	<p align="center">COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A268/21</p>
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AGENDA ITEM NUMBER: 6	CITY WARD #: 4
APPLICANT:	[REDACTED] & Yang Zhou
AGENT:	Bhaskar Joshi
PROPERTY:	150 Valley Vista Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed side door entrance, stairs and hard landscaping to be located on the south side of the existing dwelling.
	The proposed side door entrance is to accommodate a secondary suite.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Niral V. Merchant	Carrville Mills Ratepayers Association	02/23/2022	Letter of Opposition

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A268/21

AGENDA ITEM NUMBER: 6	CITY WARD #: 4
APPLICANT:	[REDACTED] & Yang Zhou
AGENT:	Bhaskar Joshi
PROPERTY:	150 Valley Vista Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed side door entrance, stairs and hard landscaping to be located on the south side of the existing dwelling. The proposed side door entrance is to accommodate a secondary suite.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned **R3 Third Density Residential Zone** subject to the provisions of **Exception 14.874 under Zoning By-law 01-2021**.

#	Zoning By-law 01-2021	Variance requested
1	Hard Landscaping is permitted to encroach up to 0.6 m from any lot line. Section 4.13 Table 4-1	To permit a partially hard landscaped walkway to encroach up to 0.48m from the side lot line.
2	The entrance to a secondary suite shall be accessed by an unobstructed hard surfaced walkway measuring a minimum of 1.2 m in width. Section 5.20 10. b	To permit the entrance of a secondary suite to be accessed by a partially hard landscaped surface walkway measuring a minimum of 0.60m in width.
3	Access stairs are permitted to encroach a maximum of 0.3 m into the minimum interior side yard. Section 4.13 Table 4-1	To permit access stairs to encroach into the minimum interior side yard a maximum of 0.43m.

The subject lands are zoned **RD3 RESIDENTIAL DETACHED ZONE THREE** and subject to the provisions of **Exception 9(1231) under Zoning By-law 1-88, as amended**.

	Zoning By-law 1-88	Variance requested
4	The minimum interior side yard setback to a door shall be 1.8 m where a door provides access to a dwelling. Schedule A3	To permit an interior side yard setback of 1.68m to a door providing access to a dwelling unit.
5	Uncovered exterior stairways may encroach a maximum of 0.3 m into the minimum required interior side yard. Section 3.14 c)	To permit an uncovered exterior stairway to encroach into the minimum required interior side yard a maximum of 0.43m.
6	An entrance to a Secondary Suite shall be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2m in width. Section 4.1.8 vi.	To permit the entrance of a secondary suite to be accessed by a partially hard landscaped surface walkway measuring a minimum of 0.60m in width.

HEARING INFORMATION	
DATE & TIME OF HEARING:	Thursday, March 3, 2022 at 6:00 p.m.
As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.	
PUBLIC PARTICIPATION	
You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil	
If you wish to speak to the Committee of Adjustment on an application please complete and submit a Public Deputation Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.	
Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca	
For more information, please visit the City of Vaughan website.	

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	February 16, 2022
Date Applicant Confirmed Posting of Sign:	February 16, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	In order to comply with city by-law we need 1.8m of clear pathway on left side whereas we have 1.68m.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS
There are no outstanding orders on file.
A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m.

BUILDING STANDARDS (ZONING) COMMENTS	
The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
The Development Engineering (DE) Department does not object to variance application A268/21.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comments at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date	
BCLPS Recommended Conditions of Approval:	

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	

FIRE DEPARTMENT COMMENTS	
No comments no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: None

IMPORTANT INFORMATION – PLEASE READ	
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.	

