Building Standards for zoning compliance.**



NO.	DESCRIPTION	DATE
1.	REVISED PER LATEST SITE PLAN	NOV 3, 2023
2.	RE-ISSUED FOR SPA-6th SUBMISSION	NOV 15, 2023

NOTE
SITE PLAN TO READ IN CONJUNCTION WITH STORMWATER MANAGEMENT REPORT PREPARED BY URBAN ECOSYSTEMS LIMITED FOR THIS PROJECT

SITE DESCRIPTION
PART 2
PLAN 65R-30590
PIN 03317-0567
PART OF LOT 9, CONVESSION 10
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

BENCHMARK No. 64-3
ELEVATION: 197.218
0.6m NORTH OF WEST LEG OF LANGSTAFF ROAD, WEST SIDE OF HUNTINGTON ROAD #8700 HUNTINGTON ROAD, TRAINING AND REHABILITATION CENTRE, U.I.U.N.A. LOCAL 183, SOUTH-EAST CORNER OF THE BUILDING 0.300m WEST OF SOUTH-EAST CORNER AND 0.100m ABOVE WALK ON SOUTH FACE

URBAN ECOSYSTEMS LIMITED
7050 WESTON ROAD, SUITE 705
WOODBRIDGE, ONTARIO L4L 6G7
L4E@urbanecosystems.com
t. (905)856-0629
f. (905)856-0698



ZZEN - VAULTA STORAGE FACILITY
8261 HIGHWAY 50
CROSS - SECTIONS
CITY OF VAUGHAN
ENGINEERING DEPARTMENT

DESIGNED BY: D.J.S.	CHECKED BY: R.S.
DRAWN BY: D.S.	DATE: SEPT 2023
NO: DA-18.078	SCALE: AS NOTED
PROJECT No.: 07012	DRAWING No.: SEC-2

PROJECTS/2023/07012/07012-VALTRA SITE PLAN Rev-04

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
YCDSB	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of Peel	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 15th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A160-22**

Related Files:

Applicant Highway 50 Self Storage Ltd.

Location 8261 Hwy 50



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

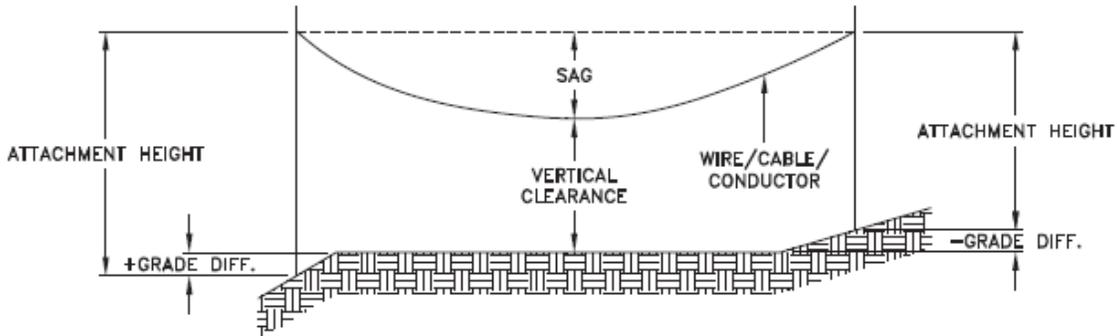
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

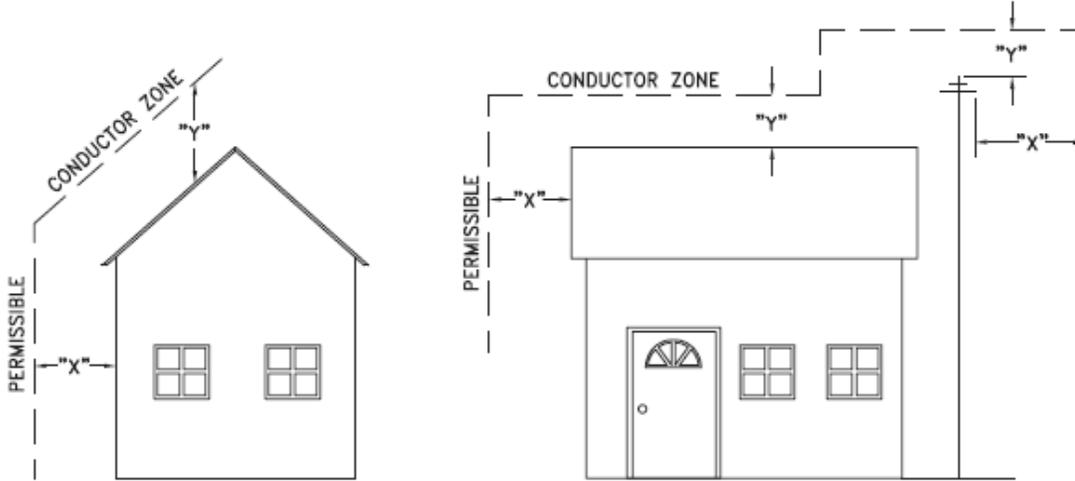
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: February 9, 2024

Applicant: Highway 50 Self Storage Ltd.

Location: 8261 Hwy 50
 CONC 3 Lot 20

File No.(s): A160/22

Zoning Classification:

The subject lands are zoned EM1 Prestige Employment Area, and under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum of 68 parking spaces are required for the site. Table 6-2	To permit a minimum of 26 parking spaces on the site.
2	A minimum of 1 Type A loading space dimensioned at 3.5m wide X 17m long X 4.4m high and 3 Type B loading spaces dimensioned at 3.5m wide X 11m long X 4.0m are required. Section 6.11.2 Table 6-16	To permit one loading space dimensioned at 3.5m wide X 9.0m long X 4.2m high.
3	A minimum of 1 Type A and 3 Type B loading spaces are required. Section 6.11.4 Table 6-18	To permit one Type B loading space
4	A short-term bicycle parking space shall have a minimum setback of 3.0m from a parking area. Section 6.5.5 2b	To permit a short-term parking space to have a minimum setback of 2.8m from the parking area.
5	Waste storage shall be wholly located within a building, within a waste storage enclosure or within a private garage. Section 4.24 2	To permit the waste storage to be located outside of the building in the front yard.
6	A waste storage enclosure shall be prohibited in any part of a front yard and exterior side yard. Section 4.24.4.a	To permit a waste storage enclosure in the front yard.
7	The waste storage area does not meet the definition of waste storage enclosure. Section 3.0	To permit a waste storage area in the front yard.
8	A retaining wall greater than 1.0m in height shall be setback an equal distance to the height of the highest portion of the retaining wall.	To permit the retaining walls at various heights between 1.0m and 2.4m to be setback 0.0m from interior side and rear lot lines and 1.0m from front lot line.

The subject lands are zoned EM1 Prestige Employment Area, under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
9	A minimum rear yard of 12.0 metres is required. Schedule A	To permit a minimum rear yard of 8.8 metres.
10	A minimum interior side yard of 6.0 metres is required. Schedule A	To permit a minimum interior side yard of 3.73 metres.
11	A minimum of 132 parking spaces are required for the site. Section 3.8	To permit a minimum of 26 parking spaces on the site.
12	A minimum parking space length and a minimum accessible parking space length of 6.0 metres is required. Section 2.0 and 3.8	To permit a minimum parking space length and an accessible parking space length of 5.7 metres.
13	A minimum of 4 loading spaces are required for the site. Section 3.9	To permit one loading space on the site.
14	Loading and unloading shall not be permitted between a building and a street. Section 3.9 d	To permit loading and unloading to be located between a building and a street.
15	A strip of land not less than 9 metres in width shall be provided along a lot line abutting a provincial highway or an arterial road. Section 6.1.6	To permit a strip of land not less than 6.19 metres in width to be provided along a lot line abutting a provincial highway or an arterial road.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands are located within the Highly Vulnerable Aquifer as per the Source Water Protection Plan which provides policies for protecting the drinking water sources/supply. The policies respecting the Source Water Plan should be addressed.
3	Based on Ontario Regulation 413/12 being an act for Accessibility for Ontarians with Disabilities Act 2005. Five barrier free parking spaces will be required 2 Type A and 3 Type B. per Section 80.36 2. Note: The barrier free parking spaces cannot be varied by Committee of adjustment under regulation 413/12.
4	This application is deemed to be transitioned under section 1.6.3.3 of bylaw 001-2021 as amended. The applicant may request removal of these variances if they wish.
5	Please provide updated plans to Development planning department re: DA.18.078.

Conditions of Approval:

None

* Comments are based on the review of documentation supplied with this application.

**Corporate
Services**

Legal Services

10 Peel Centre Dr.
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca

February 16, 2024

Christine Vigneault
Manager, Development Services and
Secretary Treasurer to the Committee of Adjustment
City of Vaughan
2141 Major MacKenzie Drive West
Maple ON, L6A 1T1
Christine.Vigneault@vaughan.ca

**RE: Region of Peel Comments
 Minor Variance Application
 8261 Highway 50
 Vaughan file No: A160/22
 Peel Regional File: A-22-160B
 Associated File: SP-18-078V**

Dear Christine,

The Region of Peel has had an opportunity to review the subject minor variance application and has no objections to approval of this request based on the drawings (R-Plan and site Plan, revised Jan 16, 2024) as submitted.

If you have any questions or concerns, kindly advise us at your earliest convenience. Please contact me (sonia.tam@peelregion.ca 905.791.7800 x4283).

Thank you,

Sonia Tam

Sonia Tam, RPP, MCIP
Intermediate Planner
Development Services
Region of Peel

If you have any questions or concerns, kindly advise us at your earliest convenience. Please contact me (sonia.tam@peelregion.ca 905.791.7800 x4283).



