

ITEM: 6.5	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A019/24
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Report Date: March 28, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A019/24

CITY WARD #:	5
APPLICANT:	Tovi and Yael Mamann
AGENT:	Victor Guitberg
PROPERTY:	446 Spring Gate Blvd, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a second storey addition to the front of the existing dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2 – Residential Zone and subject to the provisions of Exception 9(275) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum front yard of 7.5m is required. [Schedule T-086]	To permit a minimum front yard of 7.11m.
2	A maximum lot coverage of 35% is permitted. [Schedule T-086]	To permit a maximum lot coverage of 40.23%.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 4, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	March 21, 2024
Date Applicant Confirmed Posting of Sign:	March 12, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Construction of 2-storey front addition to existing dwelling
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That a Consent Letter from the neighbouring property to the east regarding the impacts to their trees, or an updated Arborist Report and Tree Protection Plan detailing the 1.8 m tree protection zone, be provided to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

<p>As the proposed dwelling/ structure/ cabana in the subject property exceeds 10 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a tree removal permit through the Forestry division
3	Development Planning Joshua.cipolletta@vaughan.ca	That a Consent Letter from the neighbouring property to the east regarding the impacts to their trees, or an updated Arborist Report and Tree Protection Plan detailing the 1.8 m tree protection zone, be provided to the satisfaction of the Development Planning Department.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit. Mk

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

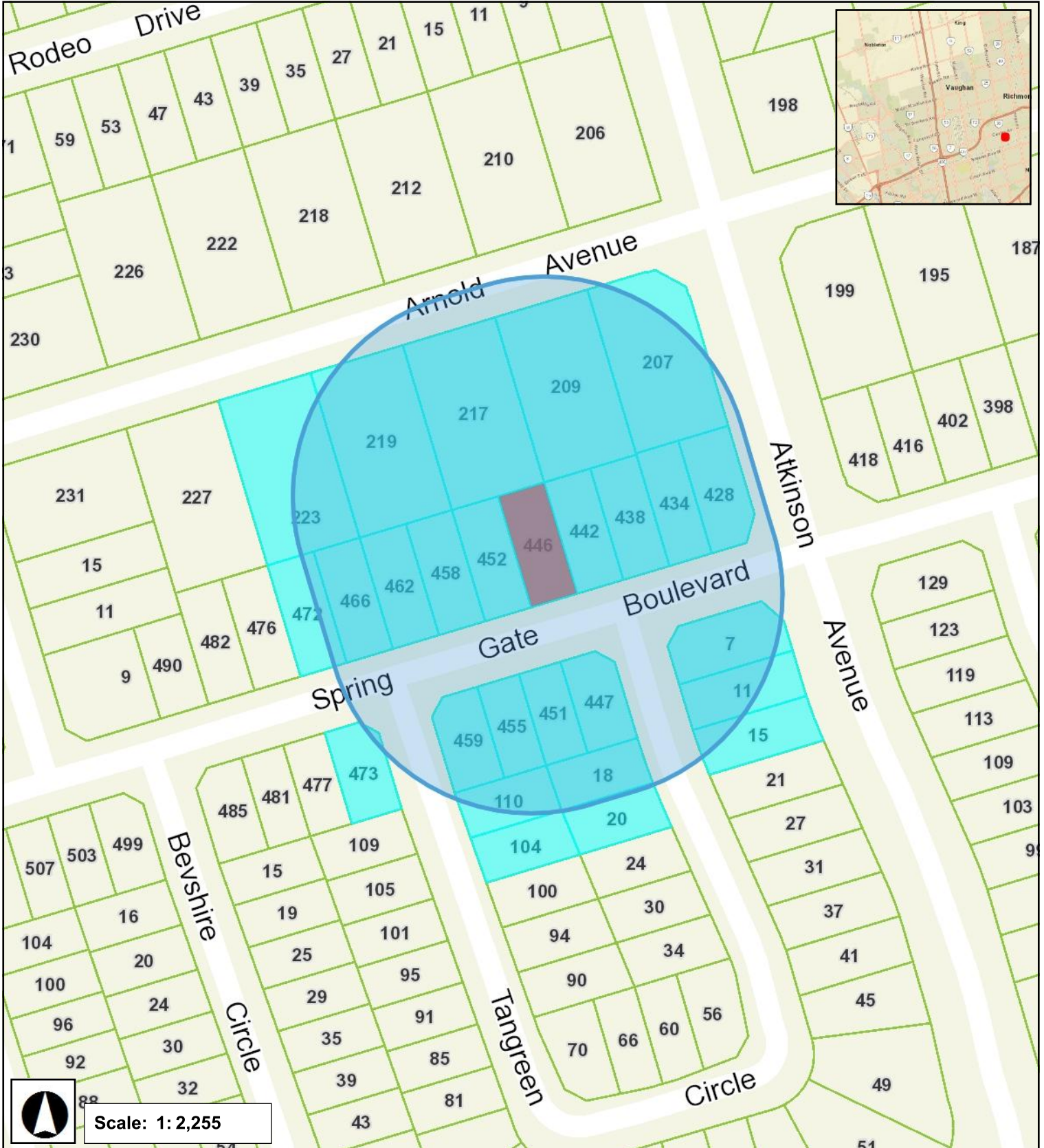
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A019/24

