

ITEM: 6.10	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A198/23
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Report Date: March 8, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Justification Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description
A267/15	(i.e. Minor Variance Application; Approved by COA / OLT) Approved as Amended by COA

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A198/23
28 MALAREN ROAD, MAPLE**

CITY WARD #:	1
APPLICANT:	Rodolfo & Rose Bussoli
AGENT:	Ozren Stambuk
PROPERTY:	28 Malaren Road, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing accessory structure (shed) and the enclosure of an existing concrete deck located in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is permitted. [Table 7-3]	To permit a maximum lot coverage of 34.10%.
2	A minimum rear yard setback of 2.4 metres to the existing Accessory Building (Shed) is required. [Section 4.1.21.b]	To permit a rear yard setback of 2.07 metres to the existing Accessory Building (Shed).
3	A minimum interior side yard setback of 2.4 metres to the existing Accessory Building (Shed) is required. [Section 4.1.2.1.b]	To permit an interior side yard setback of 1.10 metres to the existing Accessory Building (Shed).

HEARING INFORMATION

DATE OF MEETING: Thursday, March 14, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 29, 2024
Date Applicant Confirmed Posting of Sign:	February 27, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Coverage
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
On February 23, 2024, Development Planning provided:	
<p>Development Planning has now completed our review of the above noted minor variance application. We have no concerns with the variances for the existing shed. However, we are unable to support the increased lot coverage triggered by the enclosure of the deck. This enclosed space would function as an extension of the livable area of the house. The permitted lot coverage on this property was previously increased through a minor variance submitted in 2015 to increase the permission to 29.57%. A lot coverage beyond 30% would not be considered minor in nature and Planning have not been supportive of this level of lot coverage in this neighbourhood in the past. The removal of the deck enclosure would reduce the lot coverage requirement to 30.77%. We are willing to provide support for this lot coverage as the shed does not represent livable area. As such, Development Planning recommends removal of the deck enclosure and maintaining the shed.</p> <p>On February 24, 2024, the applicant was provided an opportunity to adjourn the application to address Development Planning recommendations.</p> <p>On February 26, 2024, the applicant provided justification letter for variances (see Schedule C).</p> <p>Applicant to submit required Adjournment Fee to reschedule the application from the March 14 hearing, if required.</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under review	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the existing shed in the subject property exceeds 10 m2 and was not included in the original grading permit, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development	

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Development Planning Joshua.cipolletta@vaughan.ca	TBD