Thank you,

Sonia Tam

Sonia Tam, RPP, MCIP
Intermediate Planner
Development Services
Region of Peel

Cc: John Hardcastle, Manager, Development Services, Region of Peel
Paul Tobia, Senior Planner, Weston Consulting
Casandra Krysko, Senior Planner, Development Planning, City of Vaughan
Nick Sawyer, Site Plan Development Planner, Region of York

**Corporate
Services**

Legal Services

10 Peel Centre Dr.
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: March 11, 2024
Name of Owner: Highway 50 Self Storage Ltd.
Location: 8261 Highway 50
File No.(s): A160/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum of 26 parking spaces on the site.
2. To permit one loading space dimensioned at 3.5 m wide X 9.0 m long X 4.2 m high.
3. To permit one Type B loading space.
4. To permit a short-term parking space to have a minimum setback of 2.8 m from the parking area.
5. To permit the waste storage to be located outside of the building in the front yard.
6. To permit a waste storage enclosure in the front yard.
7. To permit a waste storage area in the front yard that is not in a wholly enclosed detached building or structure and has no roof.
8. To permit the retaining walls at various heights between 1.0 m and 2.4 m to be setback 0.0 m from interior side and rear lot lines and 1.0m from front lot line.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum of 68 parking spaces are required for the site.
2. A minimum of 1 Type A loading space dimensioned at 3.5 m wide X 17 m long X 4.4 m high and 3 Type B loading spaces dimensioned at 3.5 m wide X 11 m long X 4.0 m are required.
3. A minimum of 1 Type A and 3 Type B loading spaces are required.
4. A short-term bicycle parking space shall have a minimum setback of 3.0 m from a parking area.
5. Waste storage shall be wholly located within a building, within a waste storage enclosure or within a private garage.
6. A waste storage enclosure shall be prohibited in any part of a front yard and exterior side yard.
7. The waste storage area does not meet the definition of waste storage enclosure.
8. A retaining wall greater than 1.0 m in height shall be setback an equal distance to the height of the highest portion of the retaining wall.

Proposed Variance(s) (By-law 1-88):

9. To permit a minimum rear yard of 8.8 m.
10. To permit a minimum interior side yard of 3.73 m.
11. To permit a minimum of 26 parking spaces on the site.
12. To permit a minimum parking space length and an accessible parking space length of 5.7 m.
13. To permit one loading space on the site.
14. To permit loading and unloading to be located between a building and a street.
15. To permit a strip of land not less than 6.19 m in width to be provided along a lot line abutting a provincial highway or an arterial road.

By-Law Requirement(s) (By-law 1-88):

9. A minimum rear yard of 12.0 m is required.
10. A minimum interior side yard of 6.0 m is required.
11. A minimum of 132 parking spaces are required for the site.
12. A minimum parking space length and a minimum accessible parking space length of 6.0 m is required.
13. A minimum of 4 loading spaces are required for the site.
14. Loading and unloading shall not be permitted between a building and a street.
15. A strip of land not less than 9.0 m in width shall be provided along a lot line abutting a provincial highway or an arterial road.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" within Volume 1, Schedule 13 – Land Use and Volume 2, Section 12.12 Huntington Business Park

Comments:

The Owner is requesting relief to permit the construction of a self-storage facility, with the above-noted variances. The Owner submitted Site Development Application File DA.18.078, which is currently under review, to facilitate the proposed development. As part of the City's review, the above-noted variances were identified to implement the development as proposed.

Development Planning Department staff has no objection to Variances 1, 11 and 12 for the proposed parking spaces. The proposed parking space length complies with the standards established by Zoning By-law 001-2021. The number of proposed parking spaces have been reviewed by the Transportation Engineering Division of the Development Engineering Department and are considered sufficient to serve the proposed self-storage facility use.

Development Planning Department staff has no objection to Variances 2, 3, 13 and 14 for the proposed loading space. The loading space is located within an enclosed front-facing loading area internal to the building. As the loading area is enclosed, only the 3 doors permitting access to the internal loading area will be visible from the street, not the loading area itself and the loading vehicles will not project beyond the front wall of the building. The size, location, and reduction to the amount of required loading spaces have been reviewed by the Transportation Engineering Division of the Development Engineering Department and are considered sufficient to serve the proposed use.

Development Planning Department staff has no objection to Variance 4 for the location of short-term bicycle parking given that the 0.2 m reduction to the required setback between the bicycle and vehicular parking areas is not anticipated to be perceptible, is minor in nature and is not anticipated to have any adverse impacts to the function of the site.

Development Planning Department staff has no objection to Variances 5, 6 and 7 for the proposed waste storage area. The Molok waste containers located in the front yard will not be visible from Highway 50 as they will be screened from view by the proposed retaining wall and landscaping. The armourstone retaining wall will stretch the entire length of the rear (east) and southern interior side lot line, and most of the length of the front (west) lot line. The retaining wall will be topped with a decorative chain link fence. A variety of deciduous trees will be located in the front yard between the retaining wall and the waste storage area. The Molok waste containers are located near the enclosed loading area which is a publicly accessible area. Locating the loading and waste storage activities near one another enhances functionality by consolidating the site's utilitarian activities. The waste storage area has also been approved by Waste Management through the Site Development Application process and is considered appropriate for the development.

Development Planning Department staff has no objection to Variance 8 for the proposed retaining wall. The retaining wall, as detailed in the above paragraph, will surround the development on three sides. The Development Engineering Department has reviewed the retaining wall through the Site Development Application process, has no concerns with the location of the retaining wall, and is satisfied that drainage within the site will be maintained.

Development Planning Department staff has no objection to Variances 9 and 10 for the proposed reduction to the rear and interior side yard setbacks. The proposed setbacks comply with the setback requirements of Zoning By-law 001-2021. The setbacks have been reviewed through the Site Development Application process, are considered appropriate for the development, and are not anticipated to have adverse impacts to the surrounding properties or streetscape.

Development Planning Department staff has no objection to Variance 15 for the reduced 6.19 m landscape strip. The landscape strip provides sufficient room for tree plantings along its length which, in conjunction with the proposed retaining wall, provides an adequate buffer between the proposed building and Highway 50. The Urban Design

Division of the Development Planning Department have also reviewed the minor variance application and have no objection.

Accordingly, Development Planning Department staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department staff recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application DA.18.078 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Wednesday, February 14, 2024 11:04 AM
To: Committee of Adjustment
Cc: Prabhdeep Kaur
Subject: [External] RE: A160/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 8261 Hwy 50, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Yushi Ao](#)
To: [Committee of Adjustment](#)
Cc: [Karyn McAlpine-Tran](#)
Subject: [External] Fwd: A160/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, February 23, 2024 3:58:14 PM
Attachments: [APPPLANS A160 22 02 02 24.pdf](#)
[COMBLDG A160 22 02 09 24.pdf](#)
[APPCOVLETTER A160 22 02 02 24.pdf](#)
[APP A160 22 02 02 2024.pdf](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Thank you for the opportunity to comment on the above referenced Minor Variance application. YCDSB staff have reviewed the material provided and have no comments or objections to its approval.

Regards,

Yushi Ao
Planner and Project Analyst
Planning Services
York Catholic District School Board
yushi.ao@ycdsb.ca

Pravina Attwala

Subject: FW: [External] RE: A160/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: Friday, March 1, 2024 5:38 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: RE: [External] RE: A160/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A160/22 (8261 Highway 50) and has no comment.

Please note that comments and conditions will be provided through the related Site Plan SP.22.V.0153 (DA.18.078).

Please provide us with a digital copy of the notice of decision for our records.

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Arcadis Professional Services (Canada) Inc.	8261 Highway 50, Vaughan	01/31/2024	Cover letter
Applicant	Arcadis Professional Services (Canada) Inc.	8261 Highway 50, Vaughan	01/31/2024	Planning Report Justification

January 31, 2024 (revised from original August 4, 2023)

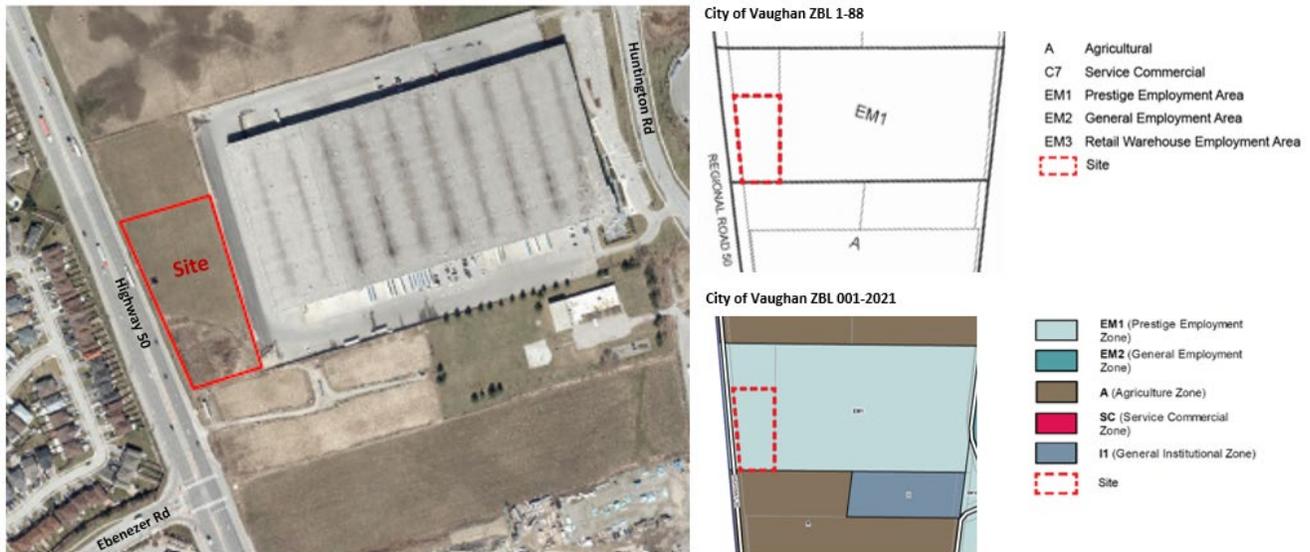
Christine Vigneault
 Secretary Treasurer - Committee of Adjustment
 City of Vaughan
 2141 Major Mackenzie Drive,
 Vaughan, ON L6A 1T1

