

<b>ITEM: 6.4</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A018/24</b>
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Report Date: March 28, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A018/24

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	Sandro & Salvatore Romano
<b>AGENT:</b>	Stepan Sukiasyan
<b>PROPERTY:</b>	93 Rosshaven Crescent, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced front yard landscaping requirements.

The following variances have been requested from the City's Zoning By-law:

This application has been determined to be transitioned in accordance with Zoning By-law 011-2021, Subsection 1.6.2, 6. and therefore is subject to Zoning By-law 1-88, as amended, only.

**The subject lands are zoned RD3 – Residential Zone and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.**

Zoning By-law 1-88		Variance requested
1	The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than three (3) metres above finished grade. [Section 4.1.1, b) & Section 2.0 Definitions]	To permit an accessory building (cabana) with a maximum building height of 3.2 metres from the average finished ground level to the nearest part of the roof.
2	The minimum rear yard required is 7.5 metres. [Section 4.1.1, c) & Schedule "A3"]	To permit a minimum rear yard of 1.51 metres to an accessory building (cabana).
3	The minimum interior side yard required is 1.2 metres. [Section 4.1.1, c) & Schedule "A3"]	To permit a minimum interior side yard of 1.02 metres to an accessory building (cabana).
4	For lots with a Lot Frontage of 12.0 metres and greater shall be comprised of a Minimum of 50% Landscaped front yard. [4.1.4 f) v)(2)]	To permit a minimum of 41.2% (25.16 m <sup>2</sup> ) Landscaped front yard. *Variance increased from 31.1% (19.0 m <sup>2</sup> )
5	A minimum of sixty percent (60%) of the required Minimum Landscaped Front Yard shall be composed of soft landscaping. [4.1.2 a.]	To permit a minimum of 50.2% (12.62 m <sup>2</sup> ) of the required Minimum Landscaped Front Yard to be composed of soft landscaping. *Variance increased from 18.6% (3.53 m <sup>2</sup> )

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, April 4, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

## HEARING INFORMATION

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	March 21, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	March 21, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced front yard landscaping requirements.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

### COMMENTS:

**On March 21, 2024, Development Planning provided:**

Please note that Development Planning Staff have had the opportunity to review the updated drawings and updated variances and staff are concerned with the landscaping and soft landscaping totals in the front yard (Variances 4 and 5) as they are significantly under the Zoning By-law requirements.

Development Planning Staff suggest reducing the driveway and replacing it with grass in the 3 locations highlighted in green in the attached image below which will bring the front yard landscaping much closer to the By-law requirements and to a total percentage that staff would be in a position to support. This recommendation still maintains walkways to access both side yards. If the applicant has alternative solutions to increase landscaping and soft landscaping totals in the front yard, staff are open to reviewing them.

Please revise the site plan to include increased soft landscaping totals at your earliest convenience as this information is necessary for staff to complete their review and provide recommendations in a staff report due next week for the review of the committee. Please note that these revisions will not impact your position on the April 4<sup>th</sup> agenda as these revisions would only decrease the variance required.

Please be sure to send the revised drawings to myself, Christian Tinney [Christian.Tinney@vaughan.ca](mailto:Christian.Tinney@vaughan.ca), as well as Clerks Staff ([CofA@vaughan.ca](mailto:CofA@vaughan.ca)).

On March 25, 2024, the applicant provided revised plans to address Development Planning comments.

On March 25, 2024, Building Standards provided revised comments confirming required variances. Variances #4 and #5 pertaining to front yard landscaping were increased from what was provided in the statutory public notice.

Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the April 4, 2024, Committee of Adjustment hearing, if required.

### COMMITTEE OF ADJUSTMENT

<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None
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### BUILDING STANDARDS (ZONING)

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Grading Division of the City's Development Engineering Department. It's important note that any in-ground structure exceeding 10 m<sup>2</sup> necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Development Engineering Department does not object to the Minor Variance application A018/24, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
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### PARKS, FORESTRY & HORTICULTURE (PFH)

No Comments received to date.

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE

No comment no concerns.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objection or comments.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

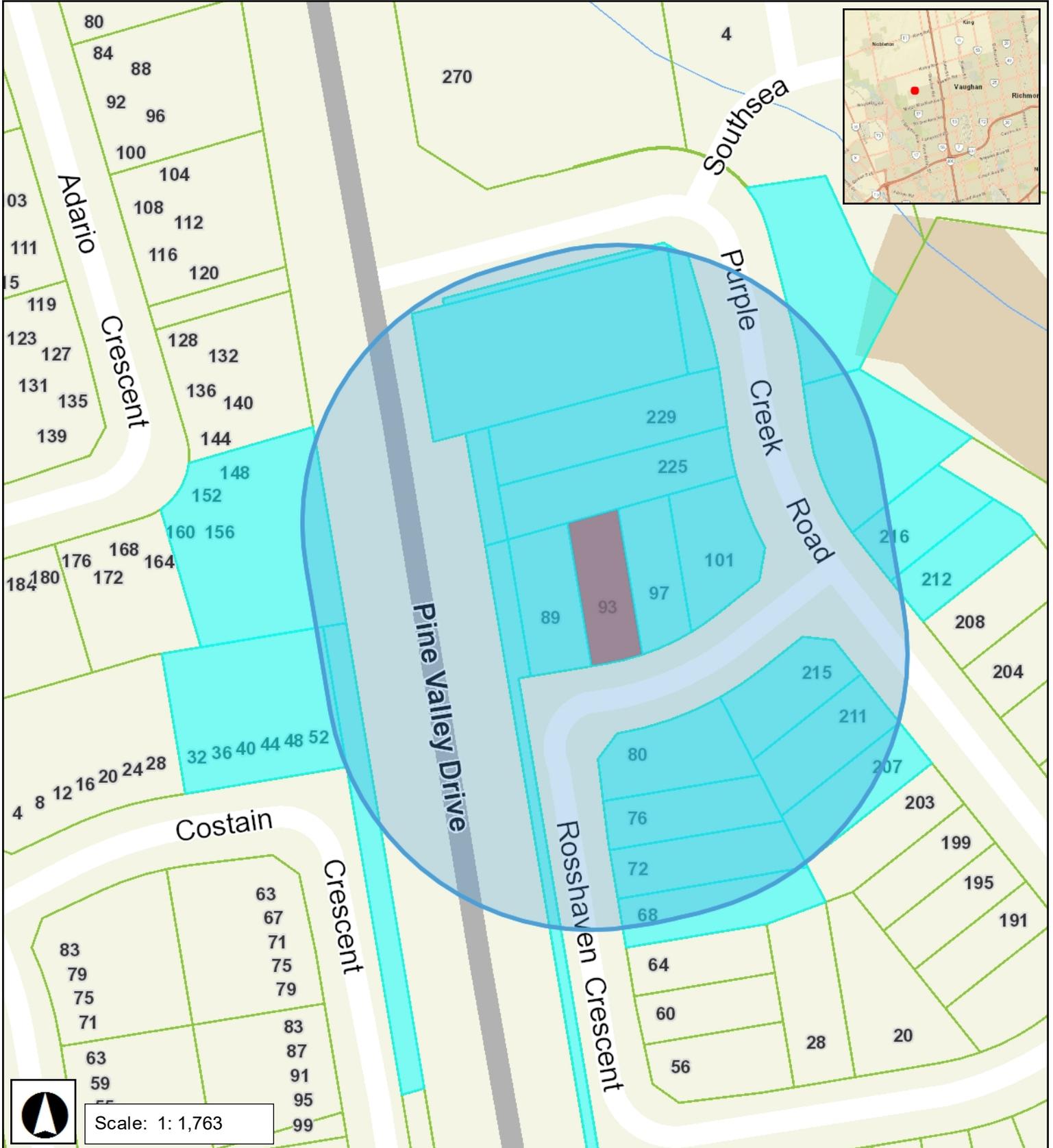
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





## GENERAL NOTES

### CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012

ALL CONSTRUCTION PRACTICES TO COMPLY W/ ONTARIO BUILDING CODE REGULATIONS  
ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL

#### EXCAVATION & BACKFILL

(SEE O.B.C. 9.12.)

●EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES  
●THE TOPSOIL & VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL

●IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS & WOOD DEBRIS SHALL BE REMOVED TO A MIN. DEPTH OF 300mm (12") IN EXCAVATED AREAS UNDER A BUILDING & THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS & THE GROUND SHALL BE NO LESS THAN 450mm (18")

●BACKFILL WITHIN 600mm (24") OF THE FND. WALLS SHALL BE FREE OF DELETERIOUS DEBRIS & BOULDERS OVER 250mm (10") IN DIA.

#### DAMP PROOFING & DRAINAGE

(SEE O.B.C. 9.14.)

●IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS & CRAWL SPACES SHALL BE DAMP PROOFED, WHERE HYDROSTATIC PRESSURE OCCURES, A WATERPROOFING SYSTEM IS REQUIRED

●MASONRY FOUNDATION WALLS SHALL BE PARGED W/ 6mm OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMP PROOFING

●100mm (4") DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR & SHALL BE COVERED W/ 150mm (6") OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP

●WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP

●DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING & PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION

●CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TOWARD TO THE EXTERIOR

●THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP & ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING & WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

#### FOOTINGS

(SEE O.B.C. 9.15.3.)

●FOOTING MIN. 15MPa POURED CONCRETE  
●FOOTINGS SHALL BE MIN 1200mm (4'-0") BELOW FINISHED GRADE

●FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. BEARING CAPACITY OF 75KPa OR 100 KPa FOR ICW

#### FOOTING SIZES

FLOORS SUPPORTED	SUPPORTING EXT. WALL	SUPPORTING INT. WALL	COLUMN AREA
1	250mm (9 7/8")	250mm (9 7/8")	0.4m <sup>2</sup> (4.3ft <sup>2</sup> )
2	350mm (13 3/4")	350mm (13 3/4")	0.75m <sup>2</sup> (8.1ft <sup>2</sup> )
3	450mm (17 3/4")	450mm (17 3/4")	1.0m <sup>2</sup> (10.9ft <sup>2</sup> )

●INCREASE EXTERIOR FOOTING WIDTH BY 65mm (2 5/8") FOR EACH STOREY OF BRICK VENEER SUPPORTED, BY 130mm FOR STOREY OF MASONRY (5 1/8") & BY 150mm (6") FOR ICW

●THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS

#### 1.1 STRIP FOOTINGS

(SEE O.B.C. 9.15.3.)

●SUPPORTING EXTERIOR WALLS

●CONTI. KEYED CONC. FOOTING (FOR POURED CONC. FND. WALLS )  
●MIN. 15 MPa (2200 PSI) POURED CONCRETE AT 28 DAYS

●FOOTING SIZE FOR TWO STOREY BRICK VENEER 508 x 200mm (20" x 8") ASSUMING MAX. LIVE LOAD OF 2.4 KPa (50 PSI) PER FLOOR & MAX. LENGTH OF SUPPORTING FLOOR JOISTS IS 4.9 m (16'-1")

●ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL W/ MIN. 75 KPa (10.88 PSI) (MIN. 100KPa FOR I.C.F.) OR COMPACTED GRANULAR FILL W/ MIN. BEARING CAPACITY OF 150 KPa (21.76 PSI) OR GREATER

●MIN. 1200mm (4'-0") BELOW FIN. GRADE

#### 1.2 STEP FOOTINGS

(SEE O.B.C. 9.15.3.9)

●STEP FOOTINGS: MIN. HORIZONTAL STEP 600mm (2'-0") MAX. VERTICAL STEP 600mm (2'-0")

#### 1.3 WEEPING TILE

●100mm (4") DIA. WEEPING TILE, 150mm (6") CRUSHED STONE OVER @ AROUND ALL FOOTINGS, INCLUDING GARAGE FOOTINGS

#### 1.4 GRADE

●SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COARSE (FOR CONCRETE BLOCK FND. WALL) AT OR BELOW GRADE LEVEL

#### WOOD FRAME CONSTRUCTION

(SEE O.B.C. 9.23.)

●ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP

●MAX. MOISTURE CONTENT 19% @ TIME OF INSTALLATION

●WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONC. IN DIRECT CONTACT W/ SOIL SHALL BE SEPARATED FROM THE CONC. W/ 0.05mm (0.002") POLYETHYLENE OR TYPE 'S' ROLL ROOFING

#### WALLS

●EXTERIOR WALLS SHALL CONSIST OF  
◦CLADDING  
◦AIR BARRIER SYSTEM LAPPED 100mm (4") @ JOINTS  
◦LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING  
◦WOOD STUDS @ 400mm (16") O.C. AS SIZED ON THE DRAWINGS  
◦RSI 4.23 (R24) INSULATION  
◦BOTTOM PLATE  
◦DOUBLE TOP PLATE  
◦MID-GIRTS IF NOT SHEATHED  
◦AIR/VAPOUR BARRIER  
◦GYPSUM WALL BOARD

●INTERIOR WALLS SHALL CONSIST OF  
◦WOOD STUDS @ 400mm (16") O.C. AS SIZED ON THE DRAWINGS  
◦BOTTOM PLATE  
◦DOUBLE TOP PLATE  
◦GYPSUM WALL BOARD

#### BRICK - STONE - BLOCK VENEER FINISH

●90mm (3 1/2") OR 50mm (2") FACE BRICK OR STONE  
●90mm (4") BLOCK W/ 2 LAYERS 6mm (1/4") PARGING & 1 LAYER 1/8" STUCCO FINISH CONFORMING TO O.B.C. 9.28  
●25x178x0.76mm (1"x7"x0.03") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL & 600mm (24") O.C.

VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING

●PROVIDE 10mm (3/8") WEEP HOLES MAX. 800mm (32") O.C. IN STARTER COARSE & OVER OPENINGS  
PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER

●PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILL

●EXPOSING BUILDING FACE (O.B.C. 9.10.14.4. & 9.10.14.5.) EXT. WALLS HAVE A F.R.R. OF NOT LESS THAN 45min WHERE LIMITING DISTANCE IS LESS THAN 1.2m (3'-11")

#### 3.1.1 EXIST. BRICK VENEER WALL ON EXIST. WOOD FRAME CONSTRUCTION (2"x6")

●EXIST. 3 1/2" BRICK VENEER  
SPRAY PAINT BRICK WHERE NOTED ON ELEVATIONS  
●EXIST. GALVANIZED METAL TIES  
●EXIST. OVERLAPPING BUILDING PAPER (AIR BARRIER)  
●EXIST. 12.7mm (1/2") EXTERIOR TYPE SHEATHING  
●EXIST. 38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.  
●EXIST. 12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH AT WALL EXTENSIONS & OPENING INFILLS

#### 3.1.2 NEW FRAME WALL CONSTRUCTION (2"x6") STONE/ BRICK VENEER

●90mm (3 1/2") STONE CLADDING/ BRICK VENEER  
●25x178x0.76mm (1"x7"x0.03") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL & 600mm (24") O.C.  
VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING

●0.7 Kg/m<sup>2</sup> (#15) BUILDING PAPER (AIR BARRIER) TO OVERLAP @ JOINTS

●12.7mm (1/2") EXTERIOR TYPE SHEATHING  
●38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.  
●ENSURE MIN. RSI 3.34 (R19) BITUM. OR SPRAY FOAM INSULATION BETWEEN WOOD FRAMING & RSI 0.88 (R5) CONTINUOUS INSULATION AT EXT. STYROFOAM

●0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CGSB-51.34-M & SUBSECTIONS 9.25.3. & 9.25.4 OF THE O.B.C.

●12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH

●PROVIDE 10mm (3/8") WEEP HOLES MAX. 800mm (32") O.C. IN STARTER COARSE & OVER OPENINGS  
PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER

●PROVIDE PRE-CAST CONC. SILLS UNDER ALL OPENINGS & ALUMINUM FLASHING UNDER SILL

●PROVIDE PRE-FIN. ALUMINUM FLASHING FOR SILLS WHERE NOTED

#### BOARD & BATTEN, STUCCO BOARD OR ALUMINUM CLAD FINISH

●BOARD & BATTEN, STUCCO BOARD OR ALUM. SIDING AS PER ELEVATION TO CONFORM TO MANUF. SPECS.

