

ITEM: 6.8	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A188/23
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Report Date: March 8, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A188/23
10 BRADWICK DRIVE, CONCORD**

CITY WARD #:	4
APPLICANT:	10 Bradwick Drive Ltd.
AGENT:	Intel Power Inc.
PROPERTY:	10 Bradwick Drive, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit proposed storage (tent structure and shipping containers).

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **EM2, General Employment Zone** and subject to the provisions of **Exception 14.169** under **By-law 001-2021, as amended**.

#	Zoning By-law 001-2021	Variance requested
1	The minimum rear yard setback required is 12.0 metres. [Table 11-3]	To permit a minimum rear yard setback of 0.35 metres to an accessory structure.
2	The minimum interior side yard setback required is 6.0 metres. [Table 11-3]	To permit a minimum interior side yard setback of 0.0 metres to an accessory structure.
3	The minimum number of parking spaces required is 20 spaces. [Table 6-2]	To permit a minimum of 16 parking spaces.
4	The minimum parking space length required is 5.7 metres. [Table 6-1]	To permit a minimum parking space length of 5.03 metres.
5	The minimum width of an aisle permitting two directions of motor vehicle traffic shall be 6.0 metres. [Section 6.6.1, 1. & 6.6.3, 2.]	To permit a minimum of 5.39 metres width for an aisle permitting two directions of motor vehicle traffic.
6	The minimum width of an aisle or driveway providing access to a loading space within a building and having two directions of traffic shall be 6 metres. [Section 6.11.3, 1. a.]	To permit a minimum of 5.49 metres width for an aisle or driveway providing access to a loading space.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 14, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 29, 2024
Date Applicant Confirmed Posting of Sign:	February 26, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	We wish to use the space at the rear of the building for storage.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:

On February 26, 2024, Committee of Adjustment staff provided the applicant with an opportunity to adjourn the application to permit time for submission, as requested by Development Planning and review of revised information.

On February 28, 2024, Development Engineering provided:

Development Engineering has some comments regarding Minor Variance Application A188/23 – 10 Bradwick Drive.

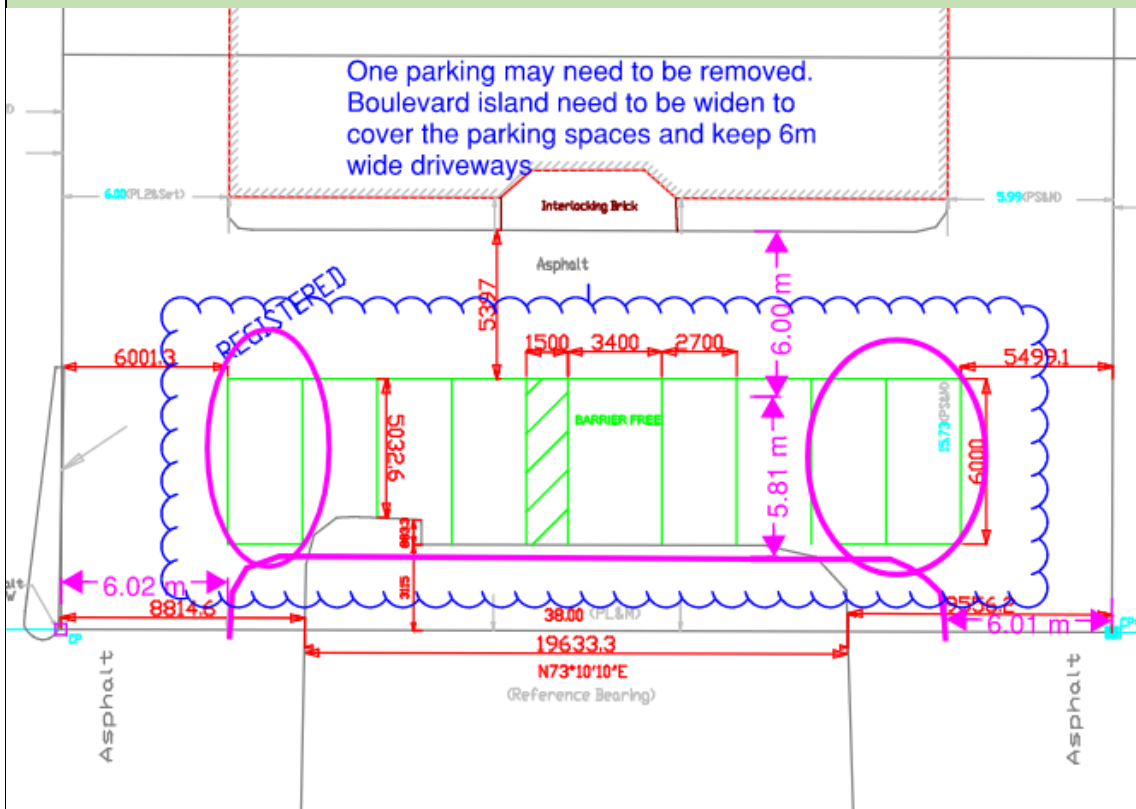
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6	The minimum width of an aisle or driveway providing access to a loading space within a building and having two directions of traffic shall be 6 metres. [Section 6.11.3, 1. a.]	To permit a minimum of 5.49 metres width for an aisle or driveway providing access to a loading space.

For Variances #3 and #4, there are no objections to the parking space dimensions (2.7m x 5.7m for 90-degree parking) and parking supply of 16 spaces as the parking supply would fulfill the Zoning By-law 001-2021 requirements:

- 834 sq.m. warehouse will require 5 spaces
- 312 sq.m. office will require 10 spaces
- The entire site will require 15 spaces in total

However, staff has safety concerns with few parking space locations along the south frontage that circled in pink/magenta in the capture below.

COMMITTEE OF ADJUSTMENT



The circled three parking spaces are within the existing driveways (over 8.5m wide) interfering active travel paths. The boulevard island between the driveways should be widened and modified for the proposed parking spaces along the south frontage, see staff's sketch above for suggested changes.

Parking space dimension and two-way driveway width should comply by-law 001-2021 requirements. As such, one of the parking spaces along the south frontage must be removed.

A 6m aisle should be provided for 60-degree to 90-degree parking spaces. If there are constraints to provide a 6 m aisle, the driveway aisle between the parking spaces and the building frontage should be changed to one-way travel with proper signage (e.g. one-way sign, do not enter sign, stop sign, etc.) and the parking spaces should be revised to 45-degree angle parking (2.7m x 6.0m).

For Variance #5, staff cannot support the proposed aisle width reduction. A minimum 6m aisle is required for two-way travel. Please see above comments for suggestions to comply Zoning By-law 001-2021.

For Variance #6, truck maneuvering diagram is required for further review.

On February 28, 2024, the applicant provided:

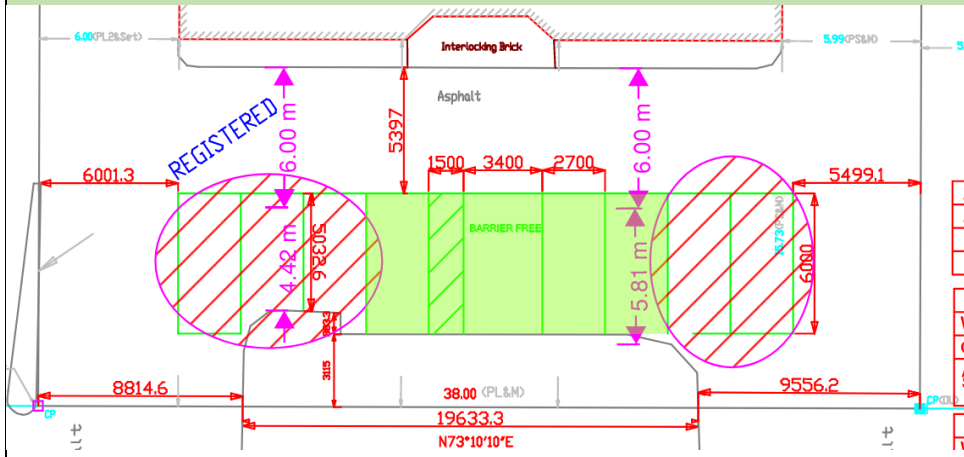
There are no painted parking lines on this property (picture attached), I just drew them in on the drawing based on dimensions I was given from the bylaws to prepare the parking calculations.

Having said that, the front parking spaces are messageable, so the length of the parking spaces can be considered to be 5.8m to allow the 6.0m clearance for 2-way traffic so variance #5 would no longer apply. I put in the barrier free parking space even though there was none in the original building plan back in the 80's. The boulevard can not be changed, the bump out is to accommodate the pad mounted transformer (can be seen in the attached picture). If we need only 15 spaces, then I can remove one space from the front and re-distribute the spaces so that variance #6 would no longer apply.

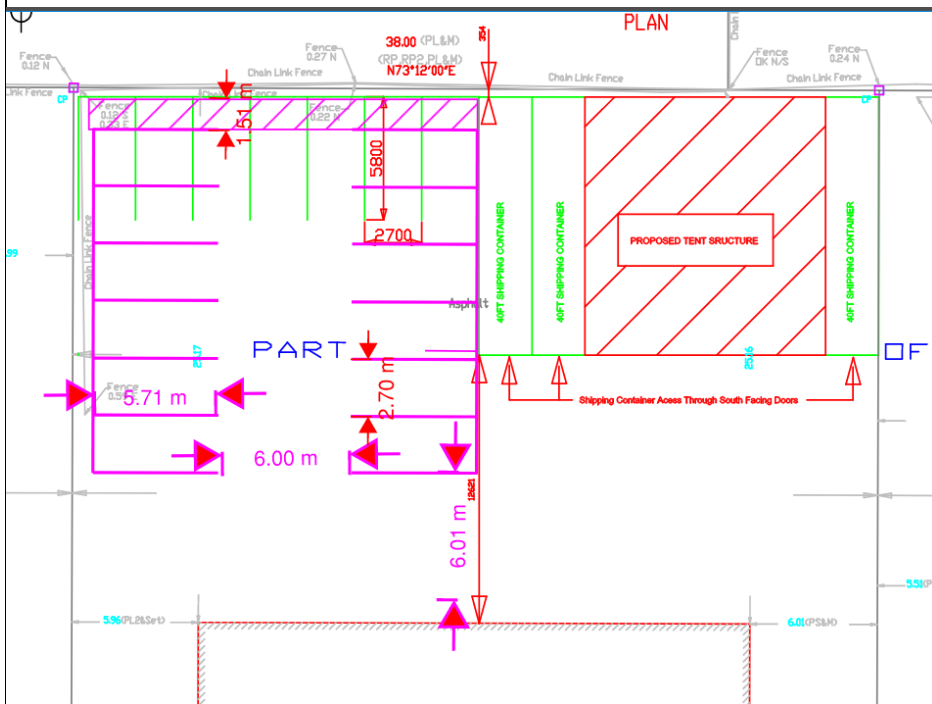
On February 28, 2024, Development Engineering provided:

If the boulevard cannot be changed, a total of 5 parking spaces that are encircled must be removed from the south frontage (i.e. 4 parking spaces highlighted in green along the south frontage can remain). The 2 parking spaces in front of the transformer pad must also be removed as they do not meet the minimum length requirements as shown below.

