

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A019/22
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AGENDA ITEM NUMBER: 16	CITY WARD #: 4
APPLICANT:	Derek and Talia Delaney
AGENT:	Remington Group Inc.
PROPERTY:	86 Morisot Ave, Thornhill
ZONING DESIGNATION:	The subject lands are zoned RV3(W.S) and subject to the provisions of Exception 9(1063) under By-law 1-88 as amended and R3A(EN)-729.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the installation of a proposed pool and pool equipment.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Aaron	82 Morisot Avenue	02/22/2022	Letter of Opposition

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.
None



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A019/22**

AGENDA ITEM NUMBER: 16	CITY WARD #: 4
APPLICANT:	Derek and Talia Delaney
AGENT:	Remington Group Inc.
PROPERTY:	86 Morisot Ave, Thornhill
ZONING DESIGNATION:	The subject lands are zoned RV3(WS) and subject to the provisions of Exception 9(1063) under By-law 1-88 as amended and R3A(EN)-729.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the installation of a proposed pool and pool equipment.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard of 1.5 metres is required to the swimming pool. (S.4.21)	To permit a minimum rear yard of 1.2 metres to the swimming pool.
2	A minimum interior side yard of 1.5 metres is required to the swimming pool. (S.4.21)	To permit a minimum interior side yard of 1.2 metres to the swimming pool.
3	A minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line. (S.4.13)	To permit a minimum distance of 0.3 metres from the permitted encroachment (pool equipment) to the interior side lot line.

The subject lands are zoned RV3(WS) Residential Urban Village and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A minimum rear yard of 1.5 metres is required to the swimming pool. (S.4.1.1)	To permit a minimum rear yard setback of 1.2 metres to the swimming pool.
5	A minimum interior side yard of 1.5 metres is required to the swimming pool. (S.4.1.1)	To permit a minimum interior side yard setback of 1.2 metres to the swimming pool.
6	A maximum interior side yard encroachment of 0.6 metres is permitted for ground mounted pool equipment. (S.4.1.1)	To permit a maximum interior side yard encroachment of 0.9 metres for the ground mounted pool equipment.

HEARING INFORMATION

DATE & TIME OF HEARING: Thursday, March 3, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC PARTICIPATION

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to cofa@vaughan.ca by **noon** on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca

[For more information, please visit the City of Vaughan website.](#)

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION	
<p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	February 15, 2022	
Date Applicant Confirmed Posting of Sign:	February 16, 2022	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Size of pool equipment is 0.91 m. To allow for additional space between pool and house.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.		
*A revised submission may be required to address staff / agency comments received as part of the application review process.		
*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.		
An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
<p>The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.</p> <p>The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).</p> <p>The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.</p> <p>Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.</p> <p>An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.</p>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
<p>The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.</p> <p>Although the typical required setback for pool equipment pad is 0.6m from the property line, the proposed pad with 0.3m setback will be constructed with 3/4" clear limestone gravel and concrete patio stones on top will facilitate drainage.</p> <p>The Development Engineering (DE) Department does not object to variance application A019/22.</p>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comment at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No Response	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: None

