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9929 Keele Street- Minor Variance

File: A149/23

Proposed Mixed-Use Development
Sharewell Investments inc.
(Trinity Point Developments)



AGENDA

01

Introduction

02

Site & Surrounding Context

03

Minor Variances



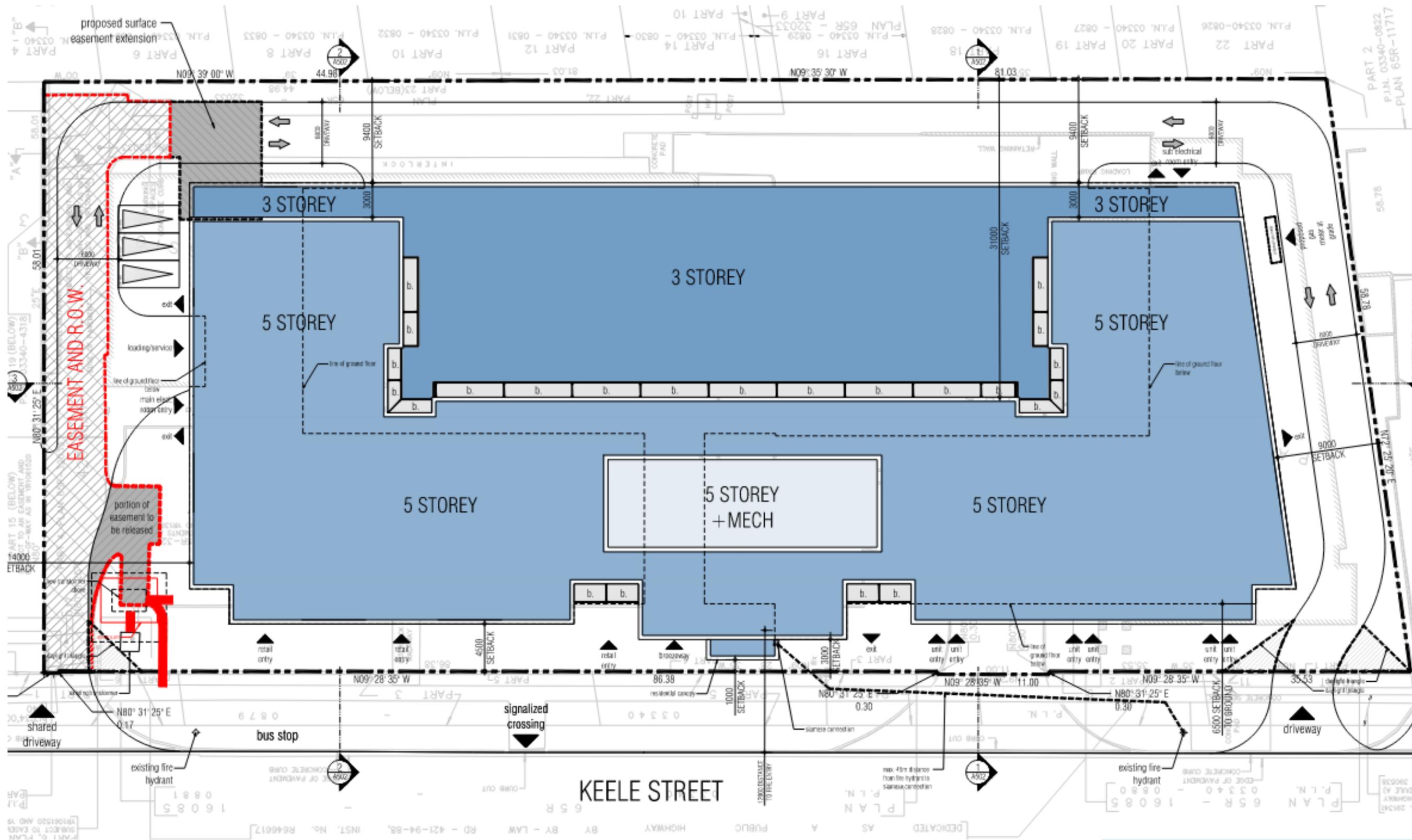
SITE CONTEXT



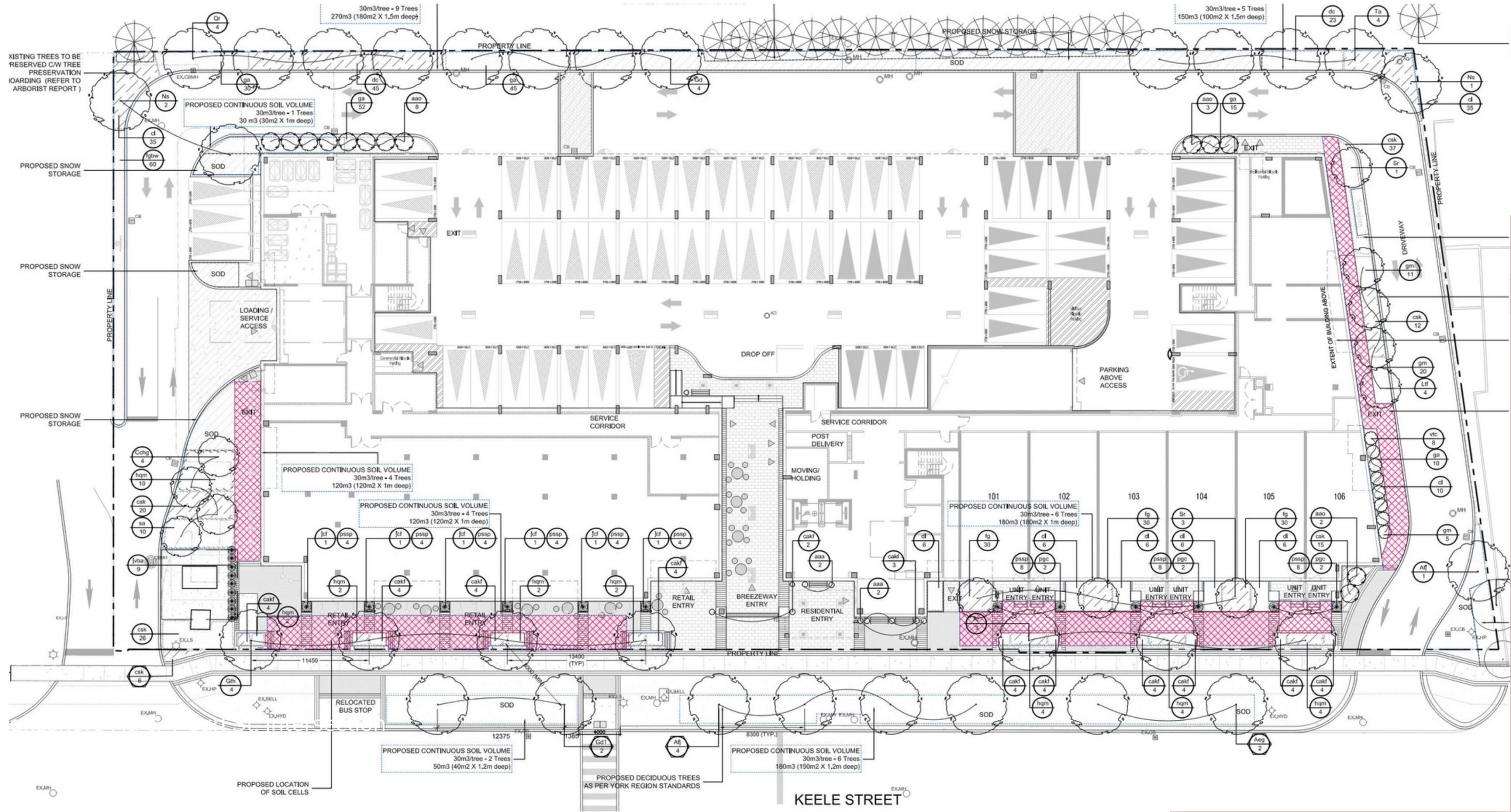
Proposed Variances

Zoning By-law 001-2021		Variance requested
1	A maximum building height of 4-storeys (15.5 m) measured to the surface of the roof exclusive of the mechanical room and no residential units or any other use shall be permitted above the 4 th storey [Exception 14.72.2.1.c.i].	To permit a maximum building height of 5 storeys (18.0m) measured to the surface of the roof exclusive of the mechanical room as well as to permit residential units above the 4 th storey.
2	No portion of the building shall exceed the maximum building height shown with number of storeys on Schedule E-162, exclusive of an accessory roof construction such as a chimney, tower, steeple, parapets, guardrails, stair enclosures, elevator or mechanical room [Exception 14.72.2.1.c.ii.]	To permit a portion of the building to exceed the maximum building height shown with number of storeys on Schedule E-162.
3	The minimum amount of combined indoor and outdoor amenity area to be provided shall be 3,155 m ² [Exception 14.72.2.1.j.].	To permit a minimum combined indoor and outdoor amenity area of 2,701 m ² .
4	A dwelling unit shall not be permitted above the 4 th storey [Exception 14.72.2.1.i.].	To permit dwelling units to be located above the 4 th storey.
5	A maximum of 35% of the total amenity area shall consist of amenity area located on a rooftop or terrace [Exception 14.72.2.1.o.].	To permit a maximum of 41% of the total amenity area to be located on a rooftop or terrace.
6	A total of 136 parking spaces shall be provided within a parking structure located below grade [Exception 14.72.3.1e.]	To permit a total of 127 parking spaces to be provided within a parking structure located above grade.

