

<b>ITEM: 6.12</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A206/23</b>
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Report Date: March 8, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Victor & Deanna Addesa	91 Siderno Cres, Woodbridge	03/05/2024	Letter in Support

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
None	None

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C (if required)</b>	Public & Applicant Correspondence
<b>Schedule D (if required)</b>	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A206/23

<b>CITY WARD #:</b>	3
<b>APPLICANT:</b>	Michael Cannella & Chiara Morano
<b>AGENT:</b>	Lasonne Engineering Ltd. c/o Daniel Falzon
<b>PROPERTY:</b>	177 Siderno Crescent, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1A(EN) – First density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit a residential accessory structure with a height greater and 2.8m to be setback a minimum of 1.2m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. Section 4.1.2 1b	To permit the residential accessory structure with a height greater and 2.8m to be setback a minimum of 0.84m from the south side interior lot line.
3	A maximum building height of 3.0 metres for the proposed Residential Accessory Structure is permitted. Section 4.1.4 1	To permit a maximum building height of 3.22 metres for the Residential Accessory Structure (Cabana).
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. Section 4.13 3	To permit a minimum distance of 0.53m from the interior side lot line to the roof projection of the residential accessory structure.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, March 14, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

## HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	February 29, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	February 28, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Narrow lot width
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None.	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	That the Owners submit an Elevation Plan of the proposed Cabana to the satisfaction of Development Planning and Urban Design Staff. The south elevation shall contain a second distinct façade material spanning approximately the lower one third of the proposed Cabana's rear (south) wall. Further, Building Standards shall confirm to Development Planning Staff that the building permit application contains the same Elevation Plan approved by Development Planning and Urban Design Staff.

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
As the proposed dwelling/ structure/ cabana in the subject property is 29.92 m <sup>2</sup> , the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m <sup>2</sup> requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the	

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
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## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC)

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
2	Development Planning <a href="mailto:Nicholas.delprete@vaughan.ca">Nicholas.delprete@vaughan.ca</a>	That the Owners submit an Elevation Plan of the proposed Cabana to the satisfaction of Development Planning and Urban Design Staff. The south elevation shall contain a second distinct façade material spanning approximately the lower one third of the proposed Cabana's rear (south) wall. Further, Building Standards shall confirm to Development Planning Staff that the building permit application contains the same Elevation Plan approved by Development Planning and Urban Design Staff.

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

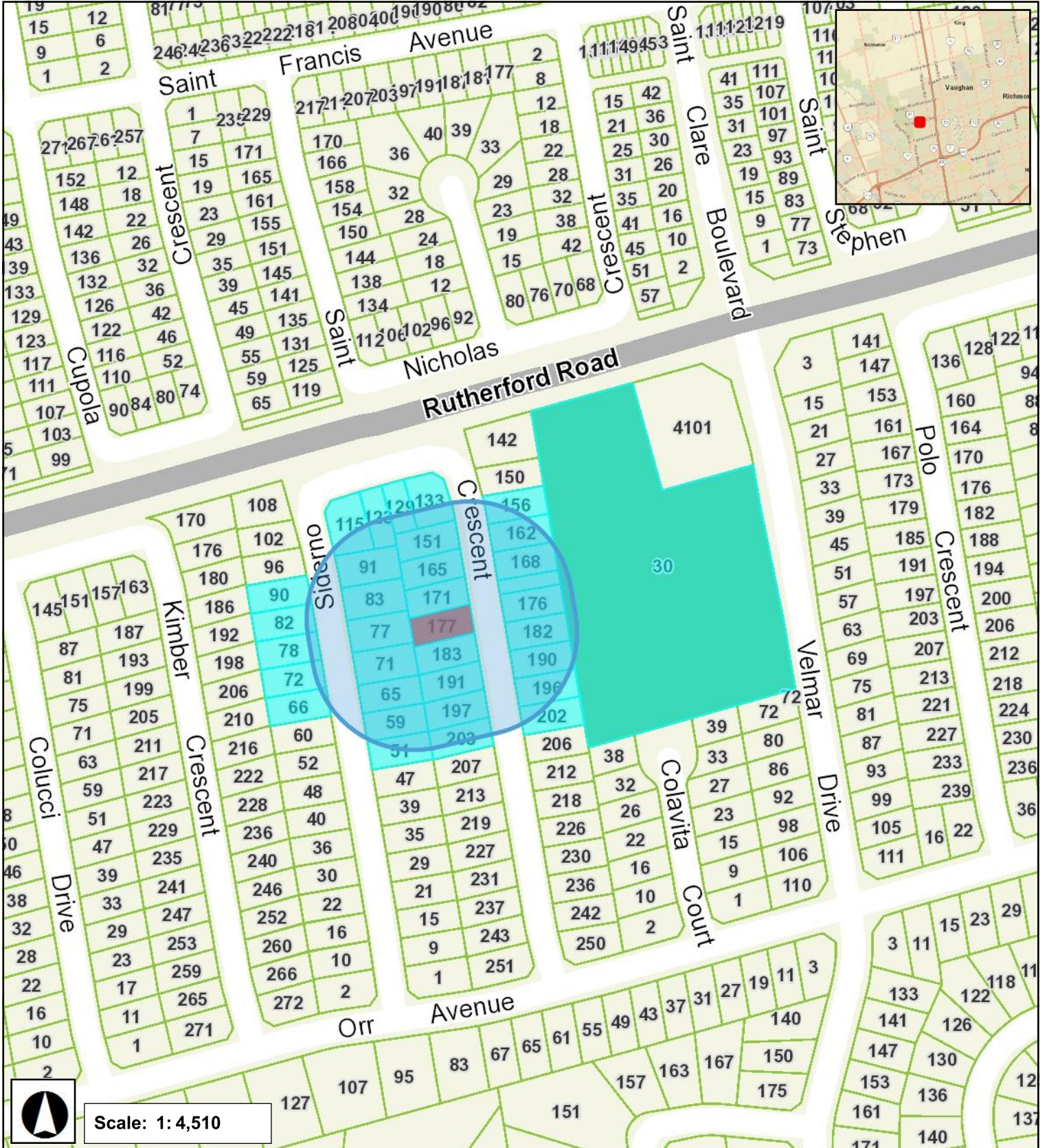
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