●ADD 38mm (1 1/2") RIGID INSULATION TO EXT. SHEATHING

#### 3.2 NEW FRAME WALL CONSTRUCTION (2"x6") ALUM. CLADDING

●MIN. 25mm (1") PRE-FIN. ALUM. CLADDING AS PER ELEVATION TO CONFORM TO MANUF. SPECS.

●CLADDING TO CONFORM TO SUBSECTION 9.27.11. OF THE O.B.C.

●38mm (1 1/2") STYROFOAM

●12.7mm (1/2") EXTERIOR TYPE SHEATHING

●38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.

●ENSURE MIN. RSI 3.34 (R19) BITUM. OR SPRAY FOAM INSULATION BETWEEN WOOD FRAMING & RSI 0.88 (R5) CONTINUOUS INSULATION AT EXT. STYROFOAM

●0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CGSB-51.34-M & SUBSECTION 9.25.3. & 9.25.4. OF THE O.B.C.

●12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH

●PROVIDE PRE-FIN. ALUMINUM FLASHING FOR SILLS UNDER ALL OPENINGS

#### 3.2.2 NEW FRAME WALL CONSTRUCTION (2"x6") ALUM. CLADDING (GARAGE WALLS)

●MIN. 25mm (1") PRE-FIN. ALUM. CLADDING AS PER ELEVATION TO CONFORM TO MANUF. SPECS

●CLADDING TO CONFORM TO SUBSECTION 9.27.11. OF THE O.B.C.

●38mm (1 1/2") METAL CHANNELS

●12.7mm (1/2") EXTERIOR TYPE SHEATHING

●38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.

●12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH

●PROVIDE PRE-FIN. ALUMINUM FLASHING FOR SILLS UNDER ALL OPENINGS

#### STUCCO FINISH

●STUCCO WALL FINISH ON 50mm (2") STYROFOAM  
●STUCCO FINISH TO CONFORM TO SECTION 9.28. OF THE O.B.C. & TO MANUF. SPECS.

#### 3.3 NEW FRAME WALL CONSTRUCTION (2"x6") STUCCO FINISH

●STUCCO WALL FINISH ON 38mm (1 1/2") STYROFOAM  
●STUCCO FINISH TO CONFORM TO SECTION 9.28. OF THE O.B.C.

●12.7mm (1/2") EXTERIOR TYPE SHEATHING

●38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.

●ENSURE MIN. RSI 3.34 (R19) BITUM. OR SPRAY FOAM INSULATION BETWEEN WOOD FRAMING & RSI 0.88 (R5) CONTINUOUS INSULATION AT EXT. STYROFOAM

●0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CGSB-51.34-M & SUBSECTION 9.25.3. & 9.25.4. OF THE O.B.C.

●12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH

●PROVIDE PRE-FIN. ALUMINUM FLASHING FOR SILLS UNDER ALL OPENINGS

#### ROOF & CEILING

(SEE O.B.C. 9.23.13.)

●SEE PLANS FOR RAFTER, ROOF JOIST & CEILING JOIST SIZE & SPACING REQUIREMENTS

●HIP & VALLEY RAFTER SHALL BE 38mm (2") DEEPER THAN COMMON RAFTERS

●38x89mm (2"x4") COLLAR TIES @ RAFTER SPACING W/ 19x89mm (1"x4") CONTINUOUS BRACE @ MID-SPAN IF COLLAR TIE EXCEED 2400mm (7'-10") IN LENGTH

●SEE PLANS FOR SHEATHING REQUIREMENTS (SEE O.B.C. 9.23.15.)

#### ROOFING

(SEE O.B.C. 9.26.)

●RESISTERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12mm (1/2") INTO ROOF SHEATHING

●EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000mm (2'-11") WIDE SHINGLE (OR 6 11mm (0.43") STAPLES)

●EAVE PROTECTION SHALL EXTEND 900mm (2'-11") UP THE ROOF SLOPE FROM THE EDGE, & AT LEAST 300mm (11 3/4") FROM THE INSIDE FACE OF THE EXTERIOR WALL, & SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING & W/ MMIN. 100mm (4") HEAD & END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTHER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR #15 SATURATED FELT LAPPED & CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED

●OPEN VALLEYS SHALL BE FLASHED W/ 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600mm (23 5/8") WIDE

●FLASHING SHALL BE PROVIDED @ THE INTERSECTION OF SHINGLE, ROOF OR EXTERIOR WALLS & CHIMNEYS

●SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1.73mm (1/16") SHEET LEAD, 0.33mm (0.013") GALV. STEEL, 0.33mm (0.018") COPPER, 0.35mm (0.018") ZINC, OR 0.48mm (0.019") ALUMINUM

#### 9.1 ROOF CONSTRUCTION

●20 YEAR ASPHALT SHINGLES W/ EAVES PROTECTION

●TYPE 'S' ROLL ROOFING FROM EDGE OF ROOF

●EXTENDING MIN. DISTANCE OF 900mm (3') UP THE ROOF

●MIN. 12.5mm (1/2") PLYWOOD SHEATHING W/ 'H' CLIPS

●WOOD TRUSSES AS PER PLAN & MANUFACTURER SPECIFICATIONS OR CONVENTIONAL FRAMING

●38x89mm (2"x4") TRUSS BRACING AS PER MANUFACTURER SPECIFICATIONS @ 1830mm (6'-0") O.C. BOTTOM CORD FOR ROOF SLOPES 4 : 12 OR GREATER

●ALUM. EAVESTROUGH ON ALUM. FASCIA & ALUM. VENTED SOFFIT

●ATTIC VENTILATION 1 : 300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

●MIN. RSI 10.56 (R60) FIBREGLASS INSULATION

●0.15mm (0.006") AIR/VAPOUR BARRIER CONFORMING TO SUBSECTIONS 9.25.3. & 9.25.4. OF THE O.B.C.

●MIN. 15.9mm (5/8") GYP. WALL BOARD OR APPROVED EQUIV.

#### 9.2 CONVENTIONAL ROOF FRAMING

●38x89mm (2"x4") OR 38x140mm (2"x6") RAFTERS @ 400mm (16") O.C. & 38x184mm (2"x8") RIDGE BOARD C/W 38x89mm (2"x4") COLLAR TIES @ MID-SPANS, CEILING JOISTS TO BE 38x89mm (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN, 38x140mm (2"x6") @ 4400mm (16") O.C. FOR MAX. 4450mm (14'-7") SPAN & 38x184mm (2"x8") @ 400mm 16"O.C. FOR MAX. 5850mm (19'-2") SPAN

●RAFTERS FOR BUILT-UP ROOF TO BE 38x89mm (2"x4") OR 38x140mm (2"x6") @ 600mm (24") O.C. W/ A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY

●RAFTERS FOR FLAT ROOF TO BE MIN. 38x240mm (2"x10") S.P.F. NO. 2 @ 600mm (24") O.C.

#### 9.3 ROOF CONSTRUCTION FLAT ROOF

●TWO PLY BITUMINOUS MEMBRANE ADHERED TO 15.8mm (5/8") T.G. EXT. TYPE PLYWOOD SHEATHING

●38x140mm (2"x6") TREATED WOOD SLEEPERS @ 16" O.C.

●ROOF JOISTS OR ROOF TRUSSES AS PER PLAN

●ENSURE MIN. 64mm (2 1/2") VENT SPACE ABOVE INSULATION & U/S ROOF SHEATHING

#### 9.4 OVERHANG CONSTRUCTION

●PREFINISHED ALUMINUM FASCIA

●EAVESTROUGH & RAIN WATER LEADERS TO MATCH EXIST. FINISHES

●PROVIDE DRIP EDGE AT FASCIA & VENTED SOFFIT

●EXTEND DOWNSPOUTS TO GRADE LEVEL

#### 9.5 PARAPET WALL CONSTRUCTION

●FACE BRICK, STONE, CLADDING OR STUCCO FINISH AS PER ELEVATIONS

●25mm (1") AIR SPACE OR 50mm (2") STYROFOAM FOR STUCCO FINISH

●0.7 Kg/m<sup>2</sup> (#15) BUILDING PAPER (AIR BARRIER) TO OVERLAP @ JOINTS

●12.7mm (1/2") EXTERIOR TYPE SHEATHING

●38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.

●CONTINUOUS 0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/ CGSB-51.34-M & SUBSECTIONS 9.25.3. & 9.25.4 OF THE O.B.C.