Dear Ms. Vigneault:

RESUBMISSION - REVISED TO MINOR VARIANCE APPLICATION MV A160/22 FOR A SELF-STORAGE FACILITY ON 8261 HIGHWAY 50, VAUGHAN

Arcadis Professional Services (Canada) Inc. (previously IBI Group) is the authorized planning consultant for 8261 Highway 50 Limited (c/o Vaultra Asset Management), who are the owners of the property legally described as Part 2 on Plan 65R 30590, being Part of Lot 9, Concession 10 and municipally known as 8261 Highway 50 in the City of Vaughan (the "Subject Property"). As shown in Figure A, the subject property is currently zoned 'EM1 Prestige Employment' by both Zoning By-law (ZBL) 1-88, as amended, and the City's new Comprehensive ZBL 001-2021, as amended.

Figure A. Subject Site and EM1 Prestige Employment Zoning



Source: IBI Group based on Google Earth and City of Vaughan ZBL 1-88 and ZBL 001-2021

A Site Plan Approval (SPA) application (DA 18-078) is under review for the self-storage development, with a 6th and anticipated final SPA submission being made in early February 2024.

A Minor Variance application was originally submitted in May 2022 and was assigned file number MV A160/22. A revised application was submitted in August 2023 and following the Stage 1 review, modifications have been made to the requested relief. The following 17 requested variances reflect the Building Standards Department's November 29, 2023 zoning review that identified 14 variances, plus four (4) additional variances that were identified in conjunction with the Building Standard's Department (via the August 31, 2023 zoning review and a December 11th, 2023 email) and further review of the new ZBL 001-2021:

Zoning By-Law (ZBL) 001-2021

1. ZBL requires a minimum of 65 (68) parking spaces for the proposed development, whereas 26 parking spaces are proposed.¹
2. ZBL requires a minimum of 1 Type A loading space dimensioned at 3.5 m wide by 17 m long by 4.4 m high and 3 Type B loading spaces dimensioned at 3.5 m wide by 11 m long by 4.0 m high, whereas 1 loading space dimensioned at 3.5 m wide by 9 m long by 4.2 m high is proposed.
3. ZBL requires a minimum of 1 Type A and 3 Type B loading spaces, whereas 1 Type B loading space is proposed.
4. ZBL requires a short-term bicycle parking space to have a minimum setback of 3.0 m from a parking area, whereas a short-term bicycle parking space is proposed to have a minimum setback of 2.8 m from the parking area.
5. ZBL requires waste storage to be wholly located within a building within a waste storage enclosure or within a private garage, whereas waste storage is proposed to be located outside of the building in the front yard.
6. ZBL prohibits waste storage enclosures in any part of a front yard and exterior side yard, whereas a waste storage enclosure is proposed to be located in the front yard.
7. Waste storage area does not meet the definition of waste storage enclosure, whereas waste storage is proposed to be located in the front yard.
8. ZBL requires retaining walls to be set back 1.0 m from a property line for every 1.0 m of height of wall, whereas the proposed retaining wall will abut the rear (east) and south (side) property lines with 0.0 m setback and reach heights of up to 1.5 m and it will be set back a minimum of 1.5 m from the front (west) property line and reach heights of 2.4 m.
9. ZBL stipulates that landscape means open land used for the growth and maintenance of grass, flowers, shrubs, trees and similar vegetation or horticultural elements, and may include granular geological materials, whereas retaining wall proposed in landscape.

Zoning By-Law (ZBL) 1-88

10. ZBL requires a minimum rear yard of 12.0 metres, whereas a minimum rear yard of 8.8 m is proposed.
11. ZBL requires a minimum interior side yard of 6.0 m, whereas a minimum interior side yard of 3.73 m is proposed.
12. ZBL requires a minimum of 129 (132) parking spaces for the proposed development, whereas 26 parking spaces are proposed.¹
13. ZBL requires a minimum parking space length and minimum accessible parking space length of 6.0 m, whereas a length of 5.7 m is proposed.
14. ZBL requires a minimum of 4 loading spaces whereas 1 loading space is proposed.
15. ZBL requires loading and unloading to not be located between a building and street, whereas doors to an enclosed loading and unloading area is proposed between the building and Highway 50.
16. ZBL requires a strip of land not less than 9 m be provided along a lot line abutting a provincial highway or an arterial road, whereas a strip of land not less than 6.19 m is proposed along Highway 50.
17. ZBL stipulates that a landscape strip shall be used for nothing else other than landscaping, whereas a retaining wall is proposed on the landscape strip.

¹ The Site Plan provided with the 5th SPA submission made in July 2023 and the Minor Variance application submitted in August 2023 showed a total floor area of 12,831 m² (rounded up from 12,830.96 m² and 12,830.56 m² respectively). At the ZBL 1-88 rate of 1 parking space per 100 m² of floor area this would result in a parking requirement of 129 parking spaces and at the new ZBL 001-2021 rate of 0.5 parking spaces per it would per 100 m² of floor area this would result in a parking requirement of 65 parking spaces. We are unclear as to why the November 29, 2023 zoning review cites a requirement for 132 parking spaces. The latest Site Plan that is being submitted with the 6th SPA resubmission in February 2024 shows a total floor area of 12,832.51 m², thus continuing to requiring 129 or 65 parking spaces based on the ZBL standards, whereas 26 parking spaces are proposed.

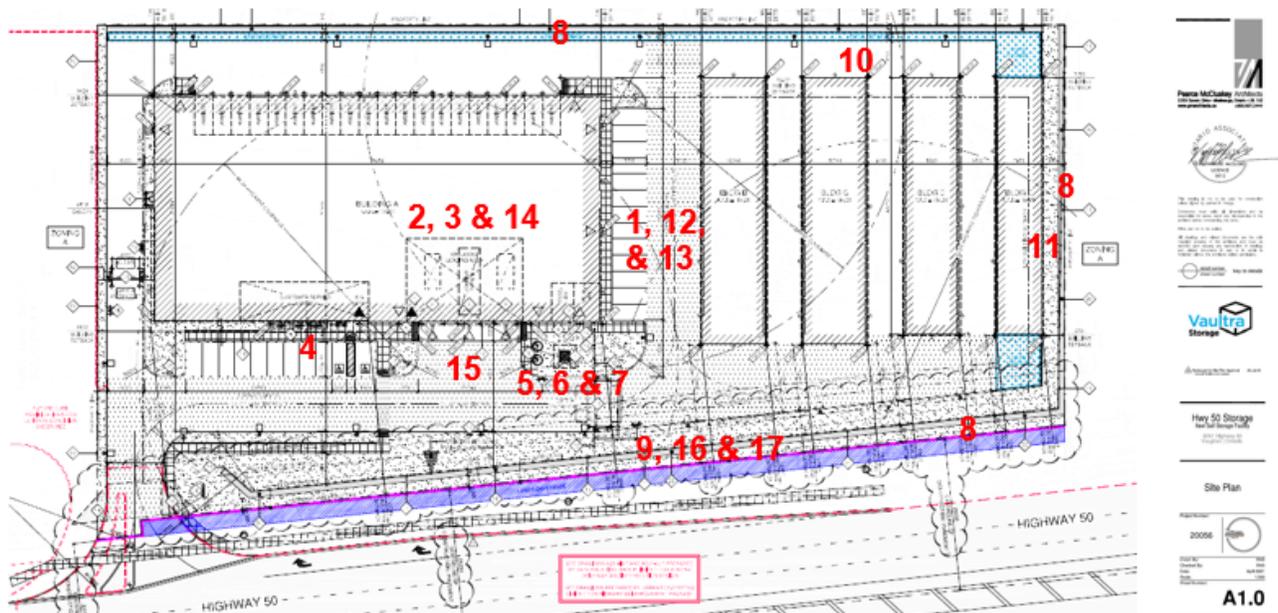
In support of this revised resubmission of the Minor Variance application, please find enclosed the following:

- Revised Submission Form with revised Structure Setback, Structure Size and Variance Charts;
- Revised Draft R-Plan;
- Revised Site Plan, revised Elevation Plans and Building A Floor Plan;
- Revised Parking Justification Study;
- Revised Landscape Plan; and
- Revised Site Servicing and Grading Plan (detailing the proposed retaining wall).

With the original May 2022 submission the Owner and Authorization Form, Transfer Deed, Tree Declaration Form and application payment of \$3,671 by Visa were provided.

The remainder of this letter describes how the requested variances meet the four tests of the *Planning Act*, with Figure B illustrating the location of the requested relief.