COMMITTEE OF ADJUSTMENT



The parking in the rear can be rearranged to accommodate the remaining 11 required parking spaces. Please see sketch below for suggested changes to the parking at the rear of the site in pink/magenta.



On February 29, 2024, the applicant provided:

We are distributors of stone machines and equipment, and we provide cutting services of our clients. We stock some pieces of equipment of sizes that vary from 10- 20ft in length. The pieces that we would put outside tend to be the ones that are not computer base control, which can handle the temperature fluctuations, but need to be protected from weather.

The piece in the picture is the base of a water filtration unit. Designed for the stone industry to filter the water used in the cutting and polishing of stone materials, to make it suitable to recycle and feed back to the machines. In this way, Stone shops can run completely closed loop which greatly reduces city water consumption and eliminates cutting material being put into the sewage system. This is beneficial for municipalities as well.

With respect to the cutting and fabrication services, we use the machines we sell to demonstrate their capabilities, offer training in their operation, and we assist our clients with project work. As such, we need a space to store and protect the raw and finished materials. As of right now, both equipment and materials are being stored outside and are being covered with tarps and plastic. Having the tent will help us a lot in our business.

On February 29, 2024, Development Engineering provided:

This parking configuration is what the city is okay with allowing. Please email an updated drawing to [@Committee of Adjustment](mailto:Committee of Adjustment) so that Development Engineering may conclude our review.

On March 6, 2024, the applicant provided a revised parking plan.

On March 6, 2024, Building Standards requested additional information to finalize zoning review of revised submission.

COMMITTEE OF ADJUSTMENT

Applicant to submit required Adjournment Fee to reschedule the application, if required.

Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under review

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Application under review

Development Engineering Recommended Conditions of Approval:	TBD
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Joshua.cipolletta@vaughan.ca	TBD
2	Development Engineering jonal.hall@vaughan.ca	TBD

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

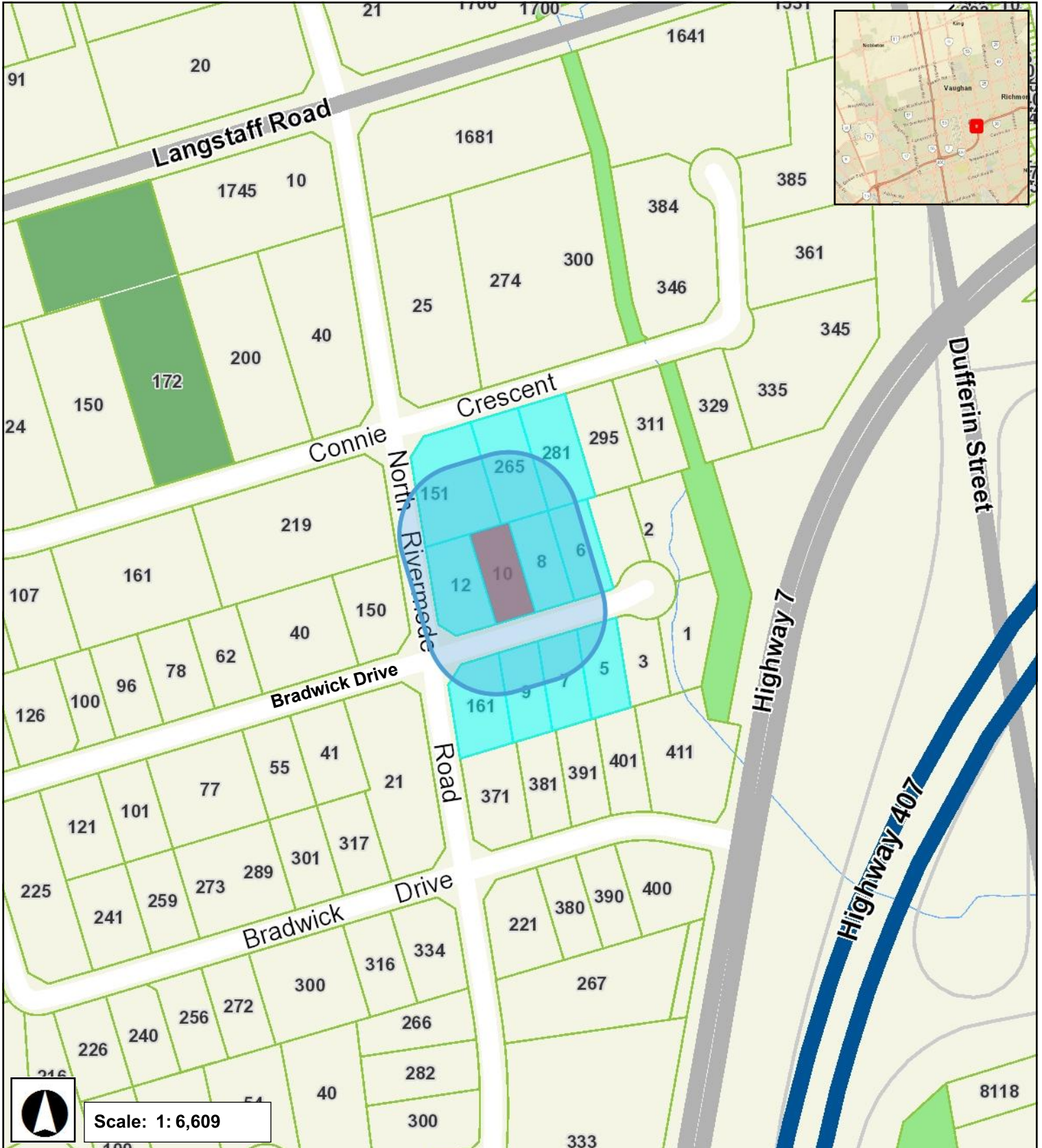
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

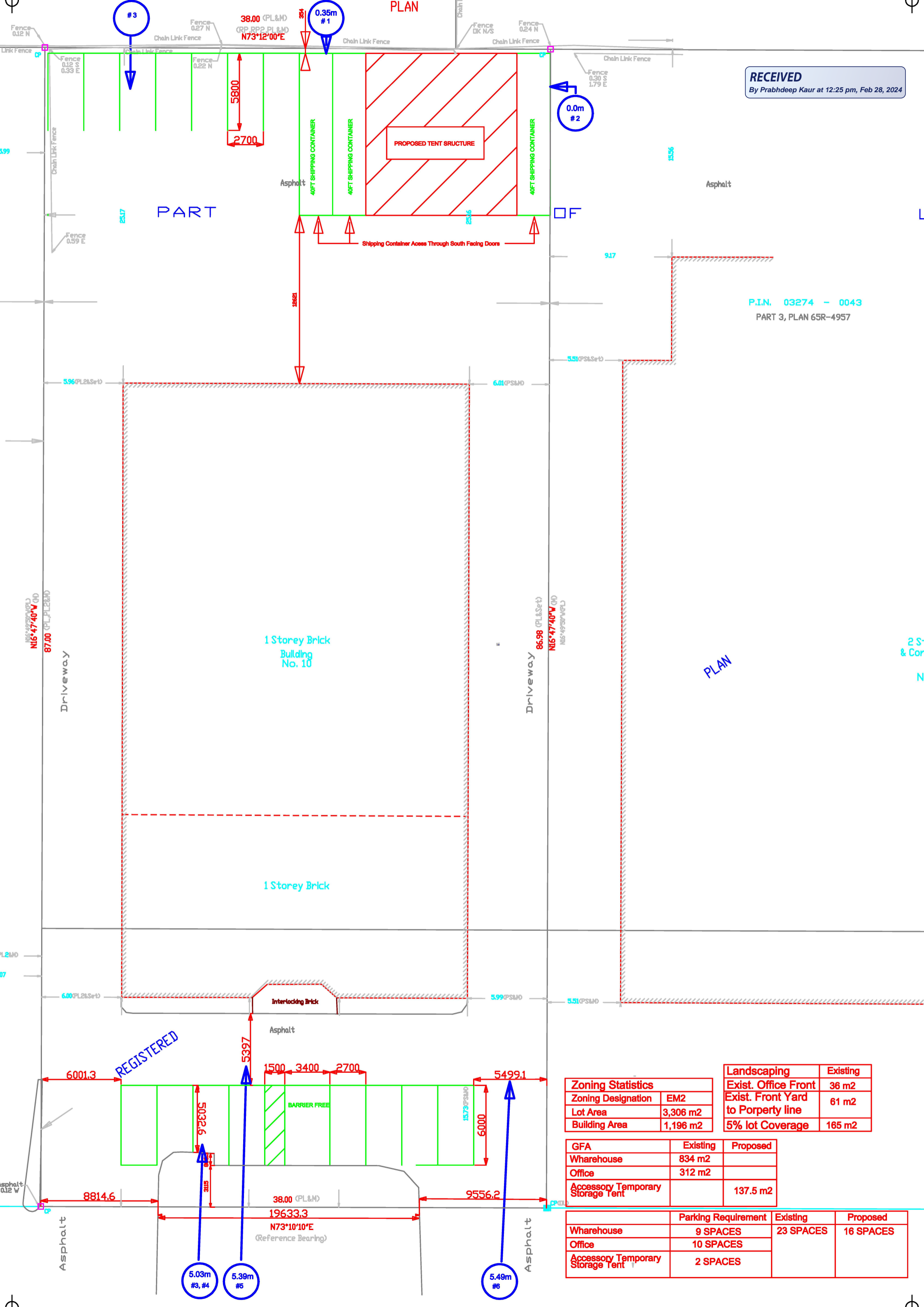
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



