

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A243/21
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AGENDA ITEM NUMBER: 03	CITY WARD #: 4
APPLICANT:	Iouri Melekhovets and Tatiana Volossiouk
AGENT:	Daniel Falzon
PROPERTY:	79 Cedarpoint Ct Maple ON
ZONING DESIGNATION:	The subject lands are zoned RD3 9(1275) and subject to the provisions of Exception under By-law 1-88 as amended
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law, is being requested to permit the construction of a proposed gazebo in the rear yard.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments no concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A179/16	05/19/2016	Approved by COA
A264/15	09/17/2015	Approved by COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A243/21

AGENDA ITEM NUMBER: 03	CITY WARD #: 4
APPLICANT:	Iouri Melekhovets and Tatiana Volossiuk
AGENT:	Daniel Falzon
PROPERTY:	79 Cedarpoint Ct Maple ON
ZONING DESIGNATION:	The subject lands are zoned RD3 9(1275) and subject to the provisions of Exception under By-law 1-88 as amended
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law, is being requested to permit the construction of a proposed gazebo in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.915 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 b]	To permit a residential accessory structure with a height greater than 2.8 m to be located closer than 2.4 m to any lot line. (1.31 metre rear yard setback, 1.72 metre interior side yard setback)
2	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [4.1.4 1]	To permit a maximum height of 3.29 metres for a residential accessory structure.

The subject lands are zoned RD3 – Residential Detached Zone Three and subject to the provisions of Exception 9(1275) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum rear yard setback of 7.5 metres is required. [Schedule A3]	To permit a minimum rear yard setback of 1.31 metres for an accessory structure (gazebo).
4	The minimum interior side yard shall be 3.5 metres on a lot abutting a non-residential use including a walkway, Greenway, buffer block or stormwater management pond. [Schedule A3, Specific Zone Note 3i)]	To permit a minimum interior side yard setback of 1.72 metres for an accessory structure (gazebo).
5	The maximum width of a driveway at the street curb and a curb cut shall be six (6) metres. [4.1.4 fi)]	To permit a maximum driveway width and a curb cut of 6.63 metres at the street curb.
6	The portion of the driveway between the street line and the street curb shall not exceed six (6) metres in width. [4.1.4 fiii)]	To permit the portion of the driveway between the street line and the street curb to be 8.38 metres in width.
7	A maximum driveway width of 8.55 metres is permitted on the lot, based on a lot frontage of 17.1 metres, per Surveyor's Certificate dated December 10, 2009. [4.1.4 fv)]	To permit a maximum driveway width of 8.72 metres on the lot.

HEARING INFORMATION	
DATE & TIME OF HEARING:	March 3, 2022 at 6:00 p.m.
As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.	
PUBLIC PARTICIPATION	
You can watch a live stream of the hearing at Vaughan.ca/LiveCouncil	
If you wish to speak to the Committee of Adjustment on an application please complete and submit a Public Deputation Form to cofa@vaughan.ca by noon on the last business day prior to the hearing.	
Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be submitted by noon on the last business day prior to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca	
For more information, please visit the City of Vaughan website.	

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	February 16, 2022	
Date Applicant Confirmed Posting of Sign:	February 23, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Irregular lot shape.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	No	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS
The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

BUILDING STANDARDS (ZONING) COMMENTS	
The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).	
The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.	
Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.	
An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
The Development Engineering (DE) Department does not object to variance application A243/21.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comments at his time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comment no concerns	
Fire Department Recommended Conditions of Approval:	None

