

ITEM: 6.6	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A182/23
------------------	--

Report Date: March 8, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A182/23
1 GOLFER'S GATE, THORNHILL**

CITY WARD #:	5
APPLICANT:	Monique Hirshberg
AGENT:	Steven Drozdov - Precision Landscaping
PROPERTY:	1 Golfer's Gate, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced soft landscaping requirements in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.649 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b)].	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 1.22 metres from the rear lot line.
2	A minimum exterior side yard setback of 4.5 meters is required. [Section 4.1.2.1a, 14.649 & Schedule T-104].	To permit a minimum exterior side yard setback of 1.22 metres to the residential accessory structure.
3	A residential accessory structure shall not be located closer to an exterior lot line than the principal building on the lot. [4.1.2.1c]	To permit a residential accessory structure to be located closer to an exterior lot line than the principal building on the lot.
4	In the R1A Zone, any portion of a yard in excess of 135 m ² shall be comprised of a minimum of 60% soft landscape. [Section 4.19.1.1].	To permit a minimum of 54.36% (100.57m ²) of the area of the rear yard in excess of 135 sq. m. to be comprised of soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 14, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 29, 2024
Date Applicant Confirmed Posting of Sign:	January 29, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Existing pool is occupying most of the space at the backyard, leaving us with no other option but to place the desired accessory structure closer to the street side property line and to maximize the space we will need to have it as close as 3' or 0.91m; As for the height of the structure, the cabana will be placed on a concrete pad that will be 6" or 0.15m above established grade, so one step up, and the desired ceiling height by the owner is 9' or 2.74m to match the main residence ceiling height.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 39.70 m2, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m2 requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of
--	---

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Vaughan's website: [Permits | City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments or concerns, recommended condition of approval:

PFH Recommended Conditions of Approval:	Obtain a tree removal permit through the forestry division
--	--

DEVELOPMENT FINANCE

No comments received to date.

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
--	------

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
--	------

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
--	------

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a tree removal permit through the forestry division
3	Development Planning Joshua.cipolletta@vaughan.ca	TBD

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

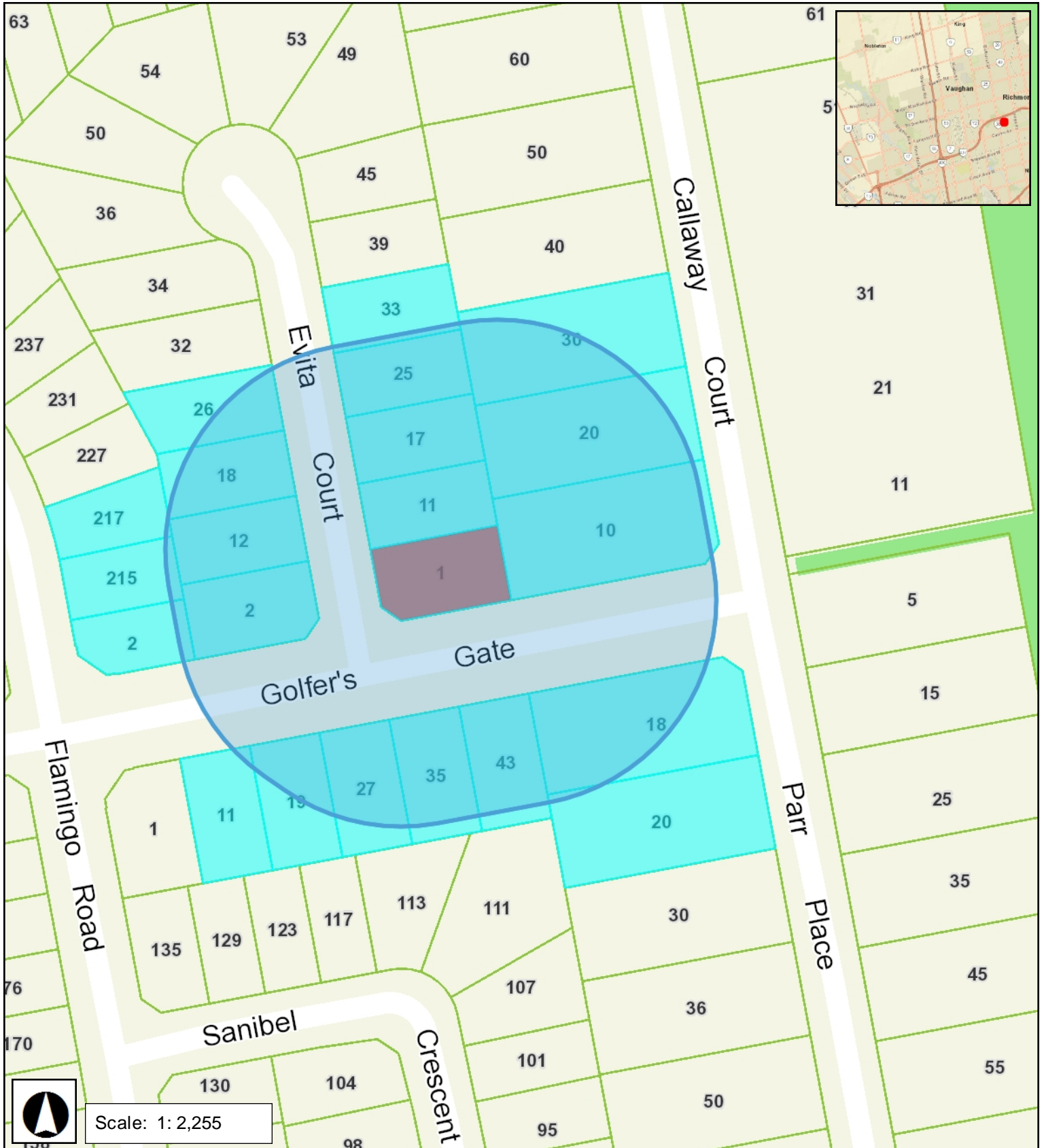
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

1 Golfer's Gate, Thornhill



PROPOSED NEW CABANA WITH WASHROOM

1 GOLFERS GATE,
THORNHILL, ON, L4J 8K6

Precision
Landscaping

A182/23

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

LIST OF DRAWINGS:

A0 — COVER SHEET

SP1-01 — PROP. SITE PLAN & GRADING

A-02 — PROP. CABANA FLOOR PLAN

A-03 — PROP. CABANA FOUNDATION

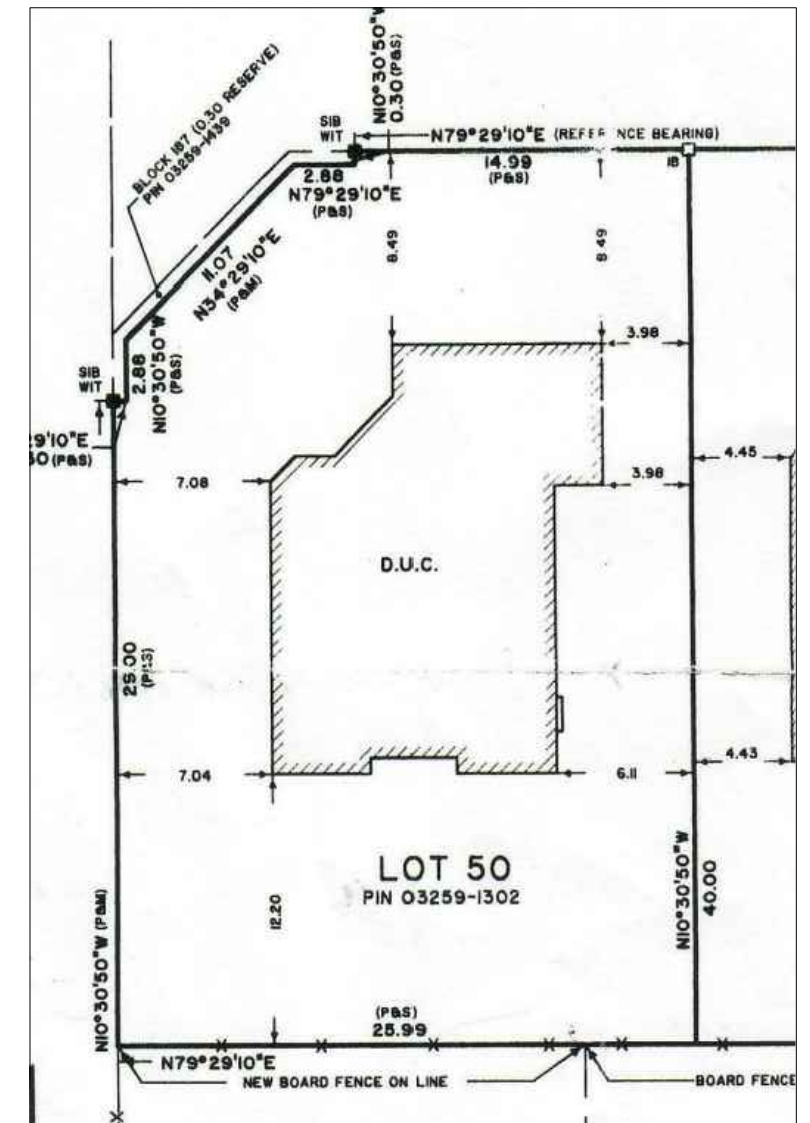
A-04 — PROP. ROOF FRAMING PLAN

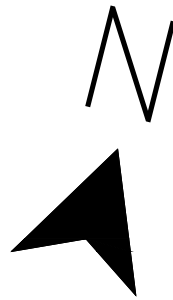
A-05 — PROP. CABANA ELEVATIONS

A-06 — PROP. CABANA ELEVATIONS

A-07 — PROP. CROSS SECTION & ESTABLISHED GRADE

A-08 — PROP. CABANA DETAILS





PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

GOLFERS GATE

A182/23

Precision Landscaping

416 704 3637
730 GARYRAY DR, M9L1R3 TORONTO
PrecisionLandscaping.ca

LEGEND

- NEW TREE
- EXISTING TREE
- MULCH/SOIL
- GRASS

603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of Div.C of the building code

NAME	39587
BCIN	
DATE	

REGISTRATION INFORMATION	102755
Firm Name	BCIN

PROJECT

1 GOLFERS GATE
PROPOSED CABANA

REVISIONS

SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING

SITE PLAN

SCALE

1:175

DATE

OCT 25, 2023

CHECKED BY

SK

DRAWN BY

JD

SP-01

PROJECT STATISTICS	
LEGAL LAND LOT NUMBER	50 ZONING: R1A
ADDRESS:	1 GOLFERS GATE
LOT FRONTAGE:	8.50 M LOT AREA: 998.34 SQM
LOT COVERAGE AS DEFINED IN ZONE EXCEPTION 14.649 FIGURE T-104	
35% AREA ALLOWED:	998.34 SQM x 35% = 349.42 SQM
DWELLING FOOT PRINT AREA:	237.80 SQM
PROPOSED ACCESSORY STRUCTURE:	33.45 SQM
TOTAL PROPOSED AREA:	271.25 SQM
REAR LOT AREA:	320 SQM
BY-LAW REAR LOT COVERAGE CALCULATION:	
REAR LOT AREA:	320 SQM - 135 SQM = 185.00 SQM
60% GREEN AREA ALLOWED:	185 SQM x 60% = 111.00 SQM
PROPOSED GREEN AREA:	54.36% / 100.57 SQM
EXISTING INTERLOCKING AREA:	122.63 SQM
PROPOSED CABANA:	33.45 SQM
TOTAL HARD LANDSCAPE:	156.08 SQM
EXISTING POOL AREA:	58.90 SQM