RECEIVED
By Prabhdeep Kaur at 12:25 pm, Feb 28, 2024



P.I.N. 03274 - 0043
PART 3, PLAN 65R-4957

Zoning Statistics	
Zoning Designation	EM2
Lot Area	3,306 m ²
Building Area	1,196 m ²

Landscaping	Existing
Exist. Office Front	36 m ²
Exist. Front Yard to Property line	61 m ²
5% lot Coverage	165 m ²

GFA	Existing	Proposed
Warehouse	834 m ²	
Office	312 m ²	
Accessory Temporary Storage Tent		137.5 m ²

	Parking Requirement	Existing	Proposed
Warehouse	9 SPACES	23 SPACES	16 SPACES
Office	10 SPACES		
Accessory Temporary Storage Tent	2 SPACES		

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
 BEARINGS ARE AZIMUTHIC AND ARE REFERRED TO THE
 NORTH-SOUTH LINE OF THE LOT OR LOT PART OR
 N73°10'0"E ACCORDING TO PLAN 65M-4957

LEGEND

□	BOULEVARD
■	EXISTING CONCRETE
■	EXISTING MASONRY SET
■	EXISTING MONUMENT FOUND
RP	REGISTERED PLAN 65M-2049
RP2	REGISTERED PLAN M-1801
PL2	YORK REGION CONDOMINIUM
PS	PLAN No. 891
PLAN BY P. SQUA COMPANY	
DATED JANUARY 15, 1986	
NORTH-SOUTH-EAST-WEST	
N.S.E.W.	
OR	REGISTERED PLAN
SP	STANDARD PLY
SB	STANDARD IRON BAR
OU	ORIGIN UNKNOWN
PLN	PROPERTY IDENTIFIER NUMBER

SURVEYOR'S CERTIFICATE

I, THE SURVEYOR, HEREBY CERTIFY THAT:
 1. THIS SURVEY AND PLAN WERE CONDUCTED AND ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEREIN.
 2. THE SURVEY WAS COMPLETED ON THE 31st DAY OF JANUARY, 2024.

FEBRUARY 5, 2024

 OFFICER OF LAND SURVEYOR

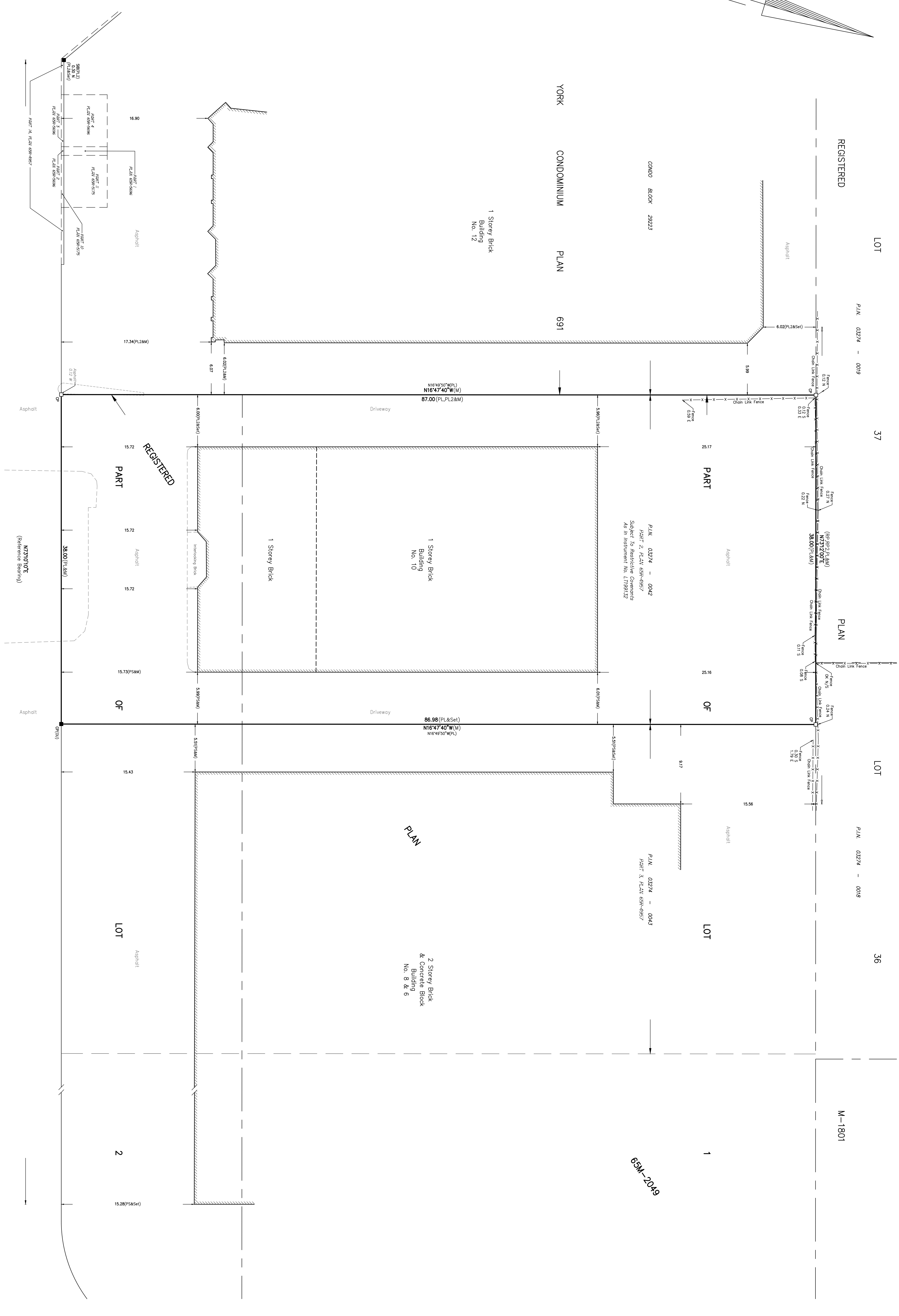
THIS PLAN OF SURVEY RELATES TO
 AAS PLAN SUBMISSION FORM NUMBER V-2183
 THIS PLAN WAS PREPARED FOR MTL POWER INC.

PART 2 - SURVEY REPORT

1) PLEASE NOTE LOCATION OF FENCES
 2) REGISTERED EXISTENTS AND/OR RIGHTS-OF-WAY;
 SUBJECT TO RESTRICTIVE COMMENTS AS IN INSTRUMENT NO. L179132
 3) THIS PLAN DOES NOT COMPLY WITH ZONING BY-LAW