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

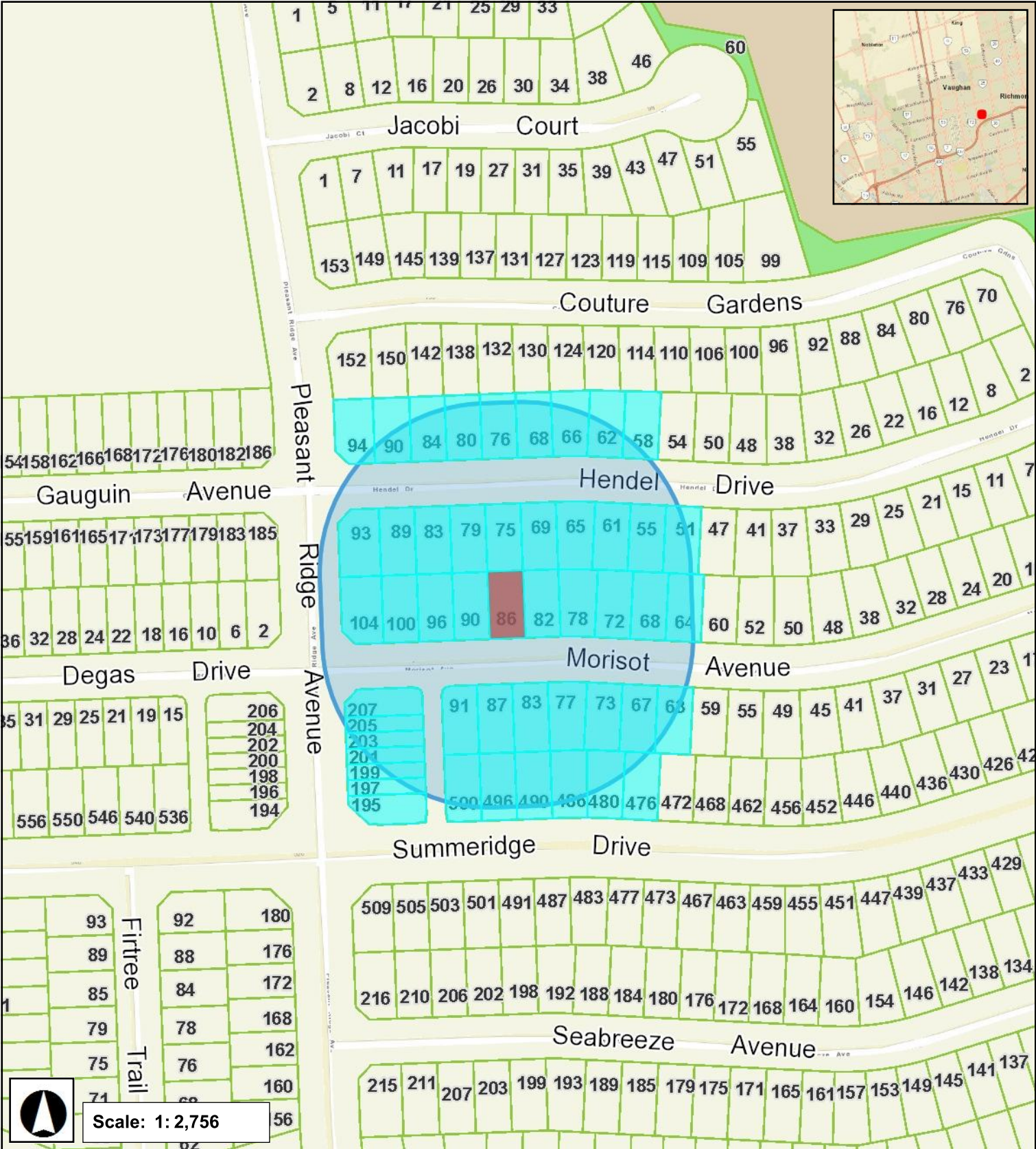
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