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

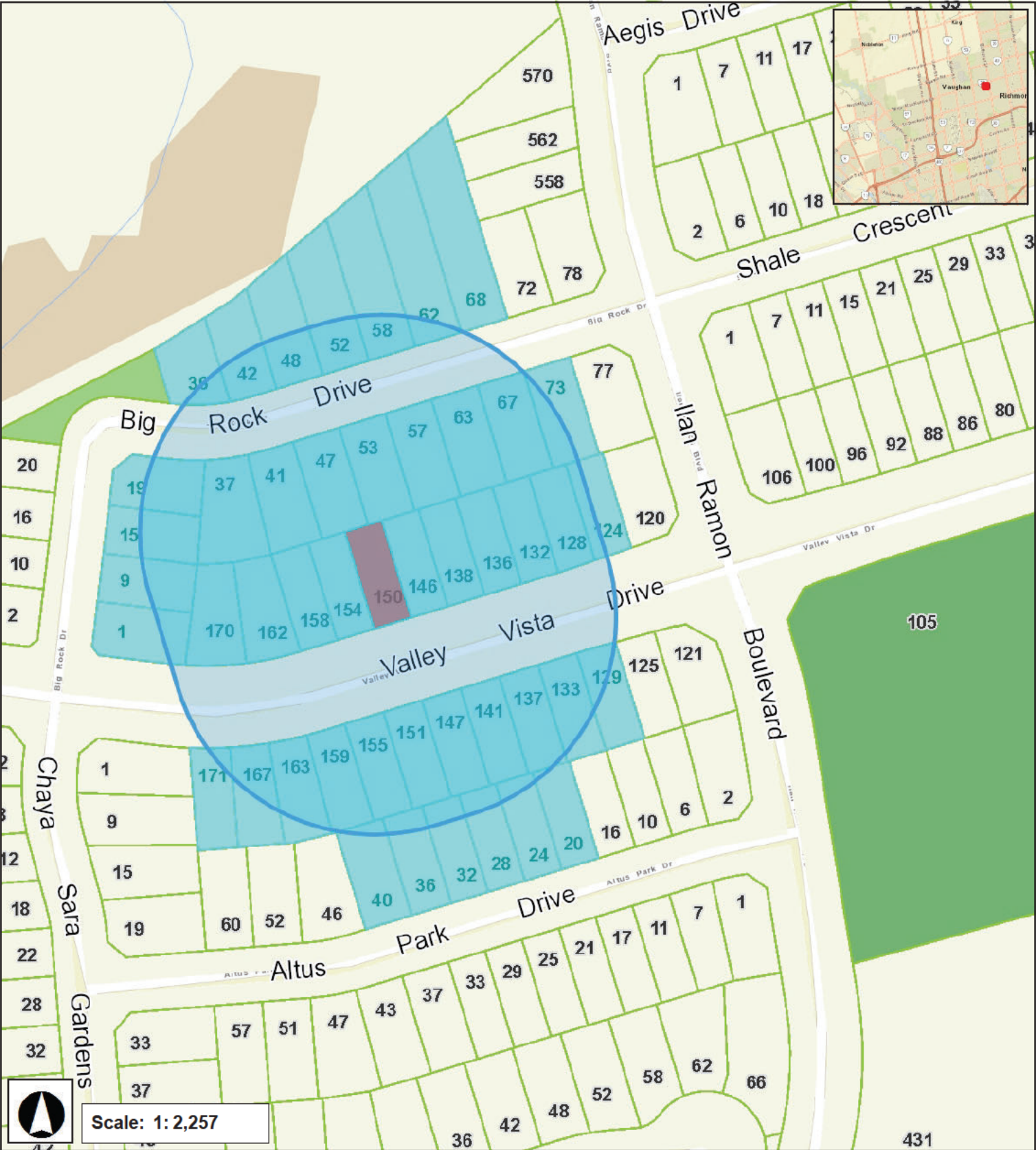
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A268/21

150 VALLEY VISTA DRIVE, MAPLE



GENERAL NOTES:

- ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF NATIONAL BUILDING CODE.
- ALL MATERIALS SHALL BE OF THE ACUTE QUALITY AND AFTER CONSTRUCTION SHALL BE KEPT FOR INSPECTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO HAVE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWINGS.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