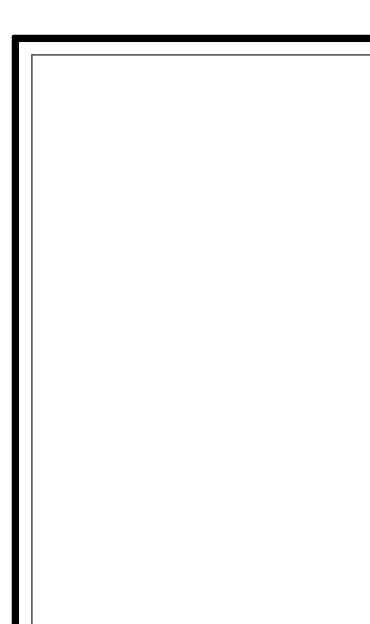
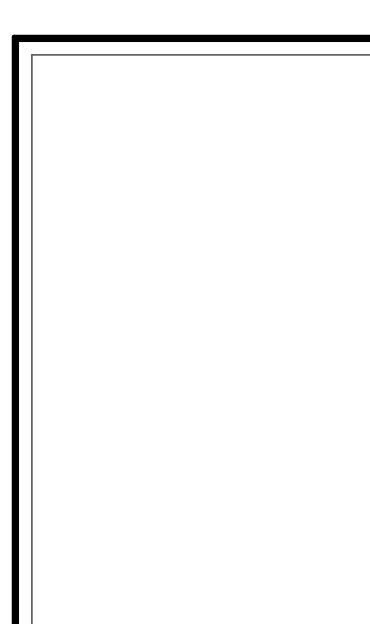
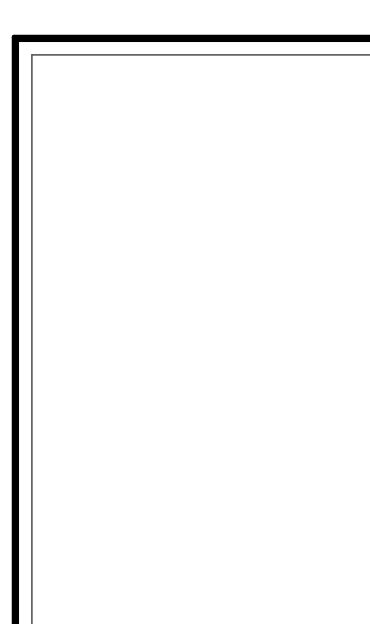
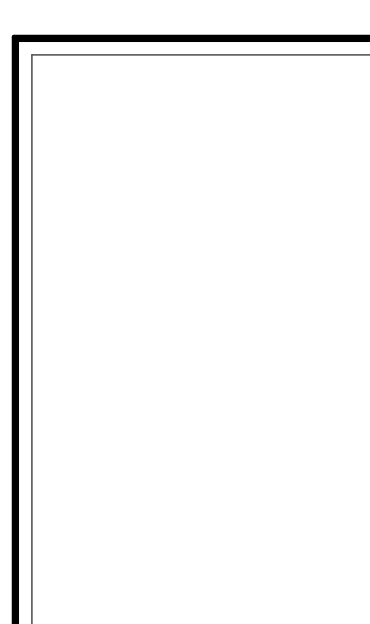
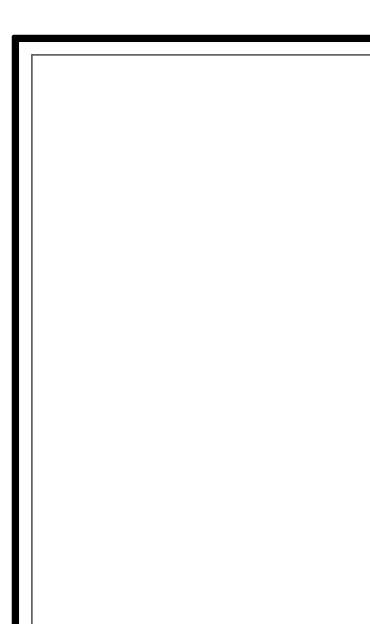
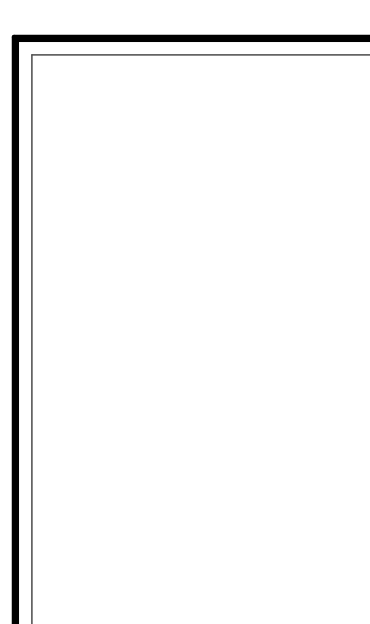
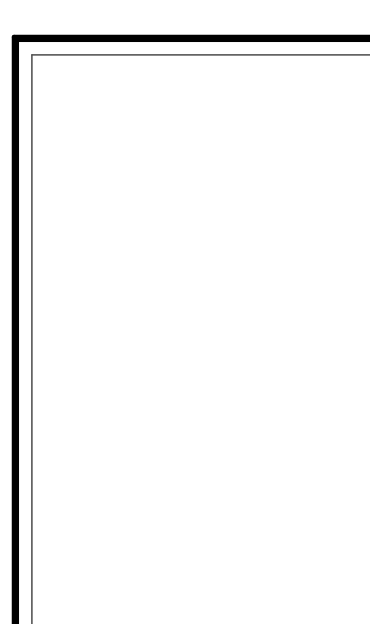
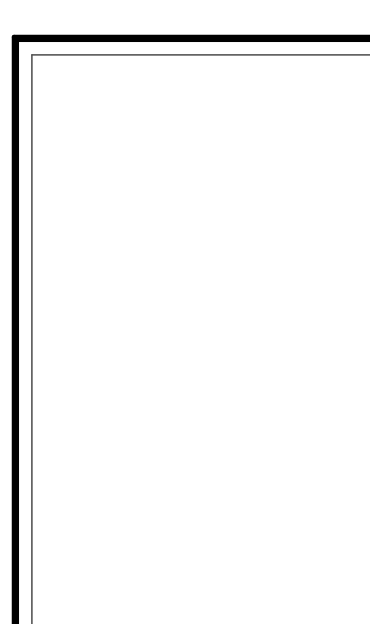
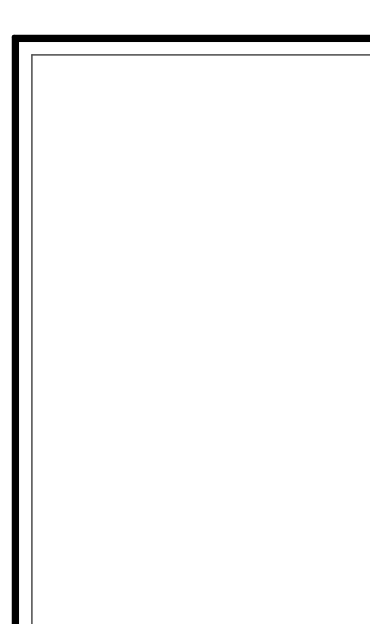
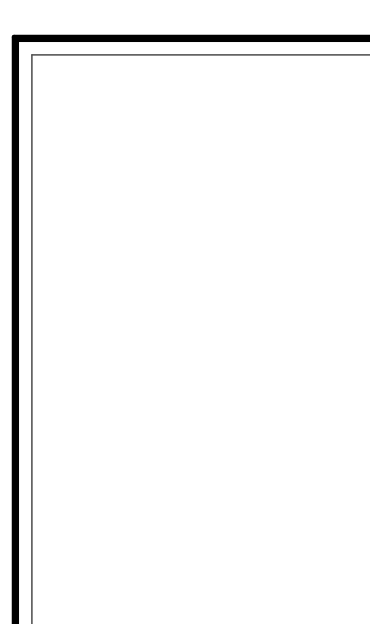
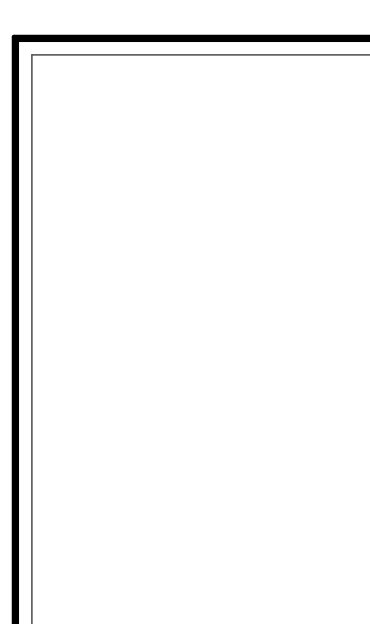
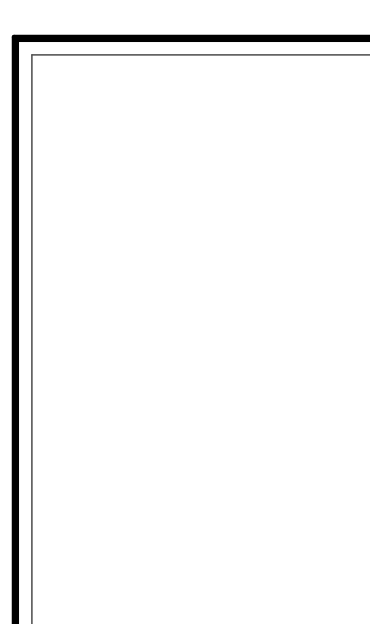
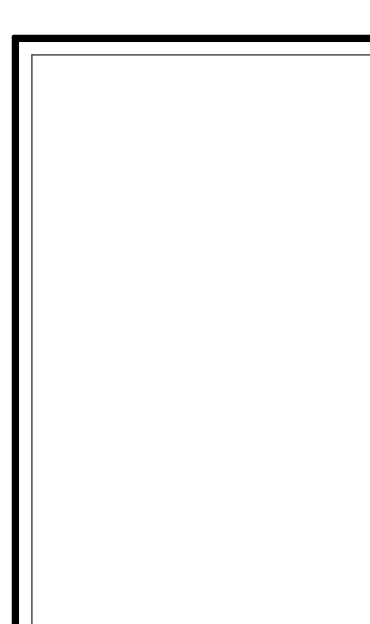
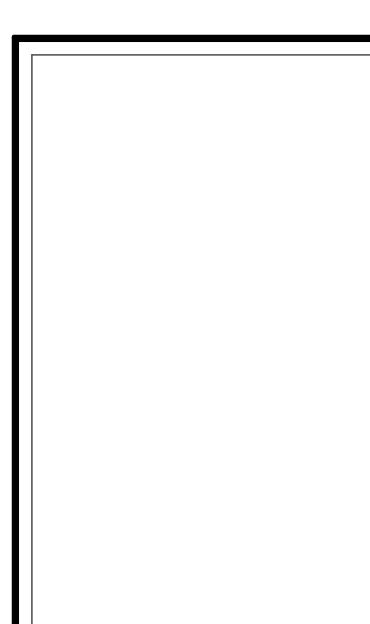
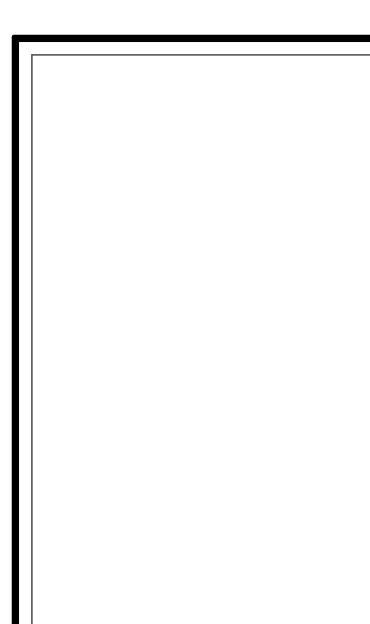
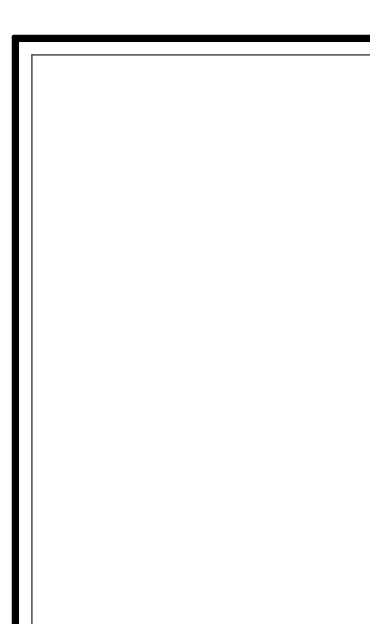
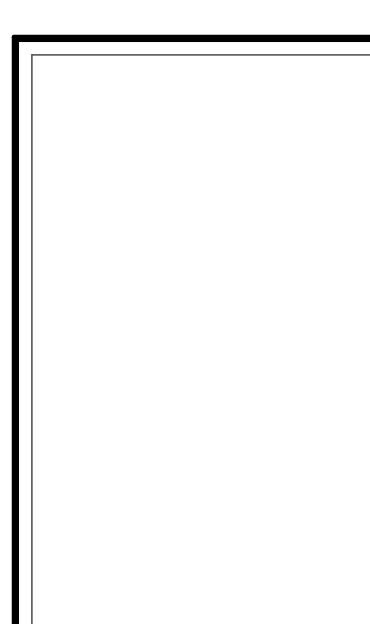
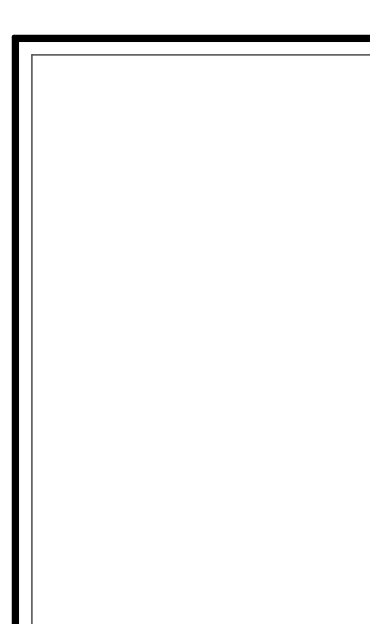
