

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A267/21
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AGENDA ITEM NUMBER: 5	CITY WARD #: 1
APPLICANT:	Nashville Developments (Barons) Inc.
AGENT:	Vince Figliomeni
PROPERTY:	140 Coldwell Bay Circle, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Choose an item.
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	TACC Developments		12/10/2021	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A267/21**

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AGENT:	Vince Figliomeni
PROPERTY:	140 Coldwell Bay Circle, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R4 (H), Fourth Density Residential Zone (with holding provision)** under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard of 7.5 metres is required to the dwelling wall. [Table 7-5]	To permit a minimum rear yard of 2.37 metres to a dwelling wall.
2	A minimum front yard of 4.5 metres is required to the dwelling wall. [Table 7-5]	To permit a minimum front yard of 3.27 m to a dwelling wall.
3	A maximum encroachment of 2.0 metres is permitted for a porch, including access stairs, into the minimum required front yard of 4.5 metres. [Table 4-1]	To permit a maximum encroachment of 2.82 metres for a porch and access stairs into a minimum required front yard of 4.5 metres.

The subject lands are zoned **RD4 Residential** and subject to the provisions of **Exception 9(1489)** under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The minimum rear yard setback shall be 2.5 m for Lot 27. [Exception 9(1489) fiii]	To permit a minimum rear yard setback of 2.37 metres.

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday, March 3, 2022 at 6:00 p.m.
As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.	
PUBLIC PARTICIPATION	
You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil	
If you wish to speak to the Committee of Adjustment on an application please complete and submit a Public Deputation Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.	
Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca	
For more information, please visit the City of Vaughan website.	

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	February 16, 2022	
Date Applicant Confirmed Posting of Sign:	February 15, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Lot requires custom home design. Irregular shape and definitions unclear and difficult to work with	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.		
*A revised submission may be required to address staff / agency comments received as part of the application review process.		
*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
<p>There are no outstanding Orders on file</p> <p>Building Permit Application No. 2021 11997006 has been submitted for the construction of a Single Detached Dwelling.</p> <p>The Applicant shall be advised that if a door provides entry from the interior rear wall of the garage into the dwelling, a maximum of one steps/two risers are permitted to encroach into the minimum required interior garage length of 6.0 metres.</p> <p>The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.</p>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
The Development Engineering (DE) Department does not object to variance application A267/21.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comments at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	

FIRE DEPARTMENT COMMENTS	
No comments received to date	
Fire Department Recommended Conditions of Approval:	

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: None

IMPORTANT INFORMATION – PLEASE READ	
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.	

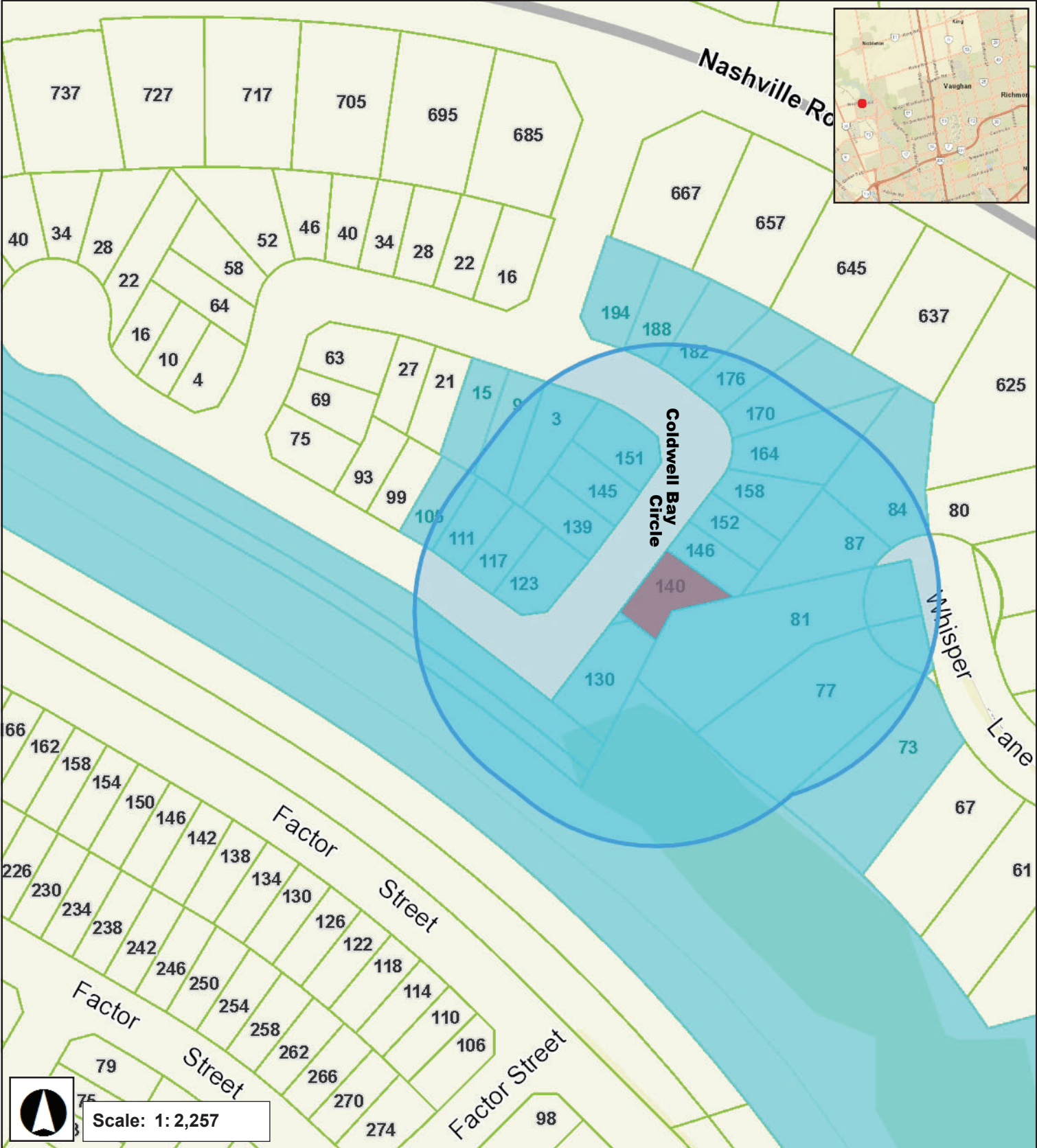
IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A267/21