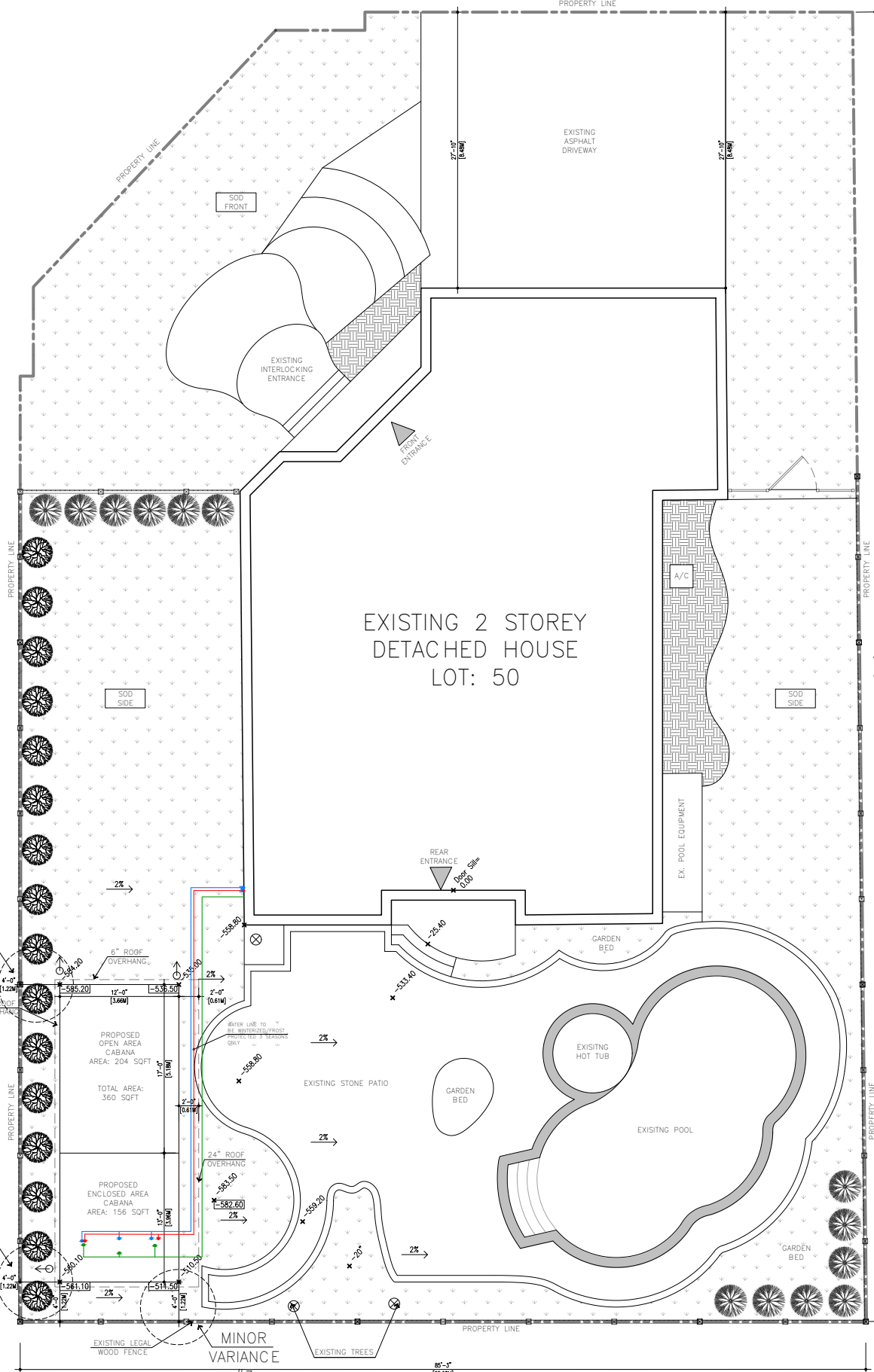
FLAMINGO ROAD

MINOR VARIANCE #2

MINOR VARIANCE #4

MINOR VARIANCE #2,3

MINOR VARIANCE #3



LEGEND

ITIPERMIT BUILDING
Permit Designer Inc.

603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermi@gmail.com
itipermi.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

WVEX GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION

ITIPERMIT DESIGNERS INC.	102755
Firm Name	BCIN

PROJECT

1 GOLFERS GATE

PROPOSED CABANA

REVISIONS

SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING

CABANA FLOOR PLAN

SCALE

1:50

DATE

OCT 25, 2023

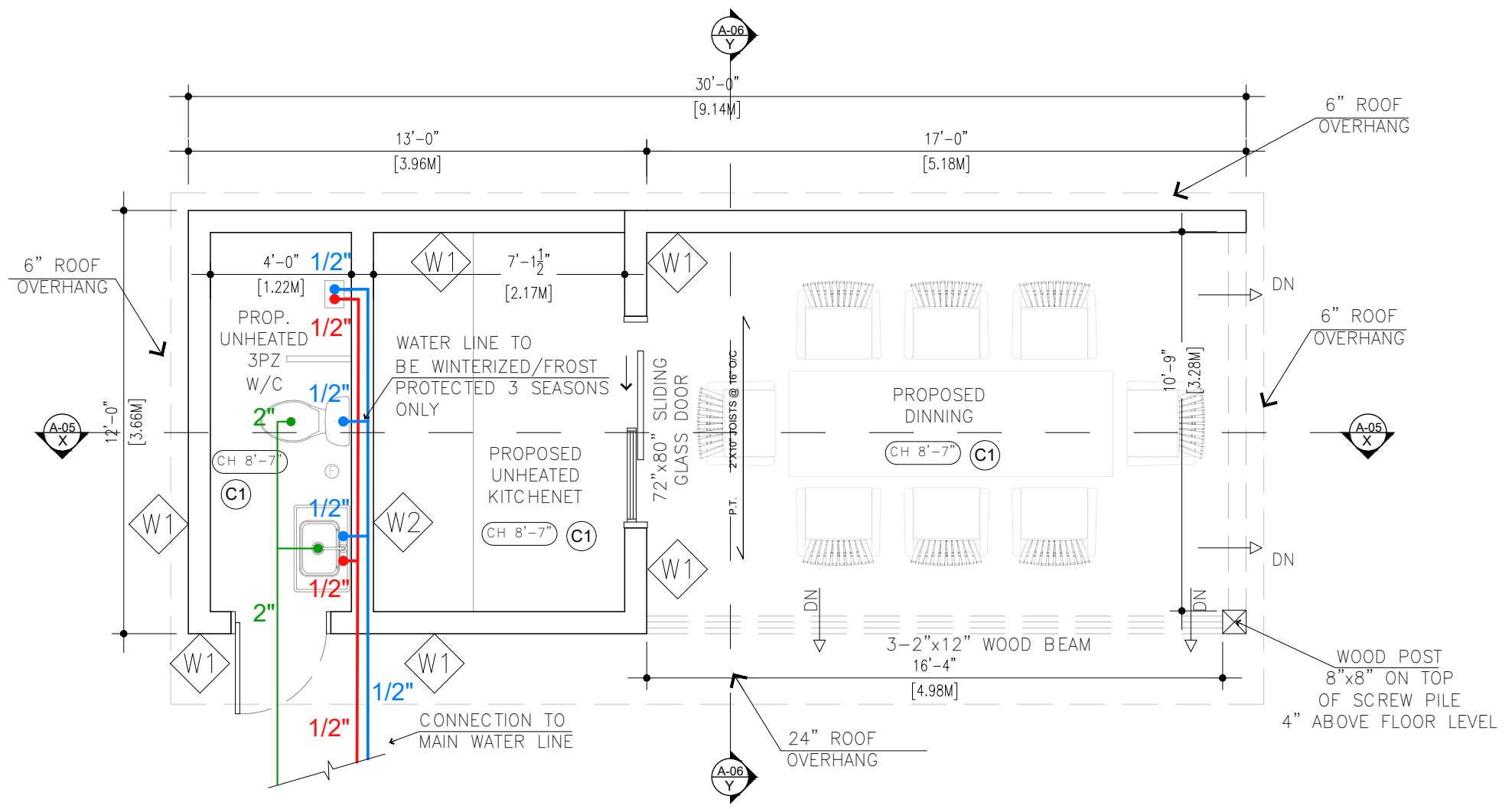
CHECKED BY

SK

DRAWN BY

JD

A-02



WALL & CEILING LEGENDS		PLUMBING LEGENDS	
<p>C1 EXISTING FULL HEIGHT CEILING TO REMAIN (15 MIN FRR)</p> <p>1.- 2"x10" WOOD JOIST @ 16 O.C 2.- 1/2" REGULAR GYPSUM BOARD</p>	<p>C2 FULL HEIGHT CEILING SB-3 (ASSEMBLY F9h) (45 MIN FRR & 53 STC)</p> <p>1.- 2"x8" WOOD JOIST @ NOT MORE THAN 610mm O.C 2.- ABSORBITIVE MATERIAL IN CAVITY 3.- RESILIENT METAL CHANNELS @ 610mm O.C 4.- 2 LAYERS OF 12.7mm TYPE X GYPSUM BOARD</p>	<p>W1 EXISTING SB-3 (ASSEMBLY EW1B) EXTERIOR INSULATED WALL (45 MIN FRR)</p> <p>1.- 1/2" GYPSUM BOARD ON ONE SIDE OF 2"x4" WOODEN STUDS @ 16" 2.- TOP PLATE AND BOTTOM PLATE TAPED, SANDED AND READY TO RECEIVE COMPOSITE SIDING FINISH, AS PER OWNER CHOICE OF COLOR.</p>	<p>W2 EXISTING SB-3 (ASSEMBLY W1) INTERIOR PARTITION WALL (30 MIN FRR)</p> <p>1.- 2"x4" WOOD STUDS @ 16" OR 24" O.C 2.- 12.7mm REGULAR GYPSUM BOARD.</p>
		<p>— 1/2" COLD WATER LINE</p> <p>— 1/2" HOT WATER LINE</p> <p>— 2" WASTE LINE (FORCED MAIN)</p> <p>⊗ WATER METER</p> <p>⊗ WATER LINE SHUTOFF</p>	

LEGEND

603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of Div.C of the building code	
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5 of Div. C of the building code	
Firm Name	BCIN
102755	