Figure B. Location of Proposed Zoning Relief



Required Relief from Zoning By-law 001-2021

1. Reduced parking spaces
2. Reduced length of loading space
3. Reduced number of loading spaces
4. Reduced setback from bicycle parking and parking lot
- 5 - 7. Permission for location and type of waste storage enclosure
8. Reduced setback from retaining wall to property line
9. Permission for armour stone retaining wall in landscape

Required Relief from Zoning By-law 1-88

10. Reduced rear yard setback
11. Reduced interior side yard setback
12. Reduced parking spaces
13. Reduced parking stall length
14. Reduced loading spaces
15. Permission for location of loading/unloading
16. Reduced landscaped strip abutting arterial road
17. Permission for armour stone retaining wall in landscape strip

Relief from Parking Standard

On a typical day a Vaultra self-storage facility will generally have less than 15 customer visits. These visits are spread throughout the day, with only a few occurring at the same time. Further, the facility typically has only one (1) staff member on site at a time. As detailed in the Parking Study, a proxy survey conducted for self-storage facility of similar scale in Mississauga revealed that peak parking demand is anticipated at a rate of 0.07 spaces per 100 m² of gross floor area (GFA) whereas a rate of 0.20 spaces per 100 m² is proposed, resulting in ten (10)

of the proposed 26 parking spaces being occupied at peak hours. Based on Vaultra's experience and the parking demand and utilization seen at the proxy survey, the proposed 26 parking spaces (24 surface and 2 within building A) will more than adequately meet self-storage customer and employee demands.

Relief from Parking Stall Length

The proposed parking spot length of 5.7 metres for the standard and accessible parking spaces is adequate to meet the needs of users/drivers and it complies with the requirements of the new ZBL 001-2021 and are in keeping with the goals of the City of Vaughan Urban Design Guidelines and Vaughan Parking Design Guidelines to maximize the placement of buildings on site and to accommodate more expansive and enhanced landscaped areas. As detailed in the Parking Study prepared by Arcadis, the two (2) internal standard parking spaces and larger internal loading area have been designed to accommodate vehicle movement and parking for up to three (3) larger vehicles if needed.

Relief from Loading Space Standards and Dimensions and Location

The proposed self-storage facility is meant to provide a necessary service to businesses and households that require additional space to store items such as goods, business records, merchandise, personal belongings, or seasonal items and will not involve the shipping of persons, animals, goods, wares or merchandise. The majority of customers will arrive by car, van or small truck and will utilize the three interior parking spaces or the standard parking spaces provided in the surface lots for loading/unloading purposes. The one (1) proposed loading space dimensioned 3.5 m x 9.0 m long and x 4.2 m high is appropriate for the needs of Vaultra's customers.

Under ZBL 1-88, loading and unloading is shall not be located between a building and a street. The entrance to the interior loading within the main Building A is proposed fronting Highway 50. However, the proposed overhead doors will be an attractive mix of glazing and metal that will compliment the other proposed building materials and will be closed, except for very short periods throughout the day, and read as part of the building wall/façade. The operational security requirements of Vaultra which require gated access to the one-storey buildings and therefore it is not possible to move the Building A access doors to the sides of the building.

Relief of Setback for Short-term Bicycle Parking

The bicycle parking is proposed to be accommodated at the main entrance of Building A within a 3.5 m wide entrance area that is defined with pavers. The tandem bicycle racks are aligned parallel with the building, with the outer edge located approximately 2.8 m from the curb to the parking area. This width provides for a safe distance to separate bike parking activities and people parking their cars.

Location of Waste Storage

A small, discrete Molock waste storage system and collection area is proposed directly outside of the main the building, near the doors to the enclosed loading area. It is within the front yard but will be largely screened from view from Highway 50 with the retaining wall and landscaping.

Minimal waste is produced by self-storage facilities, as customers are prohibited from disposing contents from their storage units or packing materials on-site. Waste will generally be limited to whatever is generated from the customer service office or small deposits by customers (e.g. empty coffee cups). The Molock containers must be located in a publicly accessible area, and therefore cannot be located in the building or at the rear within the gated / secure area.



Example of Mulock Waste Bins

Relief from Rear Yard Setback

The proposed minimum rear yard setback of 10.8 m exceeds the requirements of the new ZBL 001-2021, which requires a minimum rear yard setback of 7.5 m within the 'EM1' zone, and provides adequate separation between the industrial lands to the east.

Relief from Interior Side Yard Setback

The proposed minimum interior (south) yard setback 3.73 m exceeds the requirements of the new ZBL 001-2021, which requires a minimum interior side yard setback of 3.0 m within the 'EM1' zone, and provides adequate separation between the industrial lands to the south.

Relief from Landscape Strip and Retaining Wall Setbacks

Peel Region and York Region plan to widen Highway 50 and as part of the SPA the proposed self-storage facility, 8261 Highway 50 Limited must convey an approximately 2.5 m wide strip of land along its western property line for the new road right-of-way (ROW). Additionally, it must convey a 0.3 metre reserve which is intended to protect for access to the widened road from the private property. As a result of the conveyances, the proposed minimum width of the landscape strip along Highway 50 to the new property line (which is east of the conveyances shown in the attached draft R-Plan) is 6.19 m. This does exceed the new ZBL 001-2021, which requires a 3.0 m landscape strip, but due to the topography of the site and adjacent properties, a retaining wall reaching a height of approximately 2.4 m is required along the western, eastern and southern frontages. The minimum of 6.19 m landscape strip adjacent to Highway 50 will contain a retaining wall.

The proposed armour stone retaining wall will be accompanied by greenery and shrubs at the base, as well as decorative fencing and additional shrubbery and greenery at the top to create an attractive street frontage, enhance the pedestrian experience on Highway 50, and appropriately screen surface parking and laneways from the public realm. The Region of Peel will not permit drainage/run-off from landscaping into the Regional road right-of-way and as such a very minimal amount of landscaped area may be located in front (to the west) of the retaining wall.



Example of Armour Stone Retaining Wall and Landscaping

Given the site grading and drainage requirements, it is not possible for the retaining wall to be set back from the eastern and southern property line. With the land conveyance for the road widening, the western retaining wall will only be set back approximately 1.7 m from the new property line, and this will vary a bit as the width of the wall varies depending on the height.

It is my professional planning opinion, this COA application should be approved given the proposed variances meet the four tests of Section 45(1) of the *Planning Act* both individually and collectively as they:

- Are minor in nature;
- Are desirable for the appropriate development and use of the land;
- Maintain the general intent and purpose of the Zoning By-law; and
- Maintain the general intent and purpose of the Official Plan.

Should you have any questions or require any additional information please do not hesitate to contact the undersigned.

Yours truly,

IBI GROUP

Amy Shepherd, MCIP, RPP, AICP
Associate Principal

RECEIVED

By attwalap at 9:13 am, Feb 02, 2024



Final Report

Review of Parking and Loading Requirements: Self-Storage Facility, 8261 Highway 50, Vaughan



Prepared for Hwy 50 Self Storage Limited (c/o Vaultra Asset Management)
by Arcadis (previously IBI Group)
January 31, 2024

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List of Exhibits

- Exhibit 1: Subject Property – 8261 Highway 50, Vaughan
- Exhibit 2: Site Plan for Proposed Self-Storage Facility at 8261 Highway 50, Vaughan
- Exhibit 3: Typical Vaultra Self-Storage Customer Base and Frequency of Visits
- Exhibit 4: Proposed Number of Parking and Loading Spaces for Proposed Uses
- Exhibit 5: By-law 1-88 Loading Requirements for Industrial and Commercial Uses
- Exhibit 6: By-law 0225-2007 Parking Requirements vs the Parking Proposed for Highway 50
- Exhibit 7: CZBL Parking Requirements vs the Parking Proposed for Highway 50
- Exhibit 8: Example of Parking Rates Provided at Vaultra and Other Self-Storage Facilities
- Exhibit 9: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Saturday March 30, 2019
- Exhibit 10: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Sunday, March 31, 2019
- Exhibit 11: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Friday, April 5, 2019
- Exhibit 12: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Saturday, April 6, 2019
- Exhibit 13: Anticipated Parking Demand in Peak Hours for the Proposed Self-Storage – 8261 Highway 50

1 Introduction

Hwy 50 Self Storage Limited (c/o Vaultra Asset Management) and their development partner ZZEN Group of Companies Limited (the “ZZEN Group”), own a 1.18-hectare (2.92 acre) vacant property on Highway 50 in the City of Vaughan. The property is municipally known as 8261 Highway 50 and legally described as Part 2 of Plan 65R 3090, Part of lot 9, Concession 10. The property is located on the east side of Highway 50, between Langstaff Road to the north and Fogal Road to the south (see **Exhibit 1**). The property is currently zoned ‘EM1 – Prestige Employment Area’ and is located within the Huntington Business Park.

Exhibit 1: Subject Property – 8261 Highway 50, Vaughan



Source: IBI Group based on Google Earth Imagery and Geowarehouse Parcel Fabric

Vaultra Asset Management (“Vaultra”), in partnership with the ZZEN Group, intend to build a premium self-storage facility (the “development”) on the property that will be comprised of one (1) 4-storey self-storage building and four (4) ambient 1-storey self-storage buildings with a total gross floor area (GFA) of 12,832.51 m². A total of 26 standard parking spaces, two (2) of which will be barrier-free, and one (1) Type B loading space are proposed for the development. Customers with units in the 1-storey self-storage buildings will have direct access to their units from the laneways and can drive right up to their unit.

1.1 Purpose of Study

The City of Vaughan Zoning By-law 1-88 (the “ZBL”) requires that parking for self-storage facilities be provided at a rate of one (1) space per 100 m² of GFA. On October 20, 2021, City of Vaughan Council endorsed the new Comprehensive Zoning By-law (the “CZBL”), which requires that parking for self-storage facilities be provided at a rate of 0.5 spaces per 100 m² of GFA. Based on these rates, a total of 132 or 68 spaces would be required by ZBL 1-88 and the new CZBL respectively. Arcadis (previously IBI Group) was retained by Hwy 50 Self Storage Limited to confirm how many parking spaces the proposed self-storage facility requires, and to prepare a parking justification report in support of the Minor Variance (MV) and Site Plan Approval (SPA) applications for this development.