140 COLDWELL BAY CIRCLE, KLEINBURG



Scale: 1: 2,257

Major Mackenzie Drive

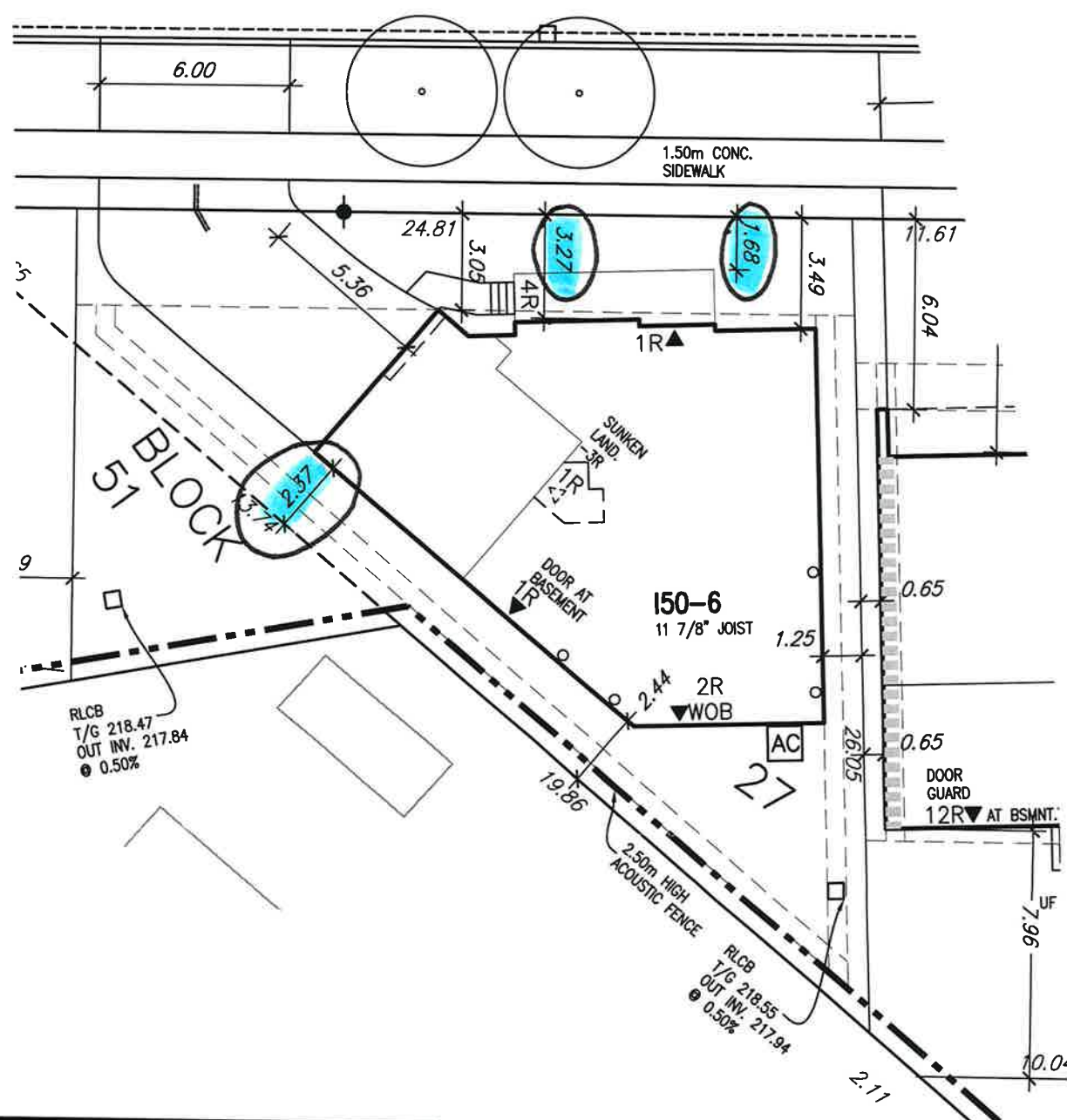
February 14, 2022 11:17 AM

A267/21

Permit 2.37m rear yard setback to a dwelling wall
Permit 3.27m front yard setback to a dwelling wall
Permit max. encroachment 2.82m for porch & access stairs
into a min. required front yard of 4.5m