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

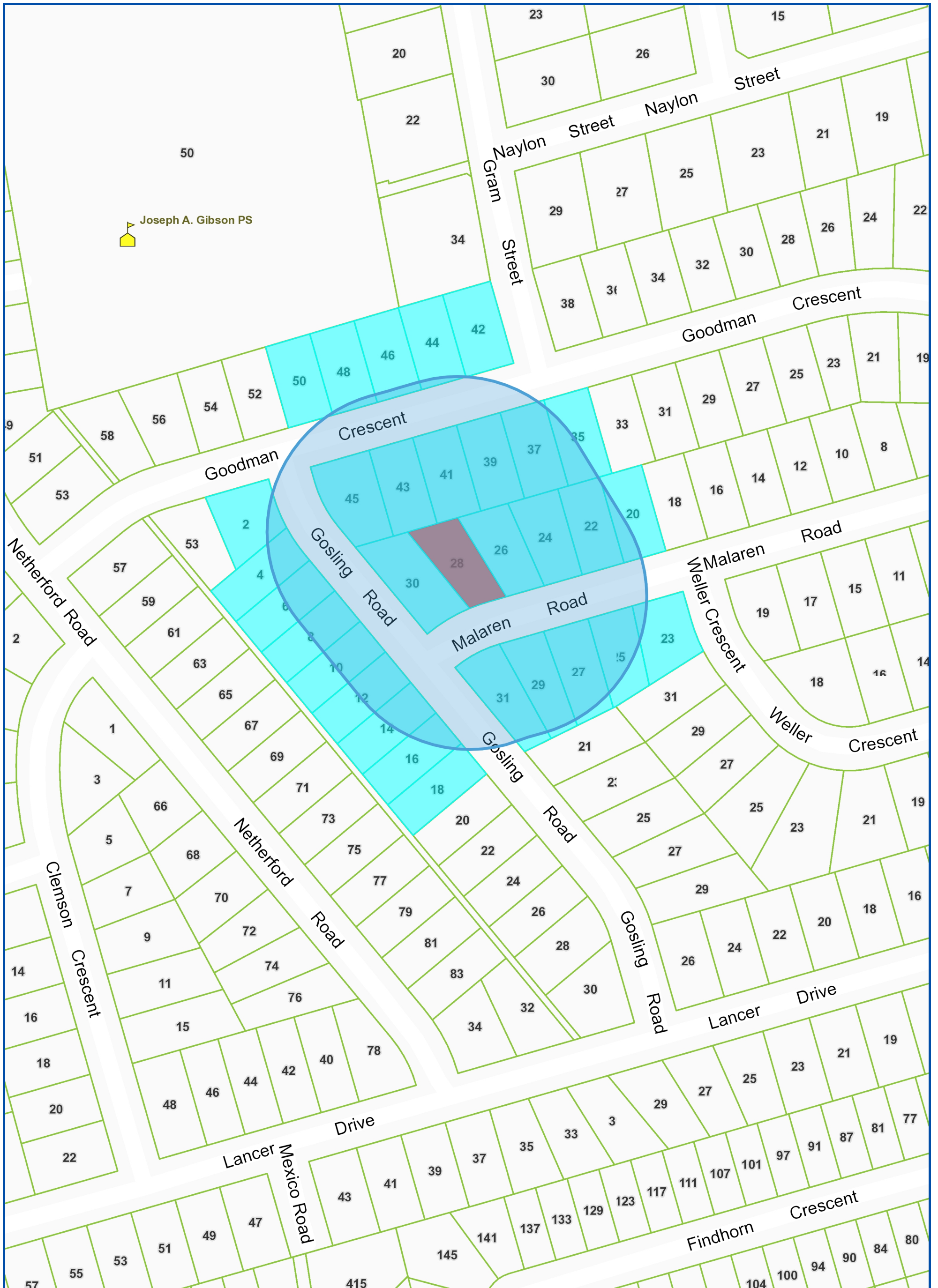
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

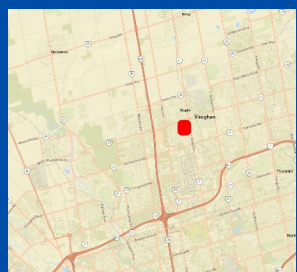
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **28 MALAREN ROAD, MAPLE**

NOTIFICATION MAP - A198/23

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1:2,257**
 0 0.04 km

Created By:
 Infrastructure Delivery
 Department
 December 7, 2023 2:53 PM

Projection:
 NAD 83
 UTM Zone
 17N

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

Variance #3 - To permit an interior sideyard setback of 1.10 metres to the existing Accessory Building (Shed).

Variance #2 - To permit a rear yard setback of 2.07 metres to the existing Accessory Building (Shed).

EXISTING CONCRETE DECK TO BE ENCLOSED 28.92 M SQ

LOT AREA = 866.26
MAX HEIGHT = 7.0 M (TO MID POINT)

EX. HOUSE = 235.28 M2 / 27.16 %
EX. FRONT LOGGIA = 18.91 M2 / 2.18 %
EX. SHED = 12.36 M SQ / 1.42 %
TOTAL EXISTING COVERAGE = 266.55 M2 / 30.77 %

PROPOSAL TO ENCLOSE THE EXISTING REAR DECK = 28.92 M SQ / 3.3 %

TOTAL PROPOSED COVERAGE = 295.47 M SQ / 34.10 %

Variance #1 - To permit a maximum lot coverage of 34.10%.



MALAREN ROAD
(By Registered Plan 5590)

ALL SITE INFORMATION AND COVERAGE AREAS TAKEN FROM THE AS BUILT SURVEY ATTACHED TO THESE DRAWINGS

RECEIVED
By Christine Vigneault at 9:52 am, Jan 15, 2024

SCALE: 1 : 250

SITE PLAN - A002

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

Qualification Information
Required unless design is exempt under Div. C-3.2.3.1 of the building code
OZREN STAMBUK Signature 46080 BCIN

Registration Information
Required unless design is exempt under Div. C-3.2.4.1 of the building code
STAMBUK HOMES 106172 BCIN

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Copy and Paste Agency Table from Summary Sheet