21 SEP 2021



ADDRESS:-
150 VALLEY VISTA DR
MAPLE, ON L6A 0Z4
CANADA

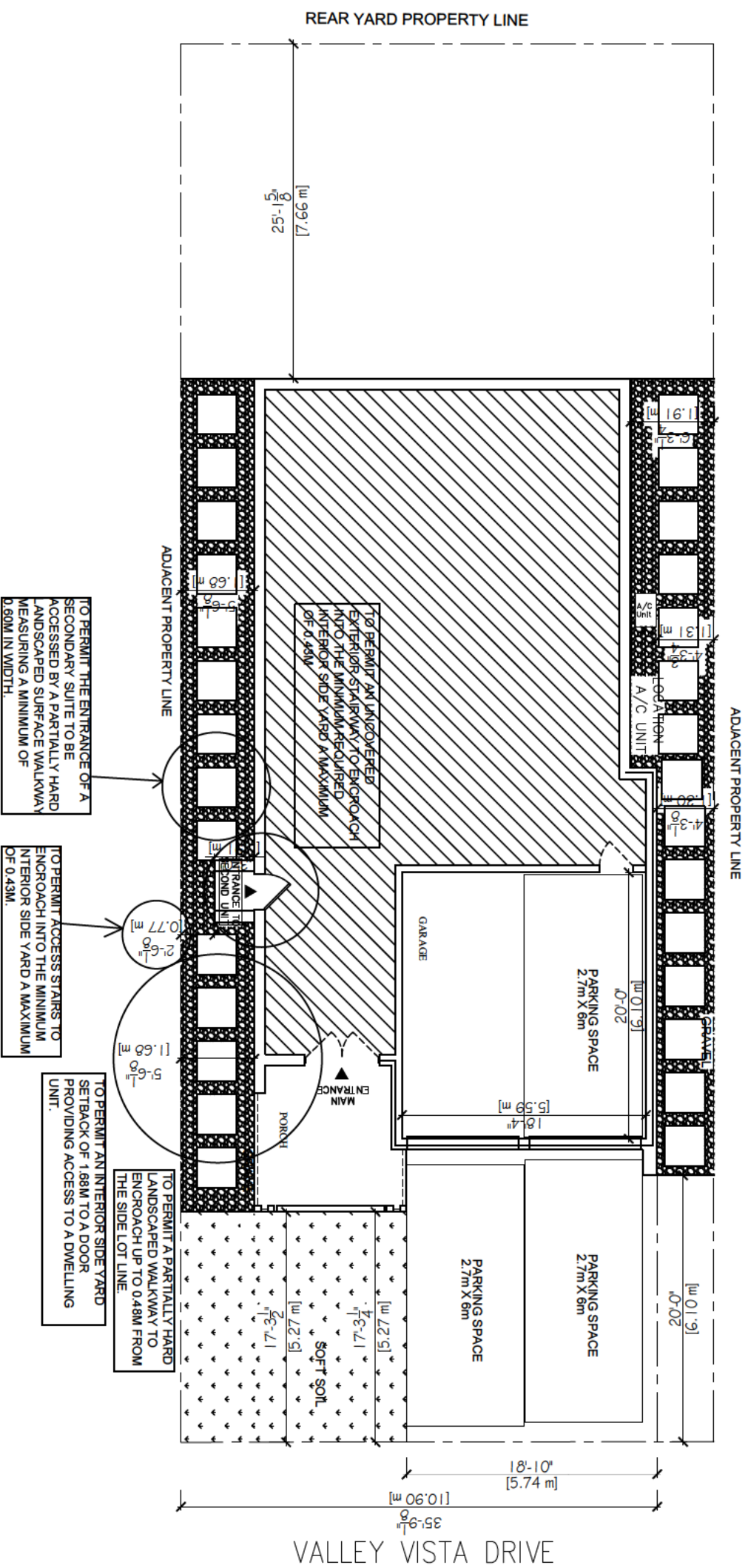
DRAWN BY: MH	DATE:
CHECKED BY: BJ	SCALE

DRAWING TITLE & NO.:

SITE PLAN A-1

OUT OF THE BOX
ENGINEERING INC.

bhaskar@outoftheboxeng.com
416-835-6620



No	Date	Revisions



DRAWN BY: MH	DATE:
CHECKED BY: BJ	SCALE: 3/32" = 1'

SITE PLAN A-1

--	--

OUT OF THE BOX
ENGINEERING INC.
7 ARCHWAY TRAIL
BRAMPTON, ON.
L6P 4E3
bhaskar@outoftheboxeng.com
416-835-6620