1.2 Summary of Study Findings

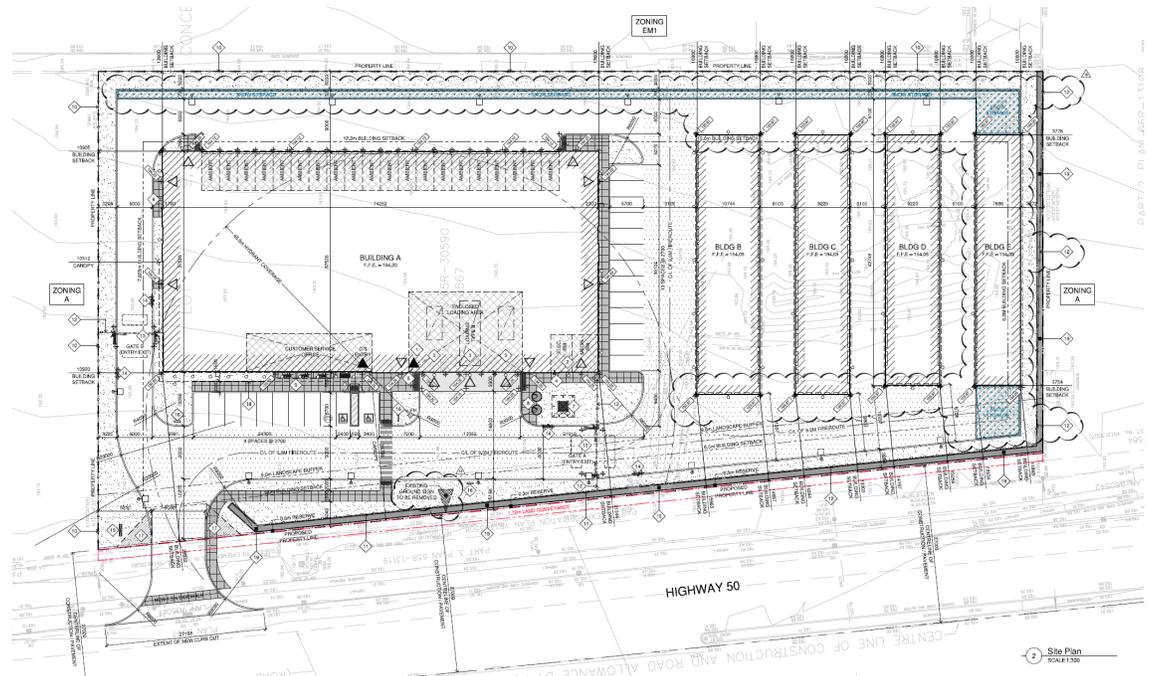
This report describes how the 26 total parking spaces proposed for the four-storey self-storage facility and four (4) 1-storey ambient self-storage buildings, at a standard of one (1) parking space per 494 m² of GFA, are sufficient to meet anticipated customer and staff parking demand and how with the drive-up function of the 1-storey ambient self-storage buildings, no additional standard parking spaces are required. The findings of the parking assessment are based on detailed land use and transportation research and analysis, customer survey analysis and Vaultra’s extensive development and operational experience.

2 Proposed Development

Vaultra Asset Management, in partnership with ZZEN Group, plans to construct a premium self-storage facility at 8261 Highway 50. As shown in **Exhibit 2** and the detailed site plan attached in **Appendix A**, the proposed development includes a four-storey self-storage facility and four (4) ambient self-storage buildings, for a total GFA of 12,832.51 m², 26 standard parking spaces, one (1) Type 'B' loading space and six (6) bicycle parking spaces:

- Building A (Main Building): Four (4) storeys, 11,159.50 m²
- Buildings B through E: One (1) storey, 1,673.01 m²
 - Building B: 475.26 m²
 - Building C: 475.26 m²
 - Building D: 393.79 m²
 - Building E: 328.70 m²
- 26 Parking Spaces
 - 24 Standard Parking Spaces (22 exterior & 2 interior)
 - 2 Barrier-Free Parking Spaces
- 1 Type 'B' Loading Space (interior)
- 6 Bicycle Parking Spaces

Exhibit 2: Site Plan for Proposed Self-Storage Facility at 8261 Highway 50, Vaughan



Vaultra has a number of self-storage facilities operating throughout the Greater Toronto and Hamilton Area (GTHA) and elsewhere in Canada. They also have several new facility developments underway. Vaultra's customer base is typically 60% residential customers and 40% business/commercial customers. Often customers rent more than one locker within a facility. During the winter periods, Vaultra generally has less than ten (10) customers per day accessing its facilities. In other seasons customer access increases slightly, but still is generally less than 15

customer visits per day. A description of Vaultra’s typical self-storage customer activity is detailed in **Exhibit 3** below.

Exhibit 3: Typical Vaultra Self-Storage Customer Base and Frequency of Visits

TYPE OF SELF-STORAGE CUSTOMERS	FREQUENCY OF VISITS
<p>Personal or Household</p> <p>Storage of furniture, appliances, personal belongings, seasonal equipment, motor vehicles, boats, recreational vehicles, motorcycles, and other household goods. Specialized storage can be provided for wine, paintings, furniture, exotic vehicles and higher valued items.</p> <p>Often customers use the space during renovations, when they are moving houses or for de-cluttering purposes. Students use storage during holiday and non-school term periods as a cheaper alternative to housing rental.</p>	<p>A few times per year or less, generally on weekends or in the early evening.</p> <p>Generally personal or household customers only come to drop-off or pick-up their goods when they are ready to move or during a change in seasons.</p>
<p>Business or Commercial</p> <p>Storage of business records, seasonal goods, equipment, fixtures, tools, merchandising materials, and job materials. Many business customers use the space for logistics warehousing and transition requirements.</p> <p>A proportion of these customers are expected to be small businesses who work from home and use the storage lockers for their goods and merchandise and may also use the flex office and meeting room space (e.g. event planners, dressmakers, wholesale and retail representatives, accountants, contractors).</p>	<p>Weekly or monthly basis, generally on weekdays during the day. It is very rare for business customers to access their units daily.</p>

2.1 Proposed Parking and Loading

As shown in **Exhibit 4**, a total of 26 parking spaces are proposed for the self-storage development, along with one (1) loading space and six (6) bicycle parking spaces.

Exhibit 4: Proposed Number of Parking and Loading Spaces for Proposed Uses

LAND USE	STANDARD PARKING SPACES	BARRIER FREE PARKING SPACES	TOTAL PARKING SPACES	LOADING SPACES	BICYCLE PARKING SPACES
Self-Storage - Buildings A - E (12,832.51 m ²)	24	2	26	1	6
Total	24	2	26	1	6

Customers and employees of the self-storage facility will have access to 26 parking spaces, which results in a parking standard of one (1) space per 494 m² of GFA. Two (2) standard parking stalls are located within the interior of the building to provide covered loading and unloading areas for smaller vehicles. The proposed reduced parking rate will need to be approved by the City’s Committee of Adjustment through an application for Minor Variance. In addition, customers with units in the 1-storey self-storage buildings (Buildings B-E) will have direct access to their units from the laneways and can drive right up to their unit.

As shown in **Exhibit 2**, a majority of the parking for the development is located in front of and along the southern façade of Building A. The parking has been designed to ensure safe and direct access to the main building (Building A) and ambient self-storage buildings (Buildings B-E), as well as meet the goals and objectives of the Huntington Business Park and the City-wide Urban Design Guidelines. In accordance with section 7.6 of the City-Wide Urban Design Guidelines, the minimal parking at the front of Building A acts as a smaller convenience parking area to provide visitors with direct access to the main building. Additional parking along the southern façade of Building A and along the southern lot line will be visually screened by landscaping along the Highway 50 frontage southern property line.

3 Zoning Requirements

In October of 2021, Vaughan City Council endorsed the CZBL (By-law No. 01-2021) to replace the City of Vaughan ZBL 1-88. It is our understanding that parts of the CZBL have been appealed to the OLT. Based on correspondence with City staff, it is our understanding that the subject SPA application has been determined to be transitioned in accordance with Subsection 1.6.3.3 of the CZBL, and therefore is subject to Zoning By-law 1-88, as amended, only. However, for the purpose of this report, this section analyzes the parking and loading rates of the proposed self-storage facility with respect to the applicable provisions of the both the ZBL and the new CZBL.

A total of 26 parking spaces of which two (2) are barrier-free, six (6) bicycle parking spaces and one (1) loading space are proposed for the 12,832.51 m² premium self-storage facility. The proposed parking rate will need to be approved by the City’s Committee of Adjustment as it does not meet the City’s parking standard for self-storage facilities.

3.1 Vaughan Zoning By-law 1-88

It is our understanding that self-storage facilities are interpreted as a form of warehousing for the purpose of zoning compliance. As such, the following sections analyze the loading, bicycle parking and vehicle parking of the proposed self-storage facility based on the requirements of the ZBL that apply to “warehouse” uses.

3.1.1 Loading

Section 3.9 of ZBL 1-88 outlines the following loading space requirements for industrial or commercial uses involving the shipping or loading of persons, animals or goods, wares or merchandise:

Exhibit 5: By-law 1-88 Loading Requirements for Industrial and Commercial Uses

GFA	MINIMUM NUMBER OF LOADING SPACES REQUIRED
500 m ² or less	No loading space
From 501 – 2,500 m ² inclusive	One (1) loading space
From 2,501 – 10,000 m ² inclusive	Two (2) loading spaces
Above 10,001 m ²	Two (2) loading spaces for every 10,000 m ² or portion thereof of Industrial/Commercial gross floor area

Based on the requirements of Section 3.9 of ZBL 1-88, and noted above in **Exhibit 5**, the proposed development would require four (4) loading spaces. As per provision 3.9(a) loading spaces are to be at least 9.0 metres long, 3.5 metres wide and having a vertical clearance of not less than 4.2 metres. As shown in **Exhibit 2** and noted on the Site Plan (see **Appendix A**), the proposed development includes one (1) Type ‘B’ loading space with a length of 9.0 metres, a width of 3.5 metres and a vertical clearance of 4.2 metres. Two (2) standard parking spaces are located within the interior of the building to provide customers with smaller vehicles a covered loading area without impacting the larger loading spaces. However, it should be noted that the loading area and driveway have been designed to accommodate vehicle movement and parking for up to three (3) larger vehicles within the loading area if needed (see Vehicle Manoeuvring Diagrams prepared by BA Group for more information).