446 SPRING GATE BLVD, THORNHILL



RECEIVED

By attwalap at 9:44 am, Feb 26, 2024

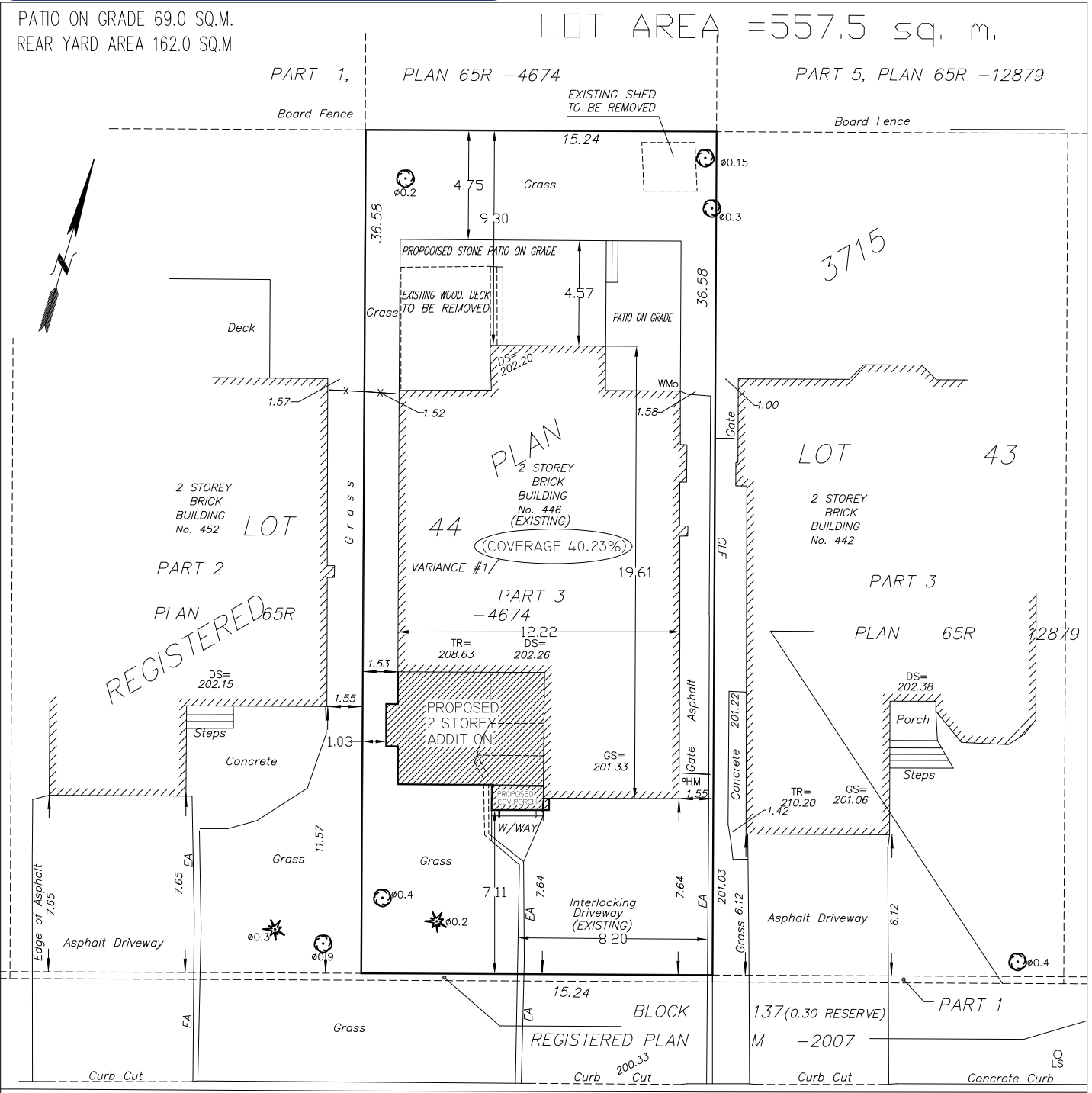
A019/24

PATIO ON GRADE 69.0 SQ.M.
REAR YARD AREA 162.0 SQ.M.

LOT AREA = 557.5 sq. m.

PART 1, PLAN 65R -4674

PART 5, PLAN 65R -12879



REGISTERED PLAN 65R

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

SITE PLAN

SCALE 1: 250

DERIVED FROM TOPOGRAPHIC SURVEY OF PART OF LOT 44 REGISTERED PLAN 3715 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK ALEX MARTON LIMITED ONTARIO LAND SURVEYORS DECEMBER 21, 2023

CAUTION THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR ANY REAL ESTATE TRANSACTIONS.
NOTE THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR ANY REAL ESTATE TRANSACTIONS.