Date: February 12th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A198-23**

Related Files:

Applicant Ozren Stambuk

Location 28 Malaren Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

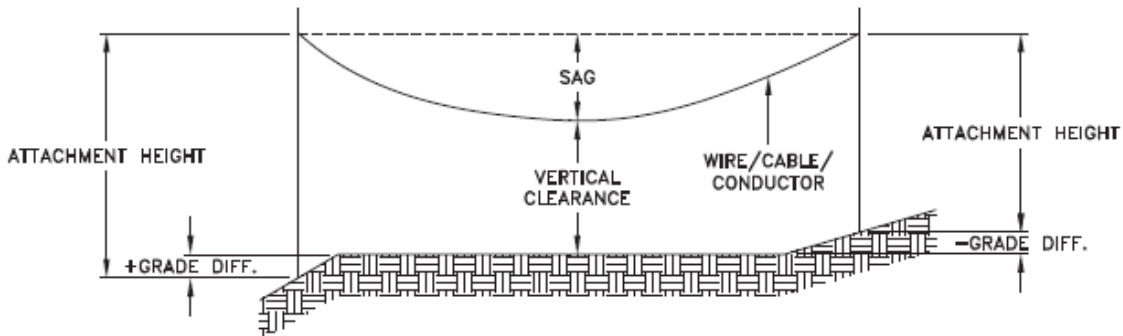
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

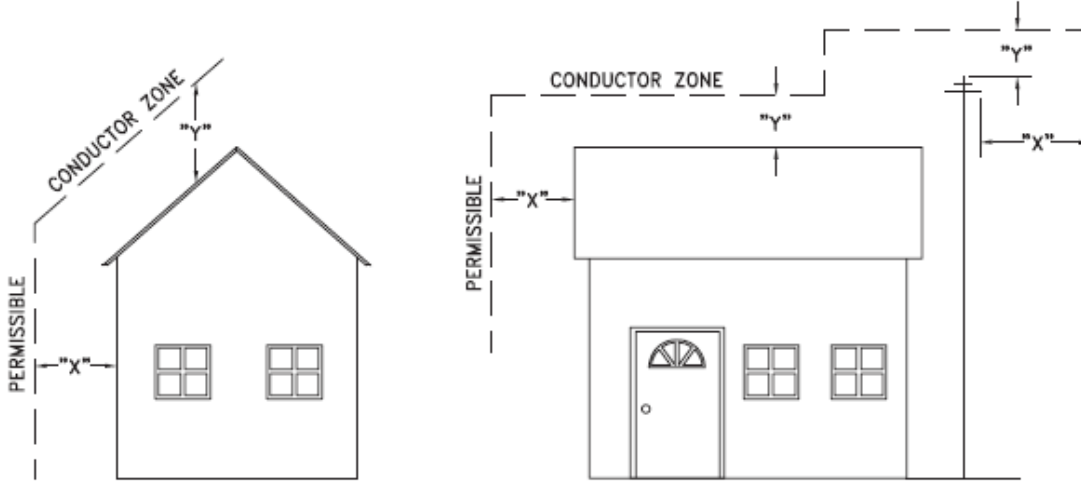
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3.3-6\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: January 10, 2024
Applicant: Ozren Stambuk
Location: 28 Malaren Road
 PLAN RP5590 Lot 100
File No.(s): A198/23

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is permitted. [Table 7-3]	To permit a maximum lot coverage of 34.10%.
2	A minimum rear yard setback of 2.4 metres to the existing Accessory Building (Shed) is required. [Section 4.1.21.b]	To permit a rear yard setback of 2.07 metres to the existing Accessory Building (Shed).
3	A minimum interior side yard setback of 2.4 metres to the existing Accessory Building (Shed) is required. [Section 4.1.2.1.b]	To permit an interior side yard setback of 1.10 metres to the existing Accessory Building (Shed).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 23-140786 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

Other Comments:

Zoning By-law 001-2021	
1	Height of Residential Accessory Structure shall be measured in accordance with the definitions in Section 3.0 DEFINITIONS of by-law 001-2021, as amended. Established grade shall be the approved grading at the time of the original building permit for the principal dwelling.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Pravina Attwala

Subject: A198/23 (28 Malaren Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Kristen Regier <Kristen.Regier@trca.ca>

