

ITEM: 6.11	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A155/23
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Report Date: March 28, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Bell Canada	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
YCDSB	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Jordan Max (President SpringFarm Ratepayers Association)	N/A	01/17/2024	Advised home constructed
Public	Phyllis & Joseph Mastrofrancesco	77 Crestwood Road	01/22/2024	Letter of Objection
Public	Silvano and Paulette Novacco	83 Crestwood Road	01/30/2024	Letter of Objection
Public	Silvano and Paulette Novacco	83 Crestwood Road	03/25/2024	Letter of Objection

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
02/01/2024 (Adjourned to April 25, 2024, or sooner)	To permit time for the alignment of Royal Palm Drive to be confirmed following the Completion of the Municipal Class Environmental Assessment and/or until a Sightline Analysis can be provided to support a reduced access control distance and reviewed by Staff in detail.

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A155/23

CITY WARD #:	5
APPLICANT:	Victor Kwong-Yan Kam
AGENT:	Jonathan Sasso
PROPERTY:	0 Hilda Avenue, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2A(EN) – Second Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback is 7.5m. Section 7.2.3 Table 7-4	To permit a rear yard setback of 6.75m.
2	The maximum permitted encroachment for an uncovered platform at the rear is 2.4m into the required 7.5m rear yard. Section 4.13 Table 4-1	To permit an uncovered platform to encroach 2.77m into the required 7.5m rear yard.
3	Where a lot in a residential zone is subject to the zone suffix-EN the following requirements shall apply. The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone or b. The existing building height plus 3.0m but in no case shall the maximum building height requirement be less than 8.5m. Section 4.5.1	To permit a maximum building height of 11.0m.
4	For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5m in height, the minimum interior side yard shall be the greater (more restrictive) of: a. The requirement of the applicable zone, b. The existing interior side yard or c. 2.2m. Section 4.5.2	To permit a minimum interior side yard of 1.23m.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 4, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

HEARING INFORMATION

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	March 21, 2024
Date Applicant Confirmed Posting of Sign:	March 19, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

On January 17, 2024, Development Planning provided the following:

The Development Planning Department has had many internal discussions regarding Minor Variance Application, A155/23 – 0 Hilda Avenue. While we recognize IPCAM has concerns with the proposal, Development Planning must analyze the proposal with respect to the variances requested and how they align with the 4 tests for minor variance. The requested variances do not adversely impact Zoning By-law 001-2021, and the general intent and purpose of the Vaughan Official Plan 2010 and the Yonge-Steeles Corridor Secondary Plan. IPCAM's concerns relate to technical matters concerning the driveway entrance placement to a yet-undesigned intersection and proximity of built form to a future anticipated sight triangle. The City of Vaughan initiated a Municipal Class Environmental Assessment (Class EA) study in June 2023 to assess multiple transportation projects that were identified as part of the Yonge-Steeles Corridor Secondary Plan, including the proposed extensions of Royal Palm Drive, from Hilda Avenue to Yonge Street, and Powell Road, from Pinewood Drive to Steeles Avenue West. The City is undertaking this Class EA study to complete the planning and preliminary design of these proposed transportation improvements, as recommended in the Yonge-Steeles Corridor Secondary Plan. As the Class EA study is still underway with estimated completion in December 2024, with draft recommendations anticipated by March 2024, the ultimate alignment of Royal Palm Drive cannot be confirmed at this time. However, staff can confirm that the dwelling's proposed footprint does not occupy the portion of the Subject Lands where the approximate location of the Royal Palm Drive extension is shown within the Yonge-Steeles Corridor Secondary Plan.

Staff have advised the applicant that since the ultimate alignment of the Royal Palm Drive extension has not been confirmed at this time, amendments to the proposal may be required once the results of the Class EA are known. An approval obtained from the Committee of Adjustment is tied to the building envelope shown in the plans and drawings attached to its decision. Making any changes to the proposal/development after Committee's decision may impact the validity of Committee's decision and may require a new variance application. The Owner has elected to proceed in light of the risks.

COMMITTEE OF ADJUSTMENT

On January 22, 2024, Development Engineering provided the following:

As mentioned before, the Yonge & Steeles Corridor Secondary Plan requires that Royal Palm Drive be extended to Hilda Avenue, generally aligned with Woodward Avenue and containing a right-of-way (ROW) of 24m. The Secondary Plan requires that land takings will be needed to secure the future ROW, subject to the outcome of a future Environmental Assessment (EA). In the absence of the completed EA, to be consistent with the Secondary Plan and Vaughan Official Plan, the relevant portion of the lands of the subject site must be protected for the future Royal Palm Drive. As the future Royal Palm Drive will introduce a new intersection to Hilda Avenue, the proposed driveway location of the subject site should be reviewed for adequate spacing and safety.

Our Transportation Engineering team highly recommends the sightline analysis from the proposed driveway location is conducted prior to meeting the Committee of Adjustment to review if any safety measures should be provided with respect to oncoming traffic along Hilda Avenue and pedestrians. The scope of the sightline analysis can be discussed with Transportation Engineering staff.

At the February 1, 2024, hearing, the Committee of adjourned the application to April 25, 2024, or sooner, to permit time for the alignment of Royal Palm Drive to be confirmed following the Completion of the Municipal Class Environmental Assessment and/or until a Sightline Analysis can be provided to support a reduced access control distance and reviewed by Staff in detail.

On March 7, 2024, the applicant provided:

As an update, we just wrapped up our meeting with Development Engineering (Traffic) respecting the above noted application in which they provided additional information related to the proposed alignment of the future Royal Palm extension. As expected, the alignment reflects the schedule in the Yonge Steeles Corridor Secondary Plan which the proposed development was purposefully designed to protect for. Based on this confirmation, we would like to proceed to the next available Committee of Adjustment Hearing to have the matter decided. While Dev. Eng. is requesting a sightline analysis be undertaken to confirm that the proposed location of the driveway provides for safe access and traffic movement, we object to this requirement and will not be submitting any new or additional information to the Committee for consideration.

As you are aware, the proposed driveway access has been shifted as north as possible in order to protect for the Royal Palm extension and it is the only feasible location for it (the driveway access) given the location of the existing Bell Utility Box. The driveway provides for approximately 8.88 metres of separation distance from the edge of the proposed 10 x 10 daylight triangle which is more than sufficient to ensure safe traffic operations; there are numerous examples of other major collector to minor collector intersections within the City that establish much closer driveways. The effect of not approving the driveway in its current proposed location would sterilize the development of the property for residential purposes (as it is currently zoned), remove as-of-right land use entitlements to construct a single detach residential dwelling, and require the City to expropriate the entirety of the site.

Committee of Adjustment Recommended Conditions of Approval:	Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the February 1, 2024, Committee of Adjustment hearing, if required.
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under review.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

**Application under review.

Development Engineering Recommended Conditions of Approval:	TBD
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval: None

DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval: None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval: None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval: None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval: None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Committee of Adjustment cofa@vaughan.ca	Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the February 1, 2024, Committee of Adjustment hearing, if required.
2	Development Engineering jonal.hall@vaughan.ca	TBD
3	Development Planning Joshua.cipolletta@vaughan.ca Alyssa.pangilinan@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