A019/22 - Notification Map

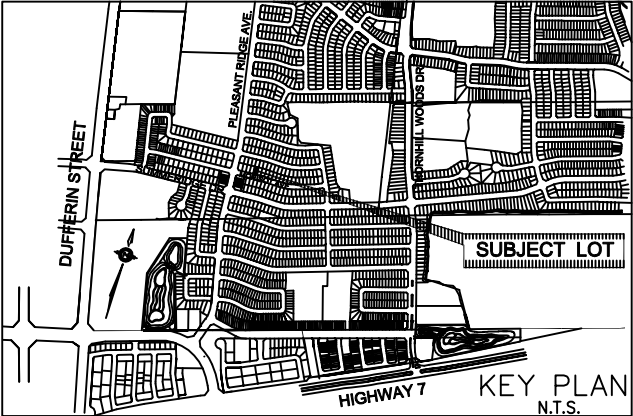
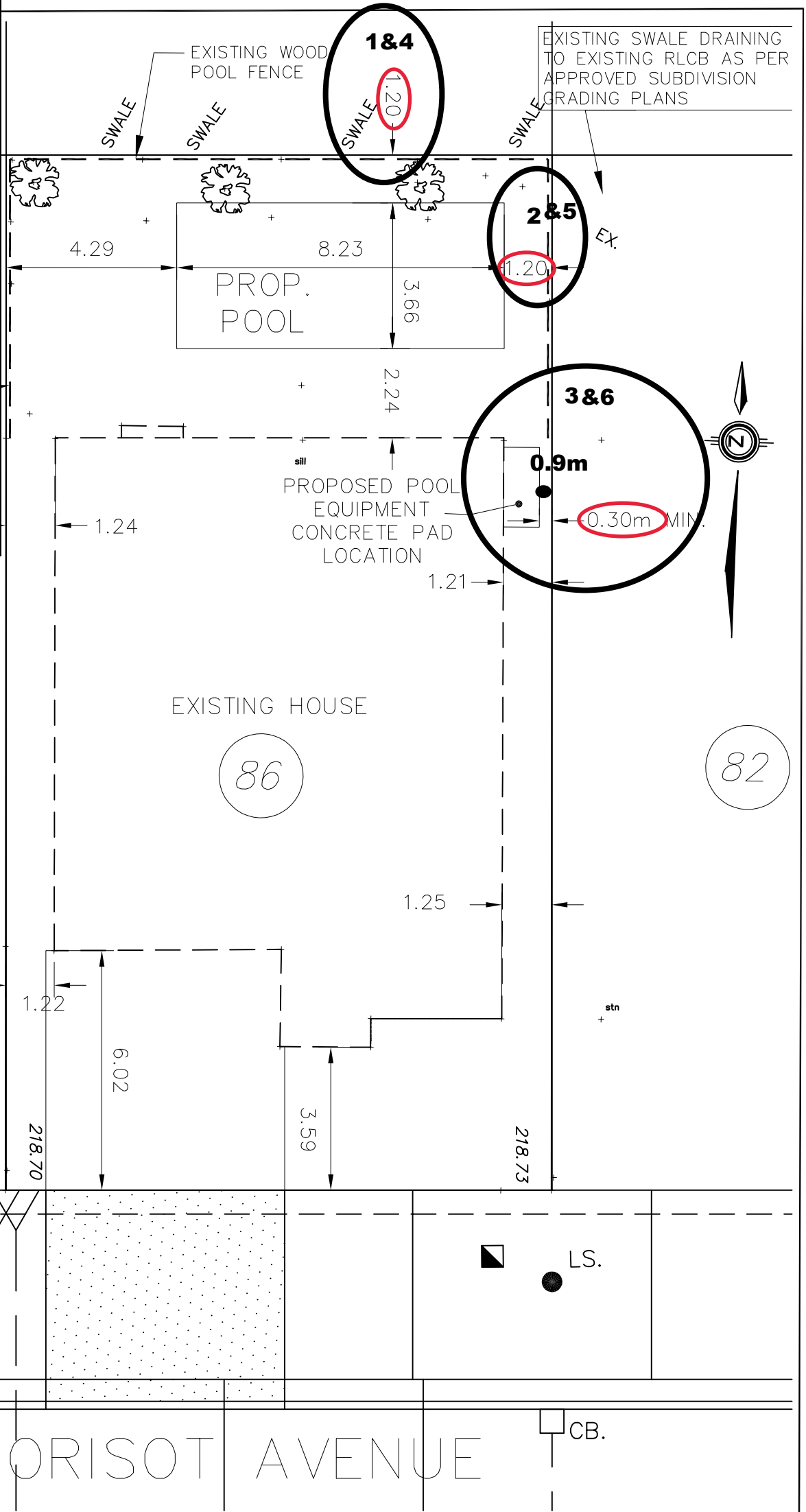
86 Morisot Avenue, Vaughan