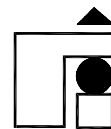
LOT COVERAGE:
DWELLING: 221.80 M² (39.78%)
COV.PORCH: 2.50 M² (0.45%)
TOTAL COVERAGE: 40.23%

FRONT YARD LANDSCAING:
TOTAL FRONT: 117.24 M²
TOTAL DRIVEWAY: 60.70 M²
TOTAL W.WAY: 3.10 M²

VARIANCE #2
TOTAL LANDSCAPE: 53.44 M² (45.58%)

TOTAL SOFT LANDSCAPE: 53.44 M² (100%)

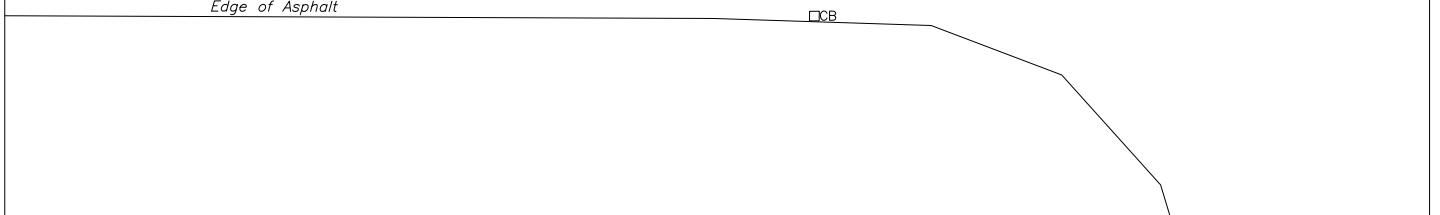
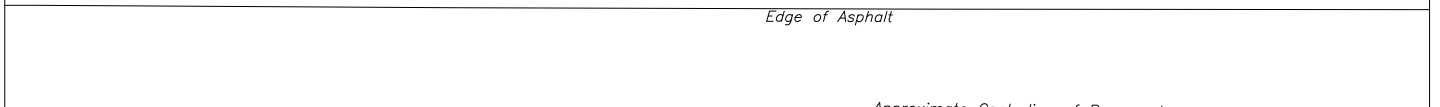
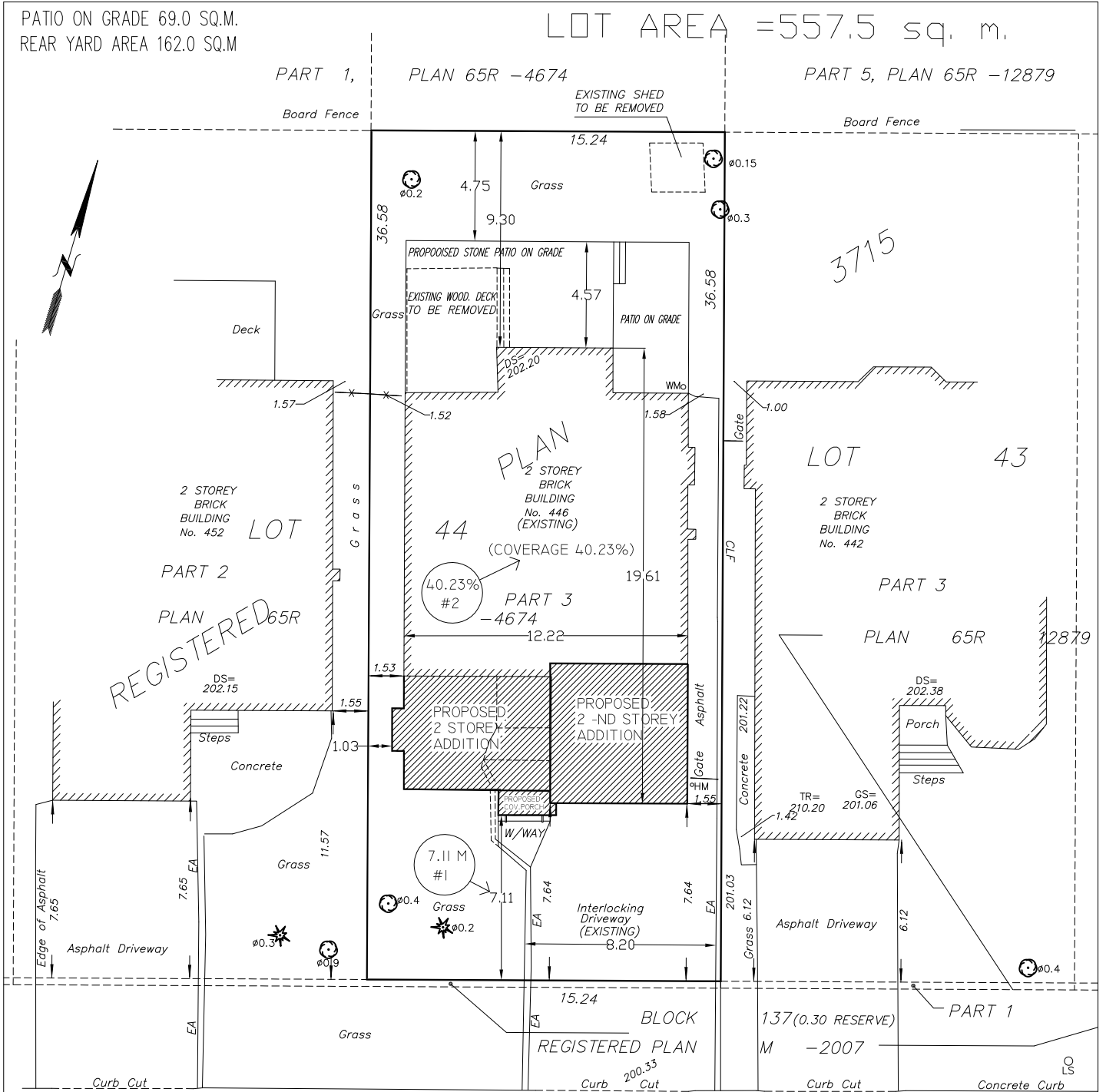
GUITBERG GROUP INC.