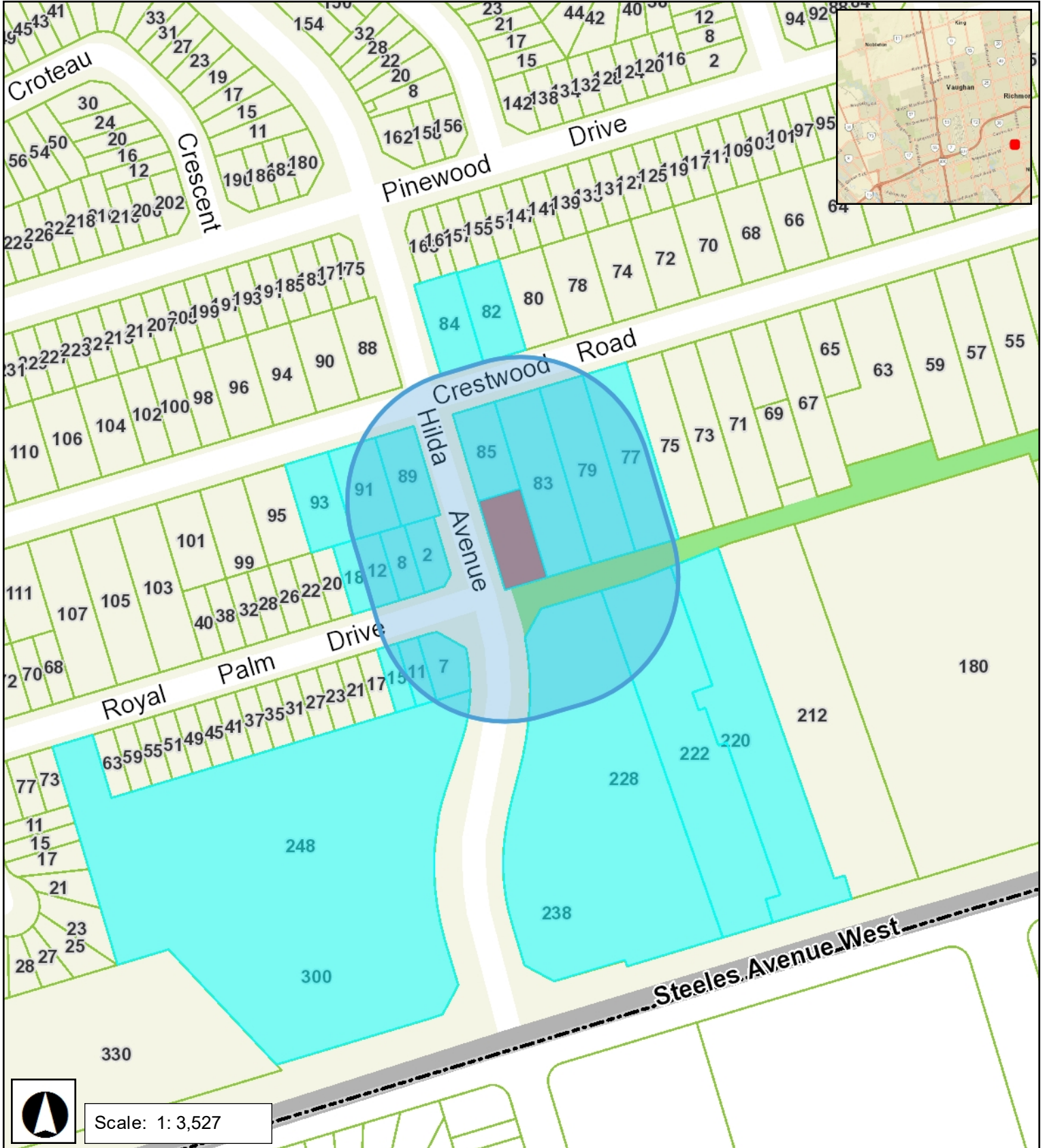
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



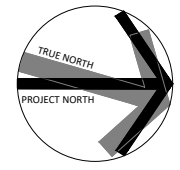
ZONING PROVISION R2A (EN)			
	REQUIRED	PROVIDED	BY-LAW 001-2021
MIN. LOT FRONTAGE	15m	45.74m	7.2.3 (TABLE 7-4)
MIN. LOT AREA	450m ²	989.92m ²	7.2.3 (TABLE 7-4)
MAX. LOT COVERAGE	543.17m ² (5846ft ²) (384m ² @55%)	138.29m ² (1488ft ²) (13.97%)	7.2.3 (TABLE 7-4)
MIN. FRONT YARD SETBACK	4.5m	4.50m	7.2.3 (TABLE 7-4)
MIN. GARAGE SETBACK	5.7m	5.70m	
MIN. INTERIOR SIDE YARD SETBACK (NORTH)	2.4m	1.23m	7.2.3 (TABLE 7-4)
MIN. INTERIOR SIDE YARD SETBACK (SOUTH)	2.4m	30.80m	
MIN. REAR YARD SETBACK	7.5m	6.75m	
MAX. BUILDING HEIGHT	8.5m	11.00m	
MIN. PARKING SPACES	2	4	6.3.5 (TABLE 6-2)
MIN. DRIVEWAY WIDTH	2.6m	6.05m	6.7.3 (TABLE 6-11)
MAX. DRIVEWAY WIDTH	9.0m	6.05m	6.7.3 (TABLE 6-11)

ZONING MATRIX			
PERMITTED ENCROACHMENTS INTO A MIN. REQUIRED YARD			
	REQUIRED	PROVIDED	BY-LAW 001-2021
BALCONY	1.5m	1.22m	4.13 (TABLE 4-1)
ACCESS STAIRS, OPEN, UNENCLOSED (FRONT YARD AND REAR YARD)	1.8m	1.78m	4.13 (TABLE 4-1)
SOFT LANDSCAPING			
	REQUIRED	PROVIDED	BY-LAW 001-2021
THE YARD IN WHICH A DRIVEWAY IS LOCATED	MIN. LANDSCAPE 50% OF WHICH 60% SHALL BE SOFT LANDSCAPING	FRONT YARD AREA = 249.28m ²	4.19.1.2b
		LANDSCAPED AREA = 210.65m ² (84.50%)	
		SOFT LANDSCAPED AREA = 197.45m ² (93.73% OF LANDSCAPED AREA)	

MINOR VARIANCE			
	REQUIRED	PROPOSED	MINOR VARIANCE REQ.
1 REAR YARD SETBACK	MIN. 7.5m	6.75m	YES
2 REAR YARD ENCROACHMENT	MAX. 2.4m	2.77m	YES
3 BUILDING HEIGHT	MAX. 8.5m	11.00m	YES
4 SIDE YARD SETBACK	MIN. 2.4m	1.2m	YES

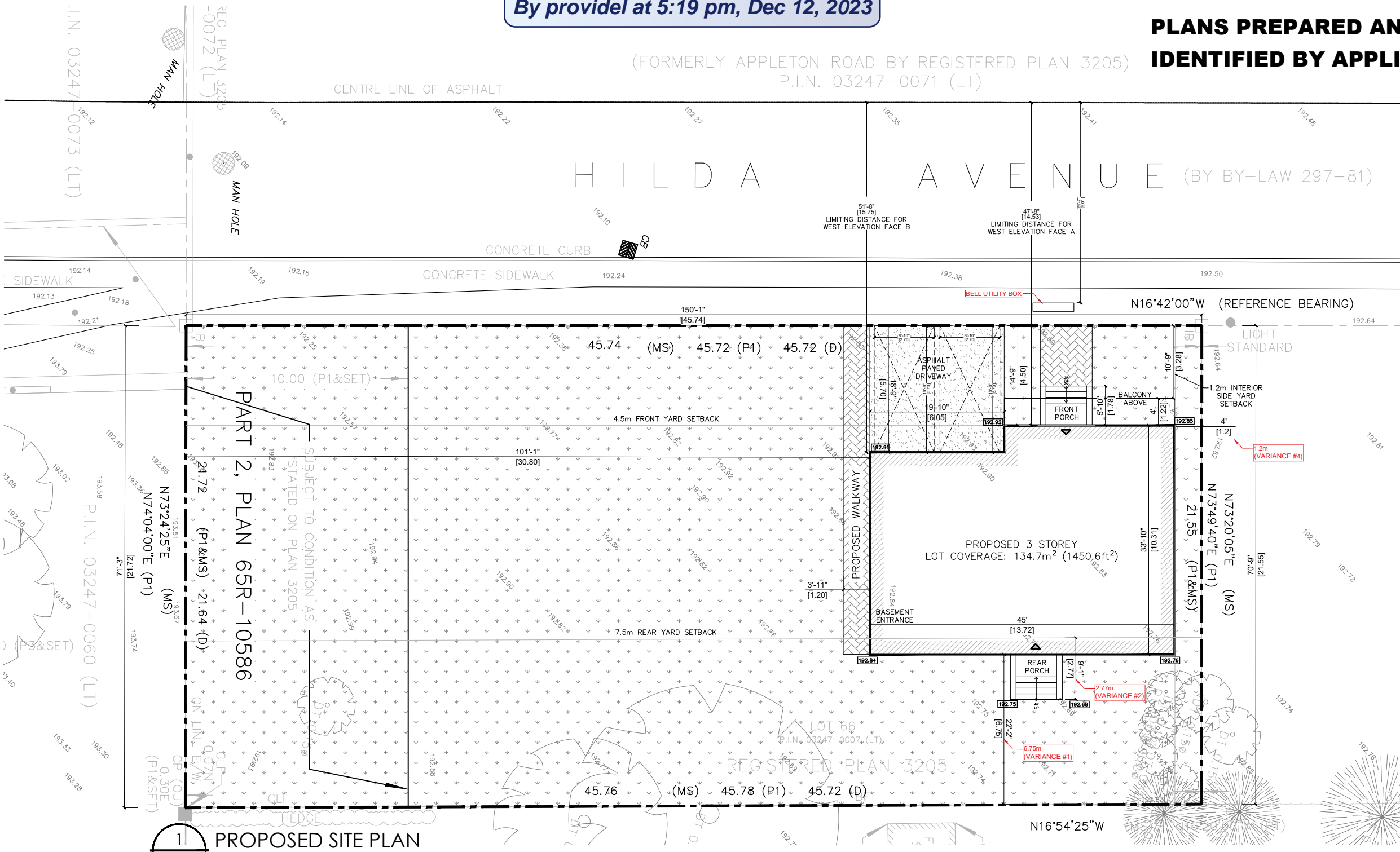
LEGEND	
	PROPERTY LINE
	ASPHALT DRIVEWAY
	LANDSCAPED SOFT AREA
	PAVER WALKWAY
	BUILDING ENTRANCE