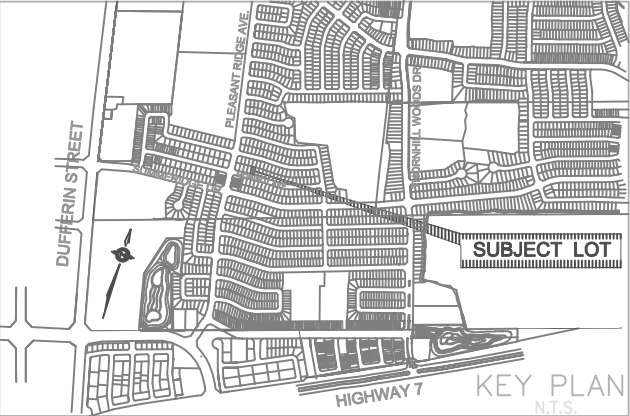
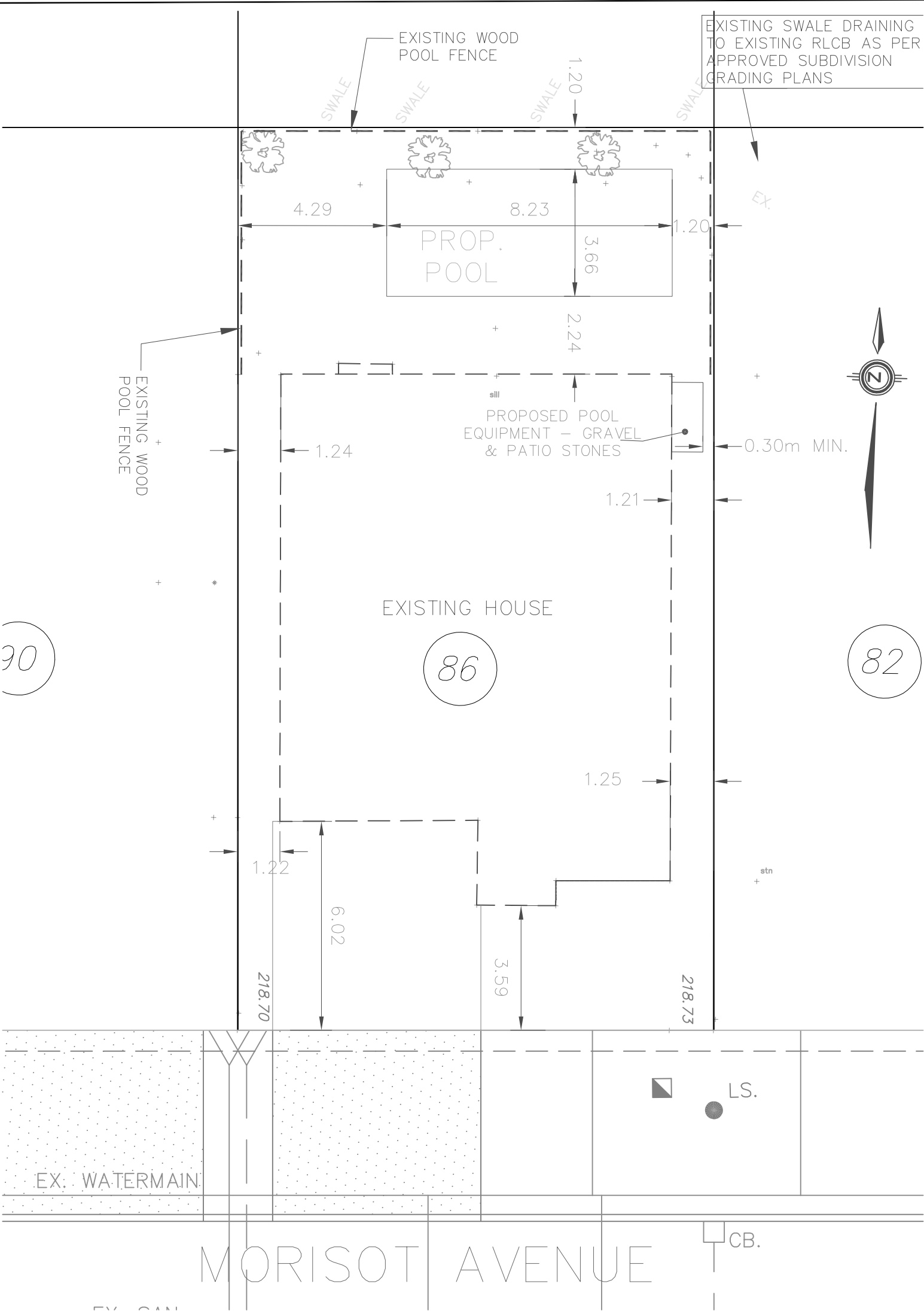
Highway 7