33 BELVEDERE CRES.
RICHMOND HILL
ONTARIO, L4C 8W1
TEL. (905) 508-7436
FAX. (905) 508-7453

PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ON
(ADDITION AND RENOVATION)

SITE PLAN



SITE PLAN

SCALE 1:250

DERIVED FROM
TOPOGRAPHIC SURVEY OF
PART OF LOT 44
REGISTERED PLAN 3715
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
ALEX MARTON LIMITED
ONTARIO LAND SURVEYORS
DECEMBER 21, 2023

CAUTION

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NOTE

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LOT COVERAGE:

DWELLING: 221.80 M² (39.78%)
COV.PORCH: 2.50 M² (0.45%)
TOTAL COVERAGE: 40.23%

FRONT YARD LANDSCAING:

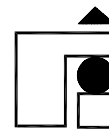
TOTAL FRONT: 118.00 M²
TOTAL DRIVEWAY: 58.00 M²
TOTAL W.WAY: 3.10 M²

TOTAL LANDSCAPE: 56.90 M² (48.22%)

TOTAL SOFT LANDSCAPE: 54.20 M² (100%)

48.22% #3

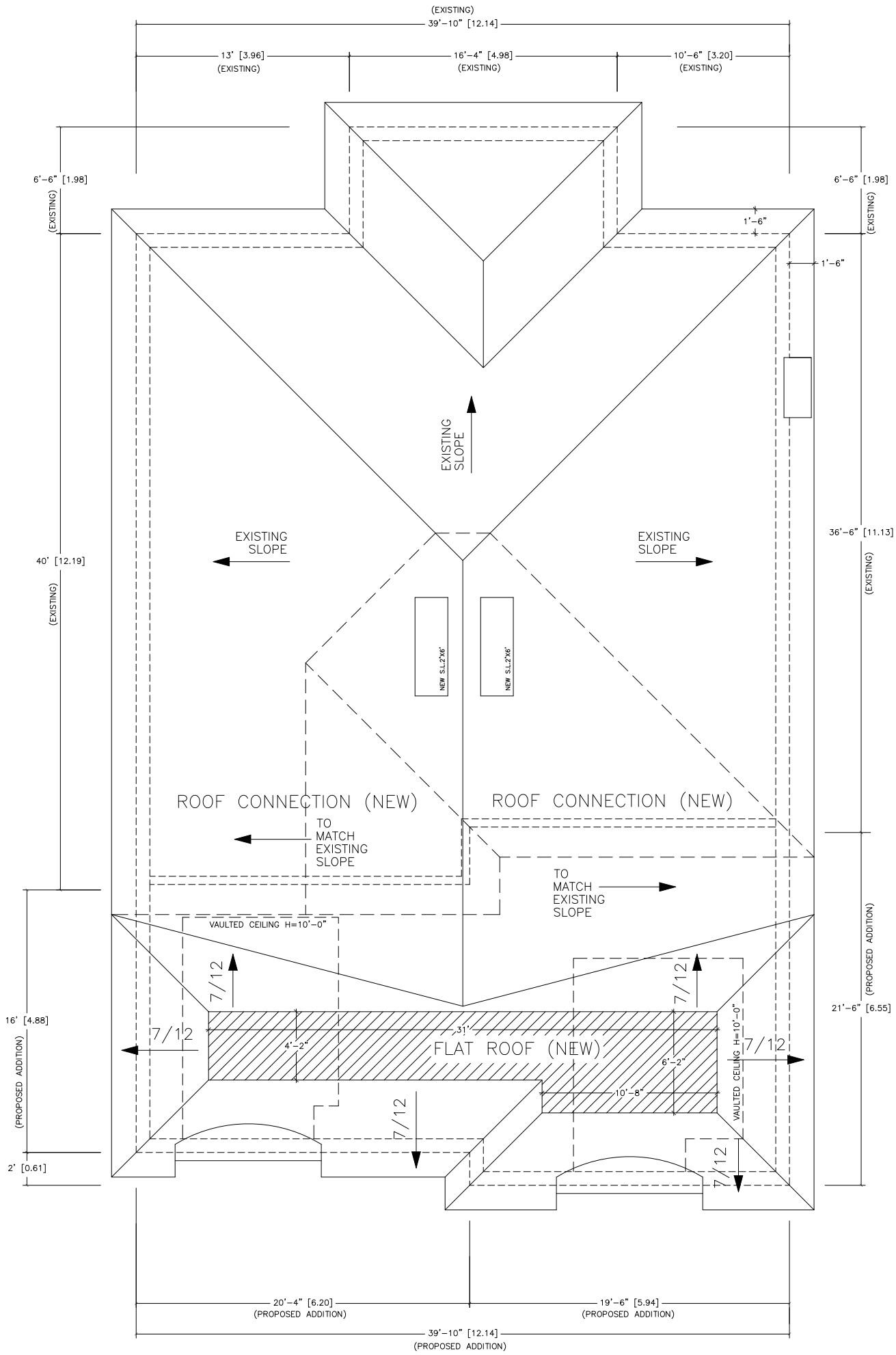
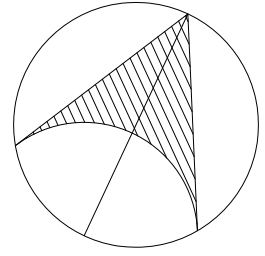
GUITBERG GROUP INC.