## SCHEDULE A: DRAWINGS & PLANS



# LOCATION MAP - A206/23

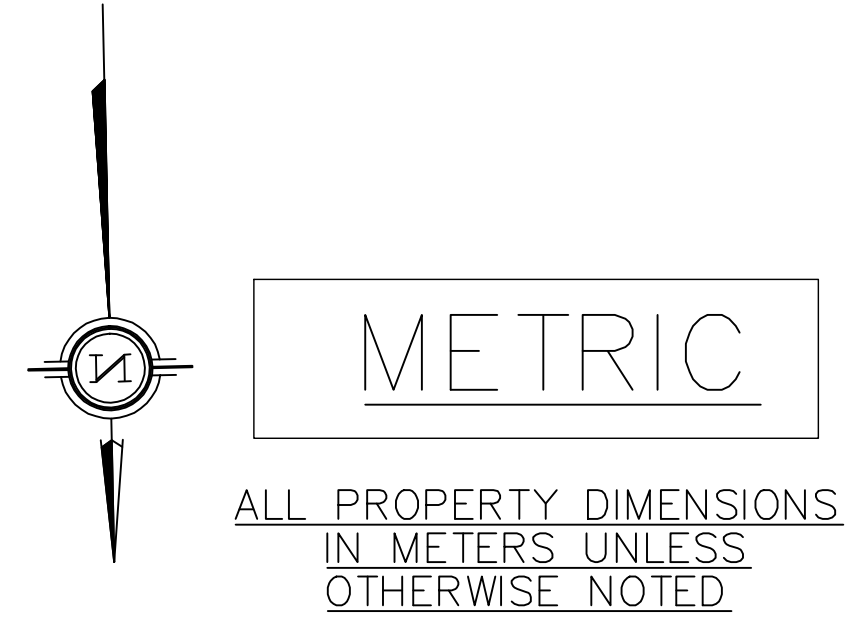
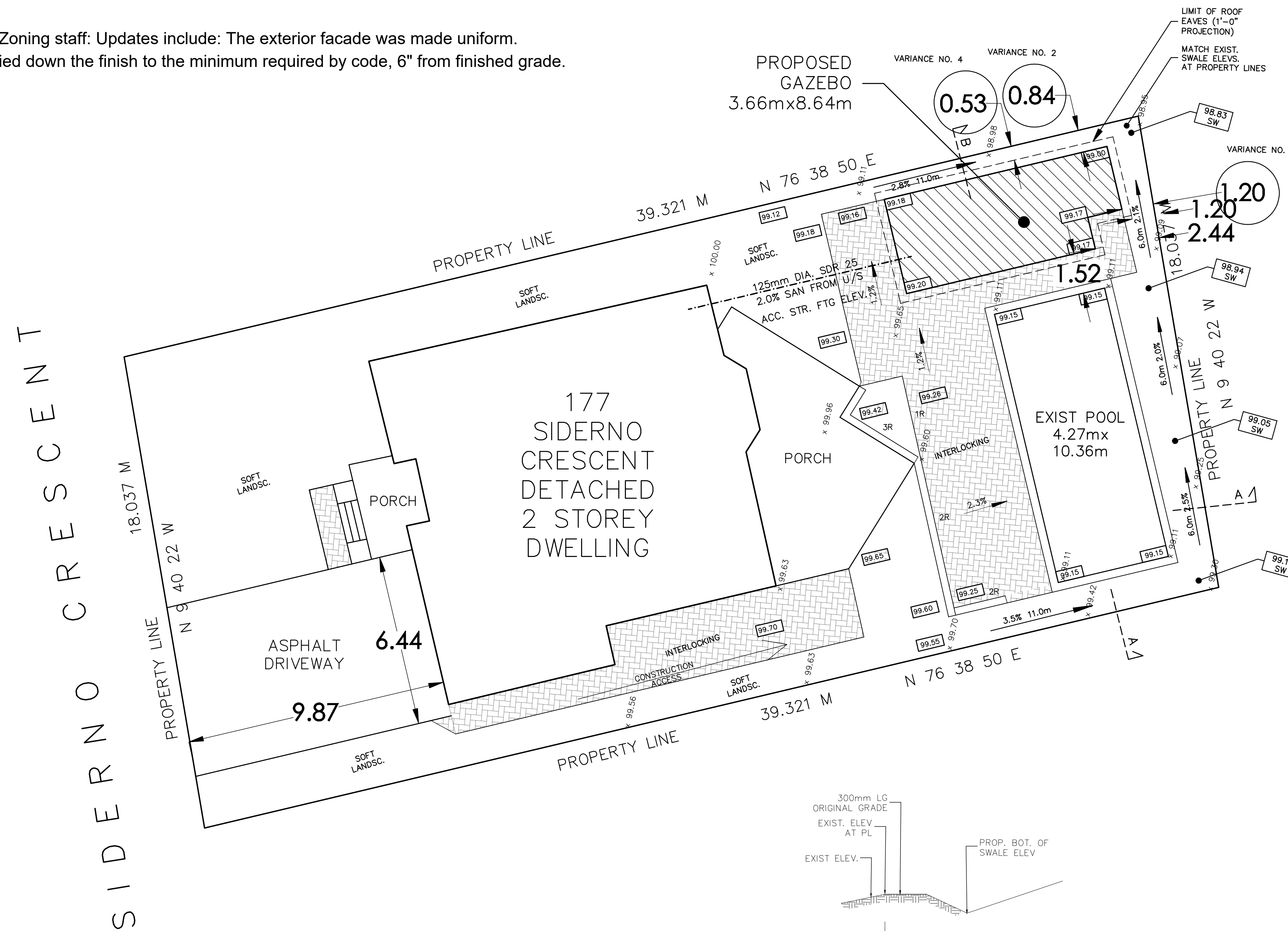
177 SIDERNO CRESCENT, WOODBRIDGE