RECEIVED
By providel at 5:19 pm, Dec 12, 2023



PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

(FORMERLY APPLETON ROAD BY REGISTERED PLAN 3205)
P.I.N. 03247-0071 (LT)



A155/23

NO.	ISSUED FOR	DATE
8	FOR MINOR VARIANCE	12/11/2023
7	FOR MINOR VARIANCE	12/05/2023
6	FOR MINOR VARIANCE	11/23/2023
5	CLIENT REVIEW	11/13/2023
4	CLIENT REVIEW	11/11/2023
3	CLIENT REVIEW	10/24/2023
2	CLIENT REVIEW	08/22/2023
1	CLIENT REVIEW	01/08/2023

PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuldex@gmail.com

PROJECT INFO:
**85 CRESTWOOD RD,
VAUGHAN, ON L4J 1A4**

PROJECT NAME:
**PROPOSED 3 STOREY
DETACHED DWELLING UNIT**

DRAWING TITLE:
PROPOSED SITE PLAN

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-00
CHECKED BY:	
PROJECT NO.:	

1 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

ZONING PROVISION R2A (EN)			
	REQUIRED	PROVIDED	BY-LAW 001-2021
MIN. LOT FRONTAGE	15m	45.74m	7.2.3 (TABLE 7-4)
MIN. LOT AREA	450m ²	989.92m ²	7.2.3 (TABLE 7-4)
MAX. LOT COVERAGE	543.17m ² (5846ft ²) (384m ² @55%)	138.29m ² (1488ft ²) (13.97%)	7.2.3 (TABLE 7-4)
MIN. FRONT YARD SETBACK	4.5m	4.50m	7.2.3 (TABLE 7-4)
MIN. GARAGE SETBACK	5.7m	5.70m	
MIN. INTERIOR SIDE YARD SETBACK (NORTH)	2.4m	1.20m	7.2.3 (TABLE 7-4)
MIN. INTERIOR SIDE YARD SETBACK (SOUTH)	2.4m	30.80m	
MIN. REAR YARD SETBACK	7.5m	6.75m	
MAX. BUILDING HEIGHT	8.5m	11.00m	
MIN. PARKING SPACES	2	4	6.3.5 (TABLE 6-2)
MIN. DRIVEWAY WIDTH	2.6m	6.05m	6.7.3 (TABLE 6-11)
MAX. DRIVEWAY WIDTH	9.0m	6.05m	6.7.3 (TABLE 6-11)

ZONING MATRIX			
PERMITTED ENCROACHMENTS INTO A MIN. REQUIRED YARD			
	REQUIRED	PROVIDED	BY-LAW 001-2021
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LEGEND	
	PROPERTY LINE
	ASPHALT DRIVEWAY
	LANDSCAPED SOFT AREA
	PAVER WALKWAY
	BUILDING ENTRANCE

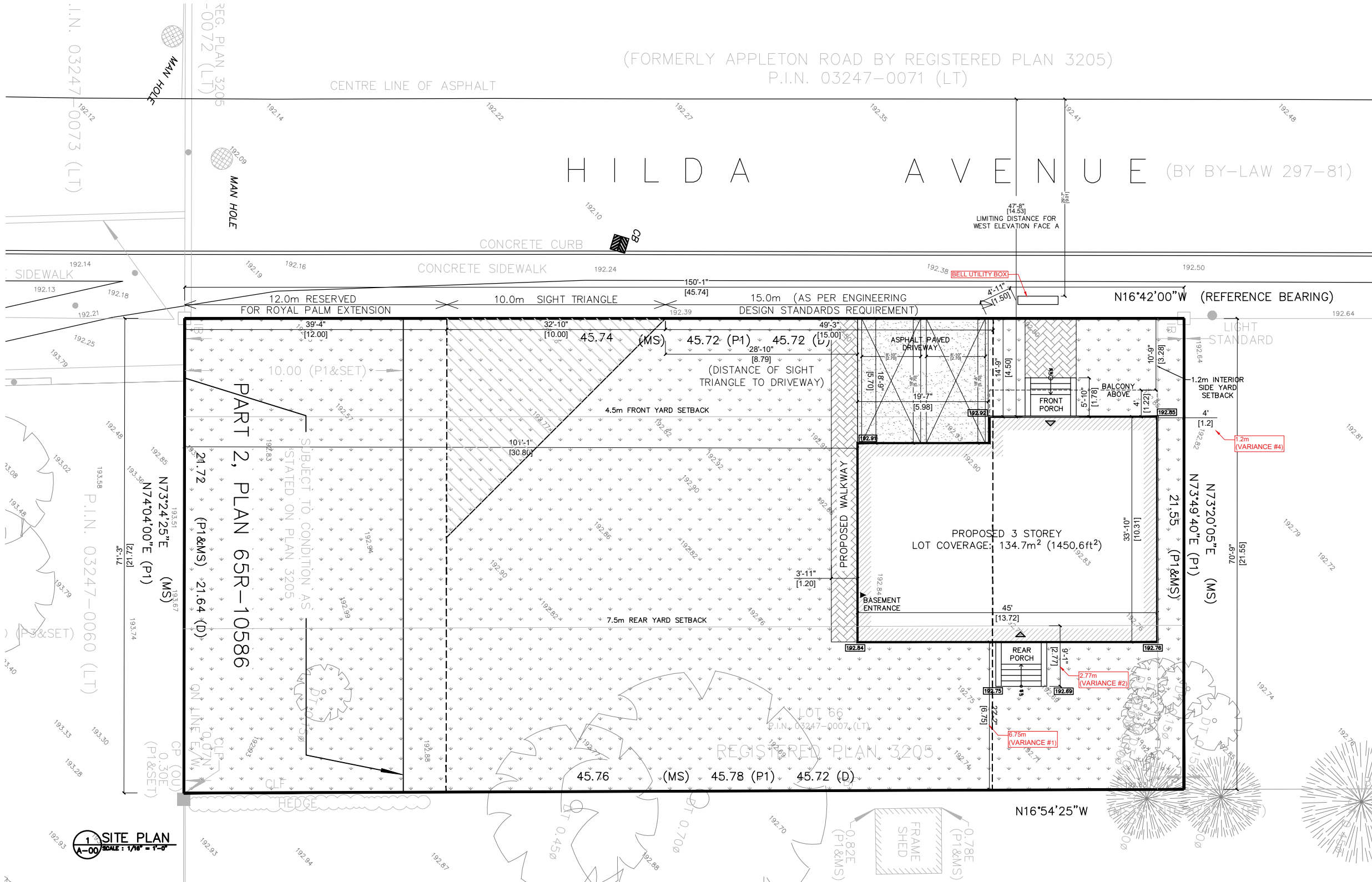
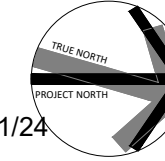
DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