Sent: Friday, February 2, 2024 10:24 AM

To: Committee of Adjustment <CofA@vaughan.ca>

Cc: Prabhdeep Kaur <Prabhdeep.Kaur@vaughan.ca>

Subject: [External] RE: 28 Malaren Road - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 28 Malaren Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Prabhdeep Kaur](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: 28 Malaren Road (A198/23) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, February 6, 2024 5:08:40 PM
Attachments: [image002.png](#)
[image004.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Prabhdeep,

The Regional Municipality of York has completed its review of the minor variance application – A198/23 (28 Malaren Road) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Justification Letter



Ozren Stambuk

A198.23 - 28 Malaren Road

Rudy Bussoli

23 February 2024 at 18:06

To: Joshua Cipolletta <Joshua.Cipolletta@vaughan.ca>, STAMBUK HOMES Cc: Committee of Adjustment <CofA@vaughan.ca>, Rose Bussoli

Hi Joshua,

Thank you for your help and support.

My wife and I are getting older and build this house to spend our later years in our life in it.

We though that having an open deck was the way to go back when we first applied for our building permit.

Unfortunately, we found out that its impossible to sit outside on the deck later in the evenings making almost impossible to stay out and bare the mosquito bites.

For us to enjoy our house to the fullest and able to sit outside on the deck we feel that we need to enclose that area with a solid roof and sliding window or screen to combat the mosquitoes.

We understand that we are asking for more than is allowed, but we feel that the Deck and foundation is already in place taking up land coverage, we don't see why

it would be so difficult to cover it now.

Again, my wife and I are asking the city to grand our application to close our deck so we can one day enjoy our retirement in Maple as our wish area to live in.

At this time, I would like to also bring up what we've been through in the last number of years with our house and around our house.

My wife and I have been upset with the city for setting back our house 8' when we originally proposed our drawing to build our house.

A few years later the city allowed my neighbour (the corner house on my west side) to extend their Garage passed the front of my house 8 – 10 feet.

When you look at our house from global earth you will see that our house is set back 8 – 10 feet deeper than our neighbors.

(I don't understand the purpose of set our house back 8' and allowing my neighbour to extend their garage forward?)

This created massive size driveway that was not needed and reduced the size of my backyard by 8 feet where we really could have used the extra space.

When you drive by our house you will notice that it looks out of place, set back way to far. I would be happy to meet with anyone from the city to discuss the situation further on site.

The city allowed our neighbour on the east side to build a pool in there back yard, covered the whole back yard with concrete and pool. The pool house next to our sitting area that has a 24-hour homing noise that makes it impossible to sit and read a book without getting a headache. The city allowed the same neighbor to put up I wood burning fireplace close to my house that when they start it up the smoke comes in to the soffit of our house and you can smell the smoke throughout the house making almost unbearable to stay in the house.

I guess the point I'm trying to make is that we need to cover our deck to have a place to go to and enjoy the outside without the mosquitoes and noise.

2/26/24, 10:39 AM

STAMBUK HOMES Mail - A198.23 - 28 Malaren Road

I hope you/we can find a way to grant our application.

Thank you,

Rudy and Rose Bussoli

SCHEDULE D: BACKGROUND

Application No. (City File)

Application Description

(i.e. Minor Variance Application; Approved by COA / OLT)

A267/15

Approved as Amended by COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A267/15

APPLICANT: RODOLFO & ROSE BUSSOLI

PROPERTY: Part of Lot 19, Concession 4 (Lot 100, Registered Plan No. 65M-5590) municipally know as 28 Malaren Road, Maple

ZONING: The subject lands are zoned R1V, Old Village Residential Zone under By-law 1-88 as amended.

PRIOR to the hearing the agent amended the application and sketch as follows:

*By amending variance #1 maximum lot coverage 29.57% (dwelling 24.72%, porch & loggia 4.85%)
NOT 33.8% (dwelling 26%, porch, Loggia and veranda 7.8%)*

*By amending variance #2 maximum building height 7.93m
NOT 8.10m*

*By amending variance #3 – maximum loft area 41.58%
NOT55.1%*

PURPOSE: To permit the construction of a new residential single detached dwelling.