**RECEIVED**

By Christine Vigneault at 10:49 am, Mar 06, 2024

Plans not reviewed by Zoning staff: Updates include: The exterior facade was made uniform. however applicant carried down the finish to the minimum required by code, 6" from finished grade.

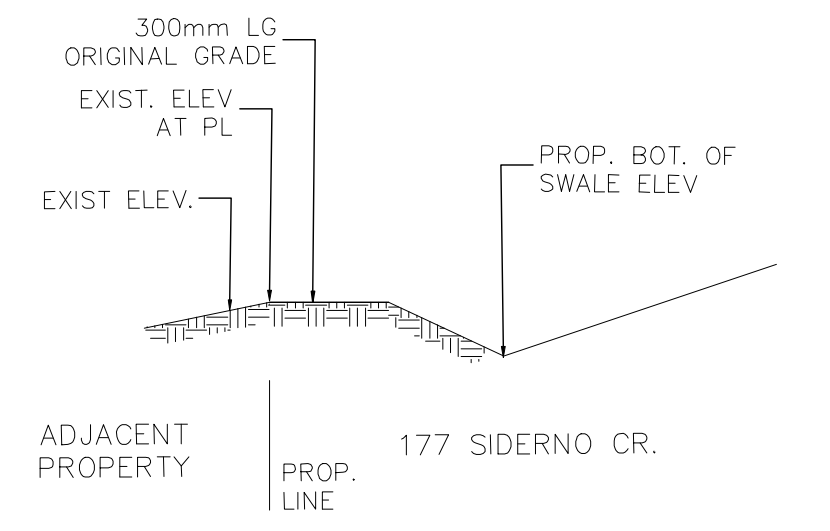


**SCOPE OF WORK:**  
 REAR YARD ACCESSORY STRUCTURE AND LANDSCAPING

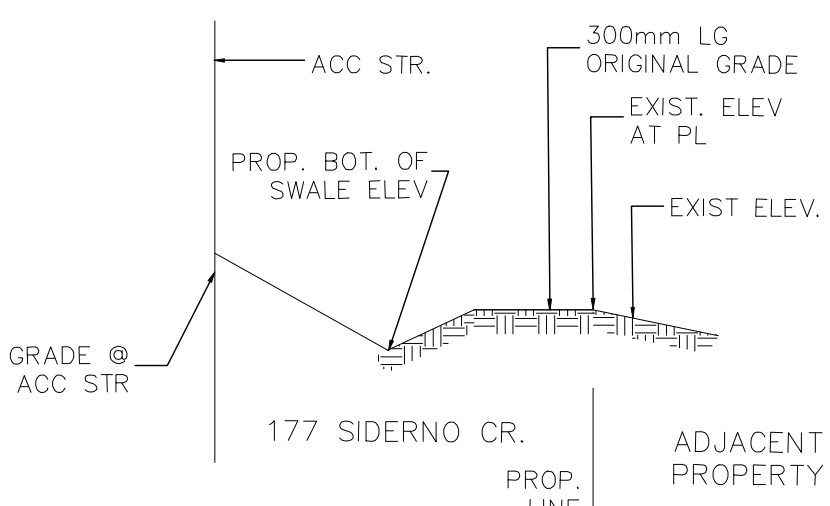
BASE INFORMATION TAKEN FROM SURVEY:  
 PROPERTY SURVEY - APPENDED

- LEGEND:**
- FFE DENOTES FINISHED FLOOR ELEVATION
  - GFE DENOTES GARAGE FINISHED ELEVATION
  - BFE DENOTES BASEMENT FLOOR ELEVATION
  - UFE DENOTES UNDERSIDE OF FOOTING ELEVATION
  - TFE DENOTES TOP OF FOUNDATION ELEVATION
  - HP DENOTES HIGH POINT
  - 123.45 DENOTES EXISTING ELEVATION
  - 123.45 DENOTES SHEET FLOOR DIRECTION
  - 123.45 DENOTES PROPOSED ELEVATION
  - xR DENOTES RAINWATER LEADER

- NOTE:**
1. ALL FOOTING FORMWORK ELEVATIONS AND STEBACKS ARE TO BE CONFIRMED BY A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACEMENT OF ANY CONCRETE.
  2. PRIOR TO PROCEEDING WITH ANY SUPERSTRUCTURE WORKS, CONTRACTOR MUST ENSURE THAT THE TOP OF FOUNDATIONS ARE IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE CITY.
  3. ALL RAINWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL.
  4. EXISTING BOUNDARY ELEVATIONS ALONG THE SITE PERMITTER SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF CONTAINED.
  5. ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100mm TOPSOIL PLUS SOD.
  6. THE APPLICANT SHALL CONTACT THE CITY ARBORIST FOR CONSENT PRIOR TO ANY TREE BEING REMOVED.
  7. THE APPLICANT SHALL CONTACT THE OPERATIONS SECTION OF THE ENGINEERING AND PUBLIC WORKS DEPARTMENT TO MAKE ARRANGEMENTS FOR DRIVEWAY ACCESS AND SITE SERVICE CONNECTIONS.
  8. THE APPLICANT SHALL CONTACT THE CITY'S BUILDING SERVICES DIVISION A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS.
  9. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORM TO ALL CITY BY-LAWS.