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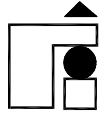
PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ON
(ADDITION AND RENOVATION)

SITE PLAN



ROOF PLAN
SCALE 1/8" = 1'-0"

GUITBERG GROUP INC.



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RICHMOND HILL
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TEL. (905) 508-7436
EMAIL: VICGUITBERG@ROGERS.COM

PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ONTARIO
(ADDITION AND RENOVATION)

ROOF PLAN

DRAWN BY J.M. CHECKED V.G.

SCALE 1/8" = 1'-0" DATE JANUARY '24

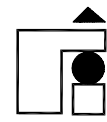
PROJECT NUMBER R-18/01/24 **A-5**

SOUTH ELEVATION

SCALE 1/8" = 1'-0"



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PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ONTARIO
(ADDITION AND RENOVATION)

SOUTH ELEVATION

DRAWN BY J.M. CHECKED V.G.

SCALE 1/8" = 1'-0" DATE JANUARY'24

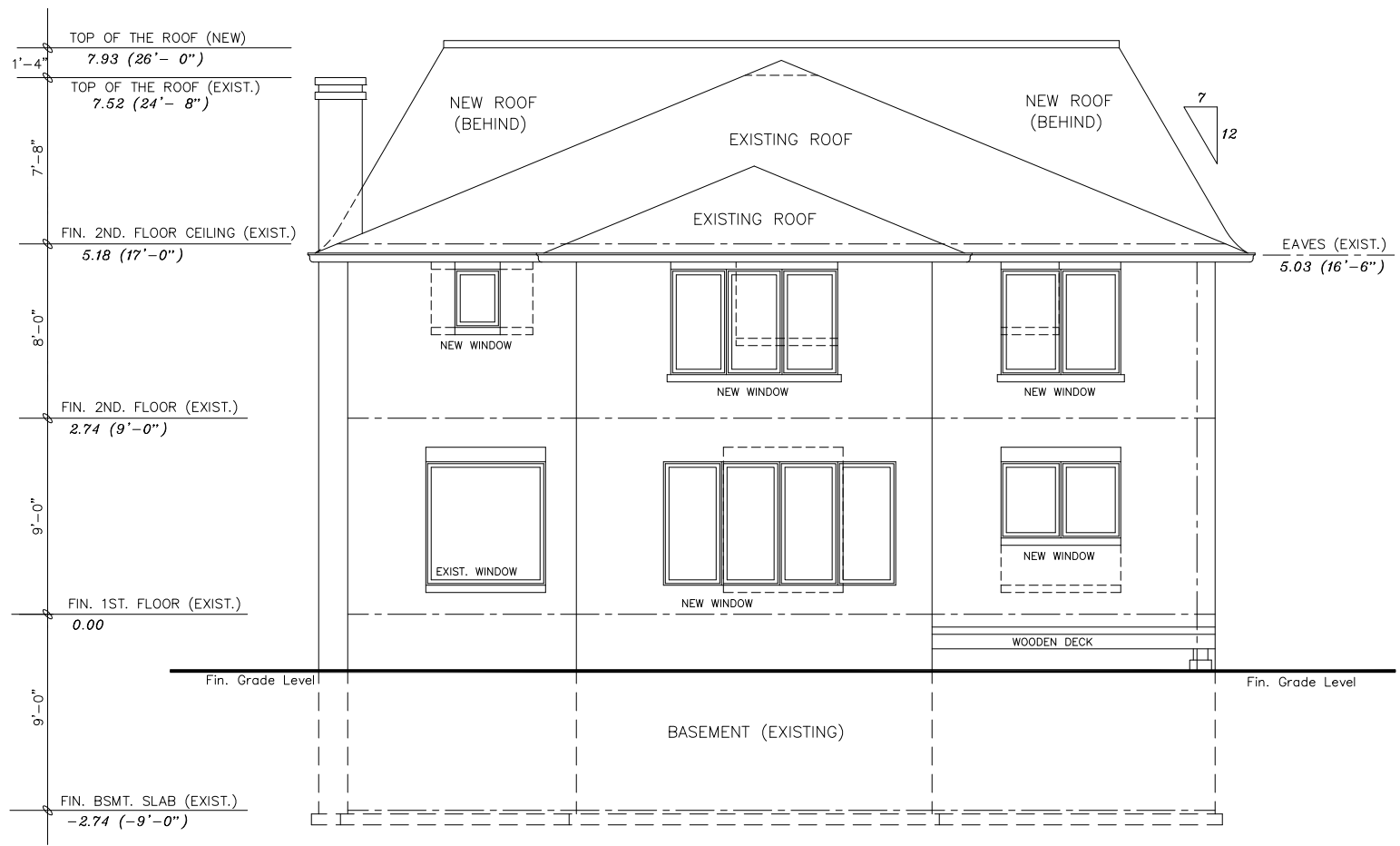
PROJECT NUMBER

R-18/01/24

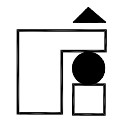
A-6

NORTH ELEVATION

SCALE 1/8" = 1'-0"



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PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ONTARIO
(ADDITION AND RENOVATION)

NORTH ELEVATION

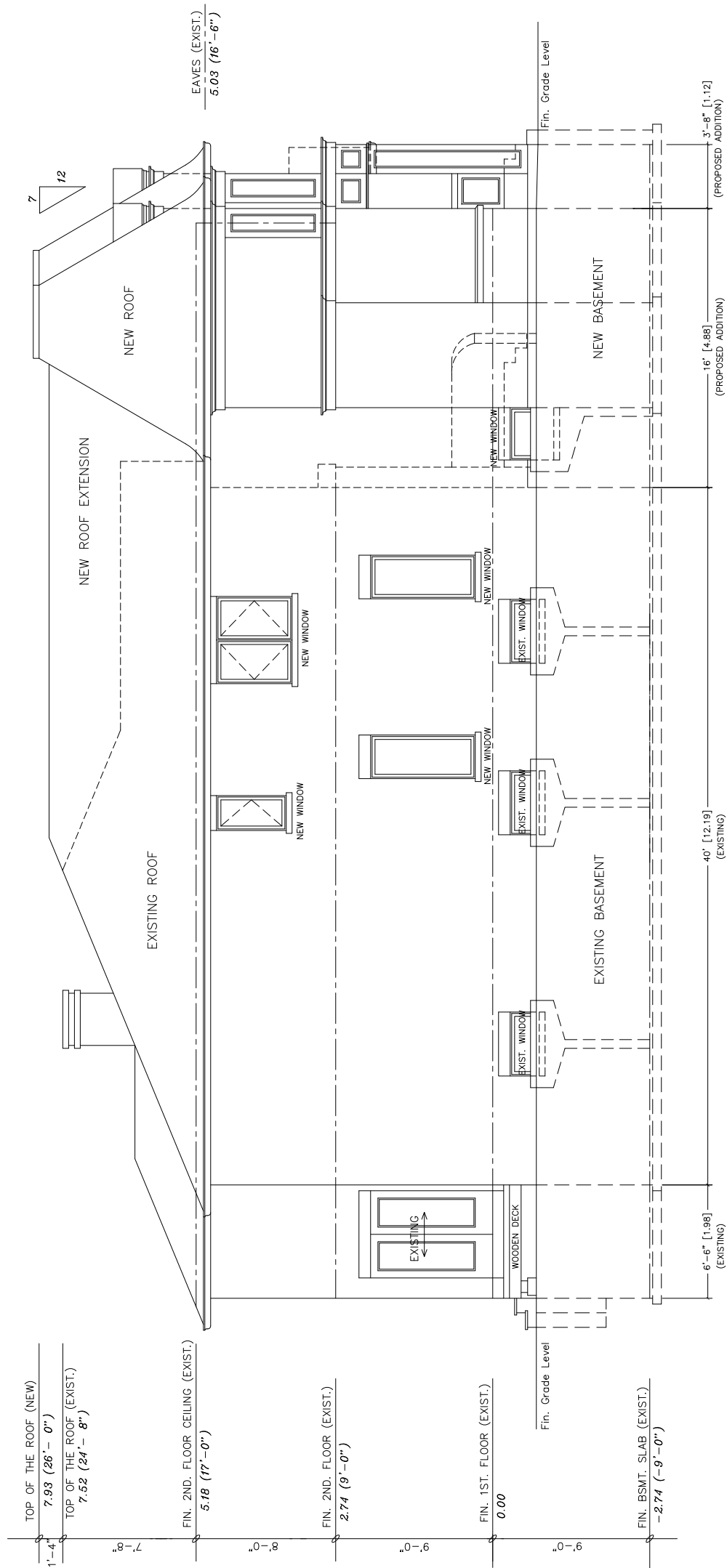
DRAWN BY J.M. CHECKED V.G.

SCALE 1/8"=1'-0" DATE JANUARY'24

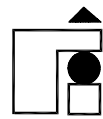
PROJECT NUMBER R-18/01/24 **A-7**

WEST ELEVATION

SCALE 1/8" = 1'-0"



GUITBERG GROUP INC.