February 10, 2022 6:22 PM

PROPOSAL:
Zoning By-law 01-2021
1. To permit a minimum rear yard of 1.2 metres to the swimming pool.
2. To permit a minimum interior side yard of 1.2 metres to the swimming pool.
3. To permit a min distance of 0.3 metres from the permitted encroachment (pool equipment) to the interior side lot line.
Zoning By-law 1-88
4. To permit a minimum rear yard setback of 1.2 metres to the swimming pool.
5. To permit a minimum interior side yard setback of 1.2 metres to the swimming pool.
6. To permit a maximum interior side yard encroachment of 0.9 metres for the ground mounted pool equipment.



PRIVATE RESIDENCE 86 MORISOT AVENUE CITY OF VAUGHAN		
DATE	DECEMBER 2021	SITE PLAN FOR POOL



PRIVATE RESIDENCE 86 MORISOT AVENUE CITY OF VAUGHAN		
DATE	DECEMBER 2021	SITE PLAN FOR POOL

SITE STATISTICS		
86 MORISOT AVENUE		CITY OF VAUGHAN
ITEM	LOT 286, 65M-3757	
LOT AREA	356.72sq.m.	3839.70sq.ft.
BUILDING COVERAGE	156.57 sq.m.	1685.31 sq.ft.
LOT COVERAGE	43.89%	

- NOTES
1.

STANDARD DRAWING AND LOT GRADING CRITERIA OF THE CITY OF VAUGHAN IN THE REGIONAL MUNICIPALITY OF YORK CONSTITUTE PART OF THE PROJECT DRAWINGS FOR THE SUBDIVISION.
2.

MINIMUM GRADIENT OF GRASS SWALES ALONG SIDE AND REAR LOT LINES SHALL BE 2.0% (UNLESS OTHERWISE NOTED) . THE PROPOSED ELEVATION OF THE SIDE YARD SHALL BE A MINIMUM OF 0.15M BELOW THE FINISHED GRADE AT THE BUILDING LINE.THE MAXIMUM SWALE GRADIENT SHALL BE 5.0% (UNLESS OTHERWISE NOTED).
3.

MAKE UP REAR YARD GRADE DIFFERENCE USING SLOPES BETWEEN 2.0 % AND 5.0% FOR A MAXIMUM OF 6.0m OF THE REAR YARD AREA AND SLOPES OF MAXIMUM 3 HORIZONTAL : 1 VERTICAL TO THE REAR LOT LINE. USE RETAINING WALLS IF GRADE DIFFERENCE IS MORE THAN 0.60m. CONSTRUCT RETAINING WALLS WITHIN THE REAR LOT LINE.
4.

ALL NEW FENCES (INCLUDING FOUNDATIONS) REQUIRED ABUTTING PUBLIC LANDS AND/OR EXISTING PROPERTIES, SHALL BE CONSTRUCTED COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF ANY 0.3m RESERVES.
5.

THE LOCATION OF ALL UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON CONTRACT DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITIES OF DAMAGE;
6.

ANY CONFLICTS WITH EXISTING SERVICES AND/OR UTILITIES SHALL BE REPORTED TO THE ENGINEER FOR REVIEW AND ADVICE PRIOR TO COMMENCEMENT OF CONSTRUCTION;