SEC. A: SWALE CROSS SECTION



SEC. B: SWALE CROSS SECTION

**LOT COVERAGE STATISTICS APPROXIMATE**

SITE AREA:	707.77 SM
DWELLING	162.81 SM
DRIVEWAY	63.56 SM
FRONT PORCH	13.50 SM
REAR PAVING	86.85 SM
REAR PORCH	38.82 SM
ACC. STR.	29.92 SM
SIDE YD. PAVING	44.24 SM
FRONT YD. PAVING	N/A SM
EQUIP. PAD	N/A SM

COVERAGE TOTAL 453.70 SM

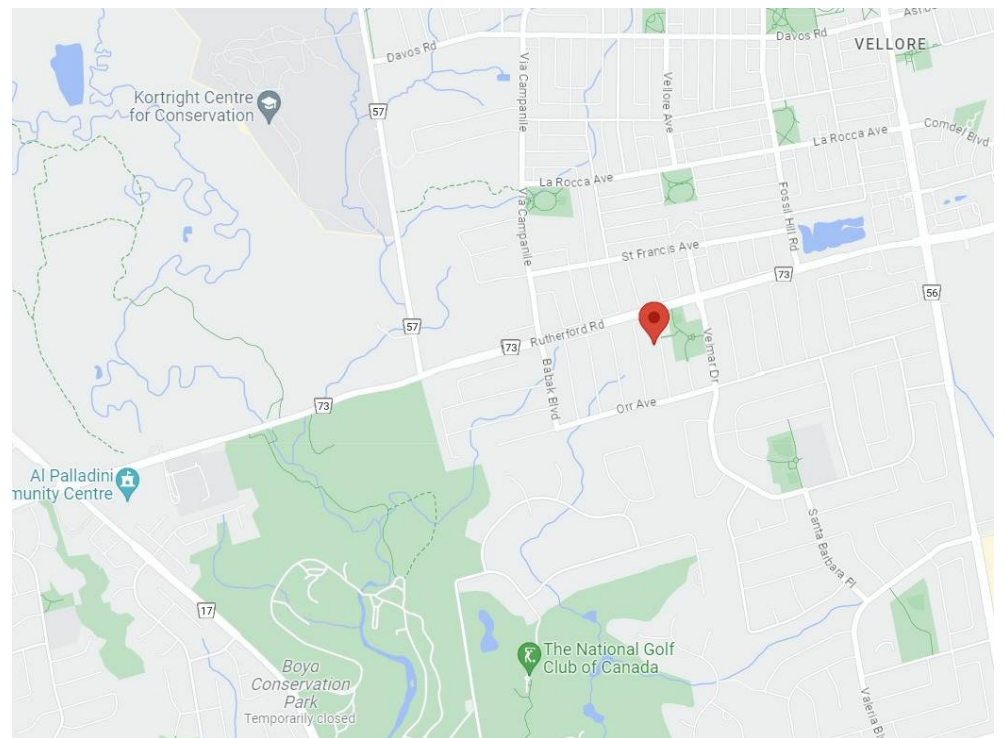
REAR YARD AREA: 299.84 SM  
 REAR YARD SOFT LANDSC.: 144.25 SM (INC. POOL)

DOWNSPOUTS ARE TO BE INSTALLED TO SPLASH TO GRADE, AND WHERE POSSIBLE, THE DISCHARGE IS TO BE DIRECTED TOWARDS THE BACK OF THE PROPERTY

ELEVATIONS ARE ASSUMED

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.