Assessing Vaultra’s existing self-storage facilities, loading spaces for these developments are intended to serve only small and medium-sized trucks, with the majority of customers utilizing loading spaces for smaller vehicles and vans. The proposed mix of interior loading and parking spaces has been designed to accommodate the needs of customers based on Vaultra’s operational experience. However, as only one (1) loading space is provided, the proposed number of loading spaces will require approval by the City’s Committee of Adjustment.

3.1.2 Bicycle Parking

As per Section 2.2.4 of the City of Vaughan Official Plan, it is the intent of the City to accommodate and facilitate the use of active transportation to and within Employment Areas by providing on or off-street bikeways, connected greenways and bicycle parking facilities. Based on the bicycle parking requirements of the ZBL, no bicycle parking spaces are required for the proposed development as it is located outside of the Vaughan Metropolitan Centre. However, six (6) bicycle parking spaces are being proposed, which exceeds the requirements of the ZBL and reflects the intent to provide bicycle parking facilities within Employment Areas. All six (6) bicycle parking spaces are located next to the main entrance of Building A.

3.1.3 Parking

Section 3.8 of ZBL 1-88 sets out parking requirements for all residential and non-residential uses. Self-storage is not an identified use. Based on correspondence with City staff, it is our understanding that parking for self-storage facilities is to be provided at a rate of one (1) space per 100 m² of GFA. As previously noted, and further detailed in Section 3 of this report, a self-storage facility of this size generally will have less than 10 to 15 customer visits throughout an entire day.

If the City's parking standard were applied to the proposed development, a total of 129 parking spaces would be required, which is far more than what self-storage facilities require. The proposed parking standard is a minimum of 26 spaces, or a rate of 1 space per 494 m² of GFA or 0.20 spaces per 100 m² of GFA (**Exhibit 6**).

Exhibit 6: By-law 0225-2007 Parking Requirements vs the Parking Proposed for Highway 50

PROPOSED LAND USE / BUILDING USE	PROPOSED GFA (M ²)	ZBL PARKING REQUIREMENT ¹	PROPOSED PARKING	PARKING DEFICIENCY
Self- Storage	12,832.51	1 space per 100 m ² of GFA or 129 spaces	26 spaces	-103
Barrier-Free Parking	N/A	For between 13 to 100 parking spaces: 4% of the total number of parking spaces (of which 50% will be Type A and 50% will be Type B) or 2 spaces (1 Type A and 1 Type B)	2 spaces (1 Type A and 1 Type B)	0

3.1.3.1 Barrier-Free Parking

As per provision 3.8(d)(iii) of the ZBL, accessible parking is to be provided at a rate of 4% of the number of provided parking spaces, of which 50% will be Type A and 50% will be Type B, when the total number of spaces is between 13 and 100. As 26 parking spaces are proposed, two (2) spaces must be accessible / barrier-free, of which one (1) must be Type A and one (1) must be Type B. A total of two (2) barrier-free parking spaces are proposed, of which one (1) is Type A and one (1) is Type B.

3.2 Vaughan Comprehensive Zoning By-law

As previously noted, it is our understanding that the CZBL does not come into effect until all appeals have been withdrawn or disposed of and that the subject SPA application has been determined to be transitioned in accordance with Subsection 1.6.3.3 of the CZBL. However, the following sections have been prepared order to compare the proposed development with the direction of future zoning requirements endorsed by City Council.

¹ Provision 3.8(e) of the ZBL states that If the application of standards results in part of a space being required, a full space shall be provided.

It is our understanding that self-storage facilities are interpreted as a “Commercial Storage” use in the CZBL. As such, the following sections analyze the loading, bicycle parking and vehicle parking of the proposed self-storage facility based on the requirements of the CZBL that would apply to “Commercial Storage” uses.

3.2.1 Loading

Section 6.11 of the CZBL outlines loading space requirements for various residential and non-residential uses. Table 6-18 of the CZBL outlines the loading space requirements for industrial or commercial uses involving the shipping of persons, animals, goods, wares or merchandise, except a supermarket, hotel or place of assembly. The proposed self-storage facility is meant to only provide a necessary service to businesses and households that require additional space to store items such as goods, business records, merchandise, personal belongings, or seasonal items and will not involve the shipping of persons, animals, goods, wares or merchandise. As such, it is our understanding that loading spaces would not be required for the proposed development.

The proposed development includes one (1) Type ‘B’ loading space and two (2) interior parking spaces that have been designed to accommodate the expected needs of Vaultra customers based on operational experience. As such, the proposed number of loading spaces exceeds the requirements of the CZBL.

3.2.2 Bicycle Parking

Section 6.5 of the CZBL outlines bicycle parking space requirements for all residential and non-residential uses, with specific provisions for those uses within the VMC and MU zones, and those within all other zones. The site is zoned ‘EM1 – Employment Area’ and would therefore be subject to the minimum bicycle parking rates outlined in Table 6-8 of the CZBL. Based on comments received from City staff, it is our understanding that required bicycle parking is based on the size of the office component of the proposed development.

In accordance with Table 6-8, bicycle parking for office uses is required at rates of 0.1 spaces per 100 m² of GFA for long-term spaces and 0.1 spaces per 100 m² of GFA or 3 spaces, whichever is greater, for short-term spaces. As detailed on the Ground Floor Plan prepared by Pearce McCluskey Architects (Drawing A2.0), it is our understanding that the proposed customer service office is approximately 127.72 square metres in size. Accordingly, one (1) long-term bicycle parking space located within the building and 3 short-term bicycle parking spaces would be required, whereas six (6) short-term bicycle parking spaces are proposed.

Given the nature of the use, the majority of customers will arrive to the site via small or medium sized trucks and automobiles. The proposed number of bicycle parking spaces is based on the anticipated demand based on Vaultra’s operational experience.

3.2.3 Parking

Section 6.3 of the Comprehensive ZBL outlines the parking requirements for all residential and non-residential uses in all zones. As per Table 6-2 of the CZBL, parking for commercial storage uses is to be provided at a minimum rate of 0.5 spaces per 100 m² of GFA in the ‘EM1’ zone. If applied, the proposed development would require 65 parking spaces, which is far more than what self-storage uses generally require. As previously noted, the proposed parking standard is a minimum of 26 spaces at a rate of 1 space per 493 m² of GFA or 0.20 spaces per 100 m² of GFA (**Exhibit 7**).

Exhibit 7: CZBL Parking Requirements vs the Parking Proposed for Highway 50

PROPOSED LAND USE / BUILDING USE	PROPOSED GFA (M ²)	CZBL PARKING REQUIREMENT ²	PROPOSED PARKING	PARKING DEFICIENCY
Self- Storage	12,832.51	0.5 space per 100 m ² of GFA or 65 spaces	26 spaces	-39
Barrier-Free Parking	N/A	For between 13 to 100 parking spaces: 4% of the total number of required parking spaces or 3 spaces	2 spaces (1 Type A and 1 Type B)	-1

3.2.3.1 Barrier-Free Parking

The CZBL requires that accessible parking be provided at rates based on the total required parking spaces. As noted, a total of 65 parking spaces would be required for the proposed development if the parking standard of the CZBL were applied. As per Table 6-4 of the CZBL, barrier-free parking spaces are required at a rate of 4% when the total number of required parking spaces is between 13 and 100 spaces.

As per provision 6.4.3.2 of the Comprehensive ZBL, where an odd number of barrier-free parking spaces are required, the number of barrier-free parking spaces must be divided equally between a Type A and a Type B parking spaces and the remaining spaces may be provided as a Type B barrier-free parking space. As 65 parking spaces are required, a total of three (3) barrier-free parking spaces are required, one (1) Type A and two (2) Type B. A total of two (2) barrier-free parking spaces are proposed, of which one (1) is Type A and one (1) is Type B.

² Provision 6.2.2 of the CZBL states that If the calculation of a required parking space, barrier-free parking space, bicycle parking space or loading spaces results in a fraction, the applicable requirement shall be rounded up to the next whole number

4 Anticipated Self-Storage Parking Occupancy and Demand

It is common practice for self-storage developments to require relief from a Zoning By-law in order to right-size the amount of parking. Few municipalities have parking standards which recognize that self-storage facilities can operate satisfactorily with comparatively small parking complements. The Town of Oakville is one example that has, whereby Zoning By-law 2014-014 requires a “minimum of 1.0 parking space per 100 m² net floor area, to a maximum minimum requirement of 8 parking spaces”.

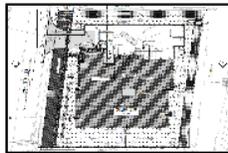
To determine an appropriate parking provision for the proposed self-storage facility, IBI Group undertook a review of the parking standards of existing and planned self-storage facilities, evaluated past proxy survey results and drew from Vultra’s vast experience operating and developing new self-storage facilities. Vultra has managed over 120,000 m² of self-storage space for many years and has not recorded a single customer complaint regarding insufficient parking at any of its sites.