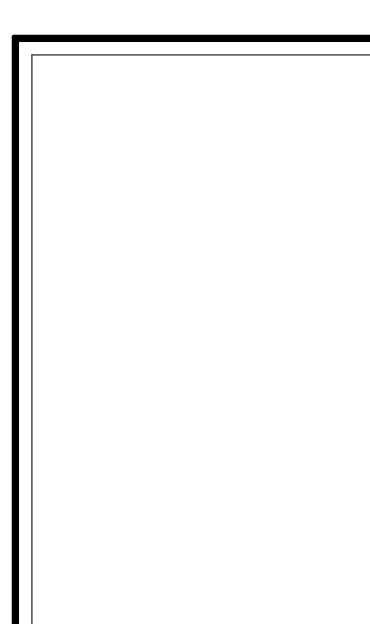
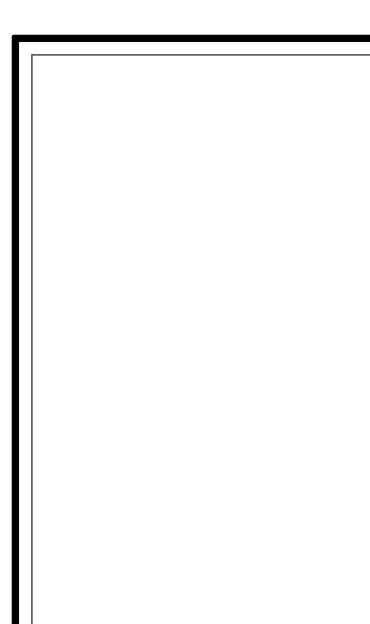
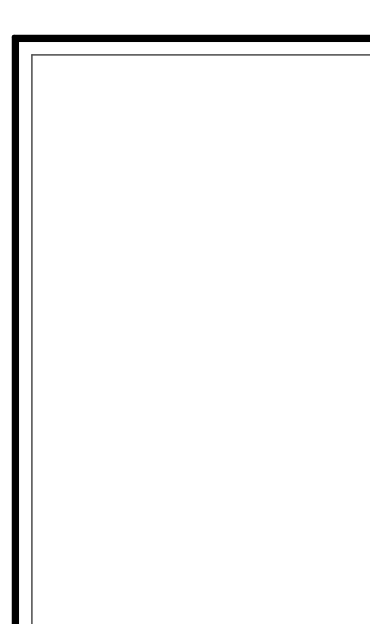
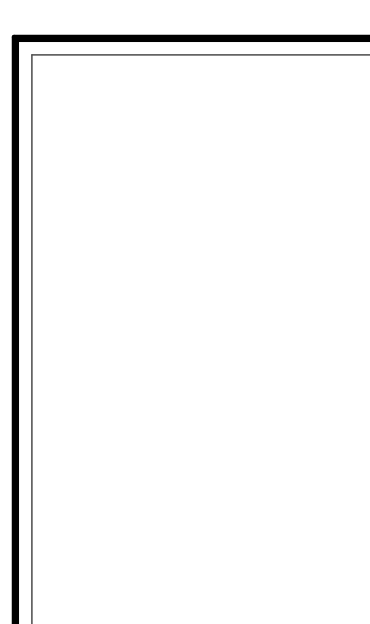
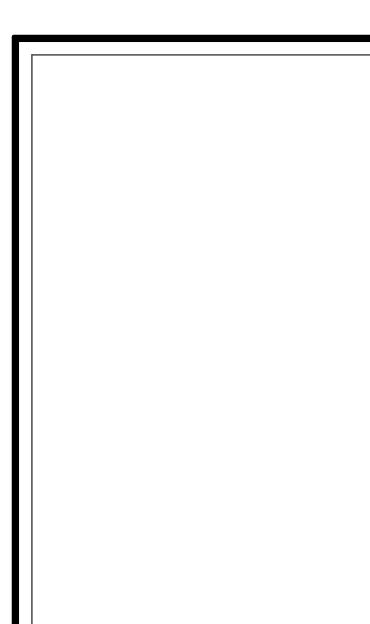
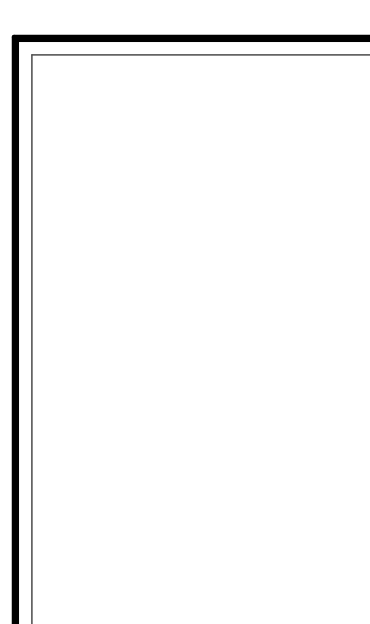
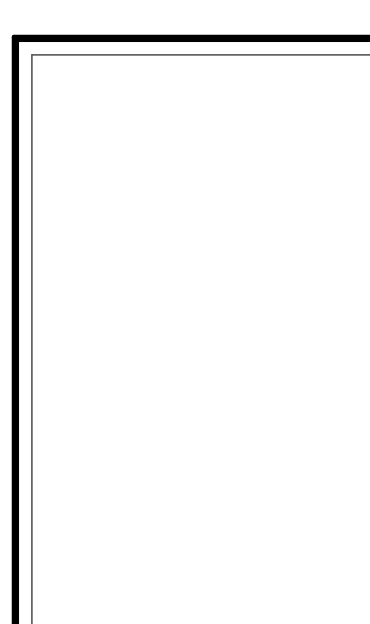
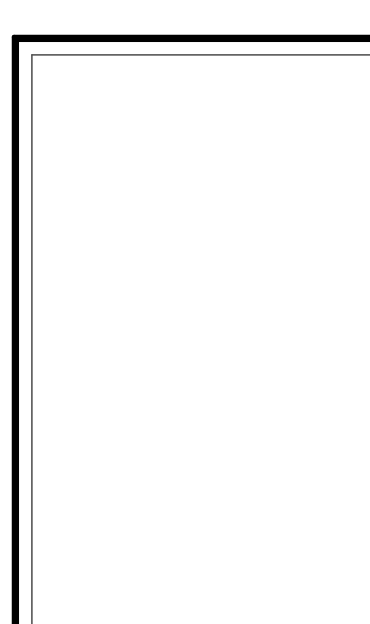
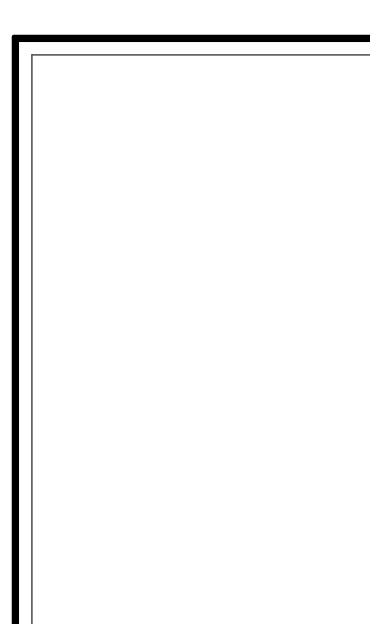
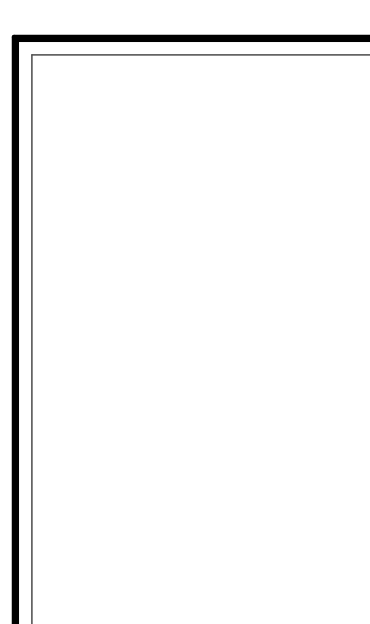
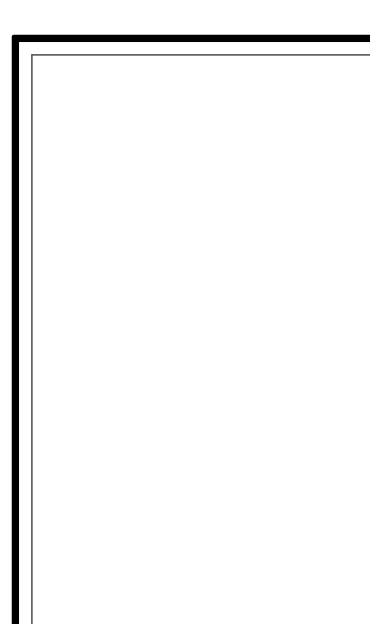
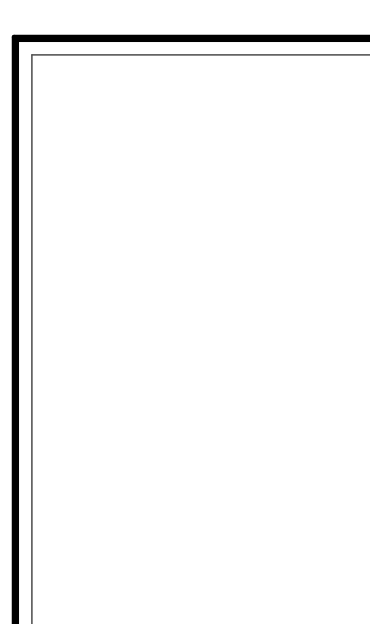
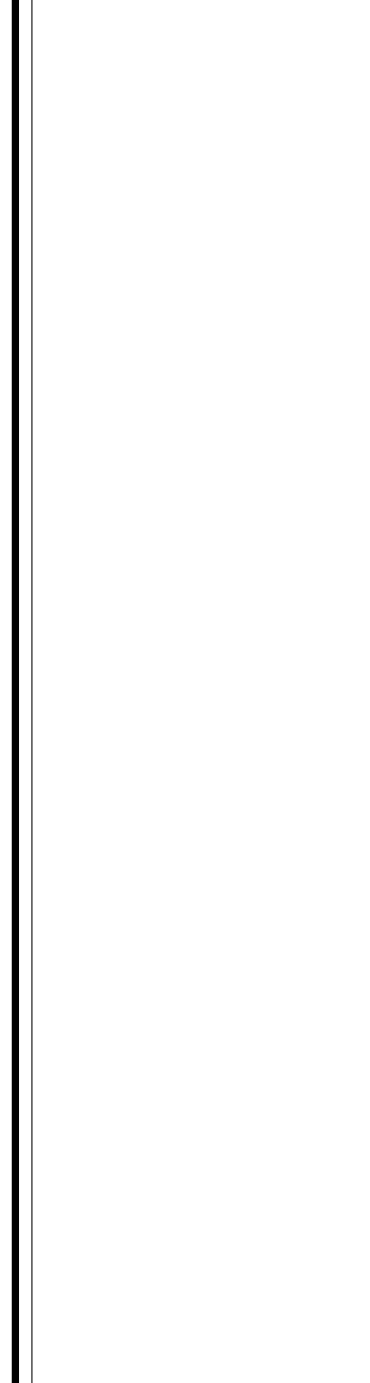
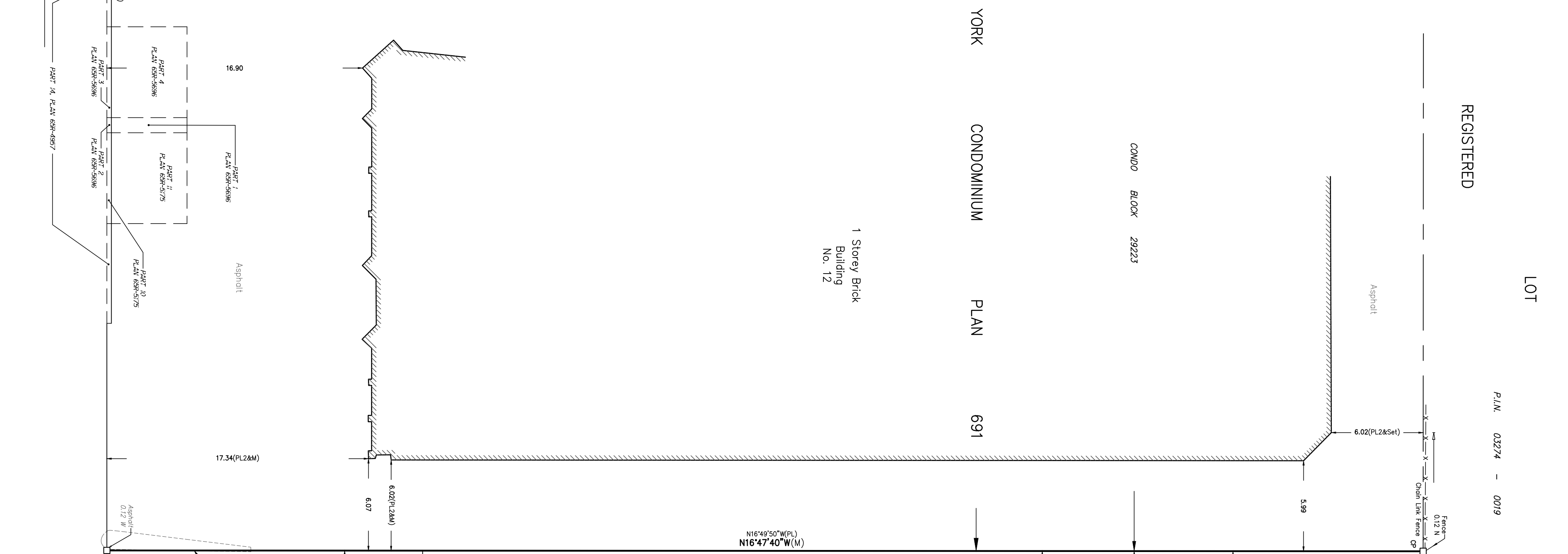
IGTA
 Greater Toronto Acres
 SURVEYING INC.
 7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2
 Tel: (416) 679-0372
 E-MAIL: jms@tasteurveying.co