KEYPLAN

**LASONNE ENGINEERING LTD.**  
KLEINBURG 416.662.2673

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**SITE & GRADING PLAN**

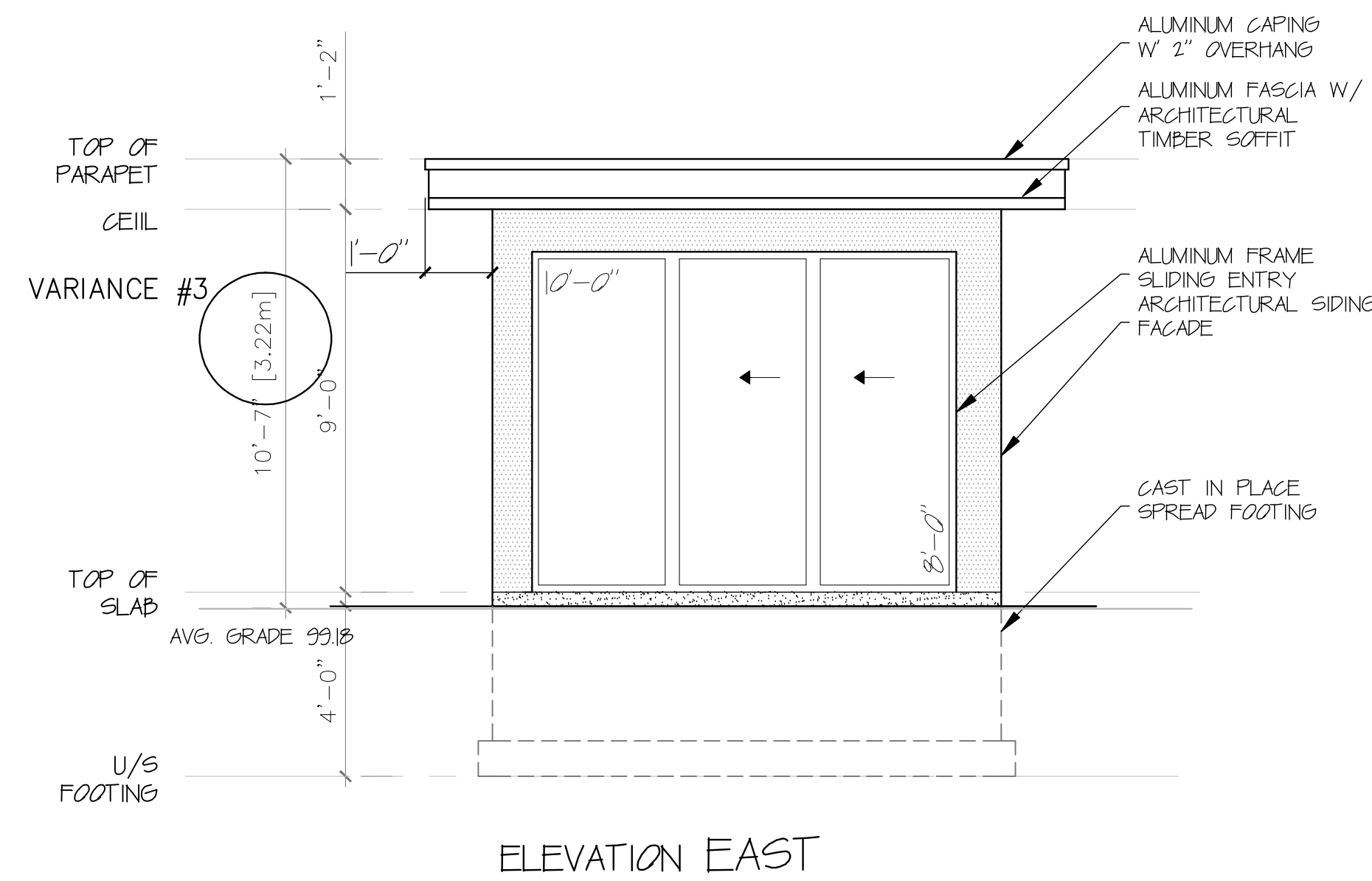
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**177 SIDERNO CRESCENT REAR YARD ACC STR**  
Vaughan, Ontario

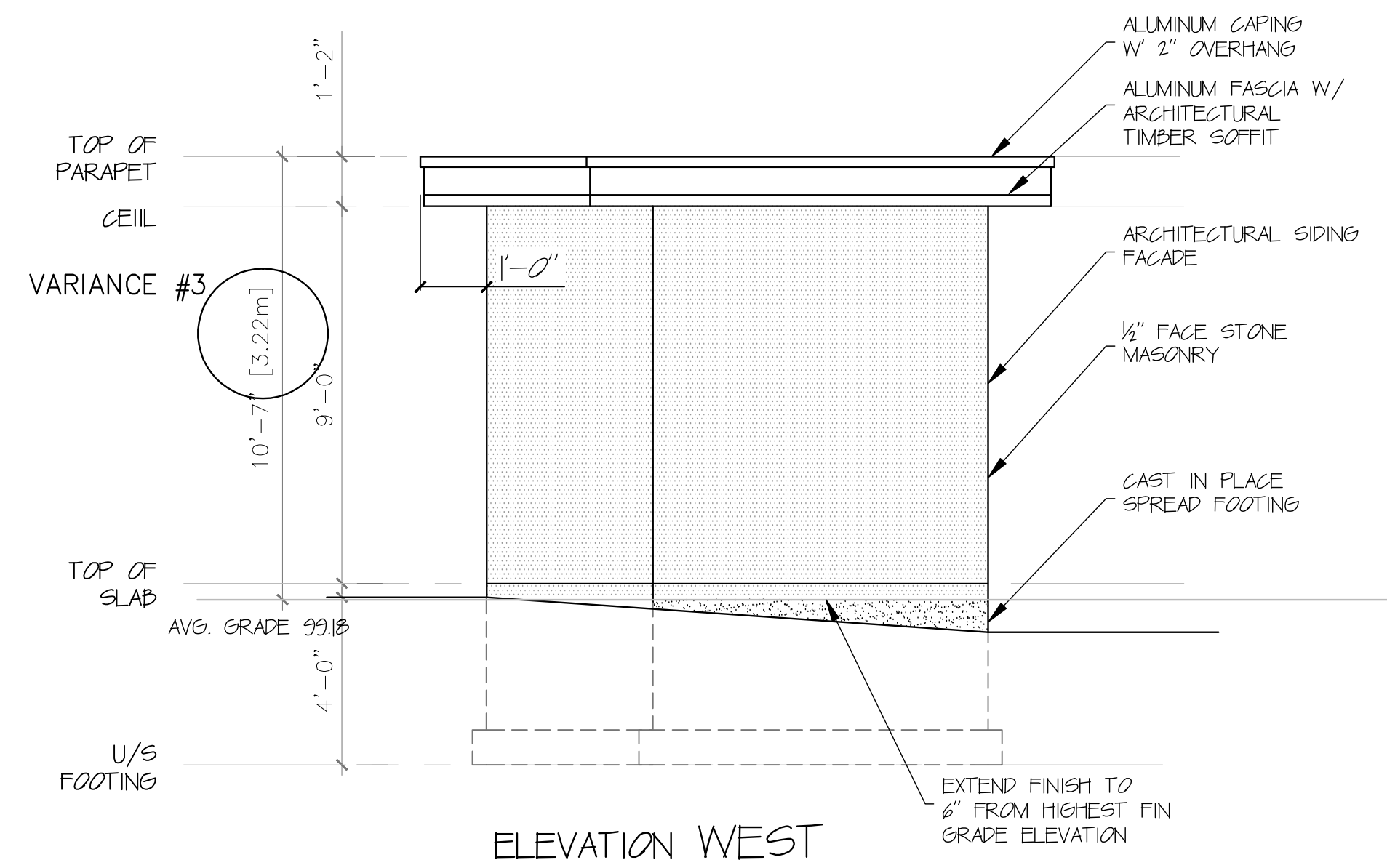
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Project 2361	Sheet
Date OCT '23	SO
Scale 1:100	