PROPOSAL:

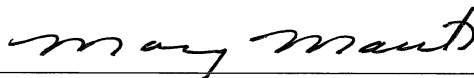
1. To permit a maximum lot coverage of ~~33.8% (dwelling—26%, porch, loggia and veranda—7.8%)~~. **29.57% (dwelling 24.72%, porch & loggia 4.85%)**
2. To permit a maximum building height ~~8.10 metres~~. **7.93m**
3. To permit a maximum loft area of ~~55.1% (99.22 m2)~~ **41.58%** of the floor below.

BY-LAW REQUIREMENT:

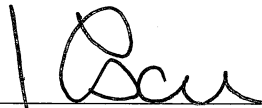
1. A maximum lot coverage of 23% is permitted for a single storey dwelling.
2. A maximum building height of 7.0 metres is permitted for a single storey dwelling.
3. A maximum loft area of 25% (45.02 m2) of the floor below is permitted.

Sketches are attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A267/15, RODOLFO & ROSE BUSSOLI**, be **APPROVED AS AMENDED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: *A. Perrella*

Signed by all members present who concur in this decision:

A. Perrella
A. Perrella,
Chair

H. Zheng
H. Zheng,
Vice Chair

R. Buckler
R. Buckler,
Member

J. Cesario
J. Cesario,
Member

M. Mauti
M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: SEPTEMBER 17, 2015
Last Date of Appeal: OCTOBER 7, 2015

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$690.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **OCTOBER 7, 2016**

REVISED SEPTEMBER 16, 2015

A267/15

LOFT AREA (G.F.A. 41.58%)

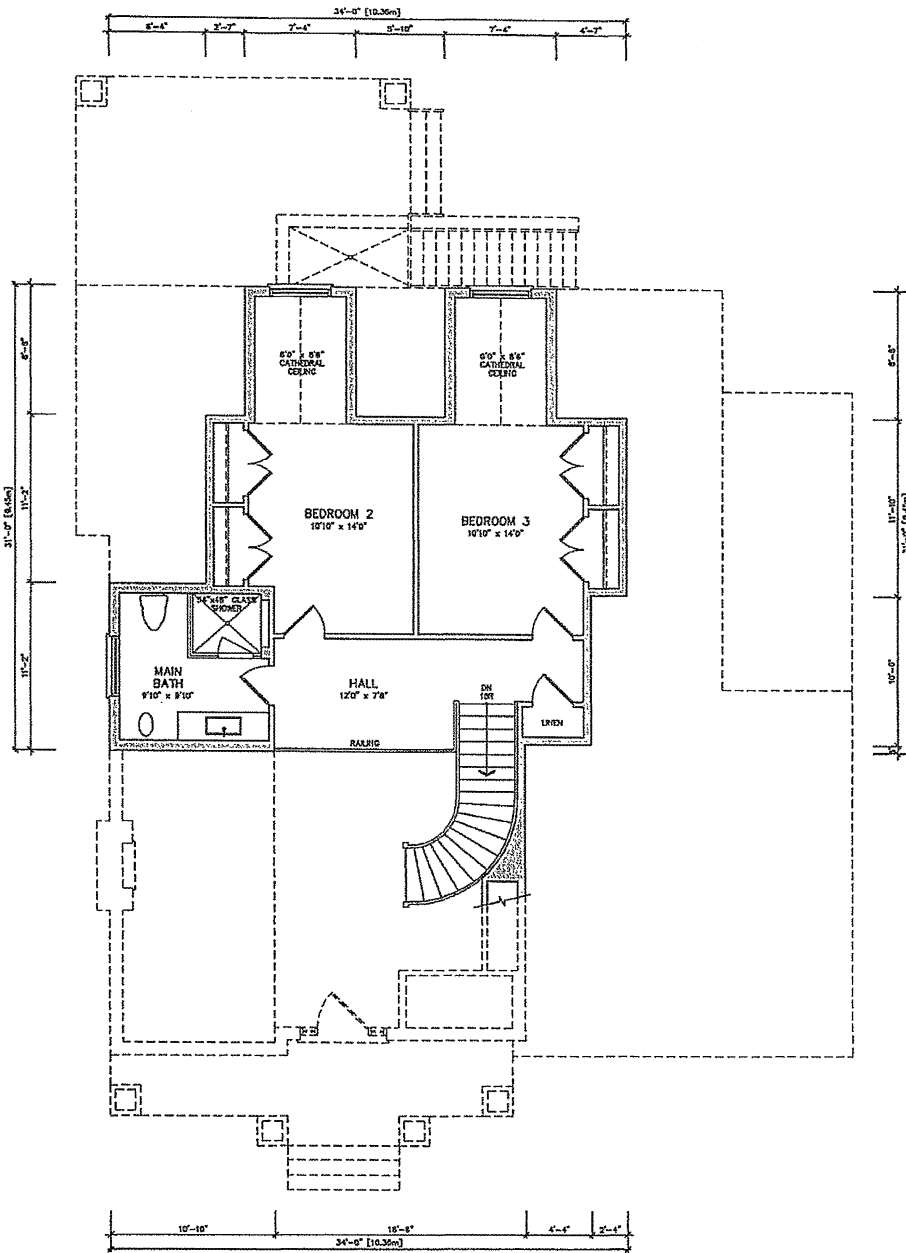
28 Malaren Rd.