Permit 2.37m rear yard setback

COLDWELL
BAY CIRCLE



SITE STATISTICS	
LOT FRONTAGE AT 6.00m SETBACK:	24.81m
LOT DEPTH:	26.05m
LOT AREA:	433.42m ²
GROUND FLOOR COVERAGE INCLUDING PORCH:	165.09m ²
LOT COVERAGE:	38.10%
BUILDING HEIGHT:	8.46m

<p>1. <input type="checkbox"/> PROPOSED VALVE <input type="checkbox"/> LIGHT POLE <input type="checkbox"/> WATER SERVICE <input type="checkbox"/> DOUBLE STM./SAN. CONNECTION <input type="checkbox"/> SINGLE STM./SAN. CONNECTION <input type="checkbox"/> CATCH BASIN <input checked="" type="checkbox"/> CABLE CABLE TELEVISION PEDESTAL <input type="checkbox"/> BELL PEDESTAL</p>	<p>2. <input type="checkbox"/> HYDRANT <input checked="" type="checkbox"/> TRANSFORMER</p> <p>3. <input type="checkbox"/> NO. OF RISERS <input type="checkbox"/> FINISHED FLOOR ELEVATION <input type="checkbox"/> FINISHED MAIN LEVEL ELEVATION <input type="checkbox"/> UNDERSIDE FOOTING ELEVATION <input type="checkbox"/> FIN. BASEMENT FLOOR SLAB <input type="checkbox"/> TOP OF FOUNDATION WALL <input type="checkbox"/> UNDERSIDE FOOTING AT REAR <input type="checkbox"/> UNDERSIDE FOOTING AT FRONT <input type="checkbox"/> UNDERSIDE FOOTING AT SIDE <input type="checkbox"/> DECK <input type="checkbox"/> WALK OUT DECK <input type="checkbox"/> W.O.B. <input type="checkbox"/> WALK OUT BASEMENT <input type="checkbox"/> REV</p>	<p>STREET SIGN MAIL BOX RETAINING WALL CHAIN LINK FENCE (SEE LANDSCAPE PLAN) ACOUSTICAL FENCE (SEE LANDSCAPE PLAN) WOOD SCREEN FENCE (SEE LANDSCAPE PLAN) HYDRO SERVICE LATERAL HYDRO METER GAS METER EMBAKMENT</p>	<p>PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA THIS LOT CONTAINS ENGINEERED FILL AIR CONDITIONER REQUIRED RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD) SIDE WINDOW LOCATION OPT. DOOR LOCATION EXTERIOR DOOR LOCATION REDUCE SIDE YARD</p>
<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.</p> <p>qualification information</p> <p>Richard Vink 24488</p> <p>name registration information BCIN VA3 Design Inc. 42658</p>			
<p>VA3 DESIGN</p> <p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>			
<p>FIELDGATE HOMES</p> <p>project name NASHVILLE HEIGHTS PHASE 6B</p> <p>date JUNE 2021</p> <p>drawn by STEVE SOSTARIC</p> <p>checked by STEVE</p> <p>scale 1:250</p> <p>project no. 18006</p>		<p>lot/block no. 27</p> <p>registered plan no. 65M-4692/19T-17V008</p> <p>project no. 18006</p> <p>drawing no. 1</p>	
<p>Builder to verify location of all hydrants, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.</p> <p>Builder to verify service connection elevations prior to constructing foundations.</p>		<p>SITE PLAN</p> <p>file name PHASE 6</p> <p>STEVE - H:\ARCHIVE\WORKING\2018\18006\file\site\PHASE 6.dwg - Thu - Jan 27 2022 - 10:40 AM</p>	

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GRADING AND DRAINAGE NOTES

1. Standard drawing and lot grading criteria of the City of Vaughan and the regional Municipality of York constitute part of the project drawings for the subdivision.
2. Minimum gradient of grass swales along side and rear lot lines shall be 2.0%. The proposed elevation of the side yard swale shall be a minimum of 0.15 meters below the finished grade at the building line.
3. Take up rear yard grade difference using slopes between 2.0% and 5.0% for a maximum of 75% of the rear yard length and slopes of 3:1 to the rear lot line. Use retaining walls if grade difference is more than 0.6 meters. Construct retaining wall within rear lot line.
4. Roof Leaders shall not be connected to the storm sewer but shall discharge to the ground onto a splash pad and shall drain to the front of the lot. Roof downspouts are not permitted at the rear of the house.
5. Footings constructed next to a catchbasin lead pipe or other municipal services shall be installed below the lead pipe excavation. Footings must be constructed on undisturbed soil. Soil consultant's verification required.
6. Edge of driveways are to be a minimum of 1.2 meters clearance from edge of street catchbasin and street furniture. The builder is to verify the locations and to inform the engineer if this dimension can not be maintained prior to excavation for the footings. Builder to relocate at builder's expense
7. If the distance between the walls of adjacent units is less than 1.8 meters a side yard drainage swale shall be constructed and surfaced with 0.13m limestone screening, overlaid by a patio slab walkway.
8. Brick line shall be a minimum of 0.15 meters above sod elevation.
9. All fences abutting public lands and or existing properties shall be constructed with material (including foundations) completely on private lands and totally clear of any 0.30m reserves.
10. Soil consultant's verification is required for footings constructed on engineered fill lots.
11. In lots with rear lot catchbasins, the minimum side yard width shall be 1.2m along the catchbasin lead.
12. Builder to stake out curb depressions on all lots.
13. The builder must verify the existing sanitary and storm lateral sewer inverts and to inform the engineer if the minimum 2.0% slope cannot be maintained prior to placing of concrete footings.