●EXTEND VAPOUR/AIR BARRIER & SEAL TO JOIST & SUBFLOOR

●38mm (1 1/2") CONT. RIGID FOAM INSULATION (OPTIONAL)

●2-38x140mm (2"x6") BOTTOM PLATE, 2-38x140mm (2"x6") TOP PLATE

●PRE-PAINTED GALV. METAL FLASHING OVER 1-SITE CUT & 2-38x140mm (2"x6") TREATED WOOD BLOCKING, MTL. FLASHING OVER 2 PLY CARRY OVER CANT STRIP & UP & OVER PARAPET

#### 9.7 ROOF VENT

●GALVANIZED PRE-PAINTED METAL LOUVERED EXHAUST VENT TO PROVIDE VENTILATION TO MIN. 1:150 OF INSULATED ROOF AREA UNIFORMLY DISTRIBUTED

#### 9.8 ATTIC ACCESS HATCH

(SEE O.B.C. 9.19.2.1.)

●ATTIC HATCH TO BE MIN. 545x588mm (22"x24") W/ INSULATION & WEATHER STRIPPING

#### 10.1 MAIN STAIRS & EXTERIOR STAIRS

(SEE O.B.C. 9.8.)

●MIN. RISE (PRIVATE) ——— 125mm (5")

●MAX. RISE (PRIVATE) ——— 200mm (7 7/8")

●MIN. RUN (PRIVATE) ——— 255mm (10")

●MAX. RUN (PRIVATE) ——— 355mm (14")

●MIN. HEADROOM (HOUSE) ——— 1950mm (6'-5")

●MIN. WIDTH (HOUSE) ——— 860mm (2'-10")

●THE DEPTH OF A RECTANGULAR TREAD SHALL BE NOT LESS THAN ITS RUN & NOT MORE THAN ITS RUN PLUS 25mm (1")

●WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90°, W/ NO LESS THAN 30° OR MORE THAN 45° PER TREAD.

●SETS OF WINDERS MUST BE SEPARATED BY 1200mm ALONG THE RUN OF STAIRS

●A LANDING IS REQUIRED @ THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING & OTHER EXTERIOR ENTRANCES W/ MORE THAN 3 RISERS

●EXTERIOR CONC. STAIRS W/ MORE THAN 2 RISERS REQUIRE FOUNDATIONS

●STAIRS TO HAVE UNIFORM TREADS & RISERS EXCEPT AS NOTED IN O.B.C. 9.8.4.4

#### 10.2 GUARDS & RAILINGS

(SEE O.B.C. 9.8.7. & 9.8.8.)

●INT. LANDINGS ——— 900mm (2'-11")

●EXT. BALCONY ——— 1070mm (3'-6")

●INT. STAIRS ——— 900mm (2'-11")

●EXT. STAIRS ——— 900mm (2'-11")

●MAX. BETWEEN PICKETS ——— 100mm (4")

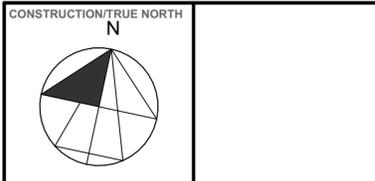
●GUARD HEIGHT IF DECK TO GRADE IS GREATER THAN 1800mm (5'-11") ——— 1070mm (3'-6")

●1800mm (5'-11") OR LESS ——— 900mm (2'-11")

●A HANDRAIL IS REQUIRED FOR INT. STAIRS CONTAINING MORE THAN 2 RISERS & EXT. STAIRS CONTAINING MORE THAN 3 RISERS

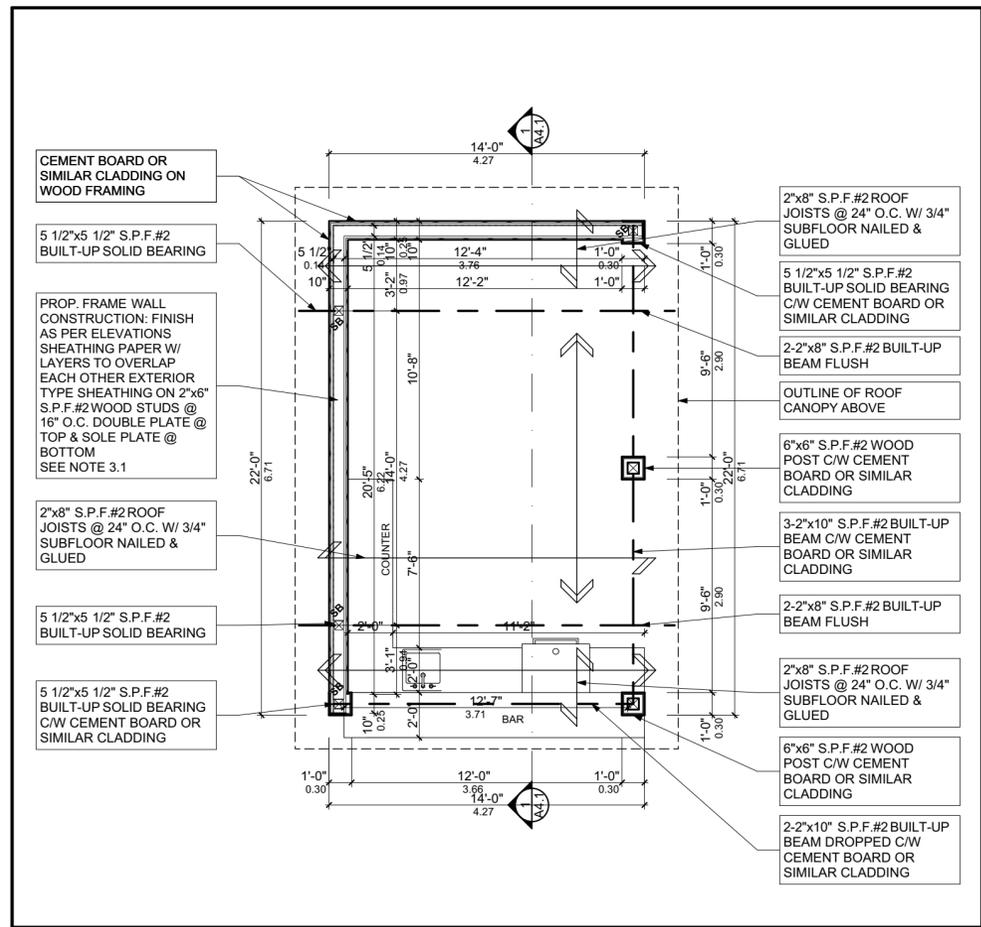
●GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm (23 5/8") ABOVE THE ADJACENT LEVEL, & WHERE THE ADJACENT SURFACE HAS A SLOPE MORE THAN 1:2