PROJECT
1 GOLFERS GATE
PROPOSED PATIO

REVISIONS
SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING
FOUNDATION PLAN

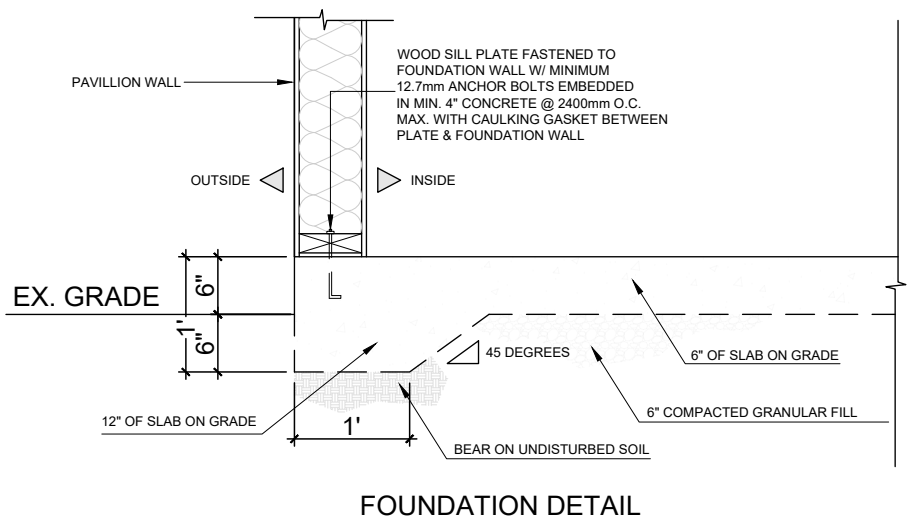
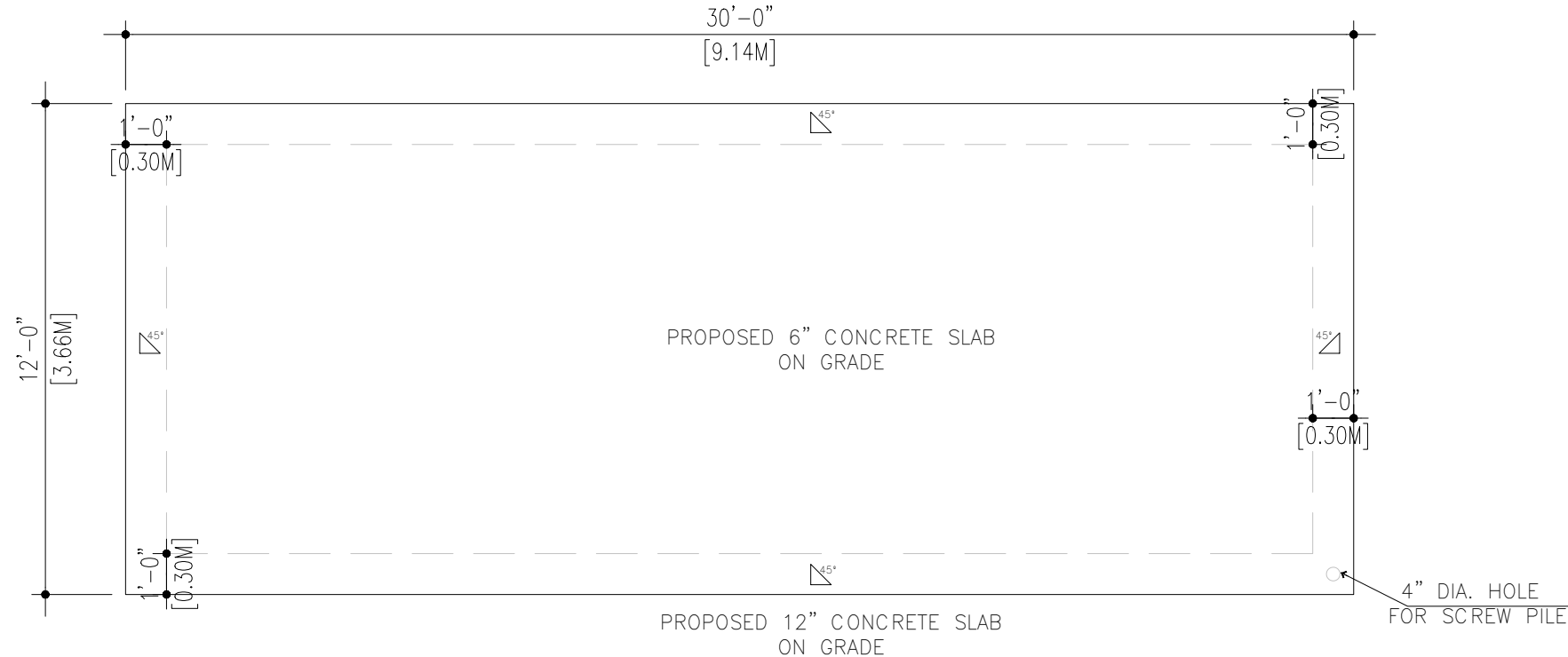
SCALE
1:50