LEGEND

- 204.53

X

DENOTES PROPOSED ELEVATION
- 203.34

o

DENOTES EXISTING ELEVATION
- 219.14

o

DENOTES TOPO SURVEY ELEVATION
- 2.00%

→

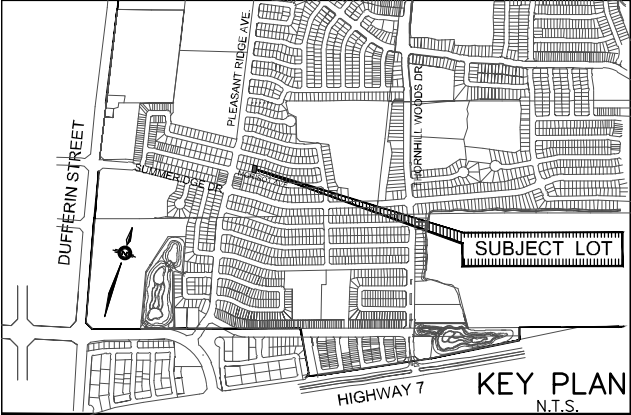
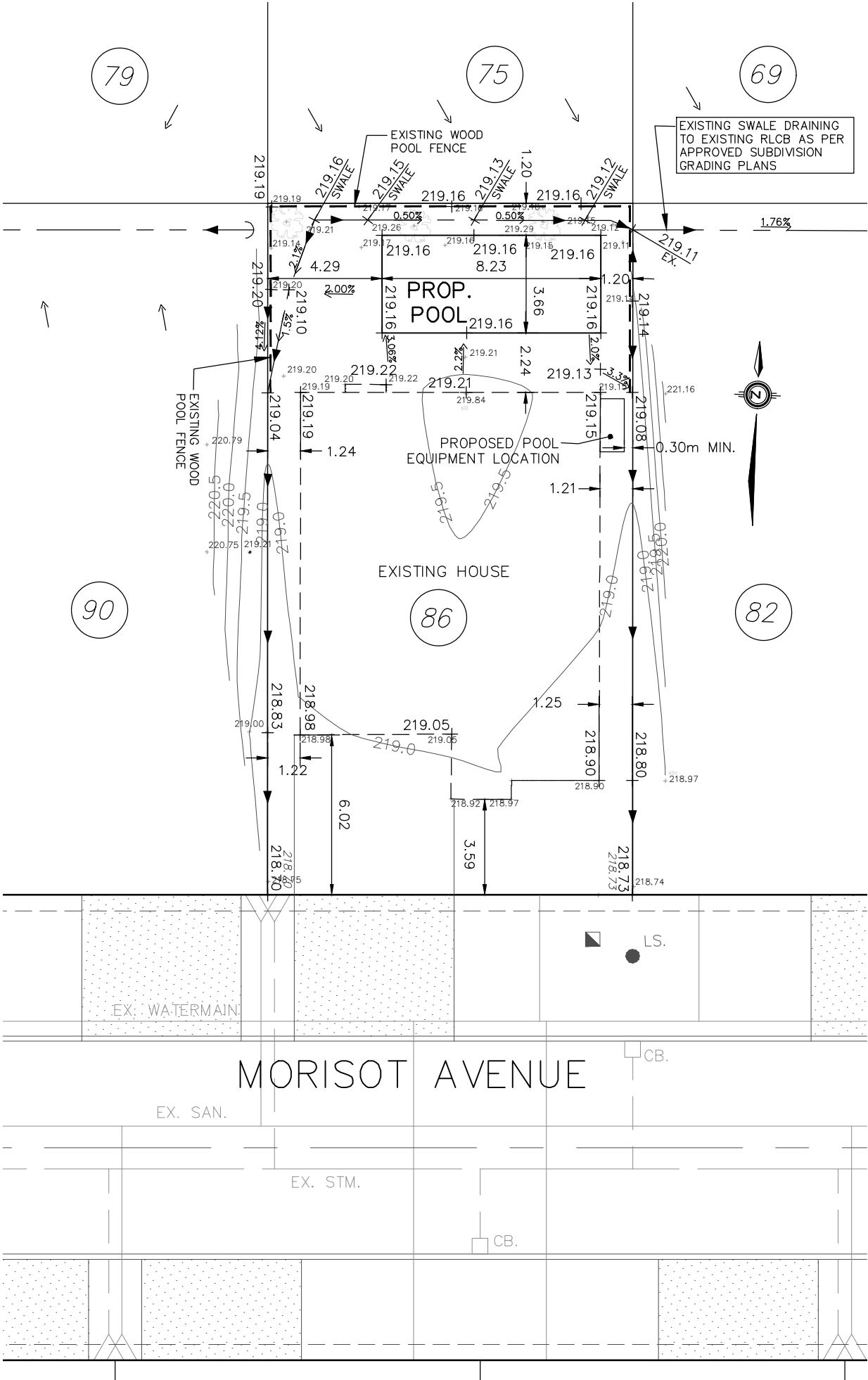
DENOTES GRADING SLOPE AND DIRECTION
- 86

o

DENOTES MUNICIPAL ADDRESS

NOTE:

REFER TO POOL DRAWINGS FOR ADDITIONAL
DETAIL OF POOL LAYOUT AND APPURTENANCES



SCHAEFFERS

CONSULTING ENGINEERS

SCHAEFFER & ASSOCIATES LTD.