●INTERIOR & EXTERIOR GUARDS MIN. 900mm (2'-11") HIGH. EXTERIOR GU

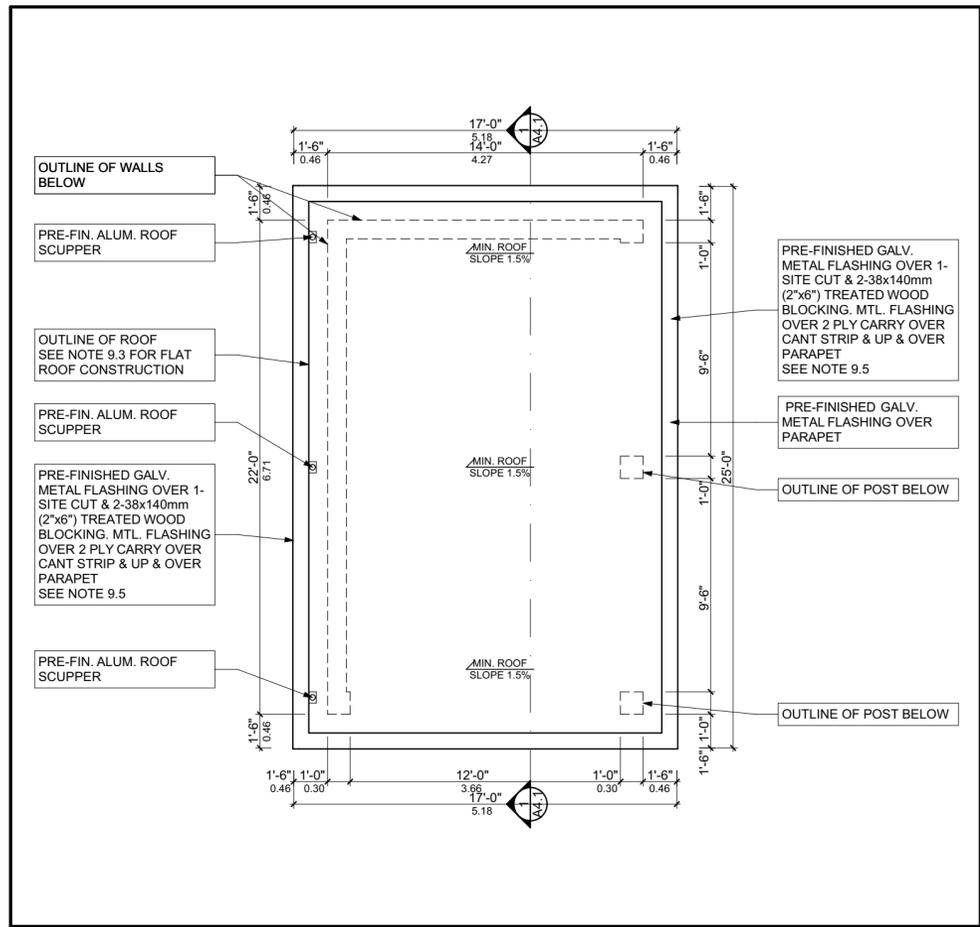


- LEGEND**
- SECTION
  - CONSTRUCTION NOTES
  - WINDOW SCHEDULE
  - DOOR SCHEDULE
  - PARTITION SCHEDULE
  - STEEL COLUMN  
•SEE NOTES 13.3 & 13.4
  - SOLID BEARING PLATE  
•SEE NOTE 14.2
  - SOLID WOOD BEARING  
•SEE NOTE 13.2
  - STRUCTURAL BEAM  
•SEE NOTE 14.1
  - POINT LOAD FROM ABOVE
  - DOUBLE JOIST
  - TRIPLE JOIST
  - PRESSURE TREATED LUMBER
  - GIRDER TRUSS BY ROOF TRUSS MANUF.
  - EXISTING WALLS/ELEMENTS
  - WALLS/ELEMENTS TO BE REMOVED
  - NEW/PROPOSED WALLS/ELEMENTS
  - FLAT ARCH
  - EXHAUST VENT  
•SEE NOTE 11.1
  - EXHAUST FAN  
•SEE NOTE 11.4
  - ROOF VENT  
•SEE NOTE 9.7
  - FLOOR DRAIN
  - SMOKE ALARM  
•SEE NOTE 12.1
  - CARBON MONOXIDE DETECTOR  
•SEE NOTE 12.2
  - POURED CONC. WALL  
•SEE NOTES 2.
  - CONC. BLOCK WALL
  - BRICK VENEER WALL  
•SEE NOTES 3.
  - INTERIOR PARTITION  
•SEE NOTES 4.1

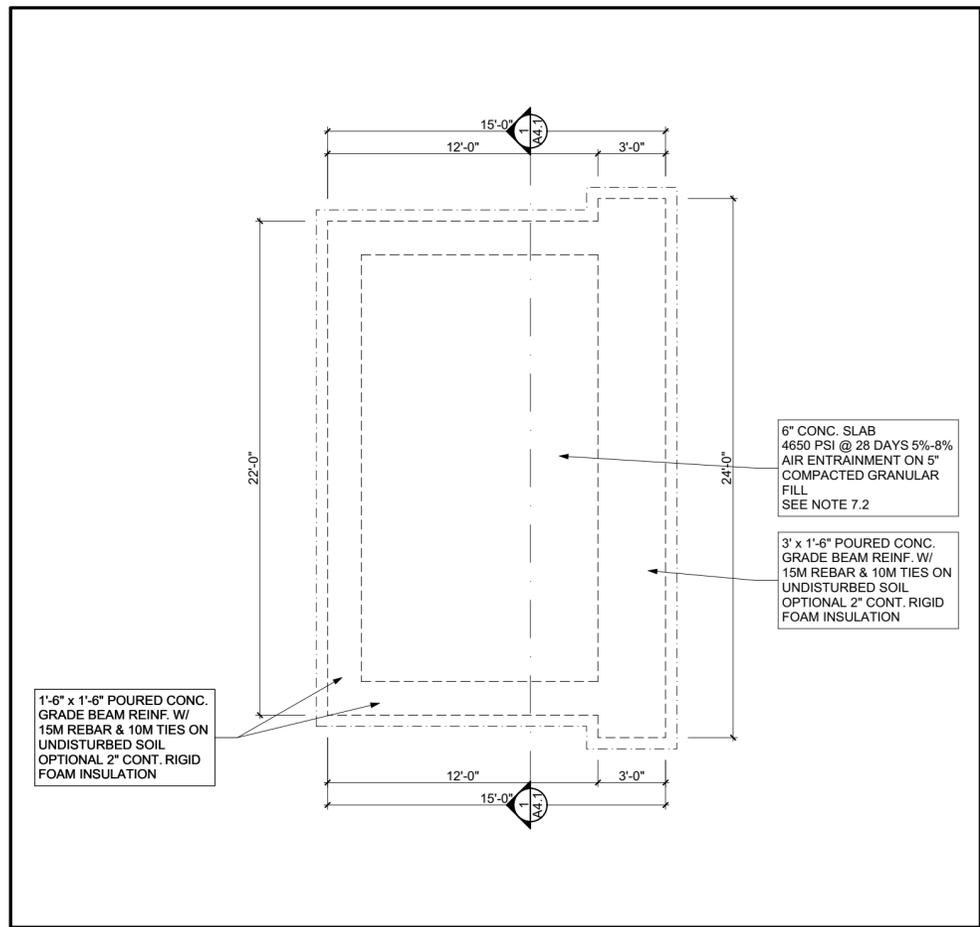
- NOTES**
- LOAD INFORMATION**
- (SEE N.B.C. DIV. B C-23)
- ROOF LOADS - VAUGHAN (WOODBIDGE)**
- SNOW LOAD  $S_s$  1.1 kPa (23 psf)
  - RAIN LOAD  $S_r$  0.4 kPa (8 psf)
  - SPECIFIED SNOW LOAD  $S$  1.0 kPa (21 psf)
  - WIND LOAD 1/10 0.34 kPa (7 psf)
  - WIND LOAD 1/50 0.44 kPa (9 psf)
- (SEE O.B.C. DIV. B PART 4)
- FLOOR LOADS**
- LIVE LOAD  $L$  1.9 kPa (40 psf)
  - DEAD LOAD  $D$  0.7 kPa (15 psf)



**2**  
**A2.1** GROUND FLOOR PLAN  
SCALE: 1:64



**3**  
**A2.1** ROOF PLAN  
SCALE: 1:64



**1**  
**A2.1** FOUNDATION PLAN  
SCALE: 1:64

REVISIONS & ISSUES	DATE	APVD	NO.
REVISED FOR COA	MAR 23, 2024	S. S.	5.1-1.11
REVISED FOR COA	MAR 18, 2024	S. S.	5.1-1.10
REVISED FOR COA	MAR 15, 2024	S. S.	5.1-1.9
REVISED FOR PERMIT	MAY 8, 2023	S. S.	5.1-1.6
ISSUED FOR PERMIT	APRIL 21, 2023	S. S.	5.1-1.2

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**QUALIFICATION INFORMATION**

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.3 (5) OF THE BUILDING CODE.

STEPAN SUKIASYAN  
NAME SIGNATURE 43745  
BCIN

**REGISTRATION INFORMATION**

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7 OF THE BUILDING CODE.