ELEVATION EAST



ELEVATION WEST

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.

**LASONNE**  
ENGINEERING LTD.  
KLEINBURG 416.662.2673

No.	Revision/Issue	Date

**ELEVATIONS II**

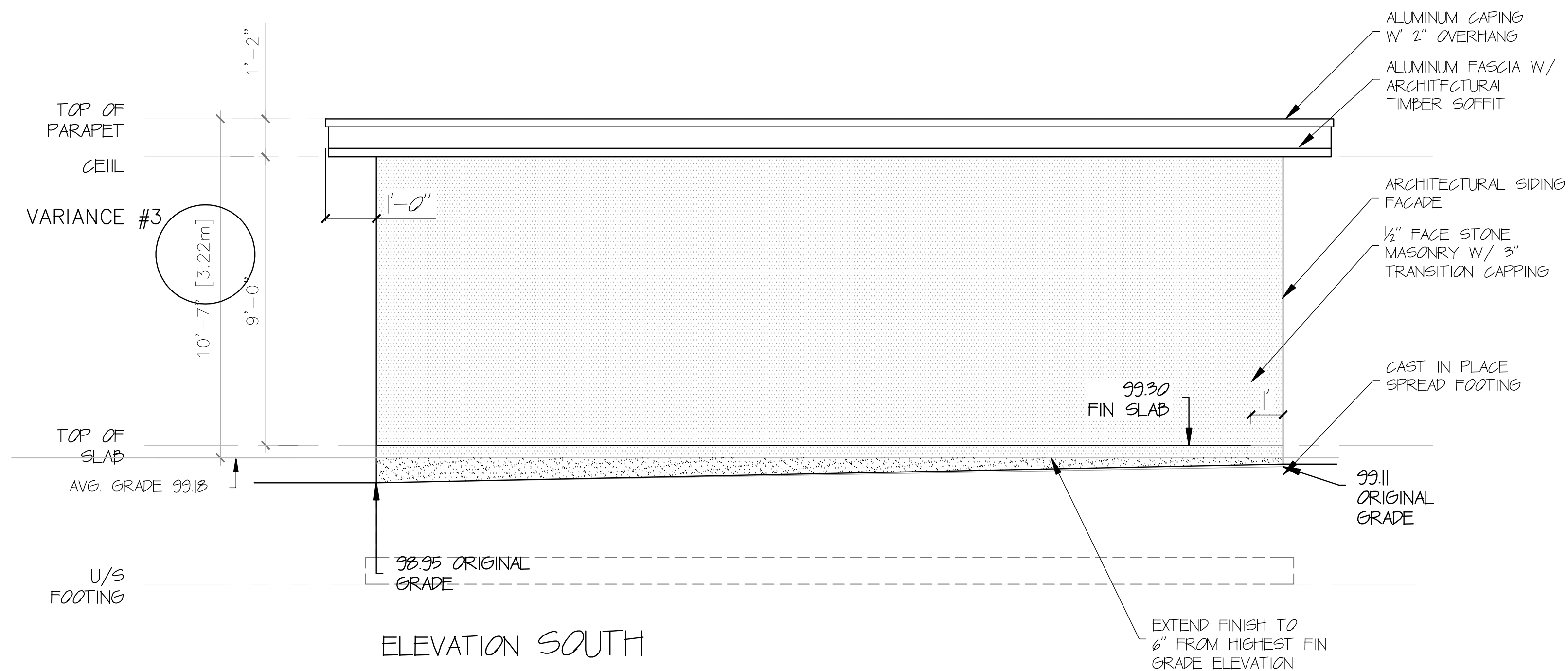
**177 SIDERNO CRESCENT**  
CABANA  
Vaughan, Ontario

Project	2361	Sheet	S3
Date	SEPT '23	Scale	
Scale	1:40		



**RECEIVED**  
By RECEIVED at 10:33 am, Mar 06, 2024

PLANS PREPARED BY APPLICANT



CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.