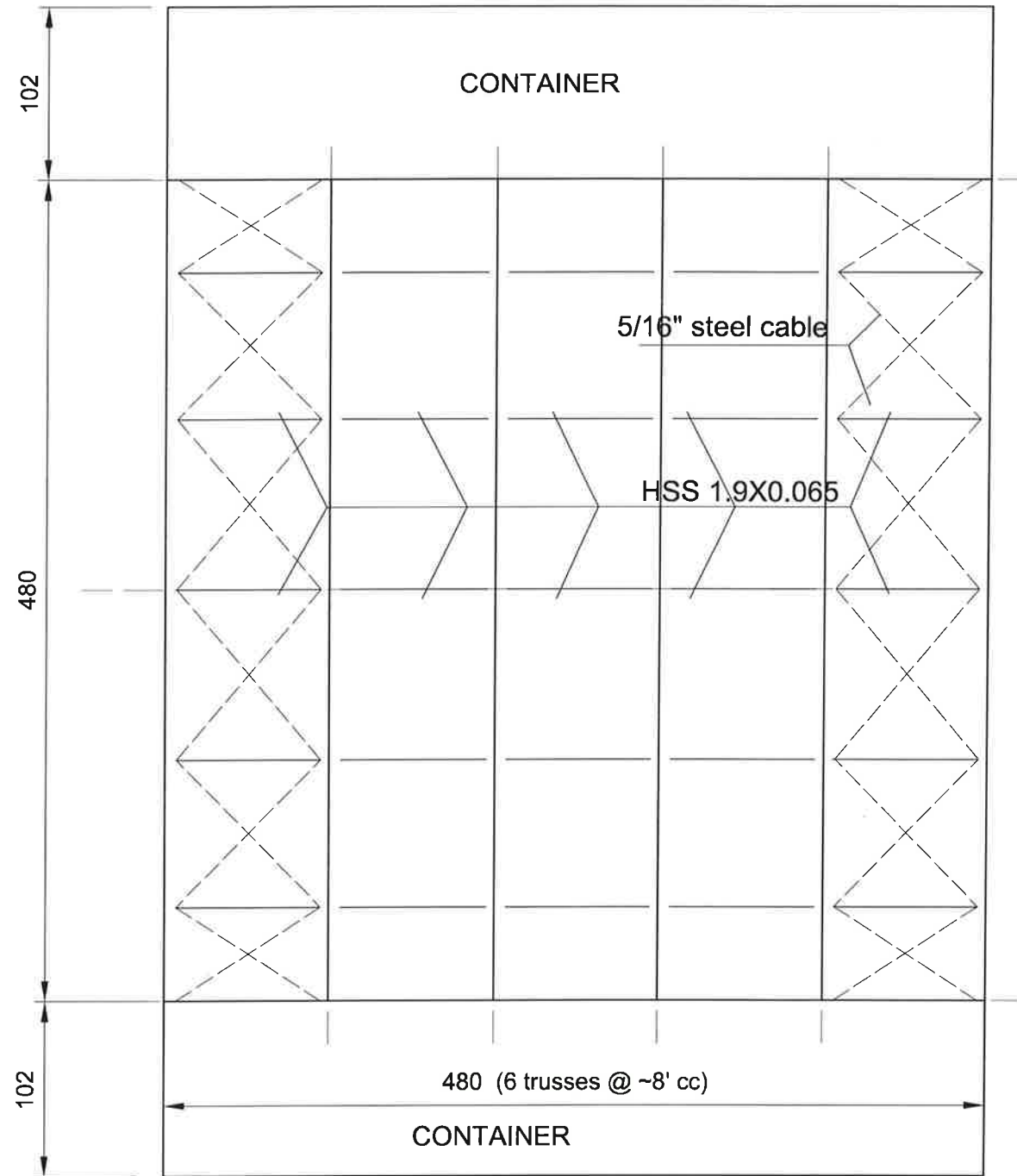
PROJECT 24013



BRADWICK DRIVE
 (Dedicated By By-Law 188 - 82, Instrument No. L195737)