STEP DESIGN STUDIO INC. 104356  
FIRM NAME BCIN



**PROJECT NAME**

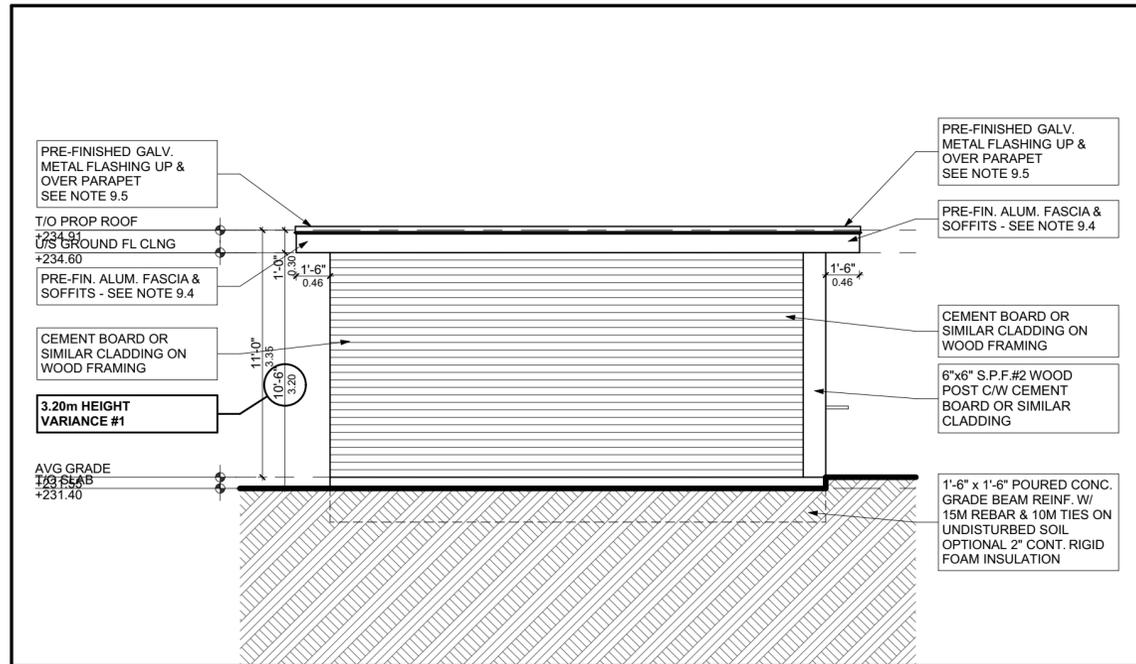
**93 ROSSHAVEN CRES. WOODBRIDGE, ON**  
PROP. CABANA & SITE ALTERATION

DRAWN BY	PROJECT NUMBER
STEPAN S.	23.10
APPROVED BY	REVISION NUMBER
STEPAN S.	5.1-1.11

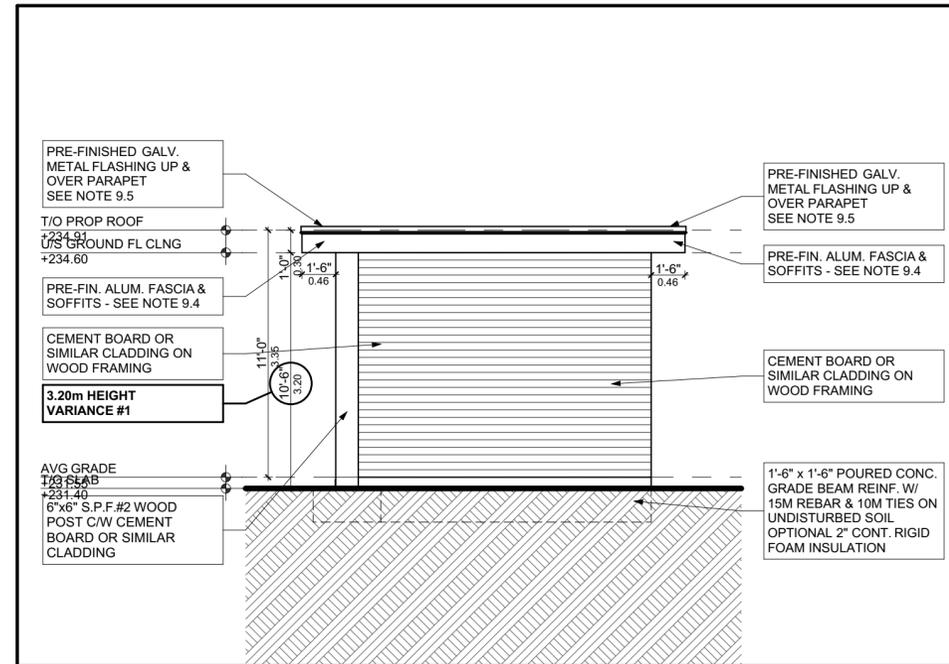
**DRAWING TITLE**

**FLOOR PLANS**

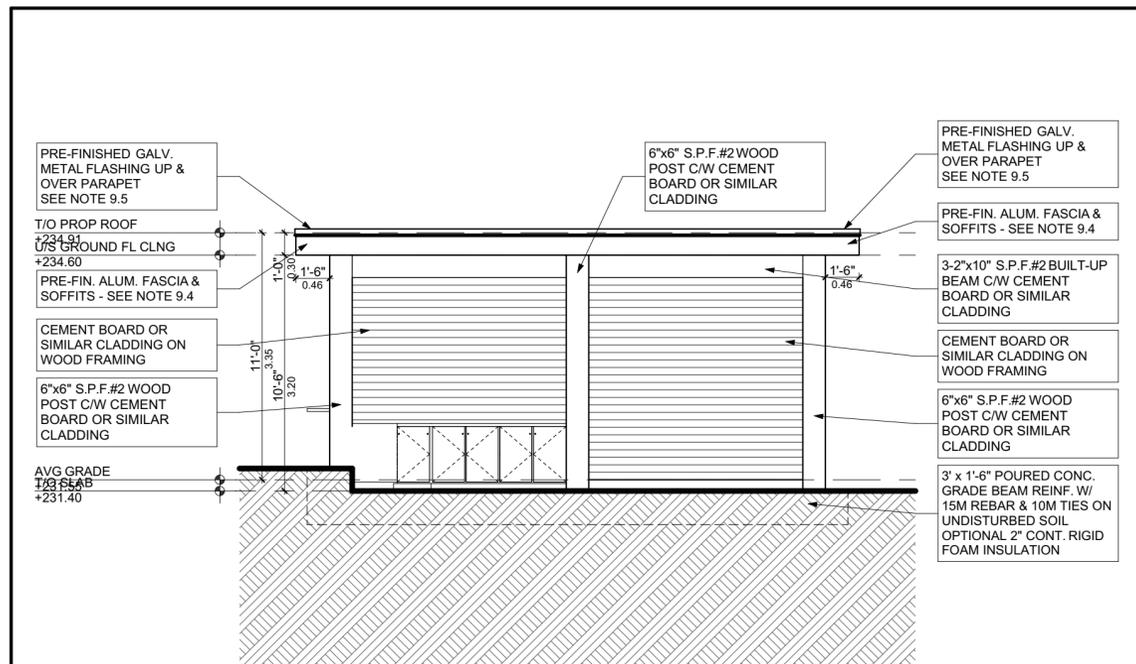
SCALE	DRAWING NUMBER
1:64	A2.1
DATE	3/23/2024