DATE
OCT 25, 2023

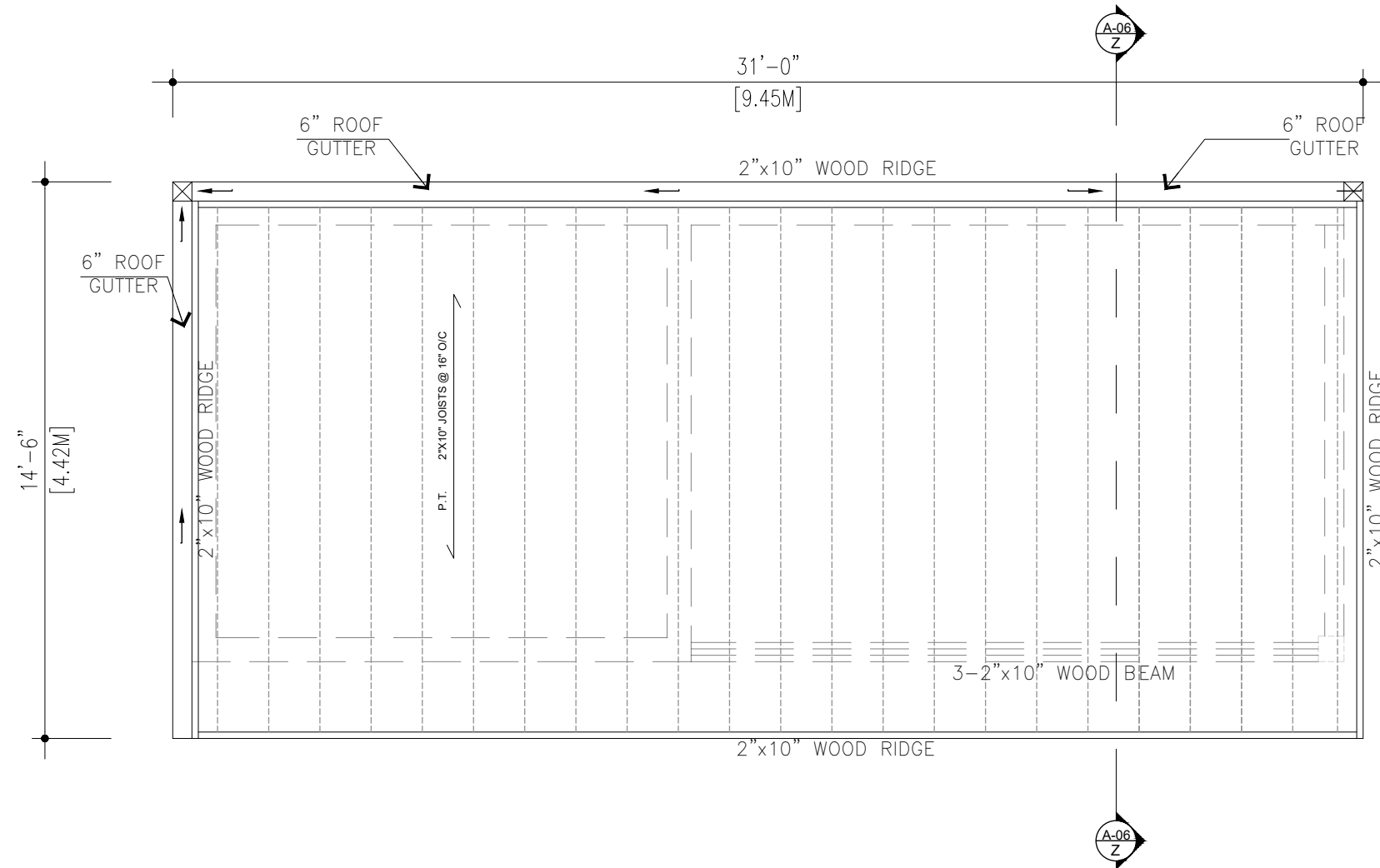
CHECKED BY
SK

DRAWN BY
JD

A-03



LEGEND



603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

ITIPERMIT BUILDING
Permit Designer Inc.

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

WIKY GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION

ITIPERMIT DESIGNERS INC.	102755
Firm Name	BCIN

PROJECT

1 GOLFERS GATE

PROPOSED PATIO

REVISIONS

SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING

ROOF FRAMING PLAN

SCALE

1:50

DATE

OCT 25, 2023

CHECKED BY

SK

DRAWN BY

JD

LEGEND

603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

WHEX GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION

ITI PERMIT DESIGNERS INC.	102755
Firm Name	BCIN

PROJECT

1 GOLFERS GATE

PROPOSED PATIO

REVISIONS

SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING

NORTH & SOUTH ELEVATIONS

SCALE

1:50

DATE

OCT 25, 2023

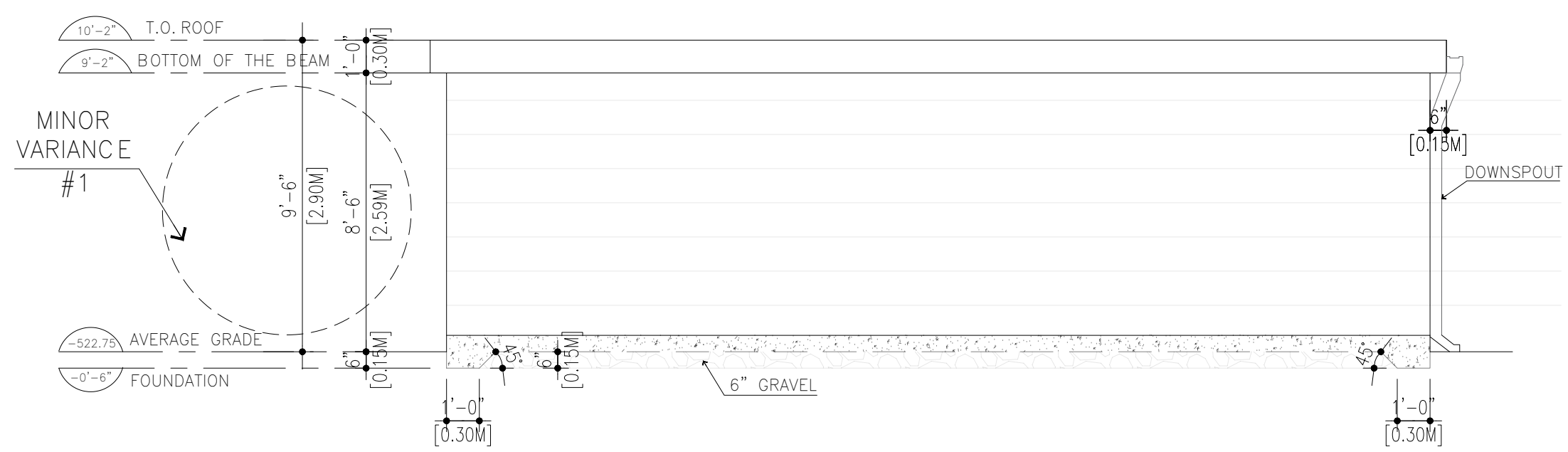
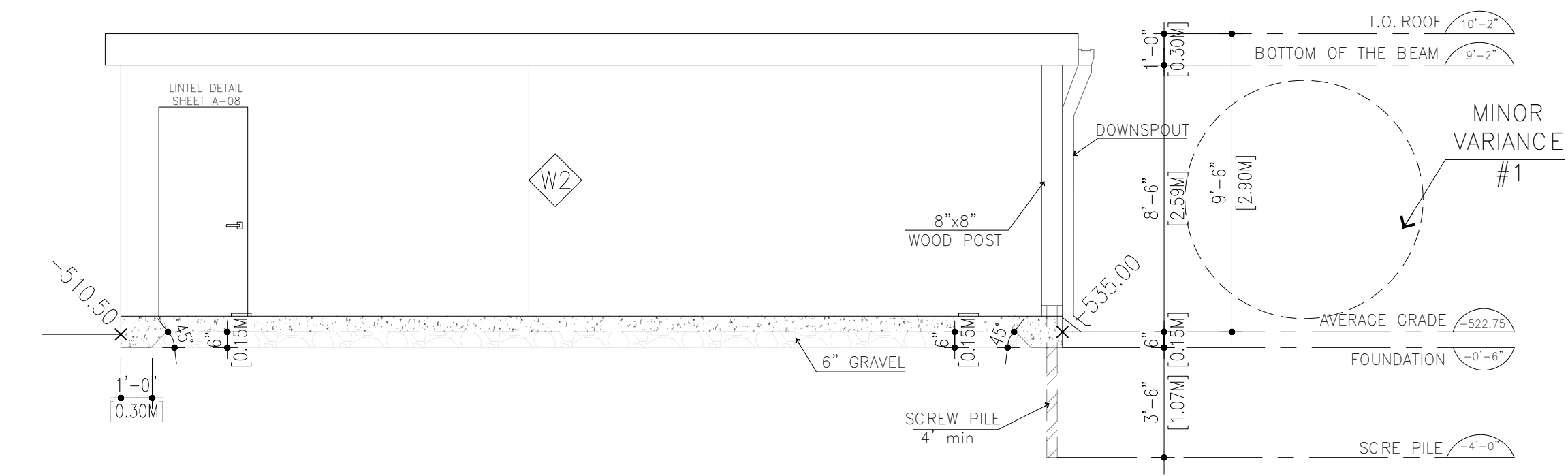
CHECKED BY