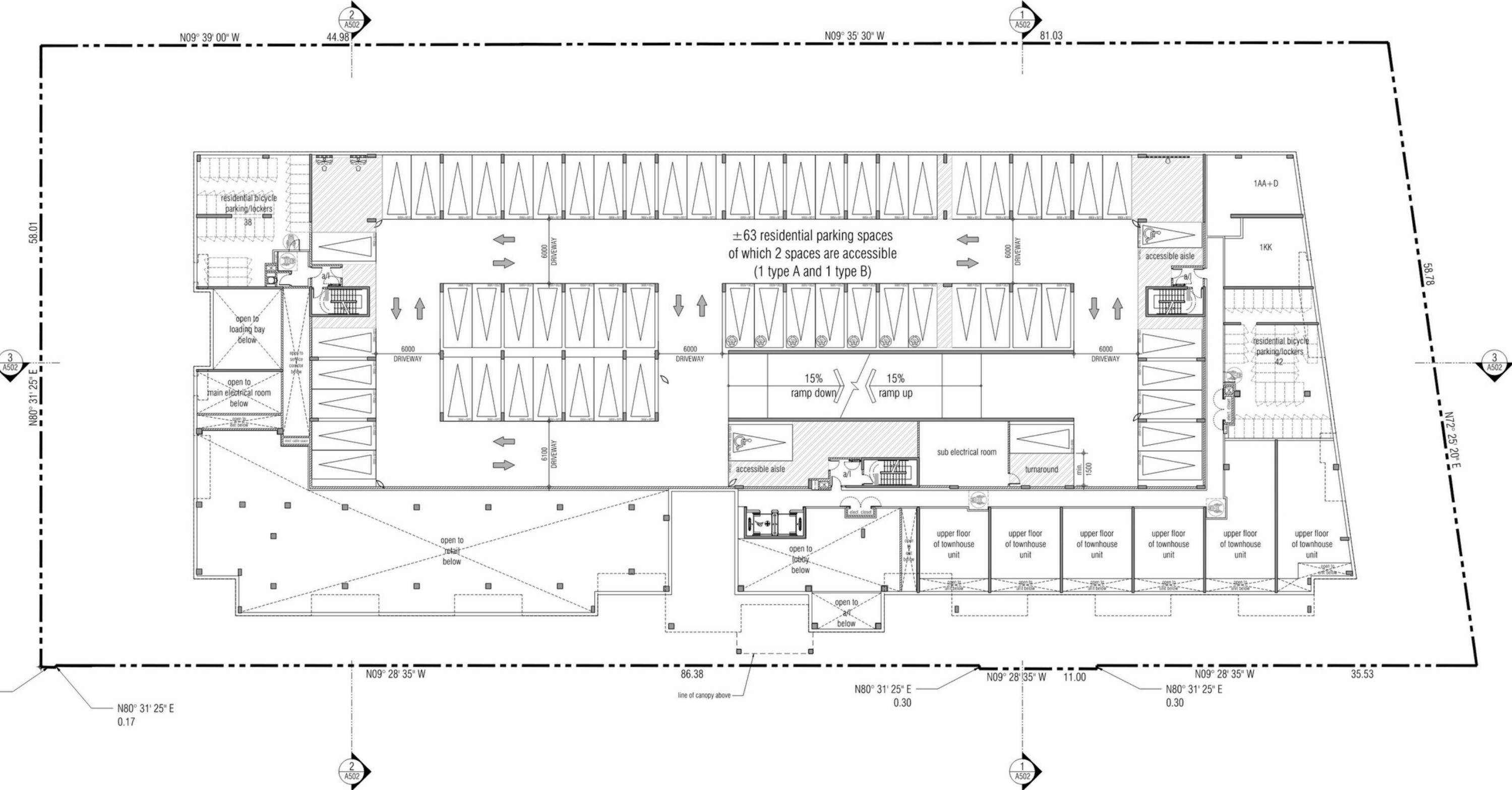
Site Plan



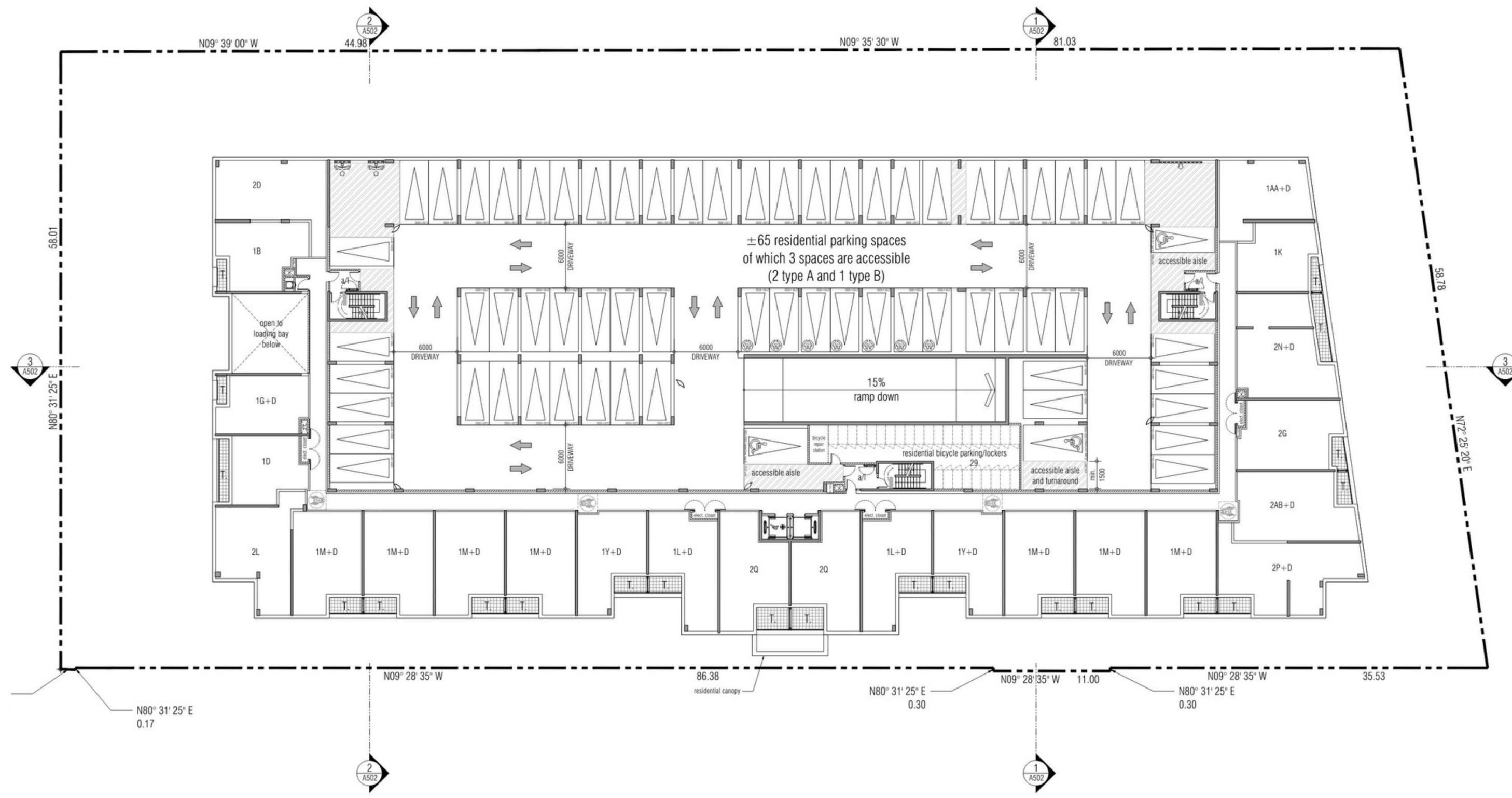
Ground Floor Landscape Plan



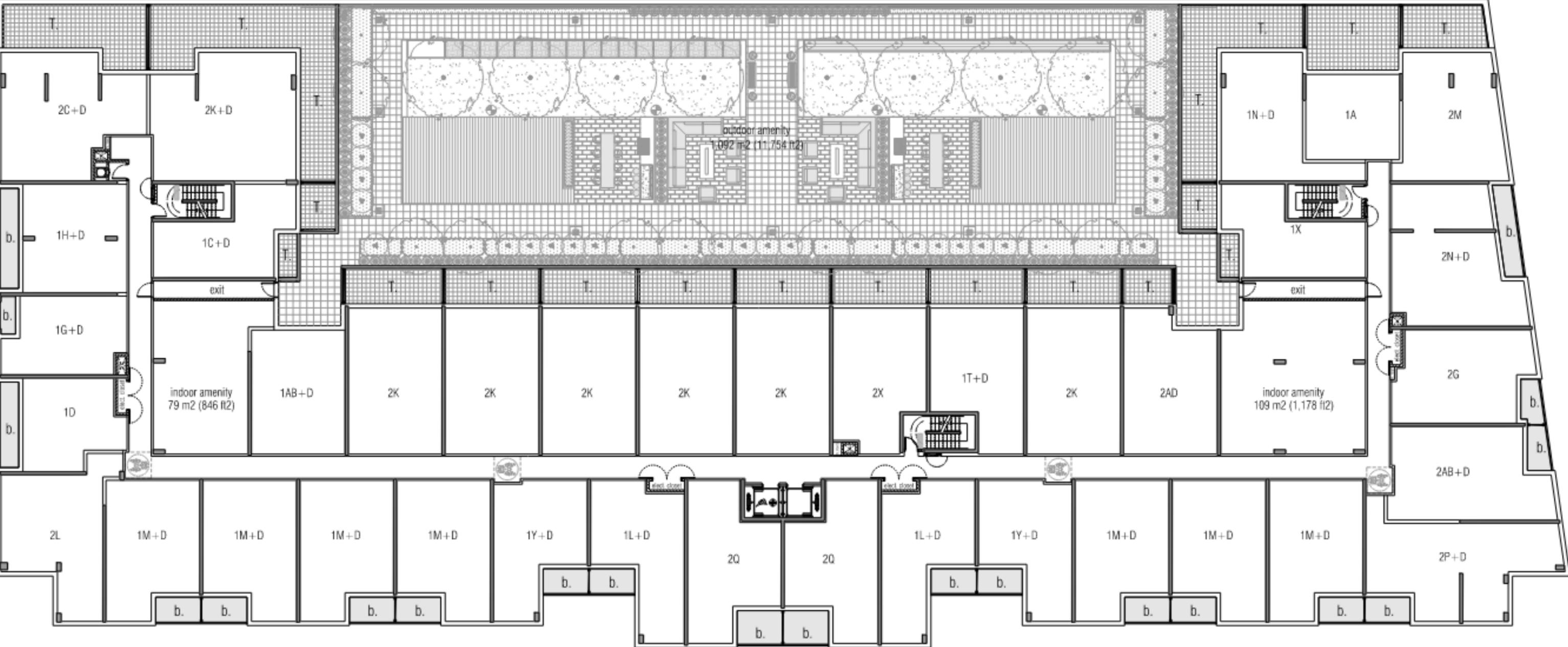
2nd Floor Plan



3rd Floor Plan



4th Floor/Amenity Space Plan



West Coloured Elevation



East Coloured Elevation



Integrated Parking Structure



Perspective Rendering from Keele St.



Rear Perspective Rendering



ADDENDUM

First SPA Elevations



First SPA Perspective Rendering from Keele St.



First Submission- Rear Perspective Rendering





Thank you.

Contact Information

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