Received 01/15/24

**Not reviewed by zoning provided by Development Engineering on 02/01/24



NO.	ISSUED FOR	DATE
9	CLIENT REVIEW	01/15/2023
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PREPARED BY:

LAND & BUILDING EXPERTS

570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildx@gmail.com

PROJECT INFO:

**85 CRESTWOOD RD,
VAUGHAN, ON L4J 1A4**

PROJECT NAME:

**PROPOSED 3 STOREY
DETACHED DWELLING UNIT**

DRAWING TITLE:

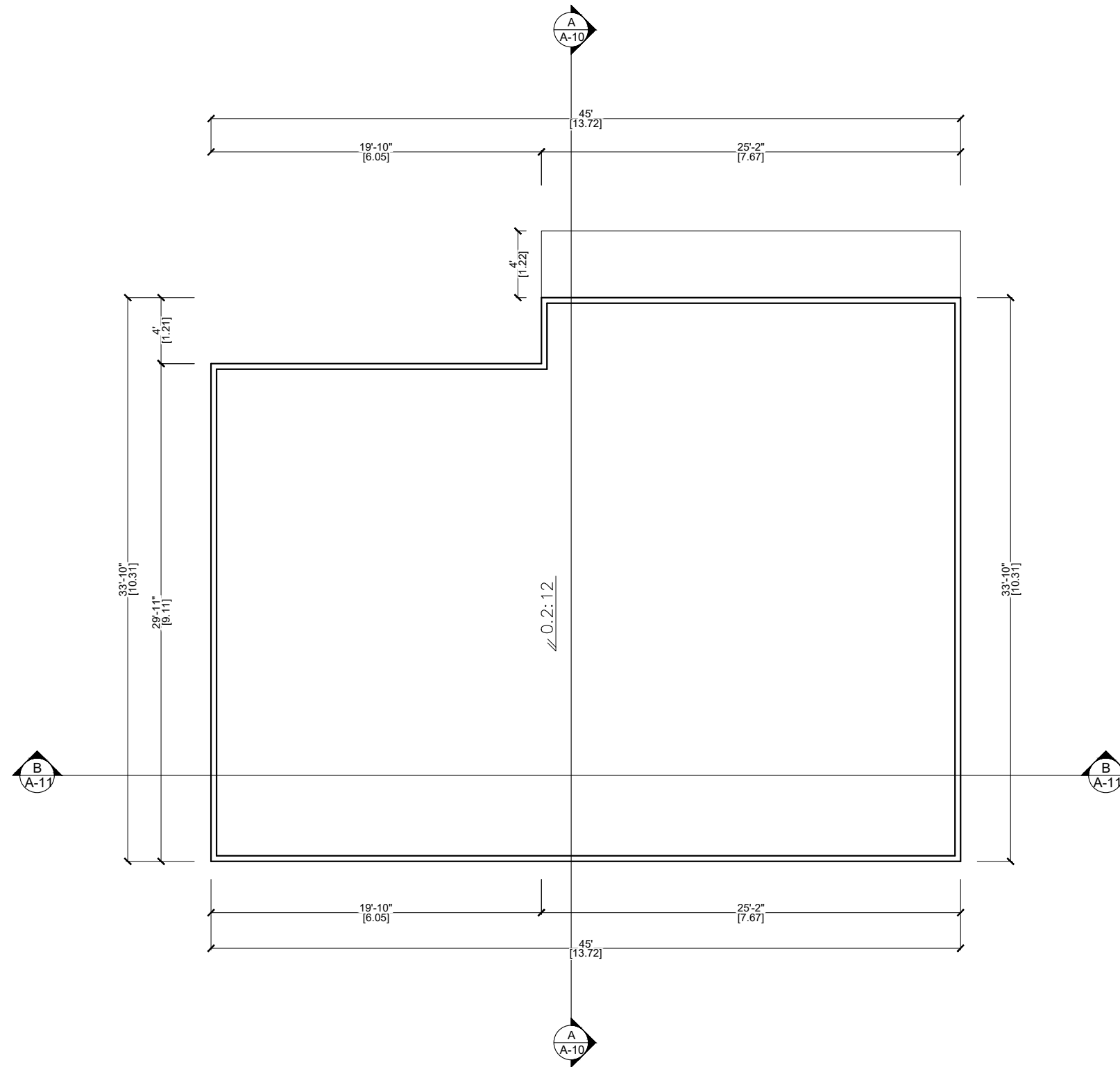
SITE PLAN

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-00
CHECKED BY:	
PROJECT NO.:	

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**85 CRESTWOOD RD,
VAUGHAN, ON L4J 1A4**

PROJECT NAME:

**PROPOSED 3 STOREY
DETACHED DWELLING UNIT**

DRAWING TITLE:

**PROPOSED
ROOF PLAN**

SCALE AS INDICATED

DWG. NO.

DRAWN BY:

A-05

CHECKED BY:

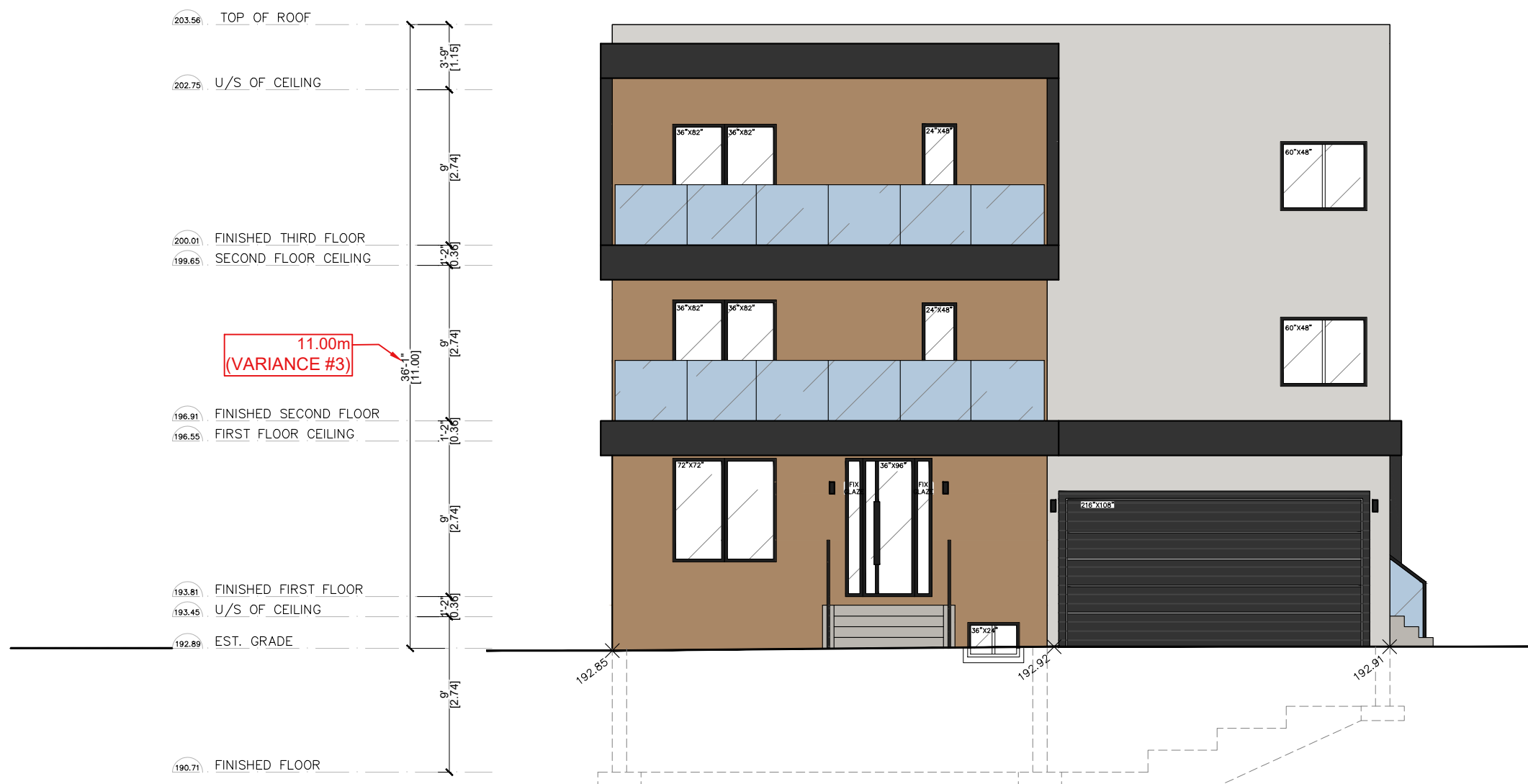
PROJECT NO.:

1 PROPOSED ROOF PLAN
A-05 SCALE : 1/8" = 1'-0"

DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.