SK

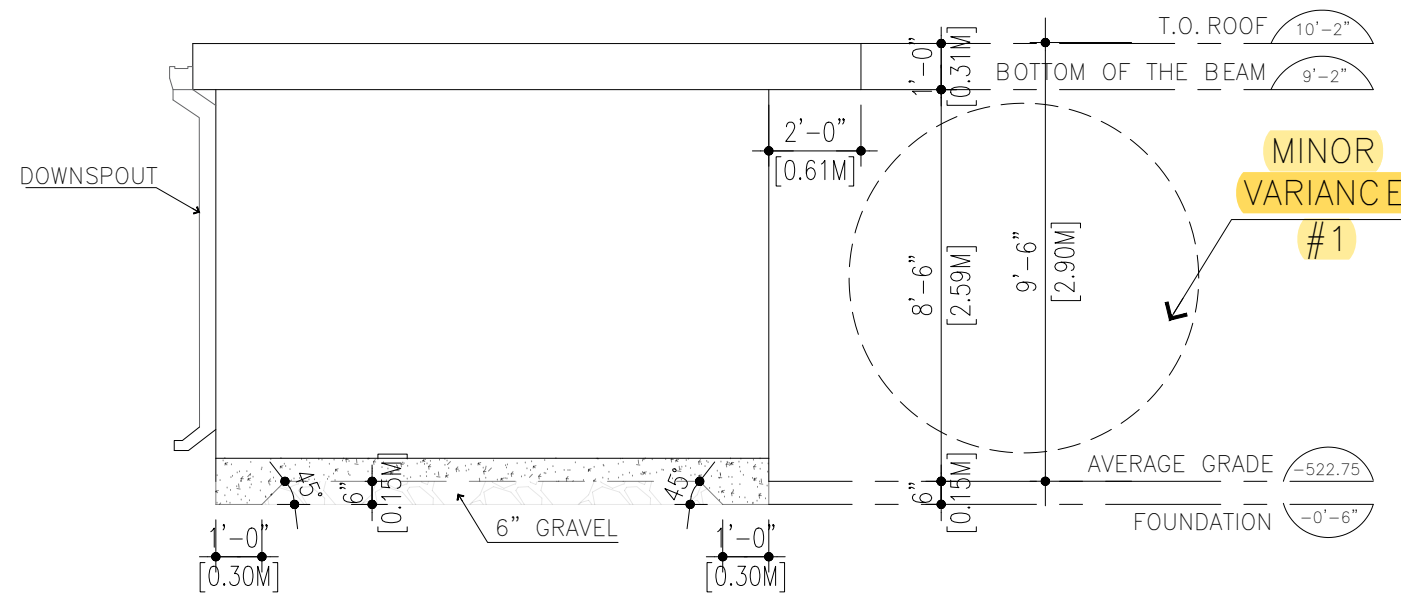
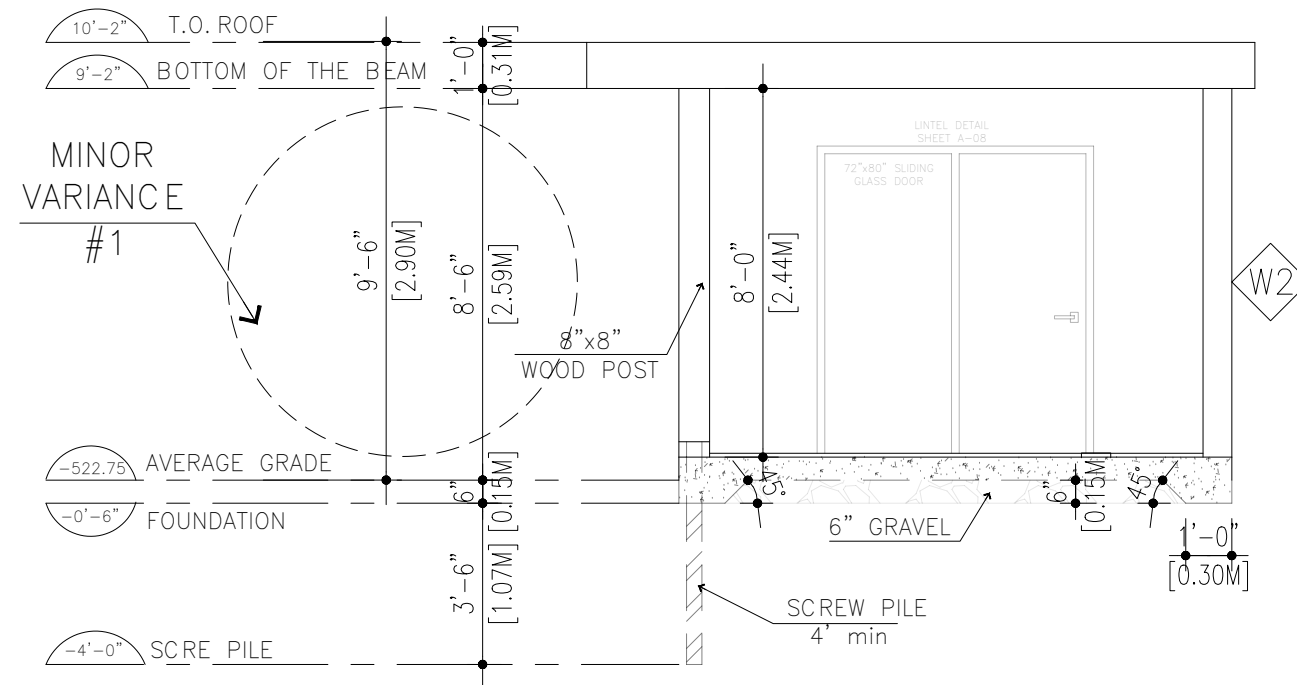
DRAWN BY

JD

A-05



LEGEND



603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of Div. C of the building code

WHEX GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5 of Div. C of the building code

ITI PERMIT DESIGNERS INC.	102755
Firm Name	BCIN

PROJECT
1 GOLFERS GATE
PROPOSED PATIO

REVISIONS
SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING
SIDE ELEVATIONS