PLAN 02274 - 0041
 PART 2, PLAN 65M-4957



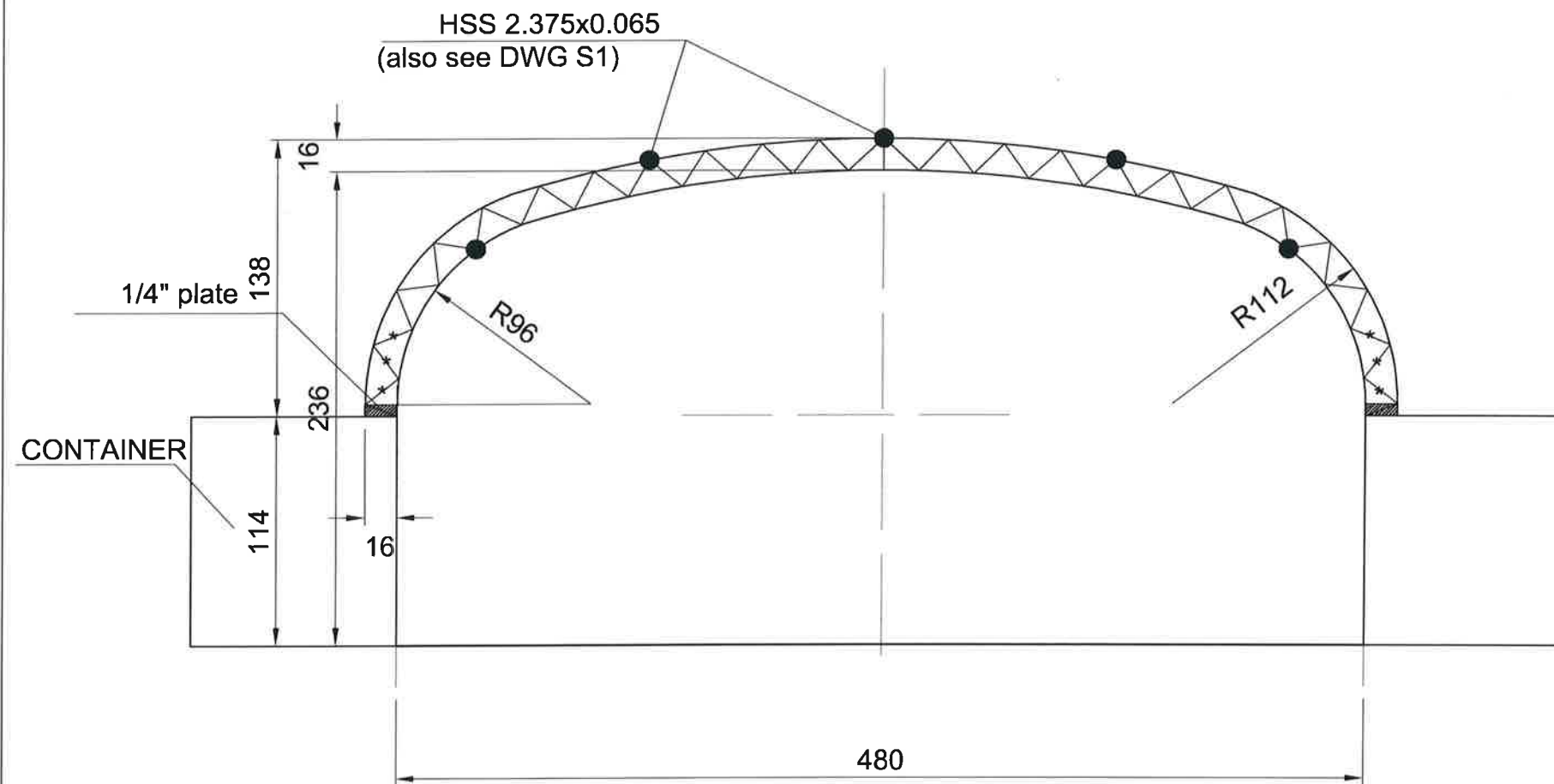


Notes:

1. Designed according to OBC2012 Ground Snow Load: 1.1 kPa and Hourly Wind Pressure: 0.44 kPa.
2. Building structure consists of steel trusses, covered by fabric roof, span over two rows of containers. Containers to be rested on min 8" compact gravel that is level and stable.
3. Building designed for low human industrial occupancy, Gr F, D-3.
4. Structural design conforming to CSA S16.01.
5. For structural tubing, use ASTM A500 Grade C tubing; for other structural member, use ASTM A992, Fy=50 ksi min; for structural bolts, use ASTM A325 with matching nuts and washers.
6. For corrosion protection, all truss member galvanized and and containers painted.
7. Roof cover to be XLShelter membrane, BMEC Authorization #A2005-16, meeting CAN/ULC S109.
8. All welds to be 1/4" fillet and full length.
9. For truss design see DWG S2. This drawing shall be read with DWG S2 for bracing member locations.
10. Dimensions in inches unless specified otherwise.



XLShelter A Division of Out Front Portable Solutions 4664 Ontario St. Beamsville ON	PART NO.	ROOF TRUSS LAYOUT			DRAWN HONGTAO
	CATEGORY		PRINT 8.5X11	DWG NO ACPS-2023-0706-S1	REV -
<small>© 2006 All Cover Portable Systems All Rights Reserved This drawing may not be copied or reproduced by any means without their explicit written permission.</small>	STATUS		DO NOT SCALE DWG	SHEET	1 OF 3



FRAME SUMMARY

UPPER CHORD	HSS 2.0X0.125
LOWER CHORD	HSS 2.0X0.125
WEBS	3/4" Dia. solid rod
WEBS(*)	1.0" Dia. solid rod
	1/4" fillet welds

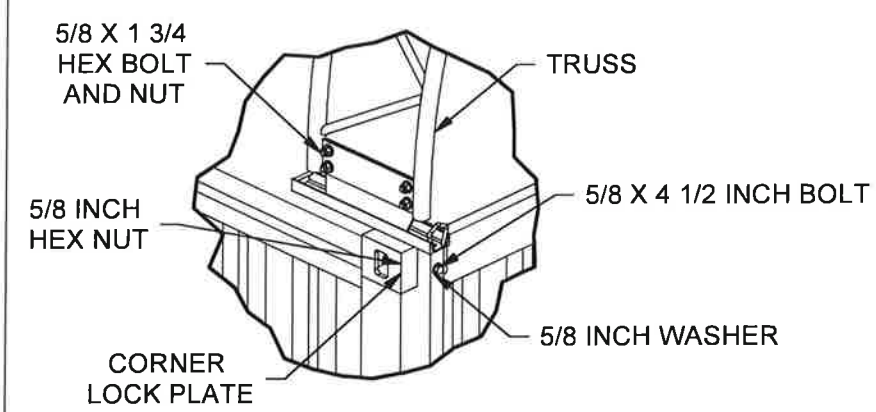
NOTES:

1. For truss layout see DWG S1.
2. For general requirements, refer to DWG S1.
3. Dimensions in inch unless otherwise specified.

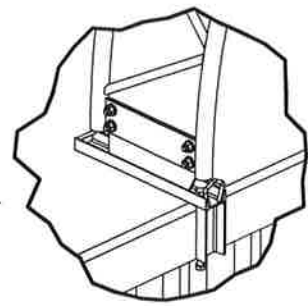


XLSHELTER A Division of OutFront Portable Solutions 4664 Ontario St. Beamsville ON	PART NUMBER		Roof Truss			DWG NO ACPS-2023-0706-S2	DO NOT SCALE DWG	PRINT 11 x 17	REV 0
	CATEGORY					© 2006 Outfront Portable Solutions All Rights Reserved This drawing may not be copied or reproduced by any means without their explicit written permission.		SHEET 2 OF 3	
	DRAWN	HONGTAO	7/21/2023	STATUS					