Concept 17

LOT AREA = 9,325 sq.ft.
MAX. COVERAGE (23.0% - DWELLING) = 2,144 sq.ft.
MAX. HEIGHT = 7.0M (22'-11") (TO MID-POINT)

LOFT FLOOR PLAN

LOFT FLOOR AREA = 777 sq.ft. - 42.63% (455 sq.ft. max - 25%)
STAIR AREA = 58 sq.ft.



ARTISTS IMPRESSION

OPINION OF THESE MAY BE REVISED AND PURCHASER AGREES TO ACCEPT THE SAME. SETS MAY VARY IF ANY EXTERIOR EXCHANGES WERE DUE TO CHANGING MATERIALS. ACTUAL FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. ALL DIMENSIONS ARE ARTISTS CONCEPTS. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS ARE SUBJECT TO OWNER'S VISION, C & O.E.

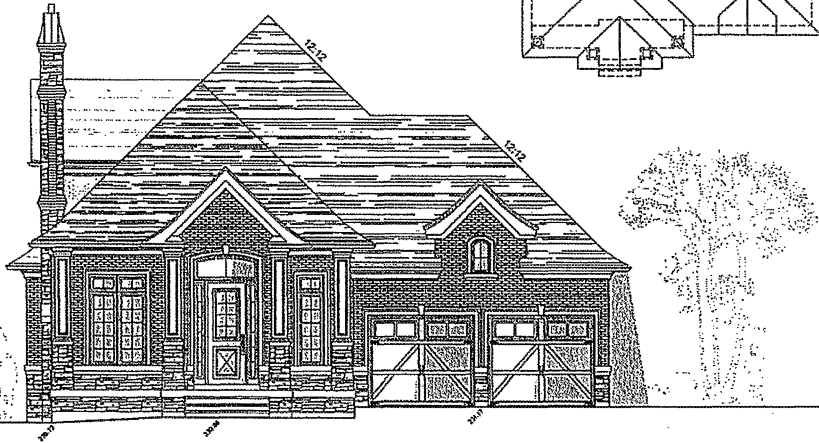
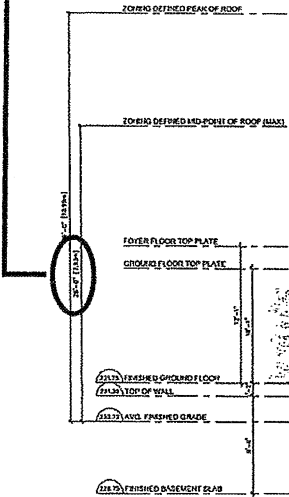
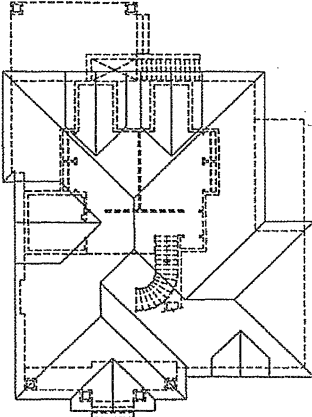


Revised Sketch September 16, 2015

**28 Malaren Rd.
Concept 17**

LOT AREA = 9,325 sq.ft.
MAX. COVERAGE (23.0%) = 2,144 sq.ft.
MAX. HEIGHT = 7.0M (22'-11") (TO MID-POINT)