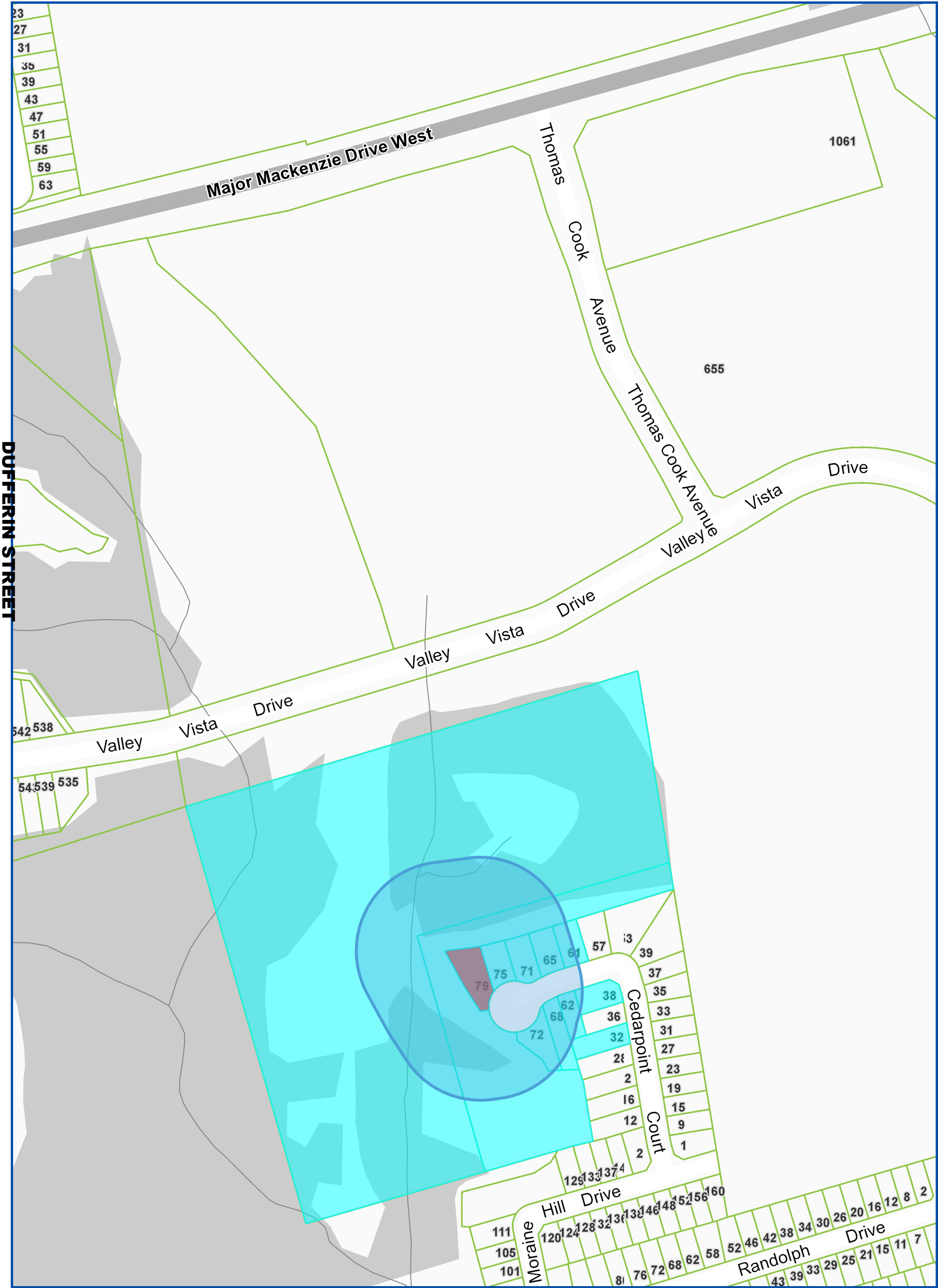
SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	TRCA hamedeh.razavi@trca.ca	1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

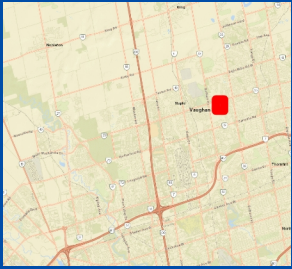
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