CONSULTANTS CERTIFICATION

- I have reviewed the site and grading plan for the the proposed building to be constructed and hereby certify that:
1. The proposed grading and appurtenant drainage works comply with sound engineering principles.
 2. The proposed grading is in conformity with the grading plan approved for this subdivision and will not adversely affect adjacent lands.
 3. The proposed building is compatible with the proposed grading.
 4. The builder is responsible for relocation of all utilities on the site.
 5. Roof leader downspouts must drain to front of house.
 6. Water service to be located in the grassed portion of the yard.

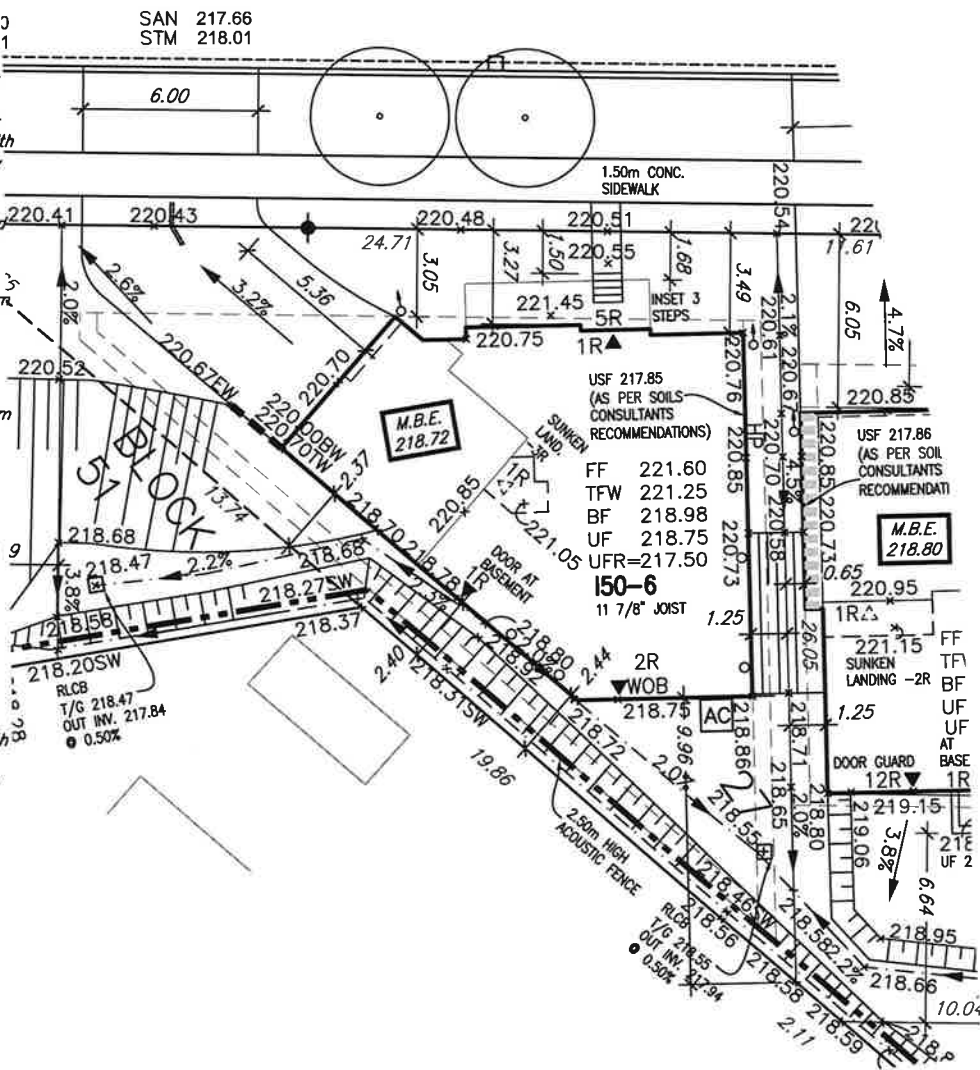
Schaeffers and Associates

Date

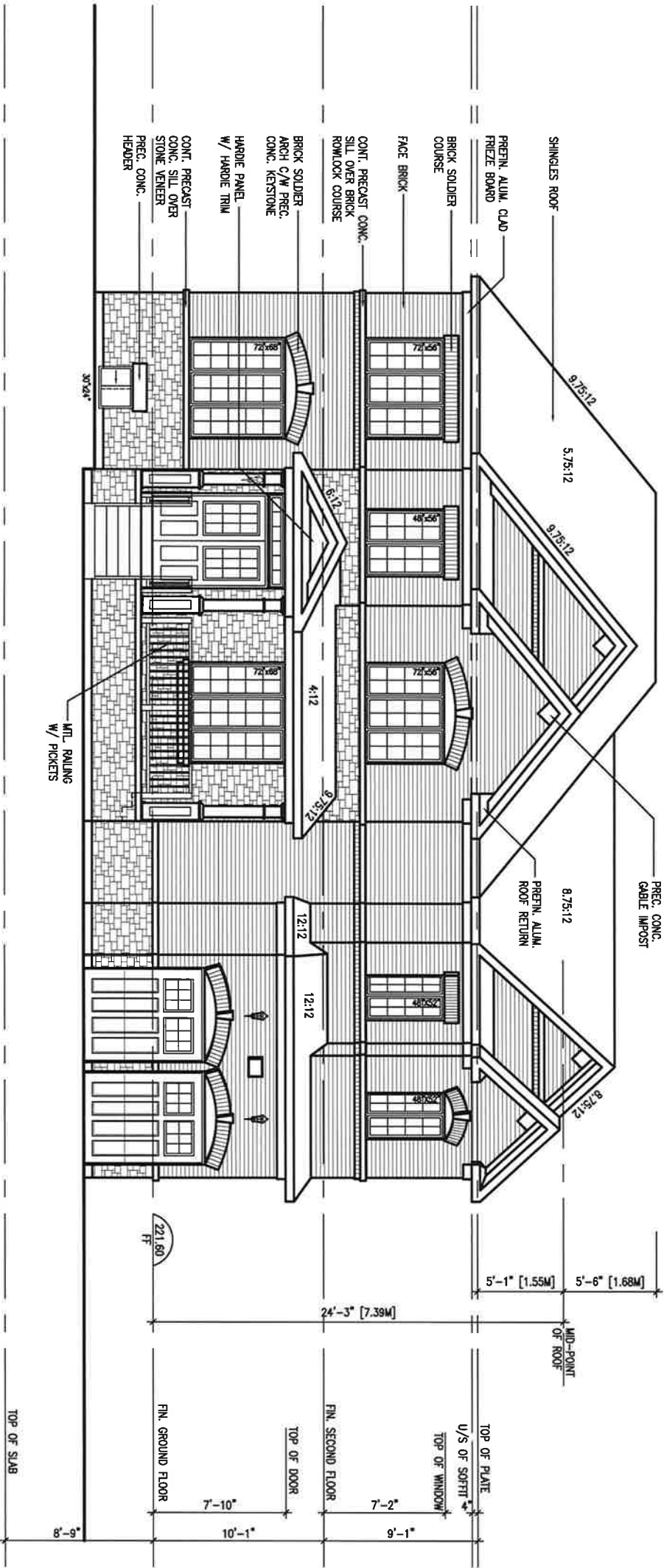
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

COLDWELL BAY CIRCLE



LOT:27



FRONT ELEVATION 'A'

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VAS
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2L 1R4
T 416.630.2255
F 416.630.4782
vasdesign.com

FIELDGATE HOMES

VAUGHAN, ON.

project no.
18006

revision	date	by
1	MAY 21/19	DB
2	JUN. 02/20	DB

no.	description
1	ADDED PRELIM. STRUCTURE.
2	ISSUED TO GUIDELINES.