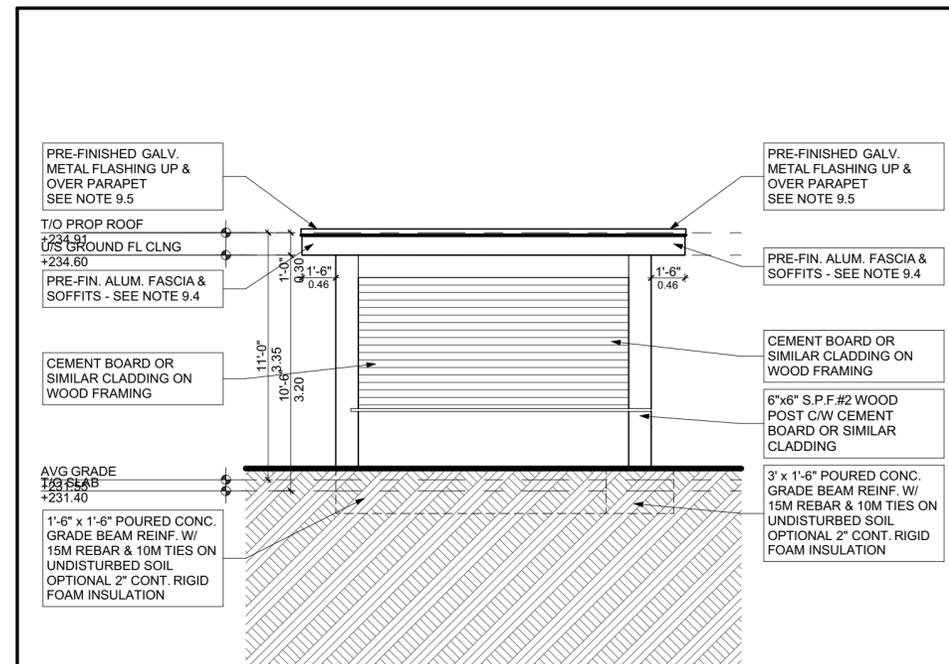
3 WEST ELEVATION  
A3.1 SCALE: 1:64



2 NORTH ELEVATION  
A3.1 SCALE: 1:64



1 EAST ELEVATION  
A3.1 SCALE: 1:64



4 SOUTH ELEVATION  
A3.1 SCALE: 1:64

REVISIONS & ISSUES	DATE	APVD	NO.
REVISED FOR COA	MAR 23, 2024	S. S.	5.1-1.11
REVISED FOR COA	MAR 18, 2024	S. S.	5.1-1.10
REVISED FOR COA	MAR 15, 2024	S. S.	5.1-1.9
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ISSUED FOR PERMIT	APRIL 21, 2023	S. S.	5.1-1.2

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STEPAN SUKIYAN	43745
NAME	SIGNATURE
	BCIN

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STEP DESIGN STUDIO INC.	104356
FIRM NAME	BCIN



**PROJECT NAME**

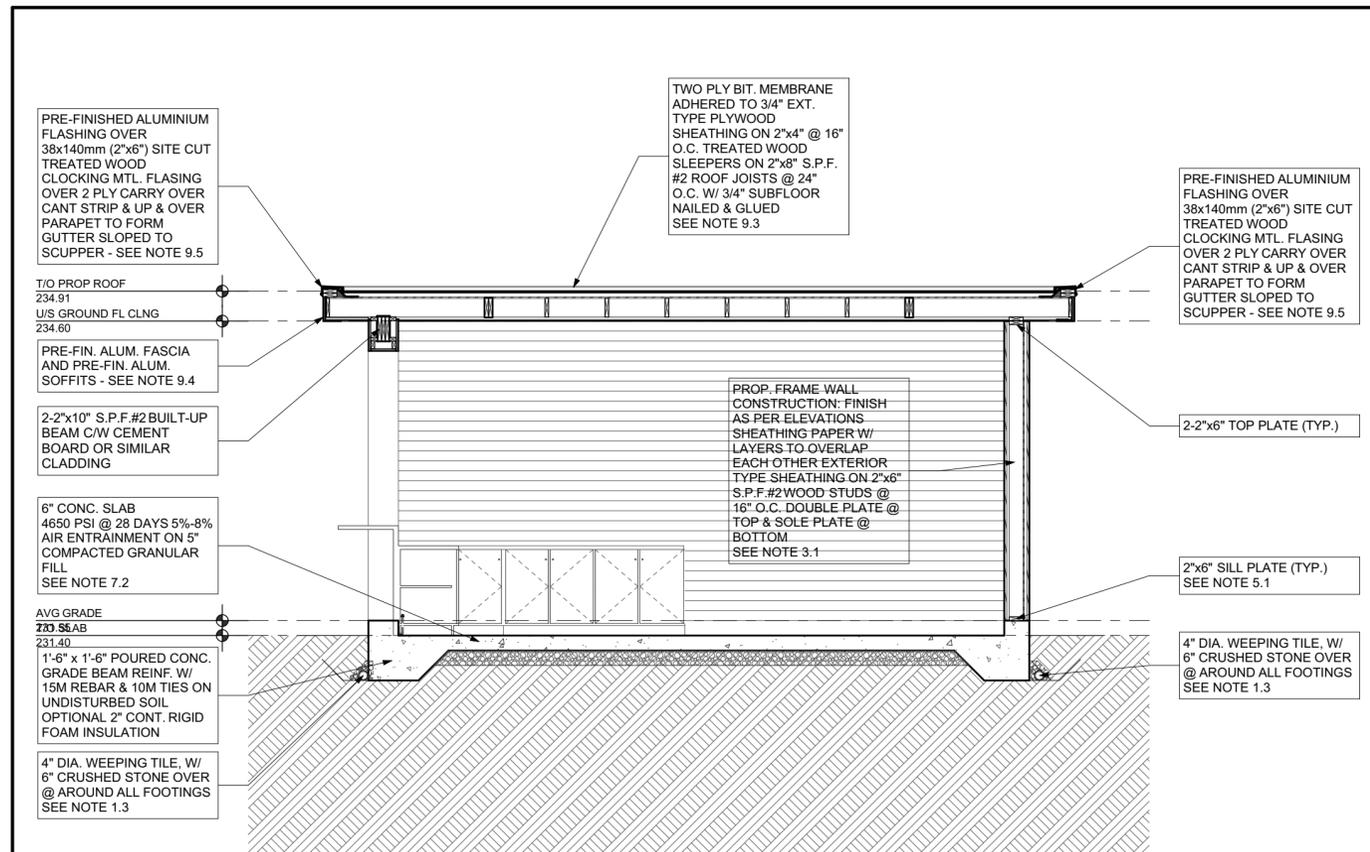
**93 ROSSHAVEN CRES. WOODBRIDGE, ON**  
PROP. CABANA & SITE ALTERATION

<b>DRAWN BY</b> STEPAN S.	<b>PROJECT NUMBER</b> 23.10
<b>APPROVED BY</b> STEPAN S.	<b>REVISION NUMBER</b> 5.1-1.11

**DRAWING TITLE**

**ELEVATIONS**

<b>SCALE</b> 1:64	<b>DRAWING NUMBER</b> A3.1
<b>DATE</b> 3/23/2024	



**1**  
**A4.1** BUILDING SECTION A  
SCALE: 1:48

REVISIONS & ISSUES	DATE	APVD	NO.
REVISED FOR COA	MAR 23, 2024	S. S.	5.1-1.11
REVISED FOR COA	MAR 18, 2024	S. S.	5.1-1.10
REVISED FOR COA	MAR 15, 2024	S. S.	5.1-1.9
REVISED FOR PERMIT	MAY 8, 2023	S. S.	5.1-1.6
ISSUED FOR PERMIT	APRIL 21, 2023	S. S.	5.1-1.2

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**QUALIFICATION INFORMATION**

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.3 (5) OF THE BUILDING CODE.

STEPAN SUKIYAN *[Signature]* 43745  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.7 OF THE BUILDING CODE.

STEP DESIGN STUDIO INC. 104356  
FIRM NAME BCIN

**STEP DESIGN STUDIO INC.**  
ARCHITECTURAL CONSULTATION & SERVICES  
416.613.1433 | 416.613.1438 | INFO@STEPIN.CA  
115 APPLE CREEK BLVD. UNIT 209 MARKHAM, ON

**PROJECT NAME**  
**93 ROSSHAVEN CRES. WOODBRIDGE, ON**  
PROP. CABANA & SITE ALTERATION

**DRAWN BY** STEPAN S. **PROJECT NUMBER** 23.10  
**APPROVED BY** STEPAN S. **REVISION NUMBER** 5.1-1.11

**DRAWING TITLE**  
**BUILDING SECTION A**

**SCALE** 1:48 **DRAWING NUMBER** A4.1  
**DATE** 3/23/2024

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** February 23<sup>rd</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A018-24**