8	FOR MINOR VARIANCE	12/11/2023
7	FOR MINOR VARIANCE	12/05/2023
6	FOR MINOR VARIANCE	11/23/2023
5	CLIENT REVIEW	11/13/2023
4	CLIENT REVIEW	11/11/2023
3	CLIENT REVIEW	10/24/2023
2	CLIENT REVIEW	08/22/2023
1	CLIENT REVIEW	01/08/2023
NO.	ISSUED FOR	DATE

PREPARED BY:
LAND & BUILDING EXPERTS
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
 (647) 340-8649 landbuldex@gmail.com

PROJECT INFO:
**85 CRESTWOOD RD,
 VAUGHAN, ON L4J 1A4**

PROJECT NAME:
**PROPOSED 3 STOREY
 DETACHED DWELLING UNIT**

DRAWING TITLE:
**PROPOSED FRONT
 ELEVATION**

SCALE AS INDICATED
 DRAWN BY:
 CHECKED BY:
 PROJECT NO.:

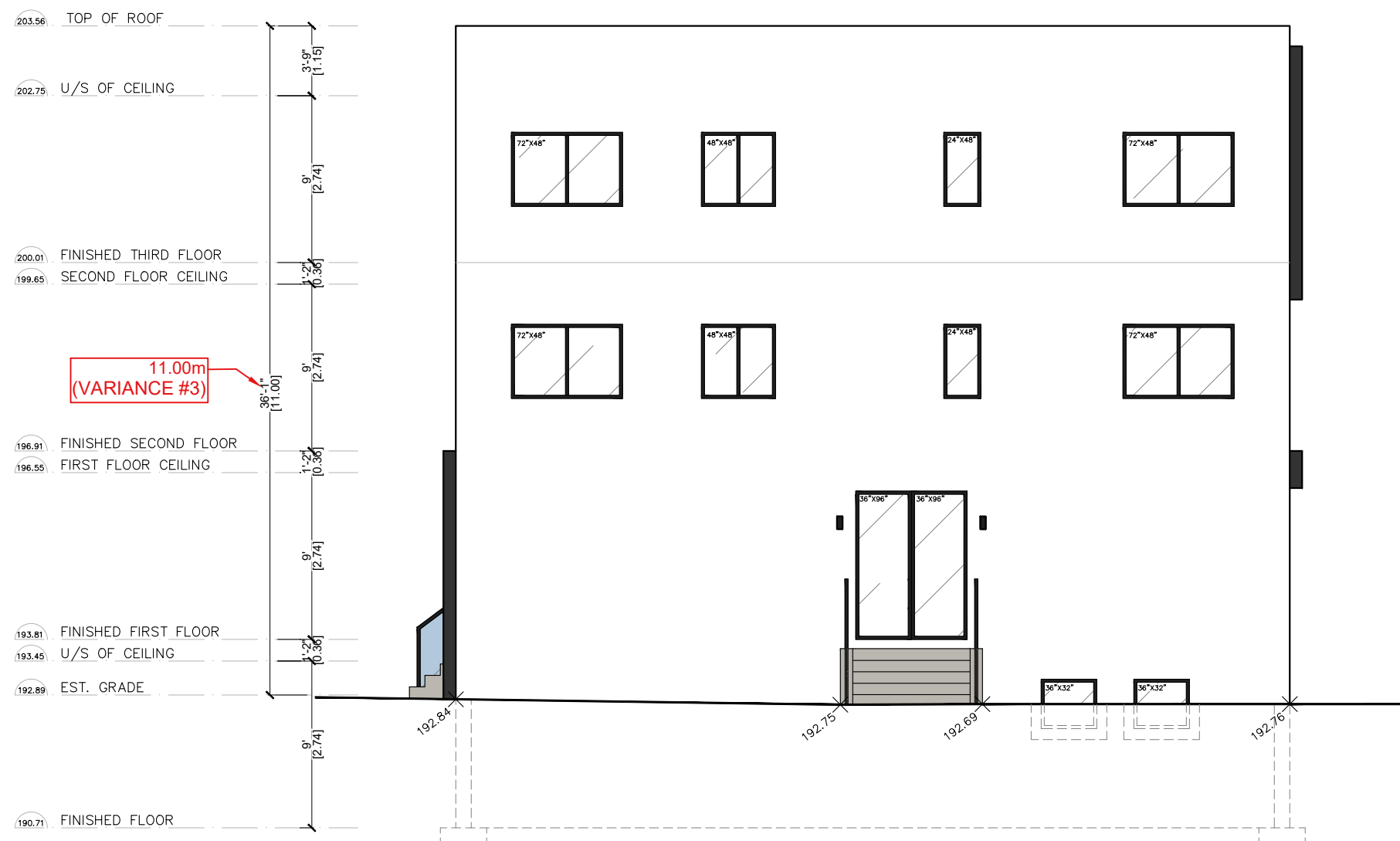
DWG. NO.
A-06

1 PROPOSED FRONT ELEVATION
 A-06 SCALE : 1/8" = 1'-0"

DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

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8	FOR MINOR VARIANCE	12/11/2023
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2	CLIENT REVIEW	08/22/2023
1	CLIENT REVIEW	01/08/2023
NO.	ISSUED FOR	DATE

PREPARED BY:
LAND & BUILDING EXPERTS
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
 (647) 340-8649 landbulldex@gmail.com

PROJECT INFO:
**85 CRESTWOOD RD,
 VAUGHAN, ON L4J 1A4**

PROJECT NAME:
**PROPOSED 3 STOREY
 DETACHED DWELLING UNIT**

DRAWING TITLE:
**PROPOSED
 REAR ELEVATION**

SCALE AS INDICATED
 DRAWN BY:
 CHECKED BY:
 PROJECT NO.:

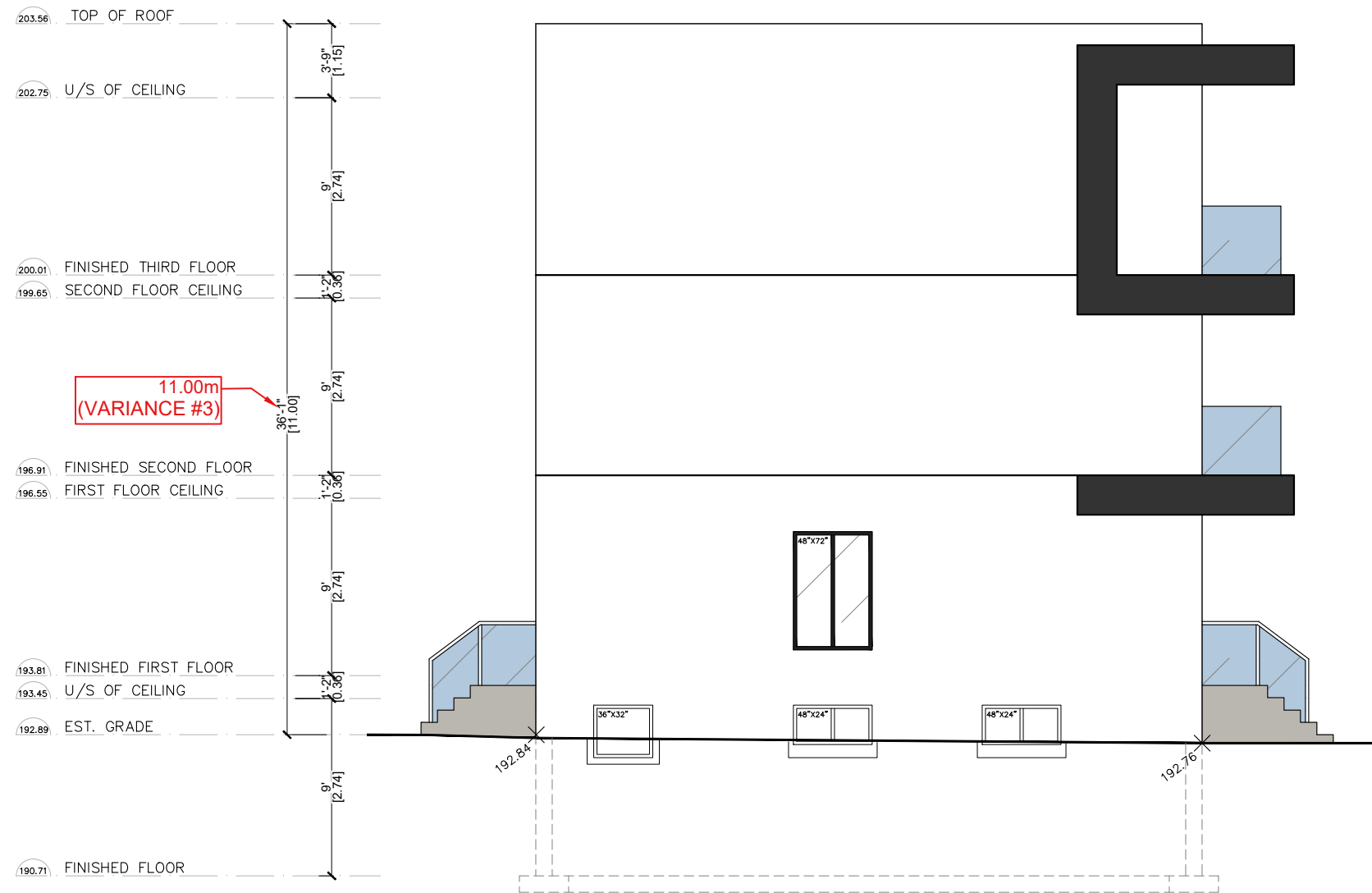
DWG. NO.
A-07

1 PROPOSED REAR ELEVATION
 A-07 SCALE : 1/8" = 1'-0"

DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.



NO.	ISSUED FOR	DATE
8	FOR MINOR VARIANCE	12/11/2023
7	FOR MINOR VARIANCE	12/05/2023
6	FOR MINOR VARIANCE	11/23/2023
5	CLIENT REVIEW	11/13/2023
4	CLIENT REVIEW	11/11/2023
3	CLIENT REVIEW	10/24/2023
2	CLIENT REVIEW	08/22/2023
1	CLIENT REVIEW	01/08/2023

PREPARED BY:
LAND & BUILDING EXPERTS
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
 (647) 340-8649 landbulldex@gmail.com

PROJECT INFO:
**85 CRESTWOOD RD,
 VAUGHAN, ON L4J 1A4**

PROJECT NAME:
**PROPOSED 3 STOREY
 DETACHED DWELLING UNIT**

DRAWING TITLE:
**PROPOSED
 SOUTH ELEVATION**

SCALE AS INDICATED
 DRAWN BY:
 CHECKED BY:
 PROJECT NO.:

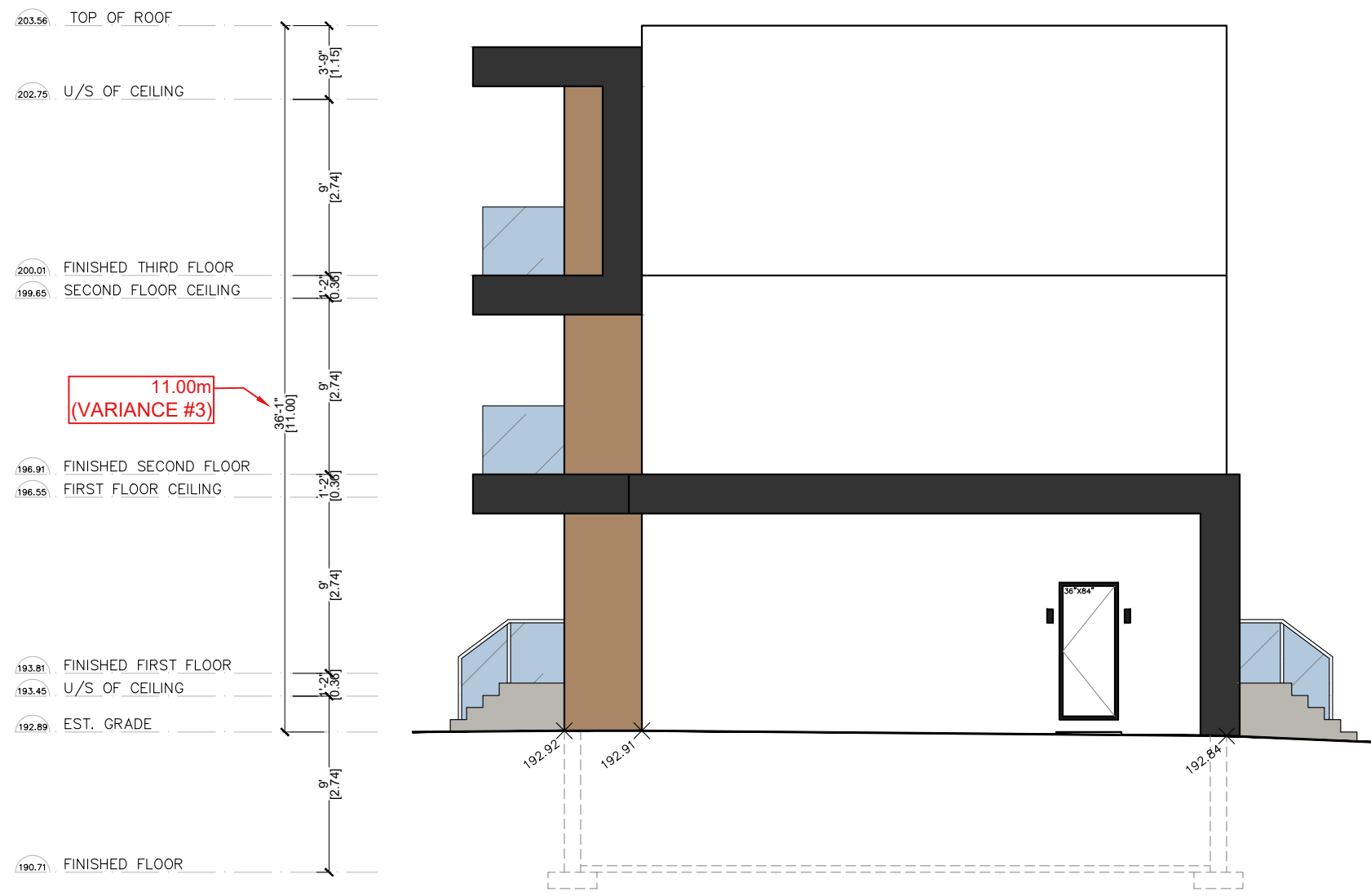
DWG. NO.
A-08

1 PROPOSED NORTH ELEVATION
 A-08 SCALE : 1/8" = 1'-0"

DO NOT SCALE DRAWINGS.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

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8	FOR MINOR VARIANCE	12/11/2023
7	FOR MINOR VARIANCE	12/05/2023
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5	CLIENT REVIEW	11/13/2023
4	CLIENT REVIEW	11/11/2023
3	CLIENT REVIEW	10/24/2023
2	CLIENT REVIEW	08/22/2023
1	CLIENT REVIEW	01/08/2023
NO.	ISSUED FOR	DATE

PREPARED BY:
LAND & BUILDING EXPERTS
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
 (647) 340-8649 landbuldex@gmail.com

PROJECT INFO:
**85 CRESTWOOD RD,
 VAUGHAN, ON L4J 1A4**

PROJECT NAME:
**PROPOSED 3 STOREY
 DETACHED DWELLING UNIT**

DRAWING TITLE:
**PROPOSED
 NORTH ELEVATION**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-09
CHECKED BY:	
PROJECT NO.:	

1 PROPOSED SOUTH ELEVATION
 A-09 SCALE : 1/8" = 1'-0"

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Bell Canada	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
YCDSB	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: November 23rd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A155-23**

Related Files:

Applicant Humphries Planning Group Inc.