--- STORM CONNECTION

--- SANITARY CONNECTION

W- WATER CONNECTION

H- HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER

ENTRANCE DOOR LOCATION

GARAGE DOOR LOCATION

ENGINEERED FILL LOT

SANITARY MANHOLE

STORM MANHOLE

COMMUNITY MAILBOX

DOWNSPOUT LOCATION

SWALE DIRECTION

STREET LIGHT

TRANSFORMER

CABLE TV PEDESTAL

BELL PEDESTAL

HYDRO METER

GAS METER

AIR-CONDITIONING UNIT

TELECOM. JUNCTION BOX

F.FLR. FINISHED FLOOR ELEVATION

T/WALL TOP OF FOUNDATION WALL

F.SLAB FIN. BASEMENT FLOOR SLAB

U/FTG. UNDERSIDE FOOTING ELEVATION

PROPOSED BERM

100.00 PROPOSED GRADE

(100.00) EXISTING GRADE

SW PROPOSED SWALE GRADE

NORTH

LEGEND

GRADING AND DRAINAGE NOTES:

- STANDARD DRAWINGS AND LOT GRADING CRITERIA OF THE CITY OF VAUGHAN AND THE REGIONAL MUNICIPALITY OF YORK CONSTITUTE PART OF THE PROJECT DRAWINGS FOR THE SUBDIVISION.
- MINIMUM GRADIENT OF GRASS SWALES ALONG THE SIDE AND REAR LOT LINES SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE YARD SWALE SHALL BE A MINIMUM OF 0.15m BELOW THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 5.0%.
- TAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2% AND 5% FOR A MAXIMUM OF 75% OF THE REAR YARD LENGTH AND SLOPES OF 3:1 TO THE REAR LINE. USE RETAINING WALLS IF GRADE DIFFERENCE IS MORE THAN 0.30m. CONSTRUCT RETAINING WALLS WITHIN THE REAR LOT LINE.
- ROOF LEADERS SHALL NOT BE CONNECTED TO THE STORM SEWER BUT SHALL DISCHARGE TO THE GROUND ONTO A SPLASH PAD AND SHALL DRAIN TO FRONT OF HOUSE. ROOF DOWN SPOUTS ARE NOT PERMITTED AT THE REAR OF THE HOUSE. EAVES AND DOWN SPOUTS TO BE SIZED ACCORDINGLY.
- FOOTING CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSTALLED BELOW LEAD PIPE EXCAVATION. FOOTING MUST BE CONSTRUCTED ON UNDISTURBED SOIL. SOIL CONSULTANTS VERIFICATION REQUIRED.
- EDGE OF DRIVEWAYS ARE TO BE A MINIMUM OF 1.0m FROM EDGE TO STREET CATCHBASIN AND STREET FURNITURE. THE BUILDER IS TO VERIFY THE LOCATIONS AND TO INFORM THE ENGINEER IF THIS DIMENSION CAN NOT BE MAINTAINED PRIOR TO EXCAVATION OF THE FOOTINGS.
- IF THE DISTANCE BETWEEN THE MAIN WALLS OF ADJACENT UNITS IS LESS THAN 1.8m. A SIDE YARD DRAINAGE SWALE SHALL BE CONSTRUCTED AND BE SURFACED WITH MINIMUM 130mm OF LIMESTONE SCREENING, OVERLAID BY A PATIO SLAB WALKWAY.
- BRICK LINE SHALL BE 0.15m ABOVE THE SOD ELEVATION.
- ALL FENCES ABUTTING PUBLIC LANDS AND/OR EXISTING PROPERTIES SHALL BE CONSTRUCTED COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF ANY 0.30 RESERVE (INCLUDING FOOTING).
- SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTINGS CONSTRUCTED ON ENGINEERED FILL LOTS. IN CASE OF BASE CLAIMS, BUILDER NOT TO EXCAVATE BELOW DESIGN USE ELEVATION UNTIL SOIL CONSULTANT HAS VERIFIED CLAIM.
- IN LOTS WITH REAR LOT CATCHBASINS, THE MINIMUM SIDE YARD WIDTH SHALL BE 1.2m ALONG THE CATCHBASIN LEAD.
- BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.
- THE BUILDER MUST VERIFY THE EXISTING SANITARY AND STORM LATERAL SEWER INVERTS PRIOR TO PLACING OF CONCRETE FOOTINGS AND TO INFORM THE ENGINEER IF THE MIN. 2% SLOPE CANNOT BE MAINTAINED.