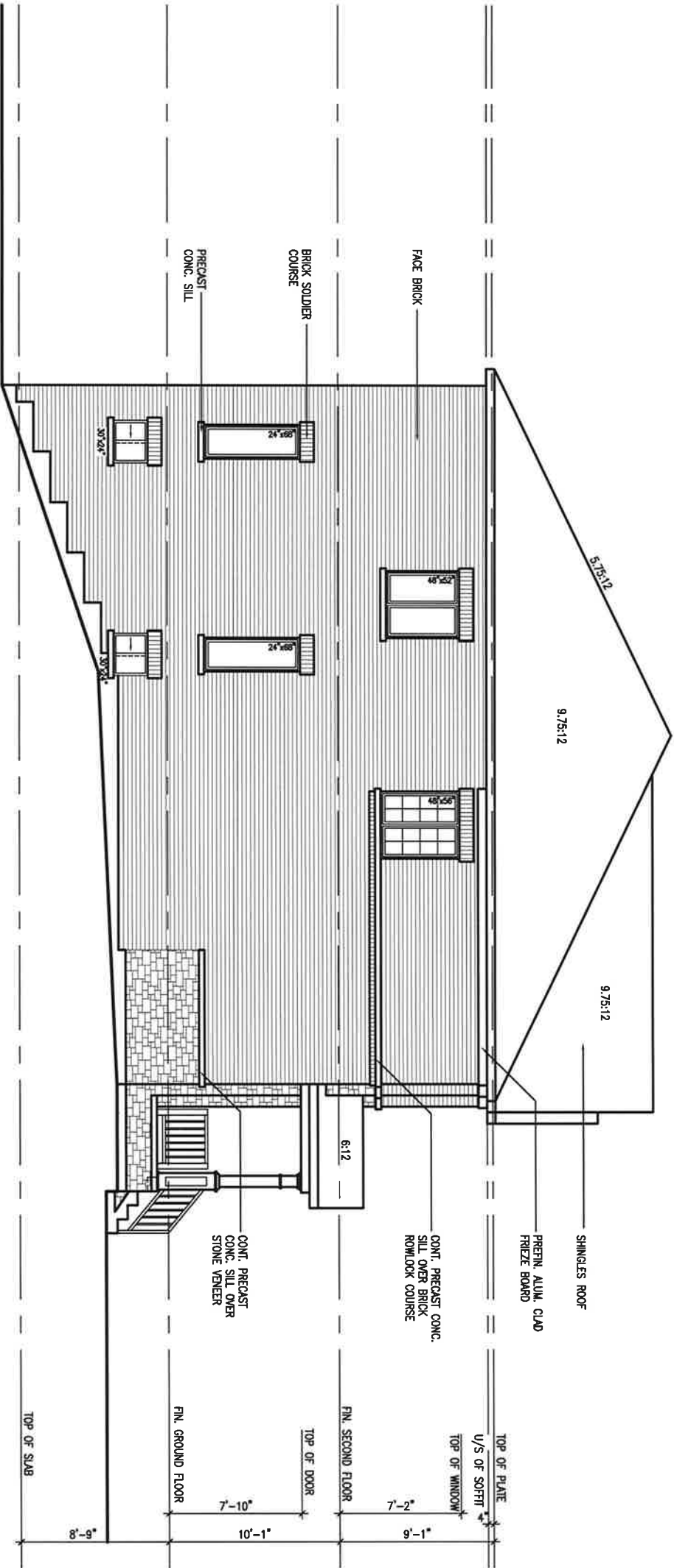
date
SEP. 2019
18006-150-6
The name
NH

unit name

unit number
150-6

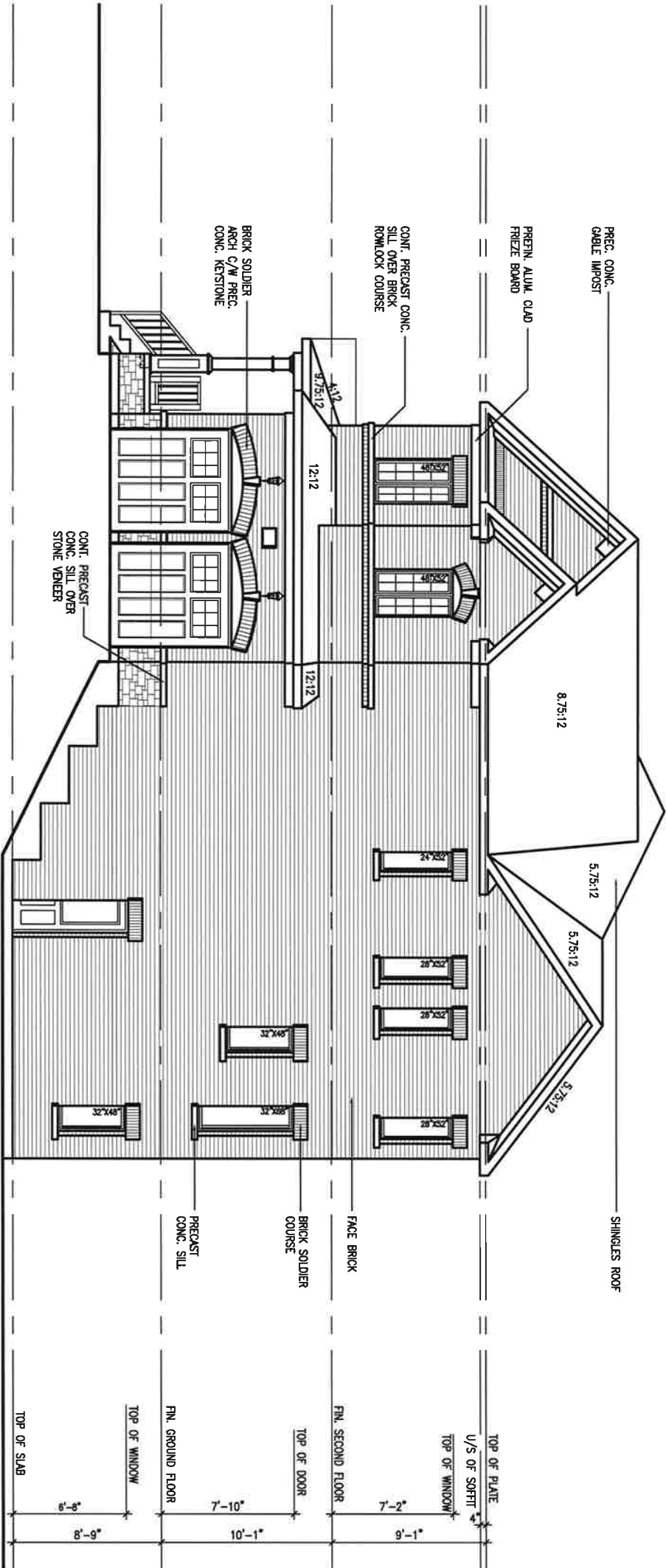
area summary (sq ft)
2933 SF A

LOT:27



LEFT SIDE ELEVATION 'A'

LOT:27



WAB
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.530.2255
f 416.530.4782
wvdesign.com

FIELDGATE HOMES

VAUGHAN, ON.

project no.
18006

revision	date	by
1	MAY 21/19	DB
2	JUN. 02/20	DB

no.	description
1	ADDED PRELIM. STRUCTURE.
2	ISSUED TO GUIDELINES.