Location 0 Hilda Ave



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

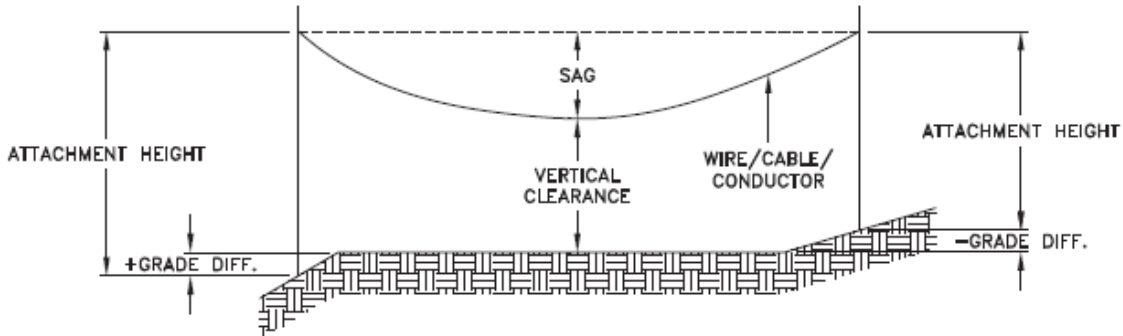
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

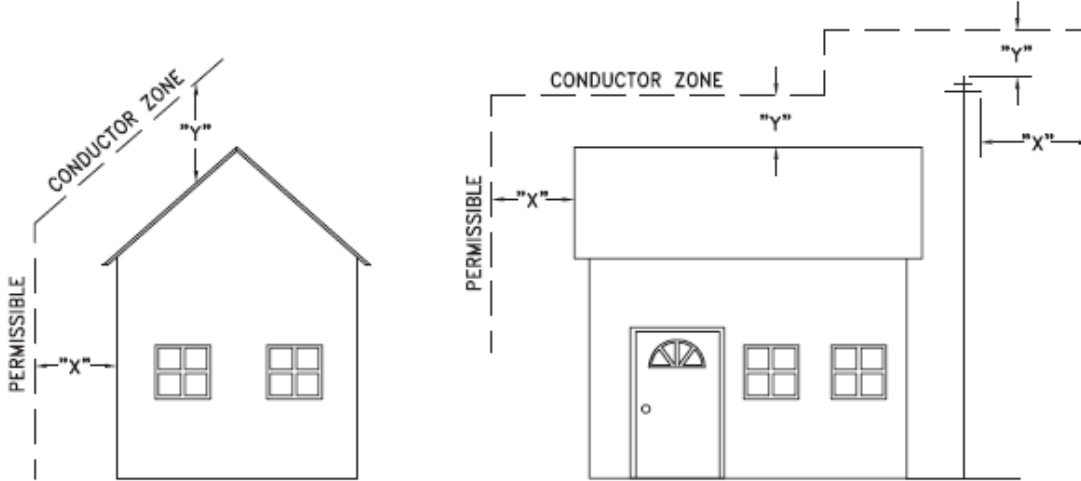
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

Bell Canada
FI-2, 140 Bayfield St.
Barrie, Ontario
L4M 3B1

Fax: 705-726-4600
Tel: 705-722-2244
E-mail: carrie.gordon@bell.ca



December 19, 2023

City of Vaughan
Office of the City Clerk
2141 Major Mackenzie Dr.
Vaughan, ON L6A 1T1

Attention: Pravina Attwala <Pravina.Attwala@vaughan.ca> – email only

Dear Pravina:

Subject: Minor Variance Application
85 Crestwood Road
CofA File: A155/23 **Bell File: 905-23-454**

Upon review of the proposed Minor Variance application, Bell Canada engineering confirms that there are existing installations over the subject lands noted above, directly adjacent to the proposed driveway for the new residence. Due to the proximity, Bell Canada requests a 1.5m (5 foot) clearance to provide buffer and sufficient protection for the equipment.

If there are any questions or concerns, please do not hesitate to call.

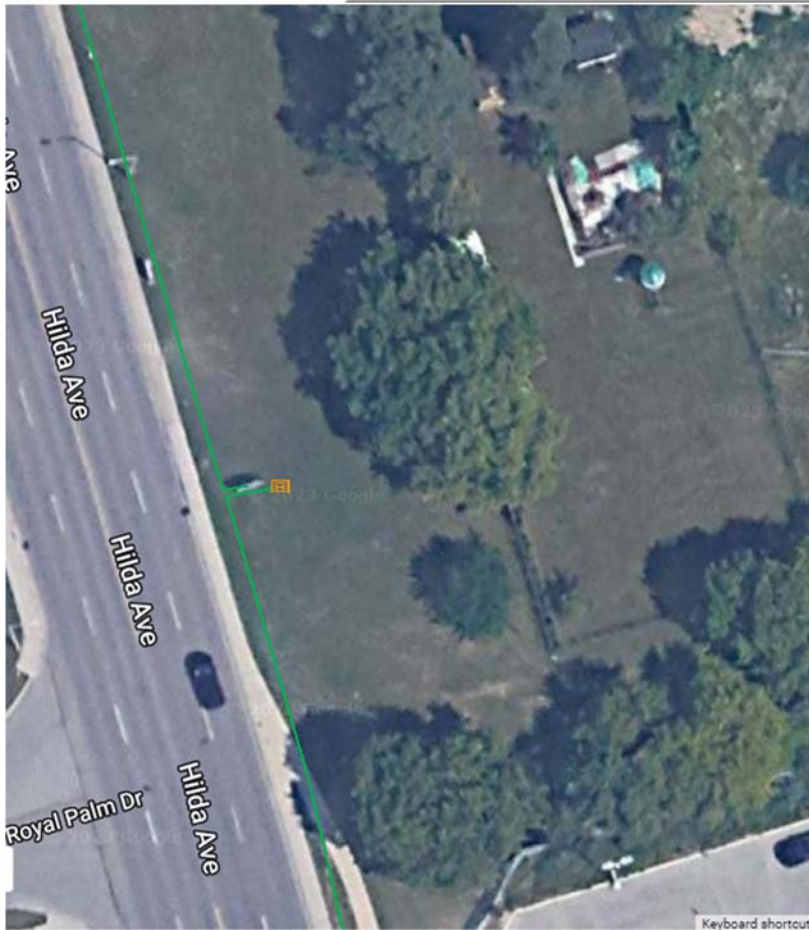
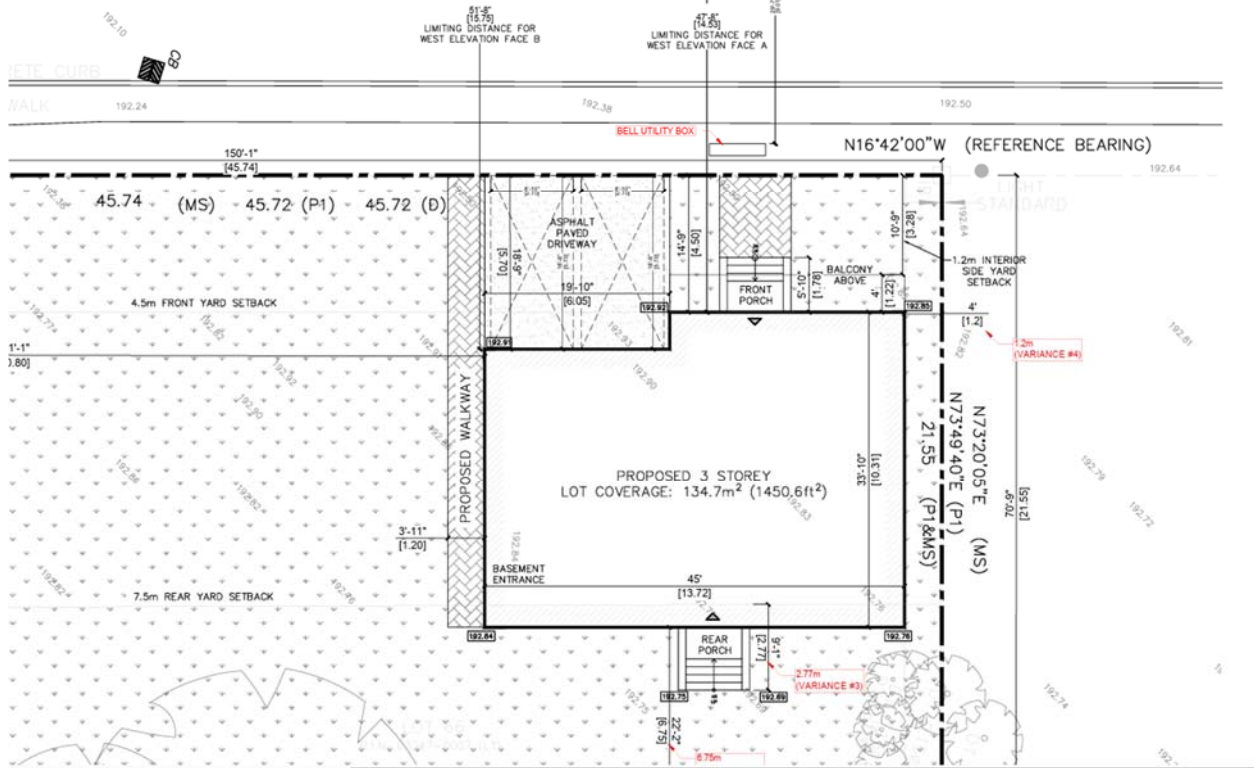
Yours truly,