DUFFERIN STREET

Map Information:



Title: 79 CEDARPOINT COURT, MAPLE

NOTIFICATION MAP - A243/21

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 3,580

0 0.06 km

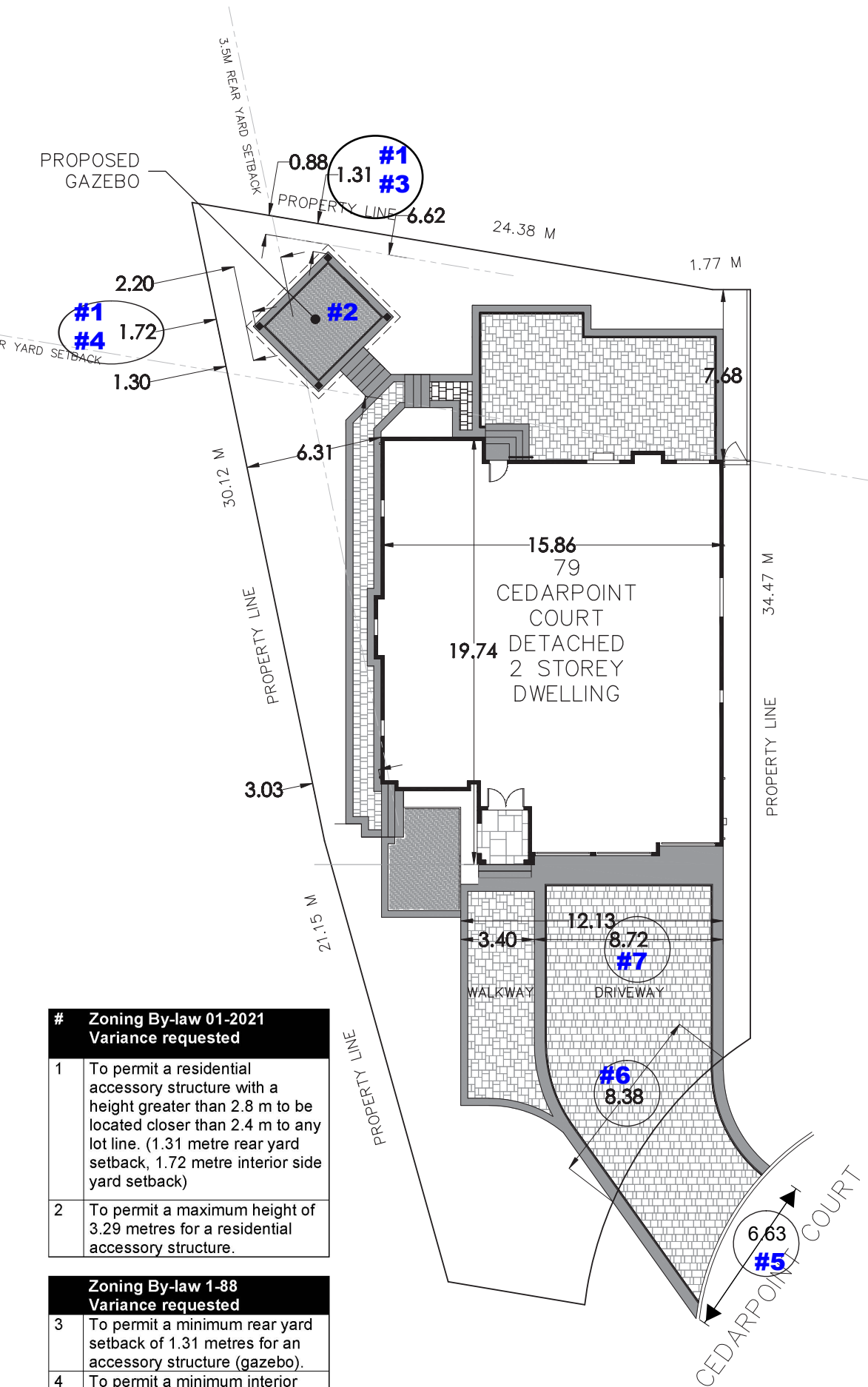
Created By:
Infrastructure Delivery
Department
February 15, 2022 11:54 AM