GRADING CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND I HEREBY CERTIFY THAT:

- THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES
- THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS
- THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING
- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE
- ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF THE HOUSE
- WATER SERVICE IS TO BE LOCATED IN THE GRASSED PORTION OF THE YARD

SCHAEFFER & ASSOCIATES

SIGNATURE OF ENGINEER

DATE

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

1.50m CONC. SIDEWALK

5.44

DRIVE

SAN: 216.35
STM: 216.60

5.44

DRIVE

SAN: 216.65
STM: 216.90

5.9

DR

SAN:
STM:

VALLEY VISTA DRIVE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and amendments including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit application or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
CITY OF VAUGHAN

SIGNATURE

DATED

OCT 11 2007

JOHN G. WILLIAMS LIMITED, ARCHITECT

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

MINTO COMMUNITIES (TORONTO) INC.

PROJECT No. 05-16

DATE: OCT. 09, 2007

SCALE: 1:250

LOT No. 51

MUNICIPAL ADDRESS: 150 VALLEY VISTA DRIVE

REG. PLAN 65M-

CITY OF VAUGHAN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

GENERAL NOTES:
-ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
-THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
-THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES.
-ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
-IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
-THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REISED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

No	Date
	Revisions

21 SEPT 2021

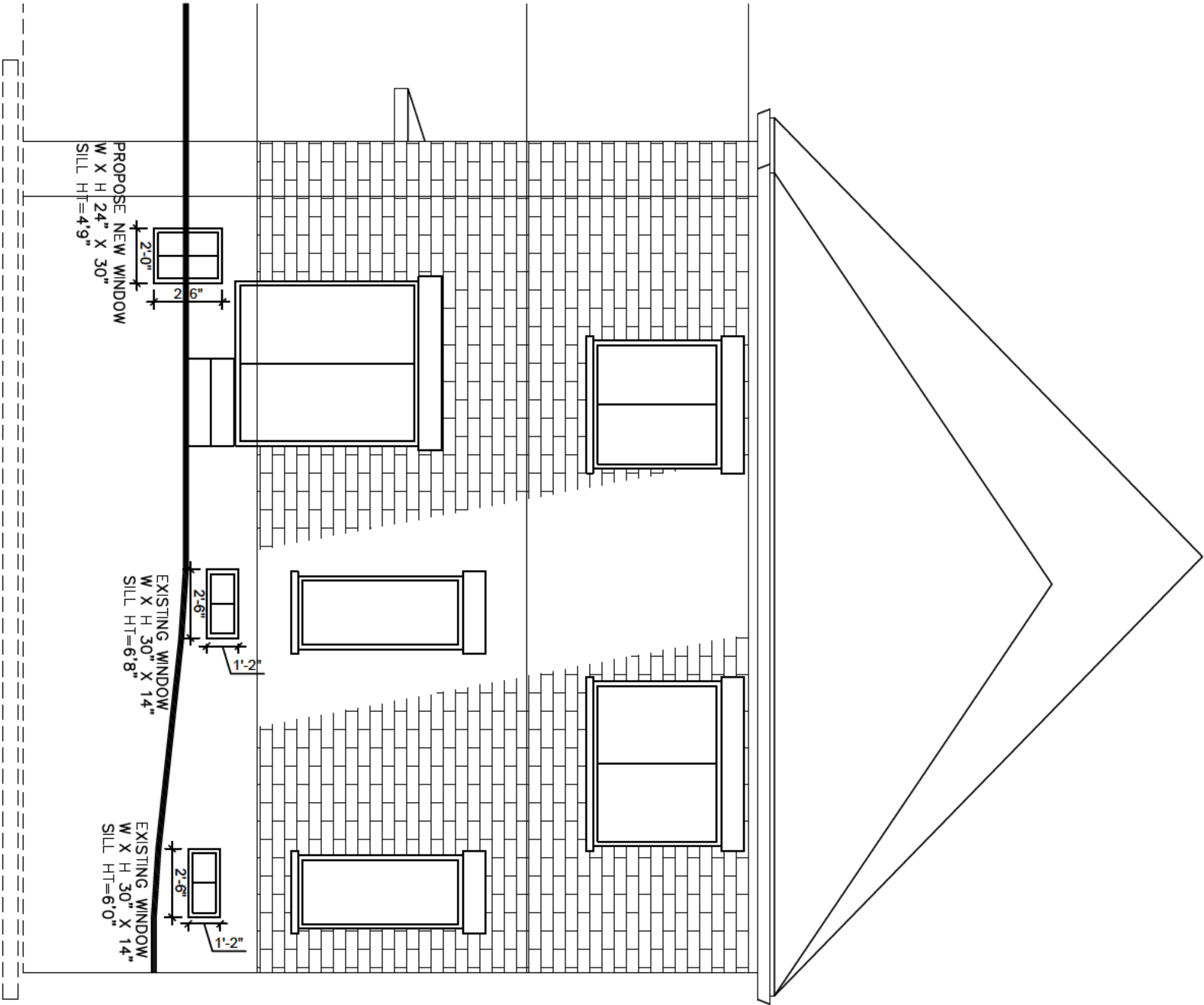


ADDRESS:-
150 VALLEY VISTA DR
MAPLE, ON L6A 0Z4
CANADA

DRAWN BY: MH	DATE: AUG 19, 2019
CHECKED BY: BJ	SCALE: 3/16" = 1'

DRAWING TITLE & NO.:
REAR SIDE ELEVATION A-7

OUT OF THE BOX
ENGINEERING INC.
7 ARCHWAY TRAIL
BRAMPTON, ON.
L6P 4E3
bhaskar@outoftheboxeng.com
416-835-6620



REAR SIDE ELEVATION

SCALE 3/16" = 1'

WALL ASSEMBLIES :

- P1

EXISTING EXTERIOR WALL CONSTRUCTION TYPE A

1/2" GYPSUM BOARD

2" X4" WOOD STUD AT 16"O.C.

1 INCH AIRSPACE

EXISTING ROLLED BATT INSULATION OR R12 ROLLED BATT INSULATION

EXISTING VAPOUR BARRIER

EXISTING 8" CONCERETE WALL

EXISTING DAMP PROOFING PAPER
- P2

1/2" GYPSUM BOARD

2" X4" WOOD STUD AT 16"O.C.

1/2" GYPSUM BOARD
- P3

WALL TYPE (PROPOSED) 30 MIN FIRE SEPERATION

1/2" GYPSUM BOARD

2" X4" WOOD STUD AT 16"O.C.

3 1/2" ROXULL SAFE "N" SOUND INSULATION

1/2" GYPSUM BOARD

NOTES:-

- DUCT TYPE

SD

A DUCT-TYPE SMOKE DETECTOR
- STEEL SUPPORT COLUMN
- L

ELECTRICAL LIGHTING OUTLET
- SW

CONTROL SWITCH
- LED

LED ELECTRICAL LIGHTING OUTLET
- 3WS

THREE WAY CONTROL SWITCH
- MECHANICAL VENTILATION OR EXHAUST FAN
- NFS

NEW FIIRE SPRINKLER HEAD (2 NUMBER)
- SA&CO

INTERCONNECTED SMOKE ALARM,
CARBON MONOXIDE ALARM, STROBE LIGHT
- SA

INTERCONNECTED SMOKE ALARM AND
STROBE LIGHT
- OR

(S / A) THIS SYMBOL IS FOR HEATING SUPPLY AIR
OUTLET
- (R/A) THIS SYMBOL IS FOR RETURN AIR GRILLS
- (R/A) THIS SYMBOL IS FOR RETURN AIR GRILLS
WITH FIRE DAMPER, USE WHEN USED IN FIRE SEPERATION
- EMERGENCY LIGHT WITH BATTERY BACK UP 4 HRS

CEILING:-

- C

ALL CEILING 1/2" GYPSUM BOARD
PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION
* ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL
STRUCTURE COLUMNS AND BEAMS
- D

LED LIGHTS IN FIRE SEPARATION ARE REQUIRED TO BE PROTECTED
WITH ROXULL SAFE "N" SOUND INSULATION
- E

LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN,
BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM
BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM
BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCH
RECEPTACLE MAY BE PROVIDED INSTEAD OF LIGHT IN BEDROOMS AND
LIVING ROOMS.