**BUILDING HEIGHT
= 7.93M**



FRONT ELEVATION

ARTIST'S IMPRESSION

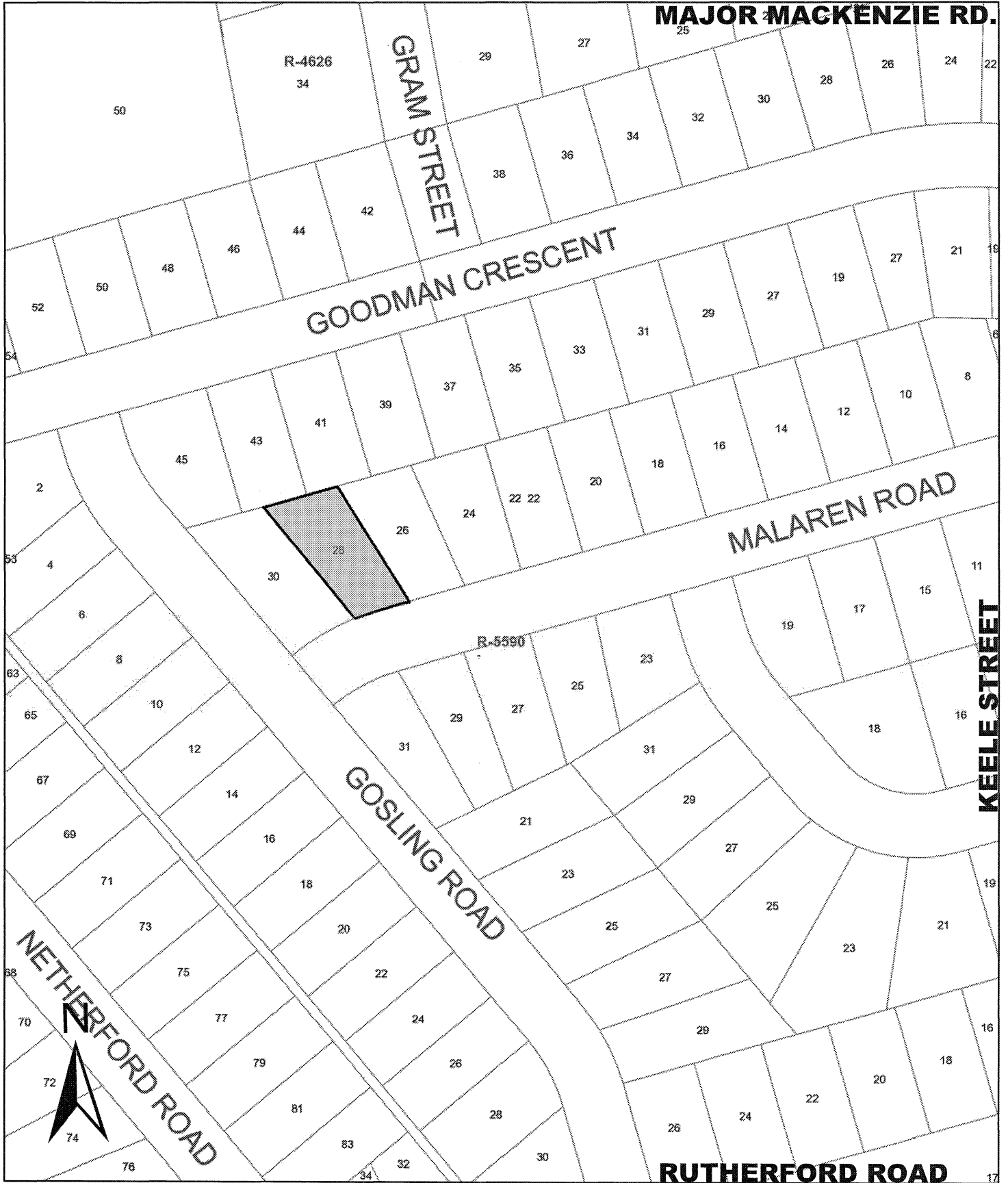
DISCLAIMER: THIS SKETCH IS AN ARTIST'S IMPRESSION AND NOT A CONTRACT DOCUMENT. IT IS NOT TO BE USED FOR PERMITS OR AS A BASIS FOR CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS SKETCH. THE SKETCH IS SUBJECT TO CHANGE WITHOUT NOTICE.





Location Map - A267/15

28 Malaren Road, Maple



City of Vaughan



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