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PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ONTARIO
(ADDITION AND RENOVATION)

WEST ELEVATION

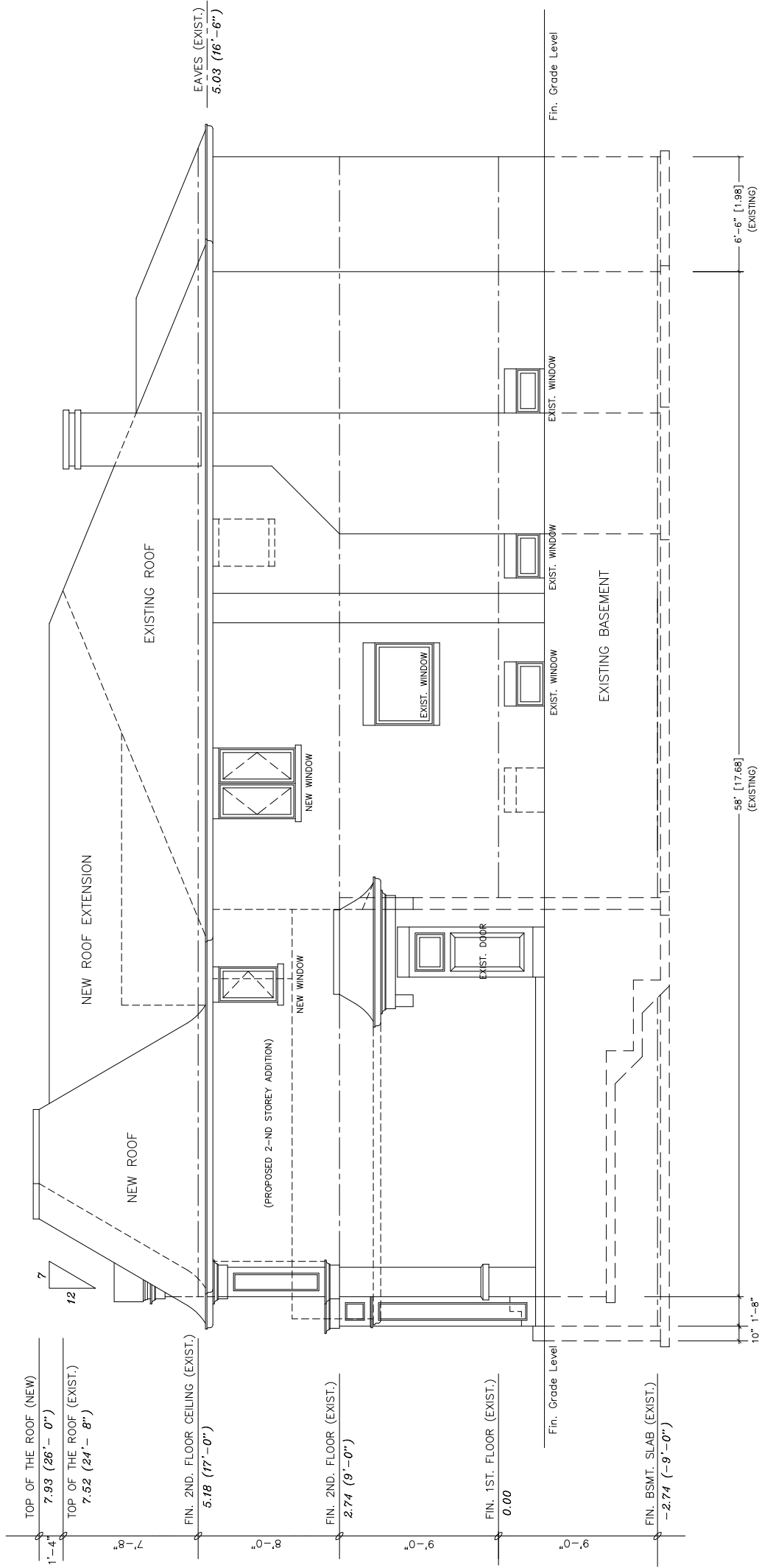
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SCALE	1/8"=1'-0"	DATE	JANUARY'24

PROJECT NUMBER
R-18/01/24

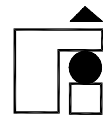
A-8

EAST ELEVATION

SCALE 1/8" = 1'-0"



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PRIVATE RESIDENCE
AT 446 SPRING GATE BLVD.
CITY OF VAUGHAN, ONTARIO
(ADDITION AND RENOVATION)

EAST ELEVATION

DRAWN BY	J.M.	CHECKED	V.G.
SCALE	1/8" = 1'-0"	DATE	JANUARY '24

PROJECT NUMBER
R-18/01/24

A-9

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: March 7th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A019-24**

Related Files:

Applicant Guitberg Group Inc.

Location 446 Spring Gate Blvd.