- F

PROVIDE MINIMUM 30 FIRE SEPARATION UNDER STAIR
(REFER O.B.C. SB-2, TABLE 2.3.12)
- USE 2 QUANTITY 5/8" GYPSUM BOARD TYPE 'X'

LINTEL SCHEDULES:-

LINTEL NO.	HEADER	STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT
L1	2-2" X 8"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE
L2	2-2" X 6"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE

WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE
PROTECTED FROM DECAY AND DAMPNESS WITH MIN.
0.05 MM POLYETHYLENE FILM OR TYPE"S" ROLL
ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3

- a

THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR
LEVEL (HRAI REQ'S). UNDERCUT BY 1" THE DOOR TO ANY ROOM
WITH OUT RETURN GRILL

NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT B/S OF WALL

- b

INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S.
EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.
SEPARATE ANY INTAKE FROM BUILDING ENVELOP PENETRATIONS
THAT ARE POTENTIAL SOURCES OF CONTAMINANTS(GAS VENTS,
OIL FILL PIPES, ETC., BY MIN 900MM (2FT 11 IN)

- c

ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE
OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTUR'S
RECOMMENDATIONS.

GENERAL NOTES - APPLY TO ALL SHEETS

- 1.(0) IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OF THE CONSTRUCTION
CONFIRMS TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
- 2.(0) IF ANY DISCREPANCIES FOUND IN DRAWING, IT IS CONTRACTOR'S RESPONSIBILITY TO
INFORM ARCHITECT/ENGINEER BEFORE PROCESSING WORK.
- 3.(0) CONTRACTOR TO CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING
COMPONENTS, ALONG WITH ALL DIMENSIONS WHICH MAY AFFECT PROPER EXECUTION OF WORK. SO THAT A CLEAR AND
COMPREHENSIVE TO REMAIN UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.
- 4.(0) WHERE EXISTING CONSTRUCTION IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK,
THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.
- 5.(0) DIMENSION INDICATING EXISTING CONSTRUCTION IS FOR REFERENCE ONLY CONTRACTOR TO VERIFY DIMENSIONS AT
FIELD THAT AFFECT WORK

*THE FIRE SPRINKLER SYSTEM SHALL BE A FLOW THROUGH
SYSTEM WITH A MINIMUM 3/4" COPPER PIPE CONNECTED
TO AT LEAST A 3/4" COPPER WATER PIPE OR DIRECTLY AFTER
WATER METER OR 3/4" PEX.
SPRINKLER SHALL BE DESIGNED FOR RESIDENTIAL USE

*SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE
A VISUAL SIGN

GENERAL NOTES:
-ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS
MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY
VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE
DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
-THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE
LATEST VERSION OF ONTARIO BUILDING CODE.
-ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER
CONSTRUCTION.
-IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK,
CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
-ALL DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURES
SHALL BE VERIFIED AND CORRECT DOCUMENTS ARE THE COPYRIGHT OF THE
DESIGNER AND MAY NOT BE REPRODUCED, REISED OR ALTERED
WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

21 SEPT 2021



ADDRESS:-
150 VALLEY VISTA DR
MAPLE, ON L6A 0Z4
CANADA

DRAWN BY: BJ DATE:
CHECKED BY: BJ SCALE: 3/16" = 1'

DRAWING TITLE & NO.:
SCHEDULE AND NOTES **A-8**

OUT OF THE BOX
ENGINEERING INC.
7 ARCHWAY TRAIL
BRAMPTON, ON.
L6P 4E3
bhaskar@outoftheboxeng.com
416-835-6620

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS
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AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: March 3, 2022

Name of Owner: [REDACTED] and Yang Zhou

Location: 150 Valley Vista Drive

File No.(s): A268/21

Proposed Variance(s) (By-law 01-2021):

- 1) To permit a partially hard landscaped walkway to encroach up to 0.48 m from the side lot line.
- 2) To permit the entrance of a secondary suite to be accessed by a partially hard landscaped surface walkway measuring a minimum of 0.60 m in width.
- 3) To permit access stairs to encroach into the minimum interior side yard a maximum of 0.43 m.