date
SEP. 2019
drawn by
NH

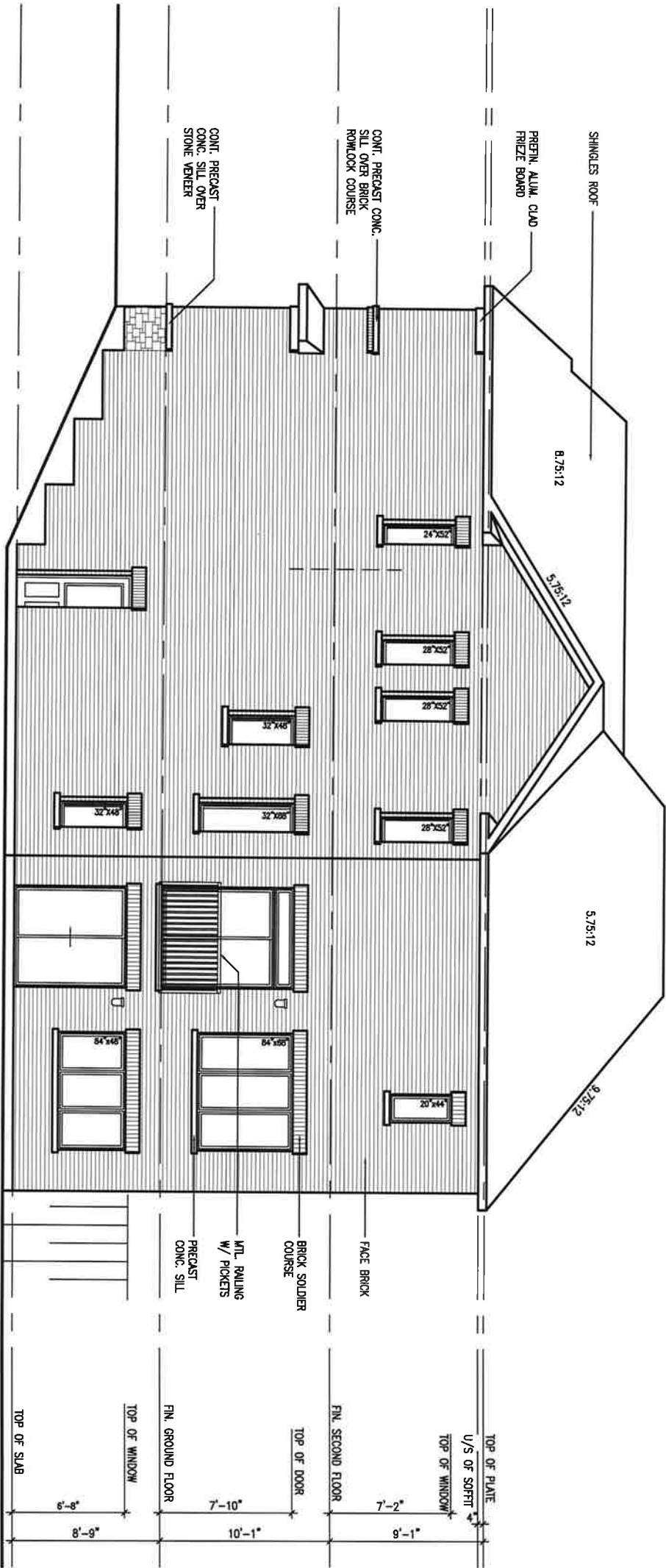
file name
18006-150-6

unit name
-

unit number
150-6

area summary (sq ft)
2933 SF A

LOT:27



REAR ELEVATION 'A'

VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2265
F 416.630.4782
vad3design.com

FIELDGATE HOMES

VAUGHAN, ON.

project no
18006

revision

no.	description	date	by
1	ADDED PRELIM. STRUCTURE.	MAY 21/19	DB
2	ISSUED TO GUIDELINES.	JUN. 02/20	DB

no.	description	date	by
1	ADDED PRELIM. STRUCTURE.	MAY 21/19	DB
2	ISSUED TO GUIDELINES.	JUN. 02/20	DB