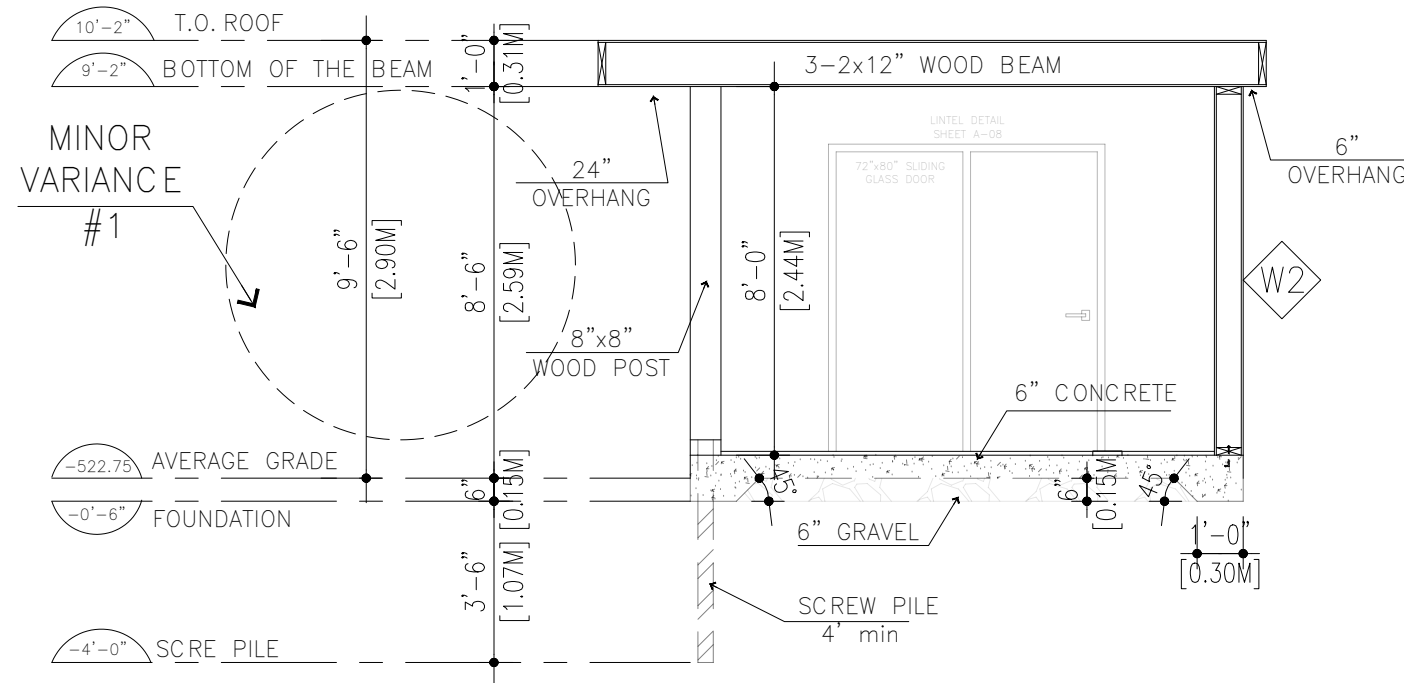
SCALE
1:175

DATE
OCT 25, 2023

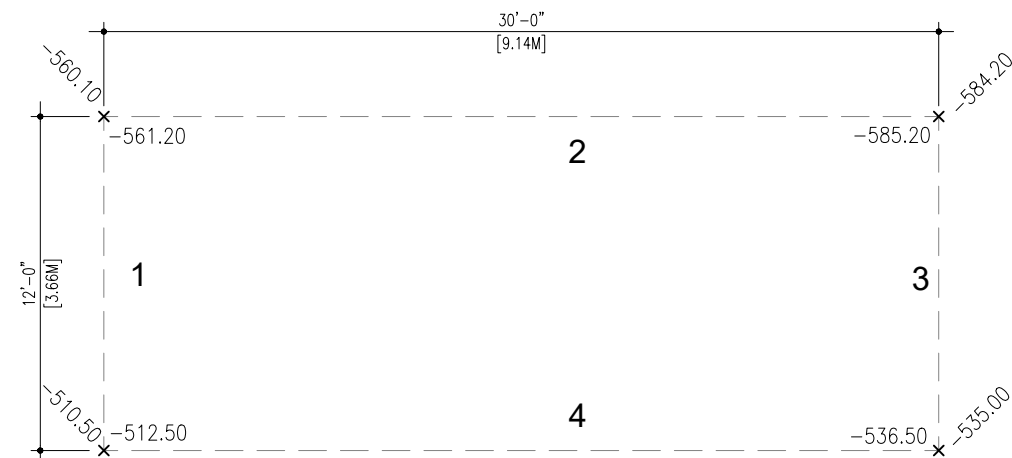
CHECKED BY
SK

DRAWN BY
JD

LEGEND



ESTABLISHED GRADE CALCULATION- (PROPOSED CABANA)				
LENGTH N°	BEGIN ELEV.	END ELEV.	LENGTH(M)	$\frac{EL1 + EL2}{2} \times L$
1	-510.50	-560.10	3.66	-1,959.20
2	-560.10	-584.20	9.14	-5,229.45
3	-584.20	-535.00	3.66	-2,048.13
4	-535.00	-510.50	9.14	-4,777.94
TOTAL:			25.60	-14,014.72
-14,014.72 / 25.60				
EG:			25.60	-547.45



603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of Div. C of the building code

WHEX GUPTA	39587
Name	BCIN
Signature	#CURDATE
Date	

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.5 of Div. C of the building code

ITI PERMIT DESIGNERS INC.	102755
Firm Name	BCIN

PROJECT

1 GOLFERS GATE
GATE

PROPOSED PATIO

REVISIONS

SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING

CROSS SECTION & ESTABLISHED GRADE CALCULATION

SCALE

1:175

DATE

OCT 25, 2023

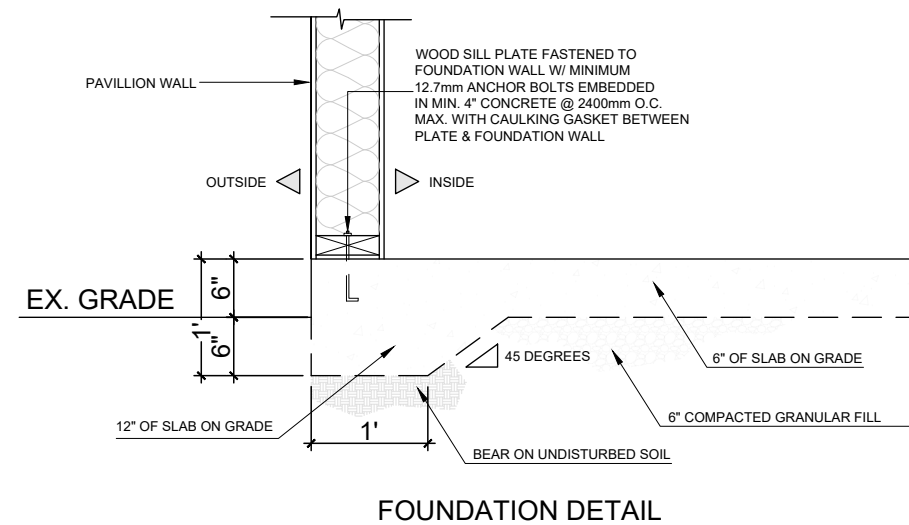
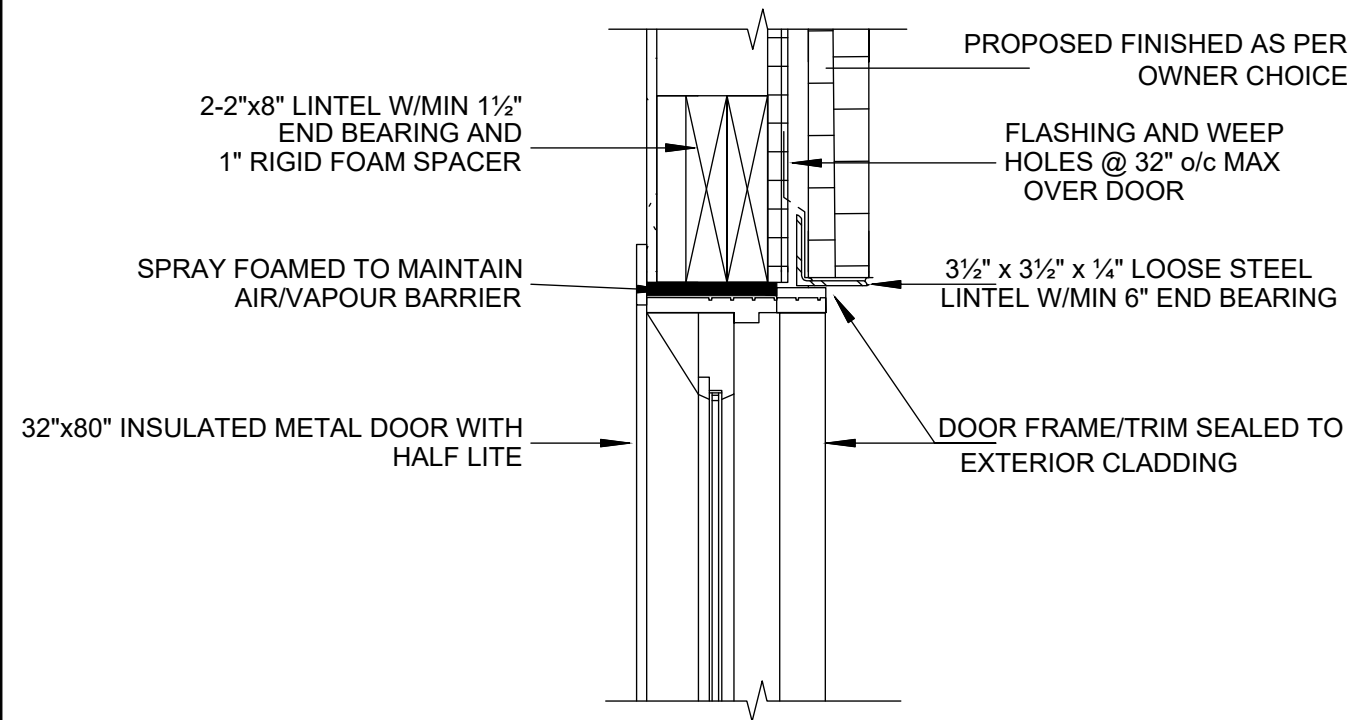
CHECKED BY