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

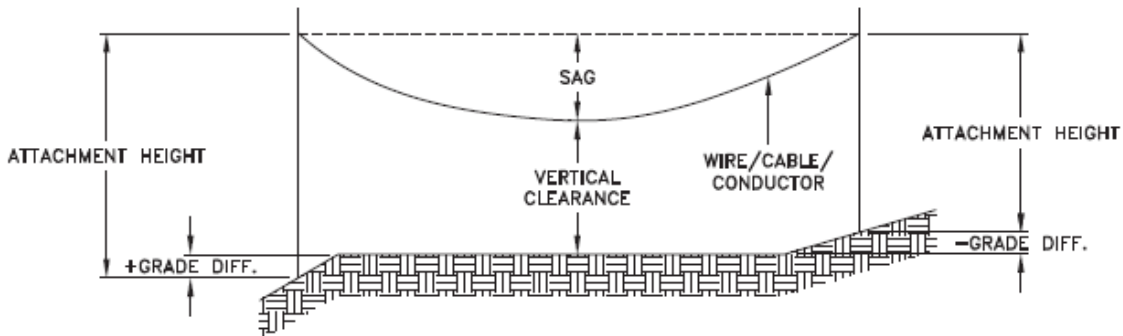
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: March 19, 2024
Applicant: Guitberg Group Inc.
Location: 446 Spring Gate Boulevard
 PLAN RP3715 Part of Lot 44
 PLAN RS65R4674 Part 3
File No.(s): A019/24

Zoning Classification:

The subject lands are zoned R2 – Residential Zone and subject to the provisions of Exception 9(275) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	A minimum front yard of 7.5m is required. [Schedule T-086]	To permit a minimum front yard of 7.11m.
2	A maximum lot coverage of 35% is permitted. [Schedule T-086]	To permit a maximum lot coverage of 40.23%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

Zoning By-law 001-2021	
1	This application is deemed to be transitioned under section 1.6.2.6 of bylaw 001-2021 as amended.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: March 26, 2024
Name of Owners: Tovi and Yael Mamann
Location: 446 Spring Gate Boulevard
File No.(s): A019/24

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum front yard of 7.11 m.
2. To permit a maximum lot coverage of 40.23%.

By-Law Requirement(s) (By-law 1-88):

1. A minimum front yard of 7.5 m is required.
2. A maximum lot coverage of 35% is permitted.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of the proposed 2-storey addition to the existing dwelling, with the above-noted variances. The addition will square off the front of the dwelling and is part of works that would add a second storey over the existing garage, creating a new design for the front façade.

Development Planning Department staff has no objection Variance 1 for the proposed reduction to the front yard. The requested 0.39 m relief for the front yard will only be utilized by the proposed covered porch, which is one-storey in height, spans approximately one fifth of the width of the dwelling, and has a modest projection out from the newly proposed front wall. The rest of the dwelling complies with the minimum front yard requirement of the Zoning By-law. As such, the reduced front yard depth where the porch is proposed is not anticipated to have adverse massing impacts to the neighboring properties or the existing streetscape.

The existing dwelling, proposed addition, and covered front porch will have lot coverages of 34.08%, 5.7% and 0.45% respectively. The 5.23% increase to the permitted lot coverage is appropriate for the size of the lot and will not pose a significant adverse impact to the neighbouring properties or the surrounding area. The total lot coverage excluding the covered front porch complies with the 40% requirement in Zoning By-law 001-2021. The portion of the total lot coverage above 40% is for the covered front porch which is unenclosed and considered non-habitable space. As such, Development Planning Department staff has no objection to Variance 2 for the increased lot coverage.

In support of the application, the Owners have submitted an Arborist Report and Tree Protection Plan prepared by D.A. White Tree Care, dated February 8, 2024. The report inventoried 15 trees, two of which are proposed to be removed, and identified trees at 442 Spring Gate Boulevard that could be impacted. Urban Design staff have reviewed the report and recommends that either a Consent Letter be provided from the neighboring property to the east acknowledging the impact to their trees, or a 1.8 m tree protection zone be maintained to protect the neighbour's trees. An updated Arborist Report and Tree Protection Plan indicating the updated tree protection zone and is recommended for the latter option. A condition to this effect is included as a condition of approval.

Accordingly, Development Planning Department staff can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

Development Planning Department staff recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That a Consent Letter from the neighbouring property to the east regarding the impacts to their trees, or an updated Arborist Report and Tree Protection Plan detailing the 1.8 m tree protection zone, be provided to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

From: [Joshua Lacaria](#)
To: [Committee of Adjustment](#)
Cc: [Prabhdeep Kaur](#); [Joshua Lacaria](#); [Kristen Regier](#)
Subject: [External] RE: A019/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, February 29, 2024 3:53:11 PM
Attachments: [image002.png](#)

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Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Joshua Lacaria, MES (PI)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(437\) 880 2347](tel:4378802347)

E: joshua.lacaria@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Prabhdeep Kaur

From: Development Services <developmentservices@york.ca>
Sent: Friday, March 1, 2024 11:42 AM
To: Prabhdeep Kaur
Cc: Committee of Adjustment
Subject: [External] RE: A019/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Follow Up Flag: Follow up
Flag Status: Flagged

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Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A019/24 (446 Spring Gate Boulevard) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None