General Notes

**LASONNE**  
**ENGINEERING LTD.**  
KLEINBURG 416.662.2673

No.	Revision/Issue	Date

**ELEVATIONS I**

**177 SIDERNO CRESCENT**  
**CABANA**  
Vaughan, Ontario

Project	2361	Sheet	
Date	SEPT '23		S2
Scale	1:40		

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

<b>Department / Agency</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b>
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

<b>External Agencies</b> <small>*Comments Received</small>	<b>Conditions Required</b>		<b>Nature of Comments</b> <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** January 11<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A206-23**

**Related Files:**

**Applicant** Lasonne Engineering Ltd.

**Location** 177 Siderno Crescent



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

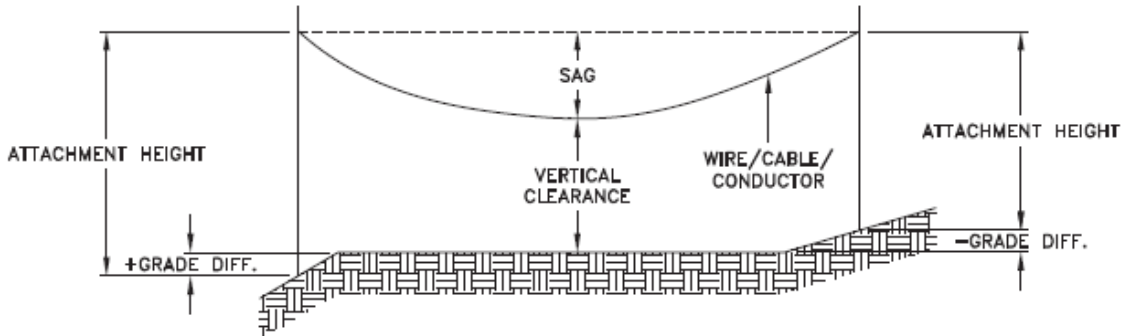
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

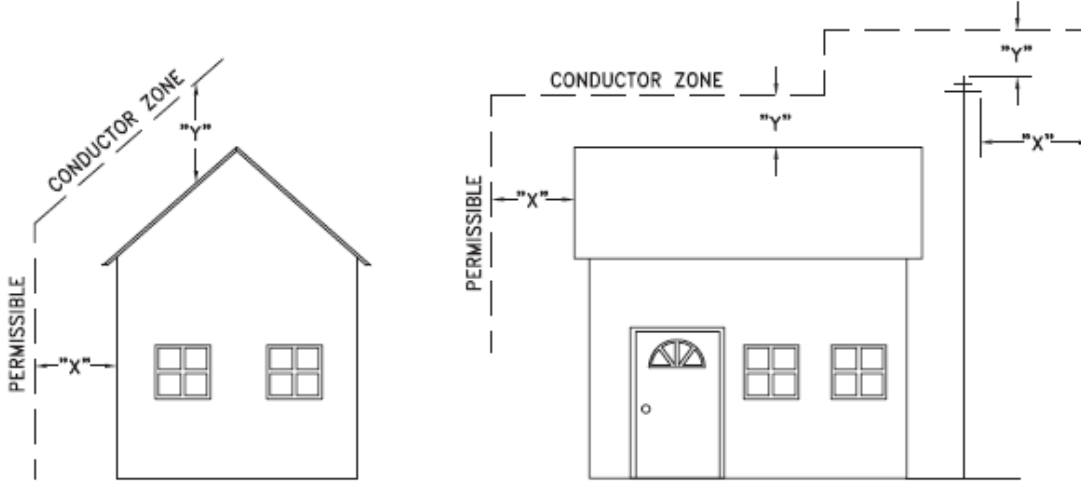
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF



**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** February 1, 2024  
**Applicant:** Lasonne Engineering Ltd.  
**Location:** 177 Siderno Crescent  
 PLAN 65M3432 Lot 53  
**File No.(s):** A206/23

**Zoning Classification:**

The subject lands are zoned R1A(EN) – First density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.  Section 4.1.2 1b	To permit a residential accessory structure with a height greater and 2.8m to be setback a minimum of 1.2m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.  Section 4.1.2 1b	To permit the residential accessory structure with a height greater and 2.8m to be setback a minimum of 0.84m from the south side interior lot line.
3	A maximum building height of 3.0 metres for the proposed Residential Accessory Structure is permitted.  Section 4.1.4 1	To permit a maximum building height of 3.56 metres for the Residential Accessory Structure (Cabana).
4	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. Section 4.13 3	To permit a minimum distance of 0.53m from the interior side lot line to the roof projection of the residential accessory structure.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 23-140829 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Based on photos provided by planning the height is not correct it is taken from the top of slab and not from established grade. Please provide the height from established grade to the top of the structure.  Height shall be measured in accordance with the definitions in Section 3.0 Definitions of Bylaw 001-2021, as amended. Established grade shall be the approved grading at the time of the original building.
3	Check dimensions at rear property line to roof overhang it shows same dimension as from the building to the rear property line.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.



2141 Major Mackenzie Drive  
Vaughan, Ontario  
Canada L6A 1T1  
(905) 832-2281

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** March 6, 2024  
**Name of Owners:** Mike & Chiara Cannella  
**Location:** 177 Siderno Crescent  
**File No.:** A206/23

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**Proposed Variances (By-law 001-2021):**

1. To permit a residential accessory structure (Cabana) with a height greater than 2.8 m to be setback a minimum of 1.2 m from the rear lot line.
2. To permit a residential accessory structure (Cabana) with a height greater than 2.8 m to be setback a minimum of 0.84 m from the south side interior lot line.
3. To permit a maximum building height of 3.22 metres for the Residential Accessory Structure (Cabana).
4. To permit a minimum distance of 0.53 m from the interior side lot line to the roof projection of the residential accessory structure (Cabana).