As detailed below, based on Vultra’s operational experience and industry standards, the proposed 26 parking spaces, are more than adequate to serve customers and staff of the proposed self-storage facility on Highway 50.

4.1 Comparison of Existing Self-Storage Facility Parking

Examples of the parking supply and resulting ratio of parking for a number of existing and planned self-storage facilities in the GTHA are shown in **Exhibit 8**. As shown in **Exhibit 8** there is a broad range of parking rates for self-storage facilities in Vaughan where parking is provided at rates from one (1) space per 268 m² to one (1) space per 983 m². The 26 parking spaces and ratio of one (1) space per 494 m² proposed by Vultra for the Highway 50 self-storage facility are comparable to what is being provided at other facilities.

Exhibit 8: Example of Parking Rates Provided at Vultra and Other Self-Storage Facilities

	Vultra Self-Storage (6550 Oakwood Drive, Niagara Falls)	Vultra Self-Storage (35 Dalkeith Drive, Brantford)	Vultra Self-Storage and Flex office (20 Pugsley Court, Ajax)	Vultra Self-Storage (3020 Lenworth Drive, Mississauga)
				
Estimated Building Area (m ²)	5,700	6,200	10,407	12,766
Estimated Provision of Parking	7 spaces (1 BF) 1 space per 814 m ²	8 spaces (1 BF) 1 space per 775 m ²	16 spaces (2 BF) 1 space per 650 m ² <small>*Self-storage component only</small>	14 spaces (2 BF) 1 space per 912 m ²
	Self-Storage (7845 Highway 27, Vaughan)	Smart Stop Self-Storage (50 Cityview Boulevard, Vaughan)	Bluebird Self-Storage (8025 & 8033 Jane Street, Vaughan)	Bluebird Self-Storage (411 Cityview Boulevard, Vaughan)
				
Estimated Building Area (m ²)	12,165	11,100	11,791	13,410
Estimated Provision of Parking	19 spaces (2 BF) 1 space per 640 m ²	24 spaces (2 BF) 1 space per 463 m ²	12 spaces (1 BF) 1 space per 983 m ²	50 spaces (2 BF) 1 space per 268 m ²

Source: IBI Group based on Google Imagery, Application Submission Documents and City of Vaughan Staff Reports.

4.2 Anticipated Self-Storage Parking Occupancy

As noted, other Vaultra self-storage facilities generally have less than 15 customers per day accessing their storage units or the customer service office. To further verify parking requirements, Vaultra had a parking utilization proxy survey conducted at Safe Self-Storage – Mississauga West in Mississauga during the following time periods:

- Saturday March 30, 2019 – 9:00 a.m. to 6:00 p.m.;
- Sunday, March 31, 2019 – 9:00 a.m. to 6:00 p.m.;
- Friday, April 5, 2019 – 12:00 p.m. to 9:00 p.m.; and
- Saturday April 6, 2019 – 9:00 a.m. to 6:00 p.m.

These count hours are consistent with City of Mississauga staff comments, which indicated that observations should be conducted on one Friday, one Saturday, and one Sunday; followed by a validation survey on the day of the week where the highest utilization had occurred.

Safe Self Storage – Mississauga West offers a combination of outdoor “drive-up” units and indoor units and offers access to the facility to customers between the hours of 6:00 a.m. and 10:00 p.m. daily. The leasing office is open from 9:00 a.m. to 6:00 p.m. Monday through Friday, from 9:00 a.m. to 5:00 p.m. on Saturday, and from 10:00 a.m. to 4:00 p.m. on Sunday.

This site is comparable to the proposed development due to its similar urban context (industrial / employment areas), and its similar overall size. It is our understanding that hours of operation and access at the proposed development will be similar, as will be the mix of storage unit sizes.

Parking occupancy was observed at the approximately 10,708 m² GFA facility every 30 minutes during the study period, with staff vehicle and customer vehicles observed separately. These observations are presented in **Appendix B** and were converted to a parking utilization rate of spaces per 100 m² GFA for comparison purposes. The results of the utilization surveys are presented in **Exhibit 9** through **Exhibit 12**.

Exhibit 9: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Saturday March 30, 2019

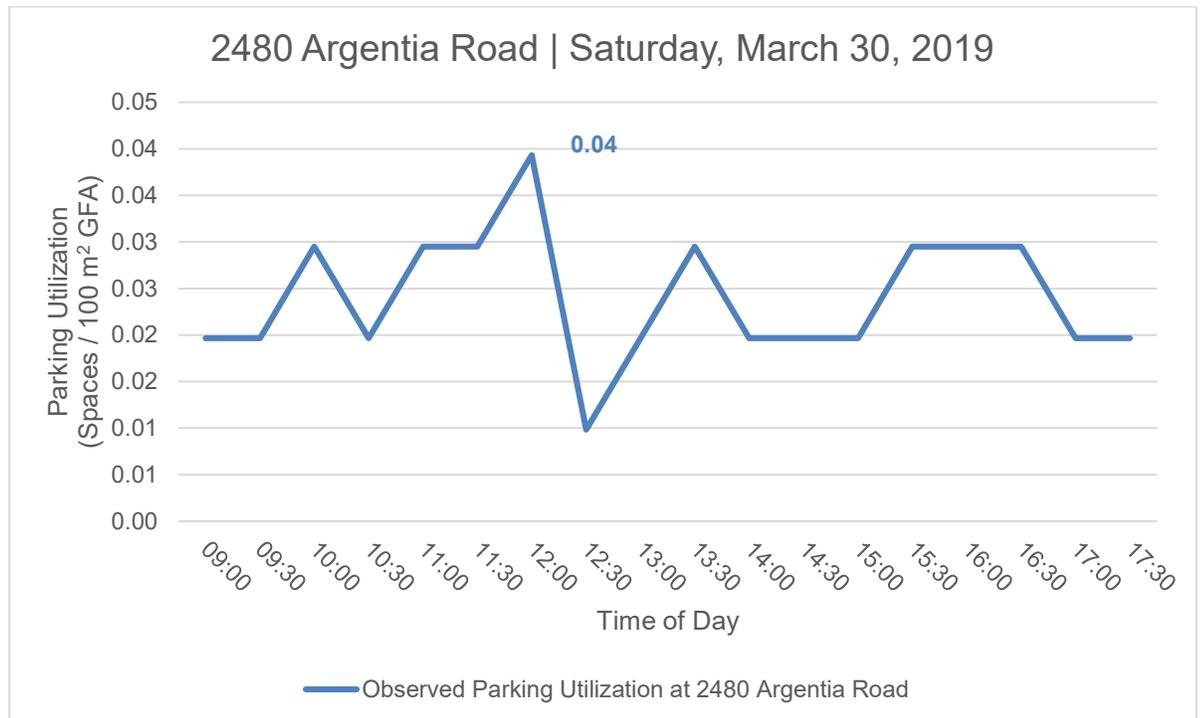


Exhibit 10: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Sunday, March 31, 2019

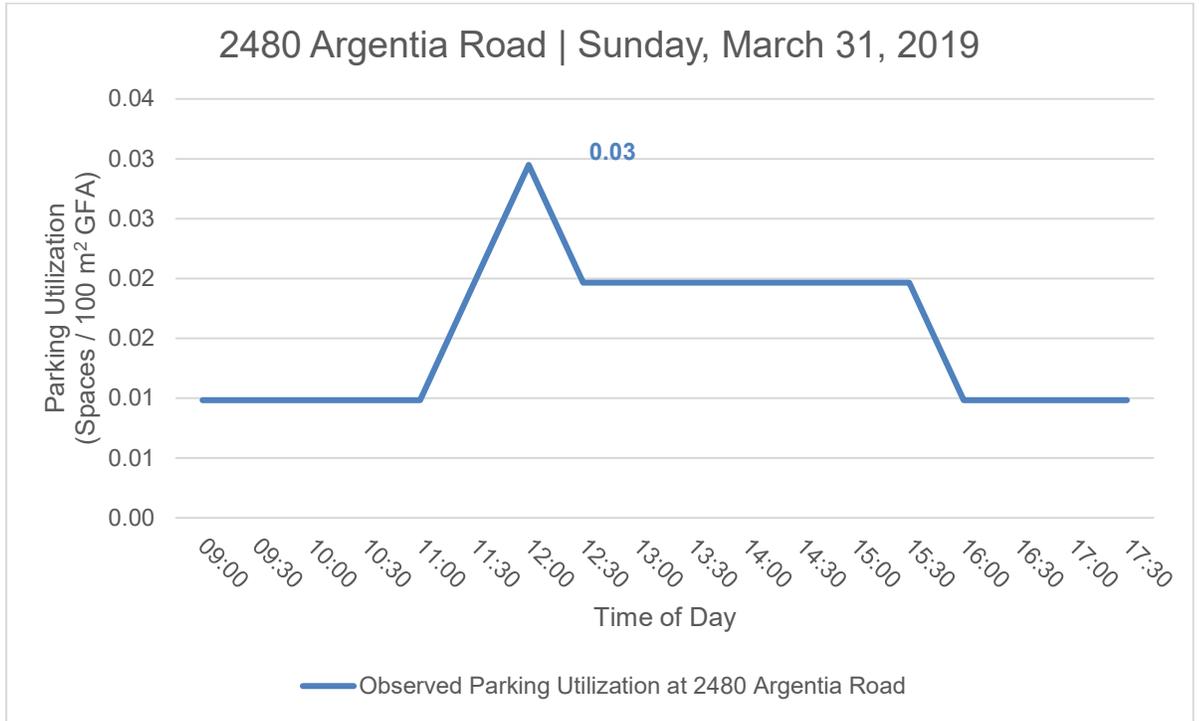


Exhibit 11: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Friday, April 5, 2019