drawn by
SEP. 2019
NH

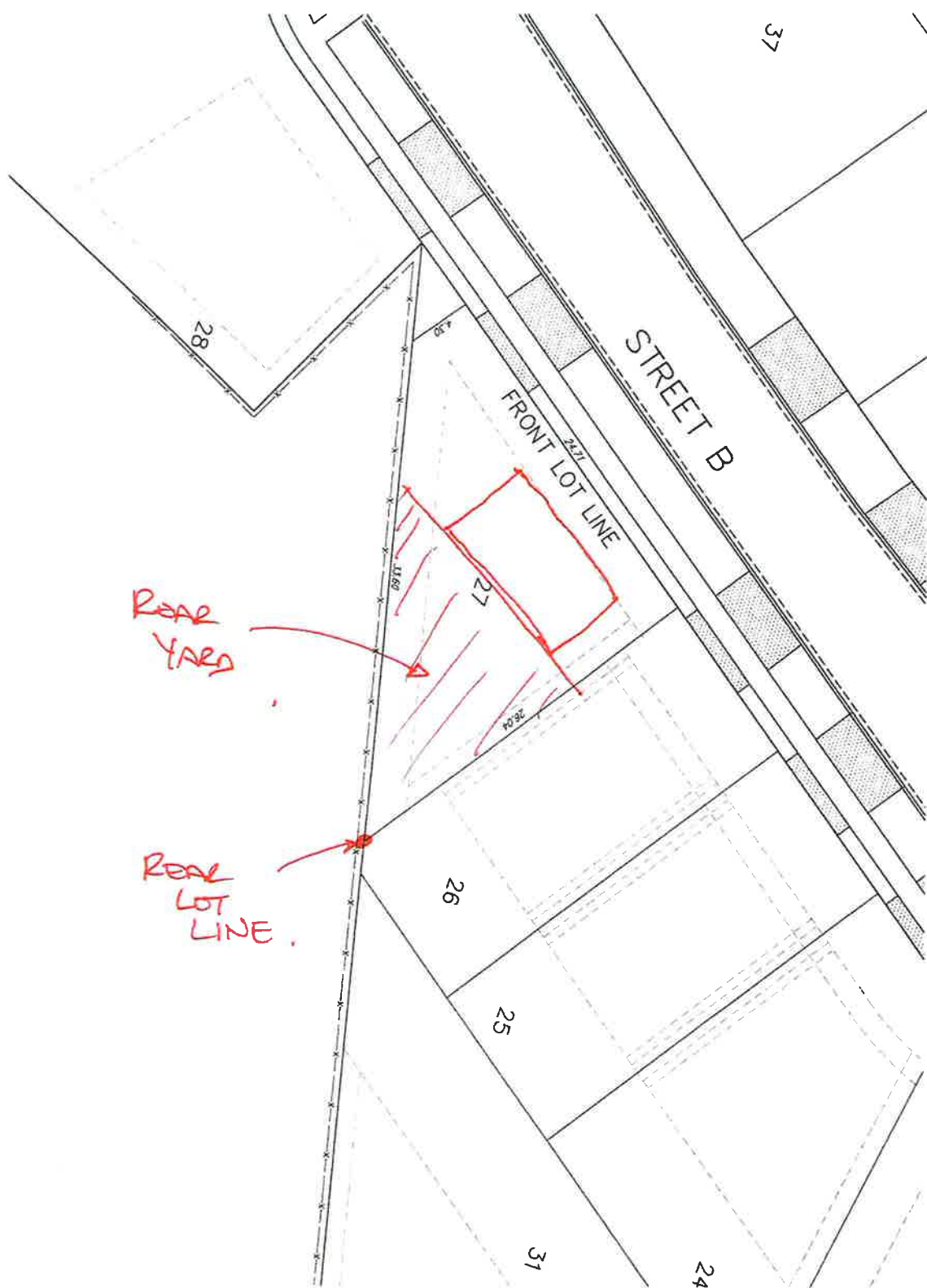
the north

18006-150-6

unit name

unit number
150-6

gross summary (sq ft)
2933 SF A



SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: March 03, 2022

Name of Owner: Nashville Developments (Barons) Inc.

Location: 140 Coldwell Bay Circle

File No.(s): A267/21

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard of 2.37 m to a dwelling wall.
2. To permit a minimum front yard of 3.27 m to a dwelling wall.
3. To permit a maximum encroachment of 2.82 m for a porch and access stairs into a minimum required front yard of 4.5 m.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum rear yard of 7.5 m is required to the dwelling wall. [Table 7-5]
2. A minimum front yard of 4.5 m is required to the dwelling wall. [Table 7-5]
3. A maximum encroachment of 2 m is permitted for a porch, including access stairs, into the minimum required front yard of 4.5 m. [Table 4-1]

Proposed Variance(s) (By-law 1-88):

4. To permit a minimum rear yard setback of 2.37 m.

By-Law Requirement(s) (By-law 1-88):

4. The minimum rear yard setback shall be 2.5 m for Lot 27. [Exception 9(1489) fiii]

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is proposing to construct a two-storey single detached dwelling with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 4. The subject lands are an irregular shaped lot that limits the size of the rear yard which requires the minor deviation from the required 2.5 m under Zoning By-law 1-88. The reduced rear yard setback will have minimal impacts as the rear of the subject lands abut a non-residential use (York Region Well Lands).

Variances 2 and 3 are considered technical in nature. Vaughan Council, on June 19, 2018, approved Zoning By-law Amendment and Draft Plan of Subdivision Files Z.17.024 and 19T-17V008 to permit a 48-unit single detached dwelling subdivision (Plan 65M-4692). Subsequently, Zoning By-law 022-2020 was adopted by Vaughan Council on April 21, 2020, and later amended by By-law 136-2021, to facilitate site-specific zoning standards for Subdivision Plan 65M-4692 for which the subject lands are located within. The adopted By-law allows for a front yard setback of 3 m for Lot 27 (the subject lands), and a maximum