**By-Law Requirements (By-law 001-2021):**

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. A maximum building height of 3.0 metres for the proposed Residential Accessory Structure is permitted.
4. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting relief to permit a residential accessory structure (Cabana) proposed in the southwest corner of the rear yard of 177 Siderno Crescent with the above noted variances.

Development Planning Department Staff have no objection to Variances 1, 2, and 4 to permit a reduction to the minimum required distance from the rear lot line (Variance 1) and interior side lot line (Variances 2 & 4) for the proposed Cabana. Variances 2 and 4 are to permit the proposed Cabana to maintain a minimum distance of 0.84 metres measured to the wall (Variance 2) and 0.53 metres measured to the roof overhang of the Cabana (Variance 4). The proposed minimum setbacks from interior side lot line for the Cabana are not anticipated to pose significant adverse impacts to the abutting property to the south (183 Siderno Crescent) as the eaves and gutters do not overhang over the property line and sufficient space for maintenance and safe access is provided. The rear yard's grading slopes down towards the south and west, resulting in more exposed wall face on the Cabana's west and south sides. Anticipated massing impacts resulting from the south wall's proximity to the south lot line due to its length and greater exposed height on the south side may be mitigated by adjusting the façade through introducing a secondary cladding material to break up the south wall face by adding visual interest. Condition 1 is recommended to adjust the southern façade to address the massing concern. Development Engineering Department Staff have also reviewed the proposal and are satisfied that drainage will be maintained.

Mature vegetative plantings exist along the rear lot line of one of the two abutting properties to the west, 77 Siderno Crescent. 77 Siderno Crescent shares the majority of the mutual rear lot line. The plantings, which are a mixture of cedars and small deciduous trees, provide visual buffering from the proposed structure which helps

alleviate any perceived massing and privacy impacts. The proposed 1.2 metre setback to the rear lot line (Variance 1) provides sufficient space for future plantings on the subject property, if desired, which may further mitigate the visual impact of the proposed structure on the neighbouring properties to the west (71 and 77 Siderno Crescent).

Development Planning Department staff have no objection with Variance 3 to permit a maximum Cabana height of 3.22 metres, which is 0.22 metre in excess of the required maximum height in the Zoning By-law provided recommended Condition 1 is included in the decision. The Cabana has a flat roof design with the requested relief measured between the established grade to the top of the roof. The proposed increase in height is minor in nature due to the presence of vegetative screening on the abutting property to the west providing a visual buffer, and provided that the condition of approval below is fulfilled to help assist in breaking up the massing of the south wall of the Cabana.

The proposed Cabana is relatively modest in footprint as it meets the lot coverage requirements of the Zoning By-law (001-2021) and maintains a fair degree of spatial separation from the dwelling. Additionally, the introduction of the Cabana contributes to the existing functionality of the rear yard by acting as a change room / shaded lounge for the existing pool and it is of the opinion of Development Planning staff that the Cabana does not adversely impact the functionality of the rear yard as sufficient uncovered landscaped outdoor amenity space within the rear yard remains. As such, the 0.22 metre increase in height in combination with the reduced interior side yard and rear yard setbacks (Variances 1, 2, & 4) for the Cabana are not anticipated to pose adverse use, massing, or privacy impacts to the neighbouring properties permitted that the condition of approval included below is included in Committee's decision.

Accordingly, Development Planning Department Staff support the requested variances and are of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

Development Planning Department Staff recommends approval of the application with the following condition of approval:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the Owners submit an Elevation Plan of the proposed Cabana to the satisfaction of Development Planning and Urban Design Staff. The south elevation shall contain a second distinct façade material spanning approximately the lower one third of the proposed Cabana's rear (south) wall. Further, Building Standards shall confirm to Development Planning Staff that the building permit application contains the same Elevation Plan approved by Development Planning and Urban Design Staff.

**Comments Prepared by:**

Nicholas Del Prete, Planner 1  
David Harding, Senior Planner

**From:** [Kristen Regier](#)  
**To:** [Committee of Adjustment](#)  
**Cc:** [Prabhdeep Kaur](#)  
**Subject:** [External] RE: A206/23 - 177 Siderno Crescent - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** January-11-24 3:06:37 PM  
**Attachments:** [image002.png](#)

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Hello,

The subject property at 177 Siderno Crescent, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)



## Lenore Providence

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**Subject:** FW: [External] RE: A206/23 - 177 Siderno Crescent - REQUEST FOR COMMENTS, CITY OF VAUGHAN

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**From:** Development Services <developmentsservices@york.ca>  
**Sent:** Monday, January 22, 2024 2:14 PM  
**To:** Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>  
**Cc:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] RE: A206/23 - 177 Siderno Crescent - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A206/23 (177 Siderno Crescent) and has no comment.

Please provide us with a **digital copy** of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.P.I.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public	Victor & Deanna Addesa	91 Siderno Cres, Woodbridge	03/05/2024	Letter in Support

**Lenore Providence**

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**Subject:** FW: [External] Re: File Number A206/23 Support Letter for minor variance

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**From:** Victor Addesa  
**Sent:** Tuesday, March 5, 2024 1:36 PM  
**To:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] Re: File Number A206/23 Support Letter for minor variance

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Please note that as neighbours residing at 91 Siderno Cres woodbridge, ON we strongly support all the requested amendments to the Zoning By-law 001-2021 at 177 Siderno Cres woodbridge, ON. we agree with all the (4) variance's requested and welcome any change to the neighbourhood.

Please feel free to contact us if you need further assistance.

Sincerely,

Victor & Deanna Addesa  
91 Siderno Cres  
Woodbridge, ON  
L4L 9M5



## SCHEDULE D: BACKGROUND

None