A handwritten signature in blue ink that reads "Carrie Gordon".

Carrie Gordon
Right of Way Associate



HILDA AVENUE (BY BY-LAW 297-81)



To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: December 13, 2023
Applicant: Humphries Planning Group Inc.
Location: 0 Hilda Avenue
 PLAN RP3205 Part of Lot 66
File No.(s): A155/23

Zoning Classification:

The subject lands are zoned R2A(EN) – Second Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback is 7.5m. Section 7.2.3 Table 7-4	To permit a rear yard setback of 6.75m.
2	The maximum permitted encroachment for an uncovered platform at the rear is 2.4m into the required 7.5m rear yard. Section 4.13 Table 4-1	To permit an uncovered platform to encroach 2.77m into the required 7.5m rear yard.
3	Where a lot in a residential zone is subject to the zone suffix-EN the following requirements shall apply. The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone or b. The existing building height plus 3.0m but in no case shall the maximum building height requirement be less than 8.5m. Section 4.5.1	To permit a maximum building height of 11.0m.
4	For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5m in height, the minimum interior side yard shall be the greater (more restrictive) of: a. The requirement of the applicable zone, b. The existing interior side yard or c. 2.2m. Section 4.5.2	To permit a minimum interior side yard of 1.23m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Height shall be measured in accordance with the definitions in Section 3.0 DEFINITIONS of By-law 001-2021, as amended.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Lenore Providence

Subject: FW: [External] RE: A155/23 (85 Crestwood Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>

Sent: November-21-23 2:10 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A155/23 (85 Crestwood Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 85 Crestwood Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Lenore Providence

From: Karyn McAlpine-Tran <karyn.mcalpine-tran@ycdsb.ca>
Sent: November-21-23 1:41 PM
To: Committee of Adjustment
Subject: [External] Request for comments - A155/23 (85 Crestwood Road)

Hello,

Thank you for the opportunity to review the above referenced Committee of Adjustment application. Staff have reviewed the material provided and have no comments or objections.

Thank you,
Karyn

Karyn McAlpine-Tran
Senior Planner
Planning Services

York Catholic District School Board
320 Bloomington Road West
Aurora, ON L4G 0M1

Phone: 905-713-1211 ext.12329
Email: karyn.mcalpine-tran@ycdsb.ca

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In an effort to be environmentally friendly, please do not print unless required for hard copy record

Prabhdeep Kaur

From: Development Services <developmentsservices@york.ca>
Sent: Monday, December 18, 2023 11:50 AM
To: Lenore Providence
Cc: Committee of Adjustment
Subject: [External] RE: A155/23 (85 Crestwood Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A155/23 (85 Crestwood Road) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Jordan Max (President SpringFarm Ratepayers Association)	N/A	01/17/2024	Advised home constructed
Public	Phyllis & Joseph Mastrofrancesco	77 Crestwood Road	01/22/2024	Letter of Objection
Public	Silvano and Paulette Novacco	83 Crestwood Road	01/30/2024	Letter of Objection
Public	Silvano and Paulette Novacco	83 Crestwood Road	03/25/2024	Letter of Objection

Prabhdeep Kaur

From: Jordan Max [REDACTED] >
Sent: Wednesday, January 17, 2024 1:02 PM
To: Pravina Attwala
Cc: Committee of Adjustment
Subject: [External] Re: A155/23 (85 CRESTWOOD ROAD) Public Notice (Development Application)

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

FYI this house is already under construction and its walls and windows are sealed. I walk by this site almost every day.

Jordan Max
President SpringFarm Ratepayers Association

From: [REDACTED]
To: [Committee of Adjustment](#)
Subject: [External] Committee of Adjustment File155/23
Date: Monday, January 22, 2024 4:52:59 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Dear Sir or Madam,

With regards to Mr Victor Kwong Yan Kam notice to build on 0 Hilda Avenue we would like to object to the project for the following reasons.

There is no such address as 0 or any houses on Hilda Ave. It seems like he wants to change the bylaw to suit him. Also Hilda Avenue is a very busy street therefore one house shouldn't be permitted to be built considering the traffic. We feel that Mr Victor Kwong Yan Kam should wait for the development on Royal Palm to come through and build his house properly on Royal Palm or what ever street name east west the city decides.

Thanking you in advance.

Phyllis and Joseph Mastrofrancesco
77 Crestwood Rd, Thornhill
L4J 1A4

[REDACTED]

From: [Committee of](#)
To: [Adjustment](#)
Subject: [External] File No. A155/23 0 Hilda Avenue
Date: Tuesday, January 30, 2024 12:03:53 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

We stand opposed to this application for the following reasons:

There are four variances requested. The building size could easily be adjusted to stay within the bylaw requirements without compromising the overall design. One variance request regarding the interior side yard is contingent upon approval of a variance request for a building height of 11.0m. This is a three-storey building with 9'0" ceilings on all levels. Can this be adjusted to stay within requirements and thereby allow an inside yard of 1.22m? With regard to the rear yard, I would not consider .75m a minor variance.

The biggest issue is allowing a residential driveway onto Hilda Avenue. If granted, this would be the only residential driveway on Hilda Avenue. Hilda Avenue was designed by the City as a major thoroughway. There is already safety concerns for pedestrians with the speed and volume of traffic and a sidewalk right next to the curb. When there is a red light, vehicles are lined up all the way to Royal Palm Drive. Now there will be an additional safety issue of having vehicles backing out onto Hilda Avenue.

There will be an extension of Royal Palm Drive in the future. These back properties were always intended to face this new street with the side yard on Hilda Avenue.

Silvano and Paulette Novacco
83 Crestwood Road

Sent from [Mail](#) for Windows

From:
To: [Committee of Adjustment](#)
Subject: [External] A155/23
Date: Monday, March 25, 2024 9:24:03 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

I am resending my comments I sent in for the previous Committee of Adjustments hearing on the above file. They did not get included in the list of homeowners who opposed the application.

We stand opposed to this application for the following reasons:

There are four variances requested. The building size could easily be adjusted to stay within the bylaw requirements without compromising the overall design. One variance request regarding the interior side yard is contingent upon approval of a variance request for a building height of 11.0m. This is a three-storey building with 9'0" ceilings on all levels. Can this be adjusted to stay within requirements and thereby allow an inside yard of 1.22m? With regard to the rear yard, I would not consider .75m a minor variance.

The biggest issue is allowing a residential driveway onto Hilda Avenue. If granted, this would be the only residential driveway on Hilda Avenue. Hilda Avenue was designed by the City as a major thoroughway. There is already safety concerns for pedestrians with the speed and volume of traffic and a sidewalk right next to the curb. When there is a red light, vehicles are lined up all the way to Royal Palm Drive. Now there will be an additional safety issue of having vehicles backing out onto Hilda Avenue.

There will be an extension of Royal Palm Drive in the future. These back properties were always intended to face this new street with the side yard on Hilda Avenue.

Silvano and Paulette Novacco
83 Crestwood Road

Sent from [Mail](#) for Windows

SCHEDULE D: BACKGROUND

None