Projection:
NAD 83
UTM Zone
17N

Revised

January 28, 2022

A243/21



Construction
North

SCOPE OF WORK:

CONSTRUCTION OF REAR YARD GAZEBO

INFORMATION TAKEN FROM SURVEY:

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN SHOWING LOTS 1 AND 19
REGISTERED PLAN 65M-4264
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

DATED: DEC. 6, 2016
BY: SCHAEFFER DZALDOV BENETT LTD.

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.

BUILDING STATISTICS:

SITE AREA: 906.03 SM

DWELLING: 292.10 SM

GAZEBO COVERAGE: 19.43 SM

HEIGHT: 3.29 M

PAVED AREA (HARDSCAPE INC. DRIVEWAY): 277.60 SM

REAR YARD TOTAL AREA: 223.70 SM

PAVED (HARDSCAPE): 90.54 SM

GAZEBO: 19.43 SM

SOFT LANDSCAPING: 113.83 SM (50.8%)

FRONT YARD TOTAL AREA: 278.30 SM

PAVED (HARDSCAPE): 169.35 SM

SOFT LANDSCAPING: 108.95 SM (39.1%)

BUILDING HEIGHTS TAKEN FROM APPROX. EXIST ESTABLISHED GRADE.

#	Zoning By-law 01-2021 Variance requested
1	To permit a residential accessory structure with a height greater than 2.8 m to be located closer than 2.4 m to any lot line. (1.31 metre rear yard setback, 1.72 metre interior side yard setback)
2	To permit a maximum height of 3.29 metres for a residential accessory structure.

#	Zoning By-law 1-88 Variance requested
3	To permit a minimum rear yard setback of 1.31 metres for an accessory structure (gazebo).
4	To permit a minimum interior side yard setback of 1.72 metres for an accessory structure (gazebo).
5	To permit a maximum driveway width and a curb cut of 6.63 metres at the street curb.
6	To permit the portion of the driveway between the street line and the street curb to be 8.38 metres in width.
7	To permit a maximum driveway width of 8.72 metres on the lot.