encroachment of 2 m for a porch into a minimum required front yard of 3 m which the proposed dwelling is compliant with. The adopted By-law and its site-specific standards did not transition under Zoning By-law 001-2021, although it is the City's intention to incorporate the adopted By-law under Zoning By-law 001-2021 in the future to facilitate the development of the subdivision.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michael Torres, Planner I

Chris Cosentino, Senior Planner

Date: February 1st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A267-21**

Related Files:

Applicant Nashville Developments (Barons) Inc.

Location 140 Coldwell Bay Circle

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A267/21 (140 COLDWELL BAY CIRCLE) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: February-04-22 11:20 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A267/21 (140 COLDWELL BAY CIRCLE) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	TACC Developments		12/10/2021	Justification Letter

December 10, 2021

A267/21

HAND DELIVERED

City of Vaughan
Office of the Clerk - Committee of Adjustment
2141 Major Mackenzie Drive, 1st Floor
Vaughan, Ontario
L6A 1T1

Attention: Office of the City Clerk – Committee of Adjustment

Re: Nashville Developments (Barons) Inc. – Minor Variance Application
Lot 27, Plan 65M-4692, 140 Coldwell Bay Circle, City of Vaughan

It has come to our attention that a variance is required for Lot 27, 65M-4692, 140 Coldwell Bay Circle. The variance requested is for a reduced Rear yard setback. The reason for the variance is due to the irregular shape of the lot.

By-law 022-2020 came into force and effect March 11, 2020. As such a request was made to council to permit an application for variances and approved by council on November 30, 2021 (See attached)

It would be appreciated if this application could be processed in a timely manner pursuant to the provision of the Planning Act.

In support of our application, we have enclosed the following:

1. Minor Variance Application
2. One (1) copy of the Site Plan, (1) Copy of Elevations
3. Parcel Abstract
4. Minutes from Council Meeting
5. Payment

Yours truly,

TACC DEVELOPMENTS INC.

Per:

Vince Figliomeni,
Development Coordinator