By-Law Requirement(s) (By-law 01-2021):

- 1) Hard landscaping is permitted to encroach up to 0.6 m from any lot line. [Sect. 4.13 Table 4-1]
- 2) The entrance to a secondary suite shall be accessed by an unobstructed hard surfaced walkway measuring a minimum of 1.2 m in width [Sect. 5.20.10. b)]
- 3) Access stairs are permitted to encroach a maximum of 0.3 m into the minimum interior side yard. [Sect. 4.13 Table 4-1]

Proposed Variance(s) (By-law 1-88):

- 4) To permit an interior side yard setback of 1.68 m to a door providing access to a dwelling unit.
- 5) To permit an uncovered exterior stairway to encroach into the minimum required interior side yard a maximum of 0.43 m.
- 6) To permit the entrance of a secondary suite to be accessed by a partially hard landscaped surface walkway measuring a minimum of 0.60 m in width.

By-law Requirement(s) (By-law 1-88):

- 4) The minimum interior side yard setback to a door shall be 1.8 m where a door provides access to a dwelling. [Schedule A3]
- 5) Uncovered exterior stairways may encroach a maximum of 0.3m into the minimum required interior side yard. [Sect. 3.14 c)]
- 6) An entrance to a secondary suite shall be accessible from the street by an unobstructed hard landscaped surface walkway measuring a minimum of 1.2 m in width. [Sect. 4.1.8 vi)]

Official Plan:

Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

Comments:

The Owner is requesting permission to construct a side door to facilitate a basement entrance to a secondary suite with the above noted variances.

The Development Planning Department has no objection to Variance #1 as the proposed hard landscape walkway will consist of a permeable gravel surface, which the Development Engineering Department has reviewed and is satisfied that drainage along the side yard will be maintained. Regarding Variances #2 and #6, the Development Planning Department recognizes the intent is to provide a 1.2 m of undisturbed hard landscape, however, is of the opinion the hard landscaping (0.6 m) and gravel surface (1.08 m) together uphold the general intent of the By-laws which is to provide safe access to the side entrance. The remaining variances (#3, #4, and #5) are considered minor as they do not impact the functionality of the walkway.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I

Chris Cosentino, Senior Planner

Date: February 1st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A268-21**

Related Files:

Applicant [REDACTED] Yang Zhou

Location 150 Valley Vista Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alecrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alecrautilities.com

Pravina Attwala

Subject: FW: [External] RE: A268/21 (150 VALLEY VISTA DRIVE) - REQUEST FOR COMMENTS

From: York Plan <yorkplan@trca.ca>

Sent: January-28-22 9:05 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Subject: [External] RE: A268/21 (150 VALLEY VISTA DRIVE) - REQUEST FOR COMMENTS

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

Have a great day,
Mark

Mark Howard, BES, MLA, MCIP, RPP

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: mark.howard@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



Pravina Attwala

Subject: FW: [External] RE: A268/21 (150 VALLEY VISTA DRIVE) - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: January-31-22 10:44 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A268/21 (150 VALLEY VISTA DRIVE) - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Niral V. Merchant	Carrville Mills Ratepayers Association	02/23/2022	Letter of Opposition

From: [N Merchant](#)
To: [Committee of Adjustment](#)
Subject: [External] Minor Variance Application A268/21
Date: February-22-22 7:13:09 PM

Dear Committee of Adjustments,

In reviewing the application submitted by [REDACTED] and Yang Zhou re 150 Valley Vista Drive in Maple, I am writing on behalf of the Carrville Mills RatePayers Association.

The application for a side door entrance, stairs and hard landscaping, to accommodate a secondary suite in our opinion, falls outside the General Purpose and Intent of the zoning bylaw, as this type of variance will allow for more than a SINGLE family dwelling.

Furthermore, and for the same reasons, this doesn't meet the test of appropriate development in a neighbourhood which is predominantly single family dwellings.

In our opinion, this variance is not minor in nature as it fundamentally changes the type of dwelling.

Secondary suites in this area can have a negative effect on the neighbourhoods including excess car parking, excess traffic, noise and disturbance to the neighbours. It is for this reason that we the Carrville Mills Rate Payers Association oppose this application and request the Committee to oppose it as well.

Kind regards,

Carrville Mills RatePayers Association
Per: Niral V Merchant, Director
[REDACTED]
Resident of Maple