A243/21

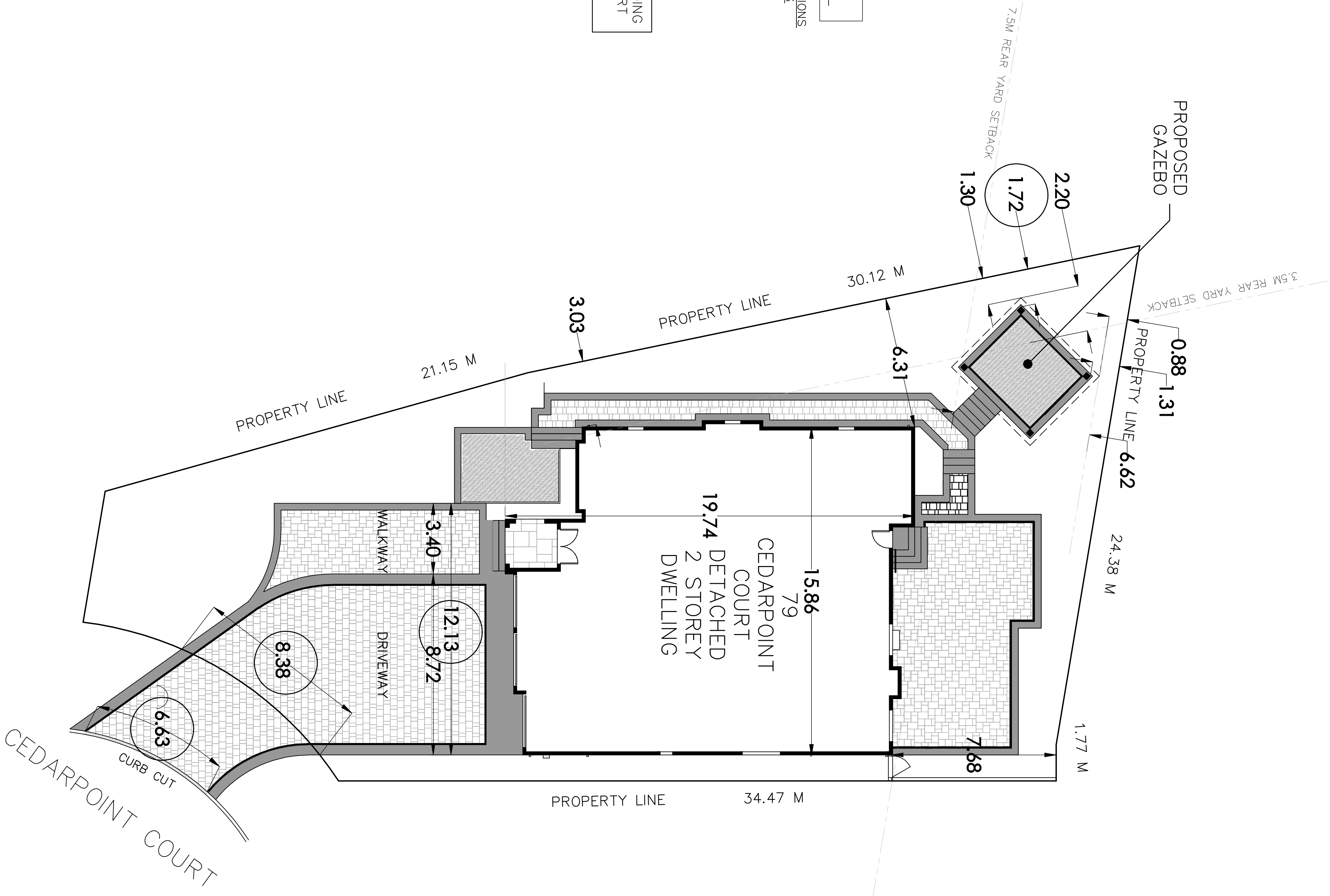
NEW

January 14, 2022

THERE ARE NO PROPOSED GRADING
ALTERATIONS REQUIRED AS PART
OF THE PROPOSED WORK

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED

METRIC



Construction
North

SCOPE OF WORK:

CONSTRUCTION OF REAR YARD GAZEBO

INFORMATION TAKEN FROM SURVEY:
SURVEYOR'S REAL PROPERTY REPORT
PART 1
2018 SHOWNING LOTS 1 AND 19
REGISTERED PLAN 65M-4264
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
DATED: DEC. 6, 2016
BY: SCHAEFFER DZALDOV BENNETT LTD.

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
FIELD AND REPORT ANY DISCREPANCIES TO THE
ENGINEER BEFORE PROCEEDING WITH THE WORK.
ALL CONSTRUCTION TO ADHERE TO THESE PLANS
AND/OR SPECIFICATIONS AND TO CONFORM TO THE
ONARIO BUILDING CODE AND ALL OTHER APPLICABLE
CODES AND REGULATIONS. THE ENGINEER'S
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS. ONT. REG. 332/12.

BUILDING STATISTICS:
SITE AREA: 906.03 SM
DWELLING 292.10 SM
GAZEBO 19.43 SM
HEIGHT: 3.29 M
PAVED AREA (LANDSCAPE INC. DRIVEWAY) 277.60 SM
REAR YARD 223.70 SM
TOTAL AREA 906.03 SM
PAVED (LANDSCAPE) 19.43 SM
SOFT LANDSCAPING 113.83 SM (50.8%)
FRONT YARD 278.30 SM
TOTAL AREA 169.35 SM (39.1%)
PAVED (LANDSCAPING) 106.93 SM
SOFT LANDSCAPING 106.93 SM (39.1%)
BUILDING HEIGHTS TAKEN FROM APPROX.
EXIST ESTABLISHED GRADE.