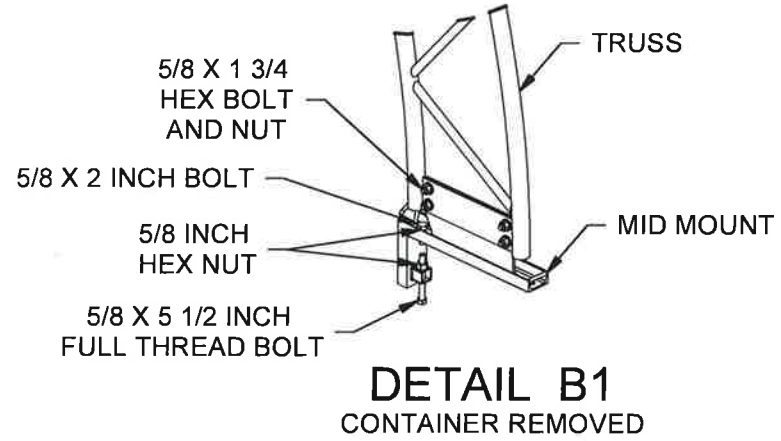
ANCHORING AND TYPICAL CONNECTION DETAIL



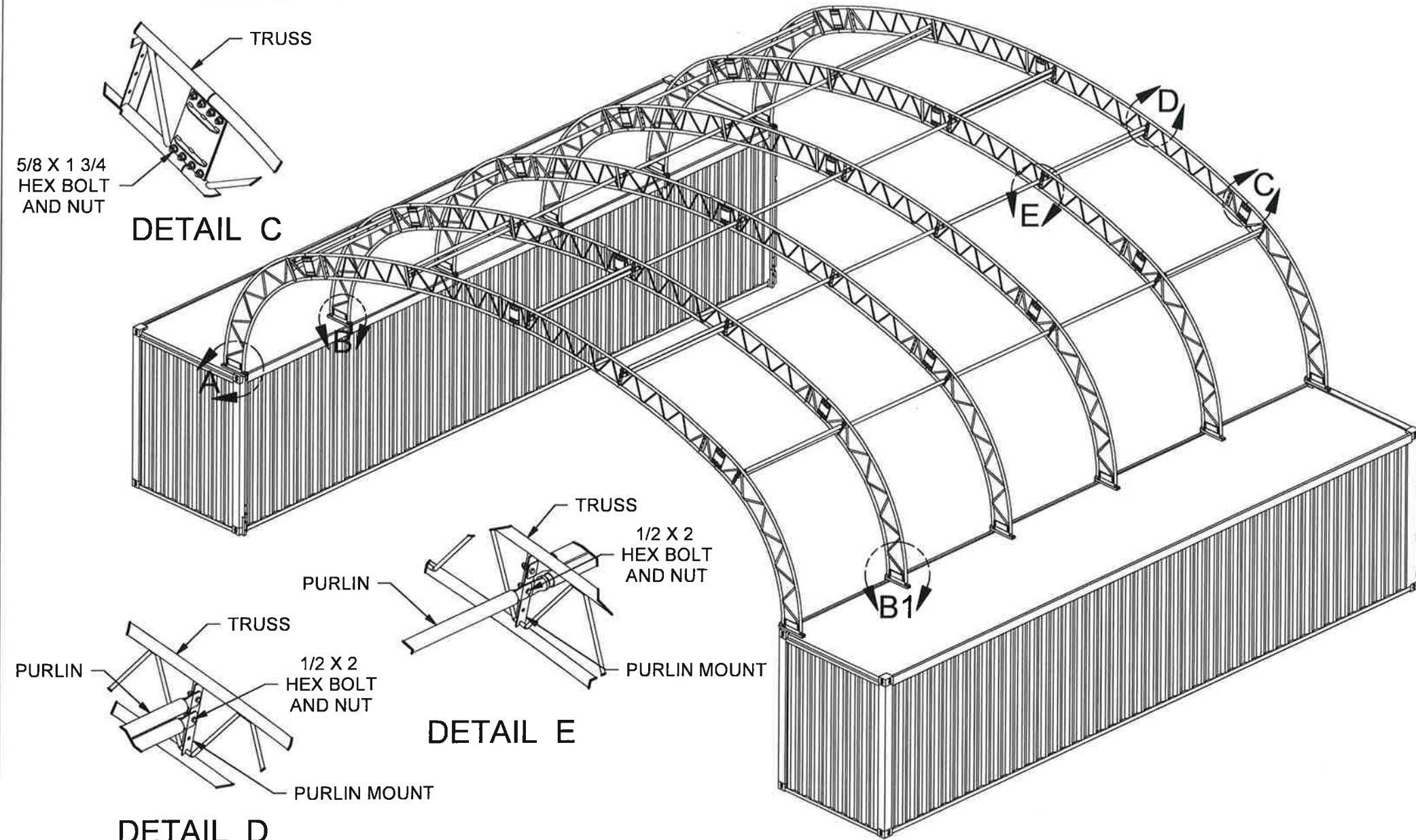
DETAIL A



DETAIL B



DETAIL B1
CONTAINER REMOVED



DETAIL C

DETAIL D

DETAIL E

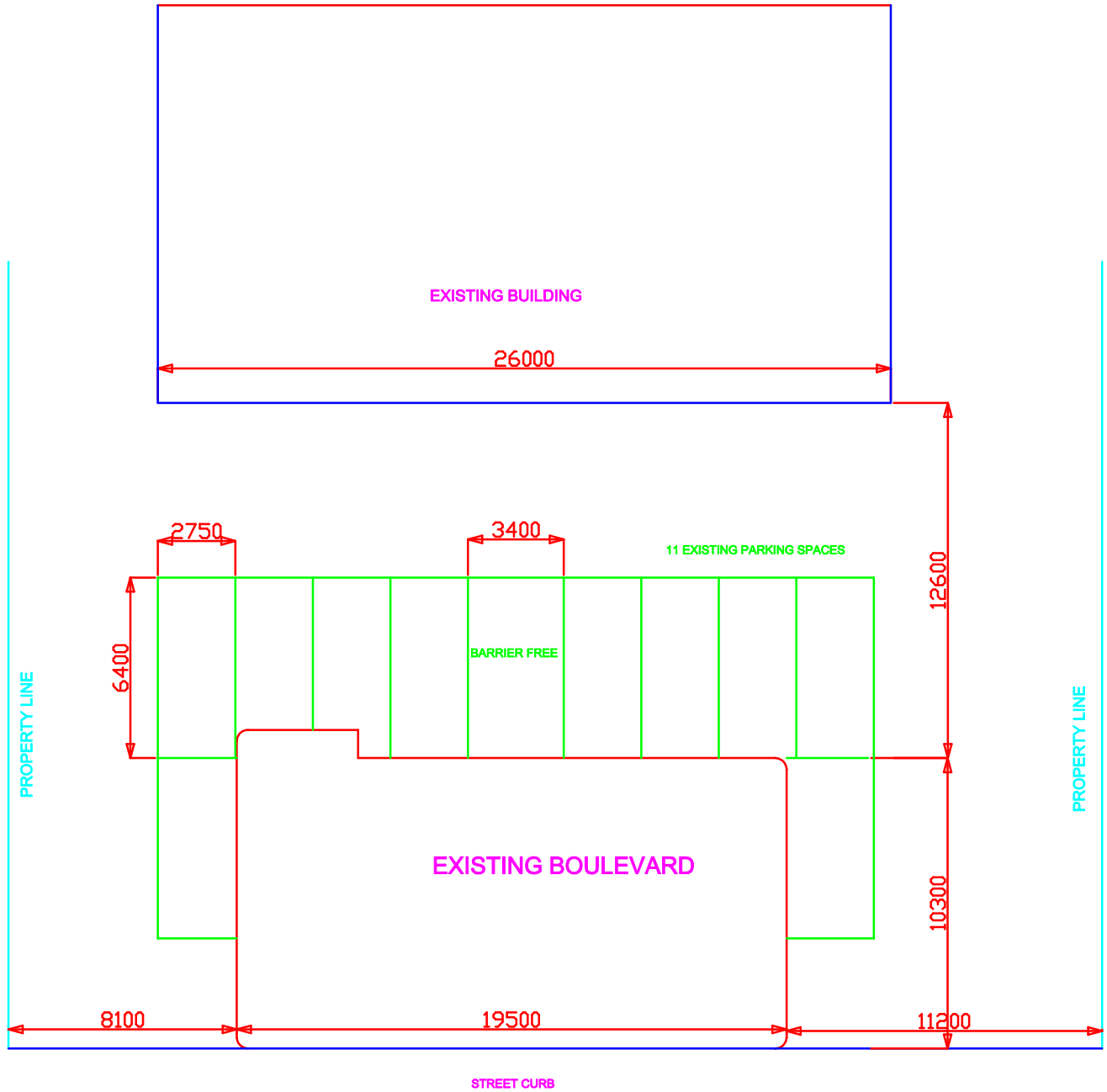


<p>XL SHELTER A Division of OutFront Portable Solutions Inc. 4664 Ontario St. Beamsville ON</p>	PART NUMBER ---		---		DWG NO ACPS2023-0706-S3	DO NOT SCALE DWG	PRINT 11 x 17	REV -
	CATEGORY	ASSEMBLY	CONNECTION DETAILS					
	DRAWN	Karl.Stoberman	STATUS		SHEET 3 OF 3			

RECEIVED

By attwalap at 9:16 am, Jan 09, 2024

A188/23







ENDOCH INC.

Intel Power
STONE EQUIPMENT & SERVICE
647 212 0056
ELECTRICAL SERVICES • CONSTRUCTION SERVICES
www.intelpowerinc.ca

Intel Power
STONE EQUIPMENT & SERVICE
647 212 0056

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Copy and Paste Agency Table from Summary Sheet

Date: February 12th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A188-23**

Related Files:

Applicant Intel Power Inc.

Location 10 Bradwick Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

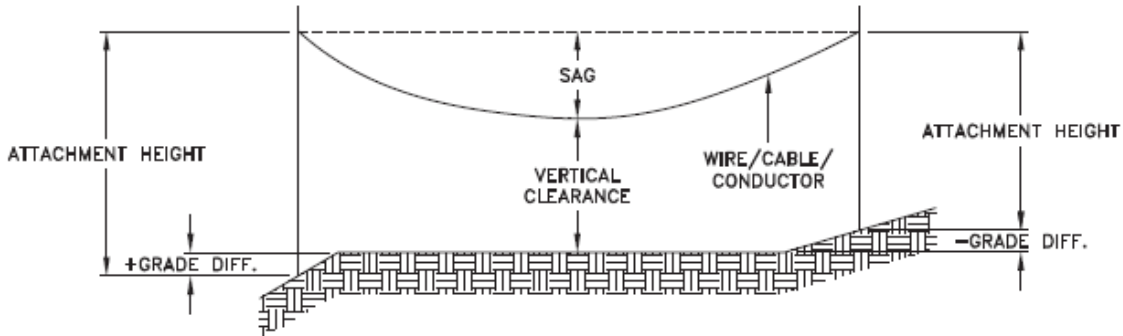
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

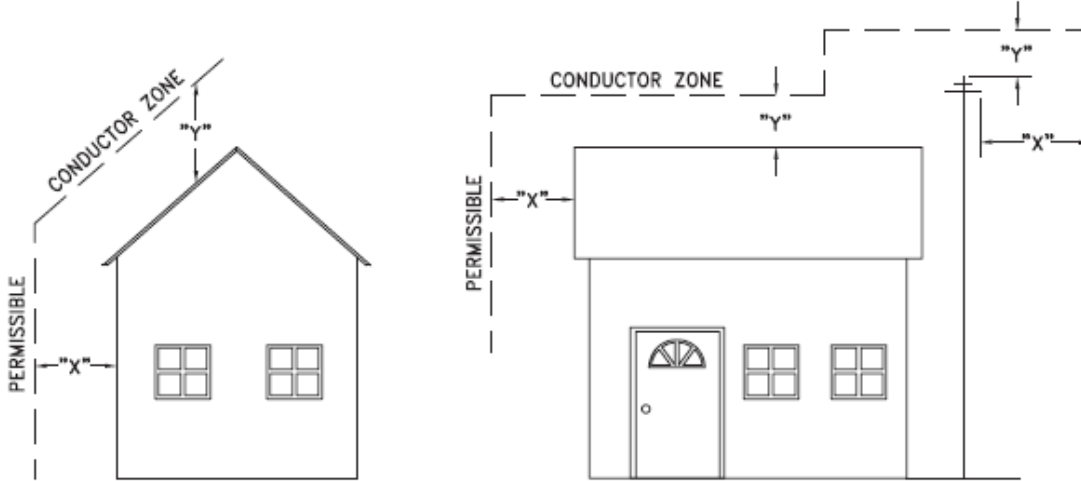
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: March 6, 2024
Applicant: Intel Power Inc.
Location: 10 Bradwick Drive
 PLAN 65M2049 Part of Lot 1
 PLAN 65M2049 Part of Lot 2
File No.(s): A188/23

Zoning Classification:

The subject lands are zoned EM2, General Employment Zone and subject to the provisions of Exception 14.169 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum rear yard setback required is 12.0 metres. [Table 11-3]	To permit a minimum rear yard setback of 0.35 metres to an accessory structure.
2	The minimum interior side yard setback required is 6.0 metres. [Table 11-3]	To permit a minimum interior side yard setback of 0.0 metres to an accessory structure.
3	The minimum number of parking spaces required is 20 spaces. [Table 6-2]	To permit a minimum of 16 parking spaces.
4	The minimum width of an aisle permitting two directions of motor vehicle traffic shall be 6.0 metres. [Section 6.6.1, 1. & 6.6.3, 2.]	To permit a minimum of 5.39 metres width for an aisle permitting two directions of motor vehicle traffic.
5	The minimum width of an aisle or driveway providing access to a loading space within a building and having two directions of traffic shall be 6 metres. [Section 6.11.3, 1. a.]	To permit a minimum of 5.96 metres width for an aisle or driveway providing access to a loading space.

Staff Comments:

Building Permit(s) Issued:

Building Permit No. 23-135084 for Single Use (Commercial) - New, Issue Date: (Not Yet Issued)

Other Comments:

Zoning By-law 001-2021	
1	Additional information is required in regard to the minimum number of parking spaces required in the Zoning By-law. Site statistics shows 16 parking spaces are proposed however, 17 parking spaces are shown on the Site Plan provided. Applicant to please clarify and amend site statistics or Site Plan for review.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Kristen Regier](#)
To: [Committee of Adjustment](#)
Cc: [Christine Vigneault](#)
Subject: [External] RE: A188/23 (10 Bradwick Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, February 9, 2024 10:08:45 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 10 Bradwick Drive, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A188/23 (10 Bradwick Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, February 23, 2024 8:43:11 PM
Attachments: [image001.png](#)
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A188/23 (10 Bradwick Drive) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None