**Related Files:**

**Applicant** STEP Design Studio Inc.

**Location** 93 Rosshaven Cres



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

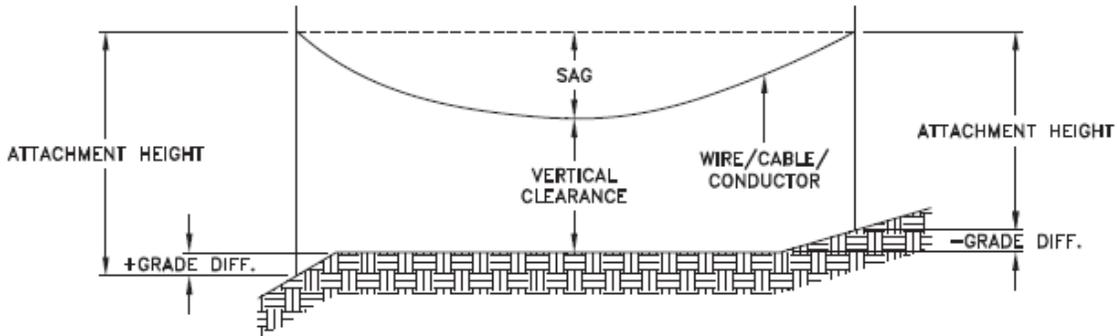
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

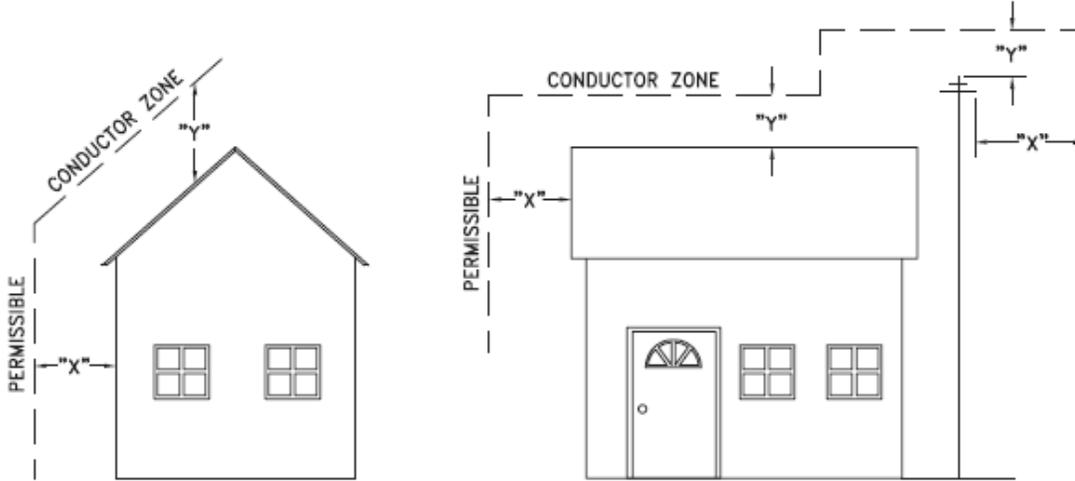
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** March 25, 2024  
**Applicant:** STEP Design Studio Inc.  
**Location:** 93 Rosshaven Crescent  
 PLAN 65M4647 Lot 115  
**File No.(s):** A018/24

**Zoning Classification:**

This application has been determined to be transitioned in accordance with Zoning By-law 011-2021, Subsection 1.6.2, 6. and therefore is subject to Zoning By-law 1-88, as amended, only.

The subject lands are zoned RD3 – Residential Zone and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than three (3) metres above finished grade. [Section 4.1.1, b) & Section 2.0 Definitions]	To permit an accessory building (cabana) with a maximum building height of 3.2 metres from the average finished ground level to the nearest part of the roof.
2	The minimum rear yard required is 7.5 metres. [Section 4.1.1, c) & Schedule "A3"]	To permit a minimum rear yard of 1.51 metres to an accessory building (cabana).
3	The minimum interior side yard required is 1.2 metres. [Section 4.1.1, c) & Schedule "A3"]	To permit a minimum interior side yard of 1.02 metres to an accessory building (cabana).
4	For lots with a Lot Frontage of 12.0 metres and greater shall be comprised of a Minimum of 50% Landscaped front yard. [4.1.4 f) v)(2)]	To permit a minimum of 41.2% (25.16 m <sup>2</sup> ) Landscaped front yard.
5	A minimum of sixty percent (60%) of the required Minimum Landscaped Front Yard shall be composed of soft landscaping. [4.1.2 a.]	To permit a minimum of 50.2% (12.62 m <sup>2</sup> ) of the required Minimum Landscaped Front Yard to be composed of soft landscaping.

**Staff Comments:**

**Building Permit(s) Issued:**

Building Permit No. 23-115930 for Shed/Gazebo - New, Issue Date: (Not Yet Issued).

**Other Comments:**

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** March 26, 2024  
**Name of Owners:** Salvatore & Sandra Romano  
**Location:** 93 Rosshaven Crescent  
**File No.(s):** A018/24

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**Proposed Variance(s) (By-law 1-88):**

1. To permit an accessory building (Cabana) with a maximum building height of **3.2 metres** from the average finished ground level to the nearest part of the roof.
2. To permit a minimum rear yard of **1.51 metres** to an accessory building (Cabana).
3. To permit a minimum interior side yard of **1.02 metres** to an accessory building (Cabana).
4. To permit a minimum of **41.2% (25.16 m<sup>2</sup>)** for a Landscaped Front Yard.
5. To permit a minimum of **50.2% (12.62 m<sup>2</sup>)** of the required Minimum Landscaped Front Yard to be composed of soft landscaping.

**By-Law Requirement(s) (By-law 1-88):**

1. The maximum height of any accessory building or structure measured from the average finished ground level to the nearest part of the roof shall not be more than **3.0 metres** above finished grade.
2. The minimum rear yard required is **7.5 metres**.
3. The minimum interior side yard required is **1.2 metres**.
4. For lots with a Lot Frontage of **12.0 metres** and greater shall be comprised of a Minimum of **50%** Landscaped front yard.
5. A minimum of sixty percent (**60%**) of the required Minimum Landscaped Front Yard shall be composed of soft landscaping.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential", Volume 2, Area Specific Policy 12.13 - Block 40/47.

**Comments:**

The Owners are requesting relief to permit an existing Cabana in the rear yard with the above-noted variances, as well as a reduction of landscaping in the front yard.

Development Planning Department staff have no objection to Variances 2 and 3 for the existing Cabana. The 0.18 metre encroachment to the required minimum interior side yard setback (Variance 3) is negligible from a visual perspective and is not anticipated to pose any massing or privacy concerns to the property to the west (89 Rosshaven Crescent). Variance 2 is to permit a minimum rear yard setback of 1.51 metres which is measured at a pinch-point from the northwest corner of the Cabana, increasing to approximately 1.92 metres at its greatest extent at the northeast corner. The rear yard and interior side yard setbacks provide sufficient space for safe access and maintenance as well as vegetative screening, if preferred, at a later date. As such, the accessory structure is not anticipated to pose adverse massing and privacy impacts to the neighbouring properties.

The 0.2 metre increase in maximum building height for an accessory structure (Variance 1) is not proposed to pose any adverse massing or privacy impact on either of the neighbouring properties to the west (89 Rosshaven Crescent) and east (97 Rosshaven Crescent) nor to the property to the north (225 Purple Creek Road). The Cabana complies with the lot coverage requirements of the Zoning By-law which helps alleviate any potential concerns with massing resulting from the increased maximum height or reduced interior side and rear yard setbacks.

Development Planning staff have no objection to Variances 4 and 5 for the proposed reduction in Landscaped and Soft Landscaping in the front yard. At the request of

Development Planning Department staff, improvements were made to reduce the existing hardscaping and provide additional soft landscaping in the front yard, primarily on the west side of the driveway. The proposed 41.2% of landscaped front yard (Variance 4), 50.2% of which will be comprised of soft landscaping, is not anticipated to pose significant adverse impacts on the neighbouring properties nor the existing streetscape and neighbourhood. The proposed reductions are not anticipated to significantly impact the balance of soft landscaping present along the street as a whole. Development Engineering Staff have also reviewed the application and do not have any concerns regarding drainage.

Accordingly, Development Planning Department staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

**Comments Prepared by:**

Nicholas Del Prete, Planner 1  
David Harding, Senior Planner

**Pravina Attwala**

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**Subject:** FW: [External] RE: A018/24 (93 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

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**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Tuesday, March 5, 2024 5:38 PM  
**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A018/24 (93 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A018/24 (93 Rosshaven Crescent) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.P.I.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

## SCHEDULE D: BACKGROUND

None