SK

DRAWN BY

JD

LEGEND



603 Argus Rd, Suit 201
Oakville, ON
(647) 973-1733
itipermits@gmail.com
itipermits.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

WHEX GUPTA	39587
Name	BCIN
Signature	#CURDATE
Signature	Date

REGISTRATION INFORMATION

ITIPERMIT DESIGNERS INC.	102755
Firm Name	BCIN

PROJECT

1 GOLFERS GATE

PROPOSED PATIO

REVISIONS

SEPT 25, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR.

THIS WORK IS COPYRIGHTED TO PRECISION LANDSCAPING AND NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

DRAWING

DETAILS

SCALE

1:175

DATE

OCT 25, 2023

CHECKED BY

SK

DRAWN BY

JD

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: December 7th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A182-23**

Related Files:

Applicant Precision Landscaping

Location 1 Golfer's Gate



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

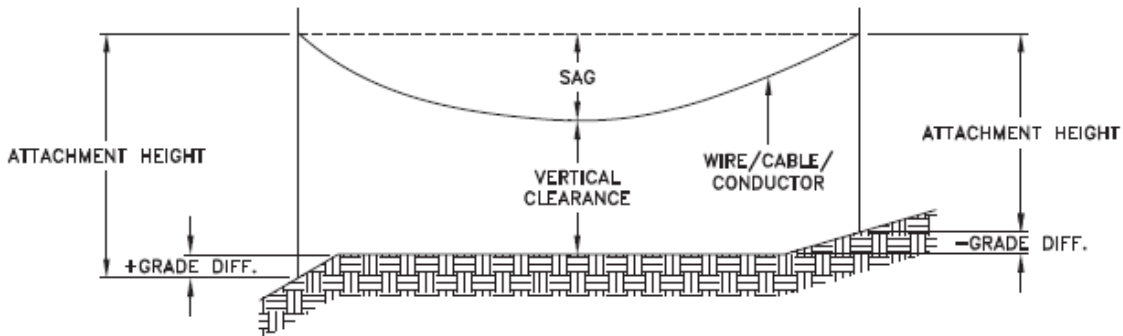
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

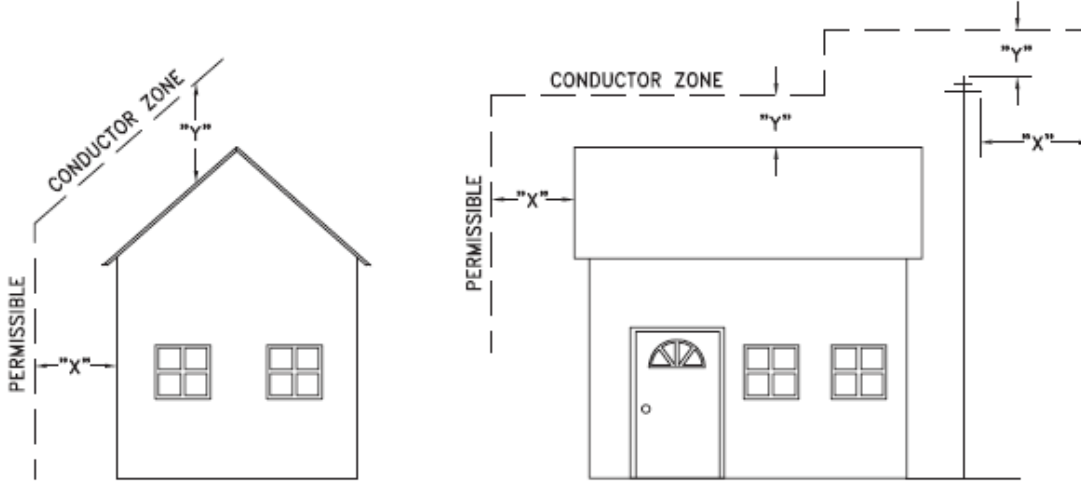
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: January, 29, 2024
Applicant: Precision Landscaping
Location: 1 Golfer's Gate
 PLAN 65M3195 Lot 50
File No.(s): A182/23

Zoning Classification:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.649 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line [Section 4.1.2.1b)].	To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 1.22 metres from the rear lot line.
2	A minimum exterior side yard setback of 4.5 meters is required. [Section 4.1.2.1a, 14.649 & Schedule T-104].	To permit a minimum exterior side yard setback of 1.22 metres to the residential accessory structure.
3	A residential accessory structure shall not be located closer to an exterior lot line than the principal building on the lot. [4.1.2.1c]	To permit a residential accessory structure to be located closer to an exterior lot line than the principal building on the lot.
4	In the R1A Zone, any portion of a yard in excess of 135 m ² shall be comprised of a minimum of 60% soft landscape. [Section 4.19.1.1].	To permit a minimum of 54.36% (100.57m ²) of the area of the rear yard in excess of 135 sq. m. to be comprised of soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Height of residential accessory structure shall be measured in accordance with the definitions in section 3.0 DEFINITIONS of by-law 001-2021, as amended. Established grade shall be the approved grading at the time of the original building permit for the principal dwelling.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Prabhdeep Kaur

From: Kristen Regier <Kristen.Regier@trca.ca>
Sent: Friday, December 1, 2023 11:59 AM
To: Prabhdeep Kaur
Cc: Committee of Adjustment
Subject: [External] RE: A182/23(1 Golfer's Gate) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello,

The subject property at 1 Golfer's Gate, Vaughan is located outside of TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted. As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)

Planner

Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None