6 Ronrose Drive, Concord,
Ontario L4K 4R3

Tel: (905) 738-6100
Fax: (905) 738-6875
E-mail: design@schaeffers.com



PRIVATE RESIDENCE 86 MORISOT AVENUE CITY OF VAUGHAN SITE GRADING PLAN FOR POOL						
DESIGN	R.K.	DRAWN	R.K.	CHECKED	N.L.	PROJECT No. 5146
SCALE	1: 250			DRAWING NUMBER	SG-PPOOL	
DATE	DECEMBER 2021					

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
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YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Adriana MacPherson

Subject: FW: [External] RE: A019/22 - Request for Comments (86 Morisot Avenue, Vaughan)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: February-08-22 11:21 AM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A019/22 - Request for Comments (86 Morisot Avenue, Vaughan)

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: March 3, 2022

Name of Owner: Derek and Talia Delaney

Location: 86 Morisot Avenue

File No.(s): A019/22

Proposed Variance(s) (By-law 01-2021):

1. To permit a minimum rear yard of 1.2 m to the swimming pool.
2. To permit a minimum interior side yard of 1.2 m to the swimming pool.

By-Law Requirement(s) (By-law 01-2021):

1. A minimum rear yard of 1.5 m is required to the swimming pool. [S.4.21]
2. A minimum interior side yard of 1.5 m is required to the swimming pool. [S.4.21]

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum rear yard setback of 1.2 m to the swimming pool.
4. To permit a minimum interior side yard setback of 1.2 m to the swimming pool.
5. To permit a maximum interior side yard encroachment of 0.9 m for the ground mounted pool equipment.

By-Law Requirement(s) (By-law 1-88):

3. A minimum rear yard of 1.5 m is required to the swimming pool [S.4.1.1]
4. A minimum interior side yard of 1.5 m is required to the swimming pool. [S4.1.1]
5. A maximum interior side yard encroachment of 0.6 m is permitted for ground mounted pool equipment. [S.4.1.1]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting to construct a swimming pool and hot tub with the above noted variances.

The Development Planning Department has no objection to the proposed variances, as the reduction in setbacks to the pool will not impact the abutting properties. Variances #1, #2, #3, and #4 propose a rear yard setback of 1.2 m and interior yard setback of 1.2 m which provides adequate distance around the pool for safe access. Additionally, the Development Engineering Department has reviewed the increased encroachment of the ground mounted pool equipment and are of the opinion it will not cause water filtration/runoff issues.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
Chris Cosentino, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Aaron	82 Morisot Avenue	02/22/2022	Letter of Opposition

Adriana MacPherson

Subject: A019/22 (86 Morisot Avenue) - Letter of Objection

-----Original Message-----

From: [REDACTED]
Sent: Tuesday, February 22, 2022 11:01 AM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] Re: Information Request: A019/22 (86 Morisot Avenue)
Importance: High

Thank you for sending the proposed plans.

My address is 82 Morisot Ave. which is adjacent to the proposed pool equipment.

My concerns are as follows

1. Fumes produced from the pool heater as this equipment will be in close proximity to windows that open in the summer time as well as our kitchen vent that is directly beside the proposed equipment location.
2. Noise produced from the equipment as this equipment will be in close proximity to windows that open in the summer time as well as our kitchen vent that is directly beside the proposed equipment location and we hear noise from outside through it.
3. Having the pool equipment fenced in to prevent my young children safe from being able to hurt them self.
4. What will happen with the water that goes into the existing swale drainage?

Thank you for your attention to these concerns and please forward me a copy of the Staff Report when available.

Thank you,
Aaron