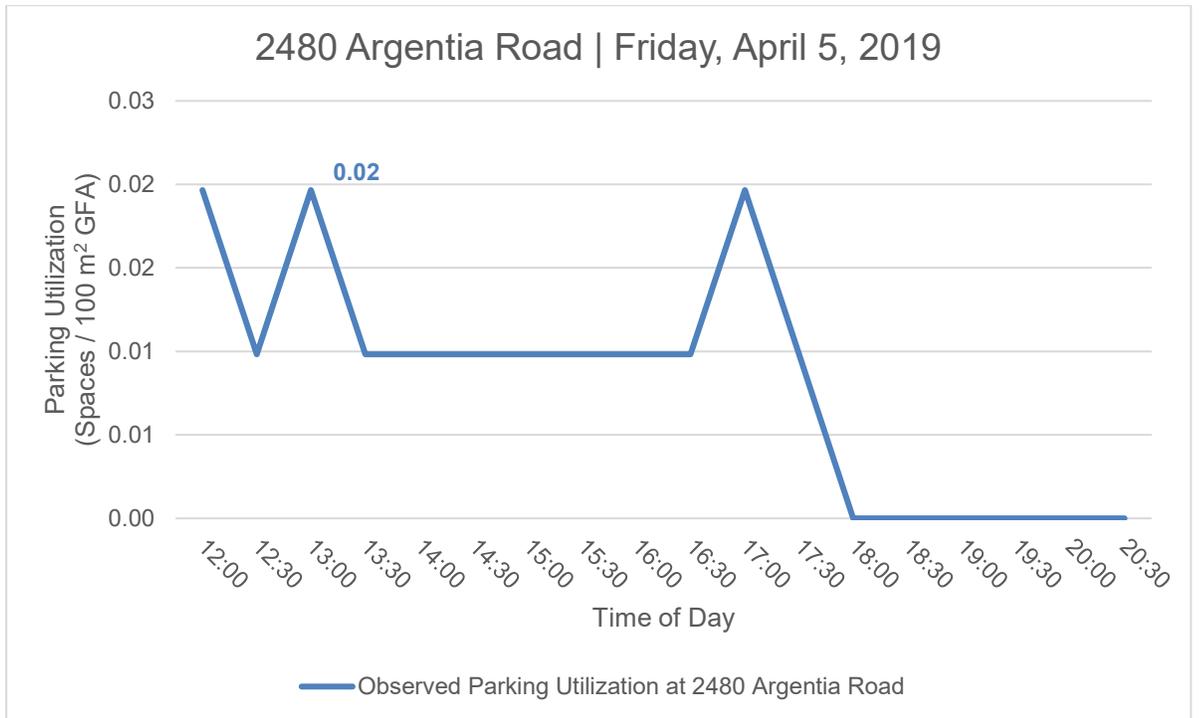
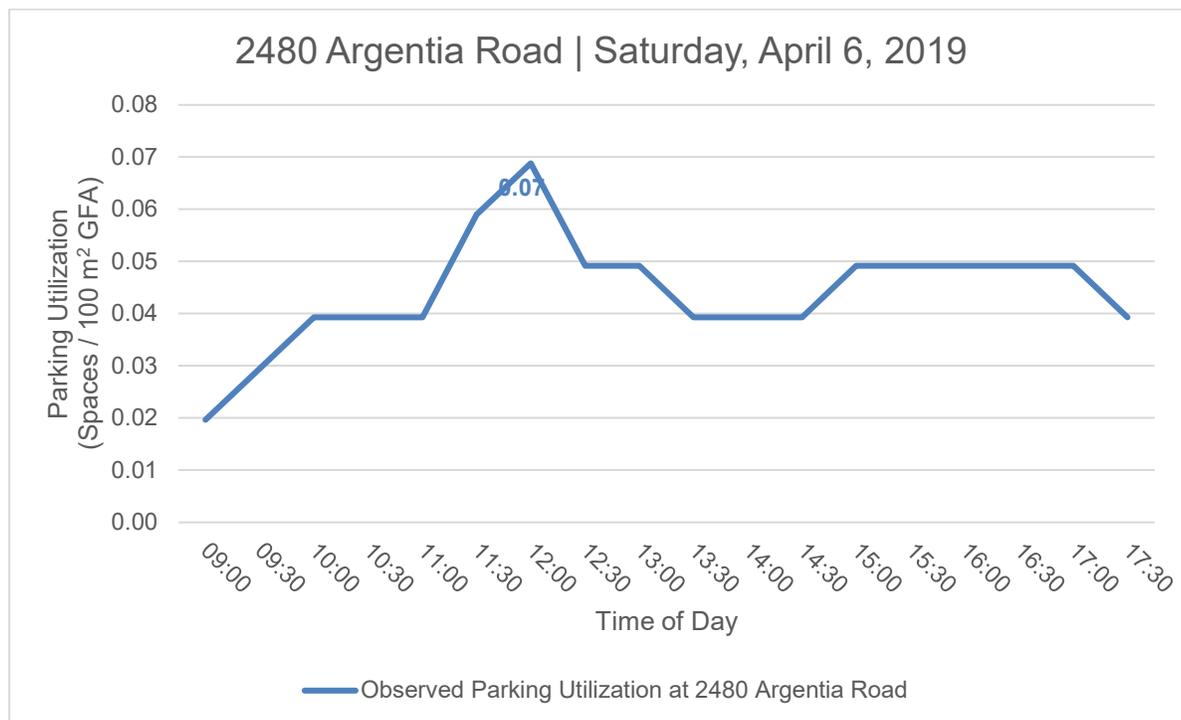


Exhibit 12: Observed Parking Utilization – 2480 Argentina Road, Mississauga – Saturday, April 6, 2019



As shown in **Exhibit 9** through **Exhibit 12**, peak parking utilization at 2480 Argentina Road was observed to be 0.07 spaces per 100 m² GFA, and occurred on Saturday, April 6, 2019, at approximately 12:00 p.m. Of the seven (7) vehicles parked in the parking area site at this time, four (4) were customer vehicles and three (3) were staff vehicles.

This level of utilization is below the 0.20 spaces per 100 m² GFA proposed parking supply at 8261 Highway 50, and well below the one (1) space per 100 m² GFA rate required by the ZBL and the 0.5 spaces per 100 m² GFA rate required by the CZBL.

Based on Vaultra’s experience and the parking demand and utilization seen at the proxy survey site in Mississauga the anticipated demand for the proposed self-storage is 0.07 spaces per 100 m² GFA. With the 26 parking spaces, the proposed parking supply rate for the self-storage facility will be 0.20 spaces per 100 m² of GFA which translates to nine (9) of the 26 proposed spaces being occupied at peak times (35% occupancy) as illustrated in **Exhibit 13**.

Exhibit 13: Anticipated Parking Demand in Peak Hours for the Proposed Self-Storage – 8261 Highway 50

LAND USE	SIZE (M ² GFA)	ANTICIPATED PARKING DEMAND RATE	ANTICIPATED PARKING DEMAND	PROPOSED PARKING SUPPLY RATE	PROPOSED PARKING SUPPLY	SURPLUS / DEFICIENCY (SPACES)	ANTICIPATED OCCUPANCY (%)
Self-Storage	12,833.51	0.07 spaces per 100.0 m ²	9	0.20 spaces per 100.0 m ²	26	+17	35%

5 Conclusion

A total of 26 parking spaces, of which two (2) are barrier-free, one (1) Type 'B' loading space and six (6) bicycle parking spaces are proposed for the self-storage facility on 8261 Highway 50. The proposed parking spaces include two (2) internal parking spaces to provide customers with smaller vehicles a covered loading and unloading area. However, the loading area and driveway have been designed to accommodate vehicle movement and parking for up to three (3) larger vehicles within the loading area if needed. Customers with units in the 1-storey self-storage buildings will also have direct access to their units from the laneways and can drive right up to their unit.

The ZBL requires that parking for self-storage facilities be provide at a rate of 1 space per 100 m² of GFA. In comparison, the new CZBL requires that parking for self-storage facilities be provided at a rate of 0.5 spaces per 100 m² of GFA. Based on the requirements of each Zoning By-law the proposed 12,832.51 m² GFA self-storage facility would require 129 spaces or 65 spaces respectively. A total of 26 parking spaces are proposed for the self-storage facility, which translates to a ratio of one (1) space per 494 m² or 0.20 spaces per 100 m².

As noted, on a typical day a self-storage facility will generally have less than 15 customer visits. These visits are spread throughout the day, with only a few occurring at the same time. A self-storage facility typically has only one (1) staff member on site at a time.

This report describes how the 26 parking spaces proposed for the self-storage facility, at a standard of one (1) parking space per 494 m² of GFA, are sufficient to meet anticipated customer and staff parking demand. The findings of the parking assessment are based on detailed land use and transportation research and analysis, proxy surveys conducted at existing self-storage facilities and Vaultra's extensive development and operational experience.

Based on Vaultra's experience and the parking demand and utilization seen at the proxy survey site in Mississauga, the proposed 26 parking spaces will more than adequately meet self-storage customer and employee demands.

As noted, Vaultra has managed over 120,000 m² of self-storage space for many years and has not recorded a single customer complaint regarding insufficient parking at any of its sites. Based on operational experience and industry standards, the proposed 26 parking spaces are more than adequate to serve the overall 12,832.51 m² of self-storage GFA.

We respectfully request that the City of Vaughan approve a parking standard of 1 space per 494 m² of GFA (or 0.20 spaces per 100 m² of GFA) for the proposed self-storage facility at 8261 Highway 50.

Appendix A – Detailed Site Plan

Appendix B – Parking Utilization Proxy Survey Results – 2480 Argentia Road

SCHEDULE D: BACKGROUND

None