General Notes

LASONNE
ENGINEERING LTD.
KLEINBURG 416.862.2673

No.	Revision/Issue	Date

SITE PLAN

79 CEDARPOINT COURT
CABANA
Vaughan, Ontario

Project	2107R	Sheet	S1
Date	JUNE '21		
Scale	1:125		

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: March 3, 2022

Name of Owner: Iouri Melekhovets and Tatiana Volossiuk

Location: 79 Cedarpoint Court

File No.(s): A243/21

Proposed Variance(s) (By-law 01-2021):

- 1) To permit a residential accessory structure with a height greater than 2.8 m to be located closer than 2.4 m to any lot line. (1.31 m rear yard setback, 1.72 m interior side yard setback)
- 2) To permit a maximum building height of 3.29 m for a residential accessory structure.

By-Law Requirement(s) (By-law 01-2021):

- 1) A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [4.1.2 b)]
- 2) In any residential zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m [4.1.4 1]

Proposed Variance(s) (By-law 1-88):

- 3) To permit a minimum rear yard setback of 1.31 m for an accessory structure (gazebo).
- 4) To permit a minimum interior side yard setback of 1.72 m for an accessory structure (gazebo).
- 5) To permit a maximum driveway width and a curb cut of 6.63 m at the street curb.
- 6) To permit the portion of the driveway between the street line and the street curb to be 8.38 m in width.
- 7) To permit a maximum driveway width of 8.72 m on the lot.

By-law Requirement(s) (By-law 1-88):

- 3) A minimum rear yard setback of 7.5 m is required. [Schedule A3]
- 4) The minimum interior side yard shall be 3.5 m on a lot abutting a non-residential use including a walkway, greenway, buffer block or stormwater management pond. [Schedule A3, specific zone note 3i)]
- 5) The maximum width of a driveway at the street curb and a curb cut shall be six (6) m. [4.1.4 fi)]
- 6) The portion of the driveway between the street line and the street curb shall not exceed six (6) m in width. [4.1.4 fiii)]
- 7) A maximum driveway width of 8.55 m is permitted on the lot, based on a lot frontage of 17.1 m, per Surveyor's Certificate date December 10, 2009. [4.1.4 fv)]

Official Plan:

Vaughan Official Plan 2010 ("VOP2010"): "Low-Rise Residential"

Comments:

The Owners are requesting permission to construct an accessory structure (gazebo) in the rear yard and maintain an existing driveway with the above noted variances.

The Development Planning Department has no objection to the variances, as the proposal remains compatible and consistent with the surrounding structures in the area. For Variances #1, #2, #3 and #4, the decrease in setbacks and increase in height are appropriate given the gazebo is measured at a pinch point and is not in direct line of sight to any abutting properties.

For Variances #5, #6, and #7, the Urban Design Division of the Development Planning Department have reviewed the increase in street curb, curb cut, and driveway width and provided no objection as the variances will not negatively impact the streetscape.

The Development Planning Department is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I

Chris Cosentino, Senior Planner

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Lenore Providence

Subject: FW: [External] RE: Request for Comments A243/21 (79 Cedarpoint Ct. Maple)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: January-31-22 10:20 AM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: Request for Comments A243/21 (79 Cedarpoint Ct. Maple)

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Planning and Economic Development Branch
| Corporate Services Department | The Regional Municipality of York | 1-877 464 9675 ext 71538 |
gabrielle.hurst@york.ca | www.york.ca

February 22, 2022

CFN 66448.01
X-Ref CFN 65869

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A243.21
Part of Lot 19, Concession 2
79 Cedarpoint Court
City of Vaughan, Region of York
Owner: Iouri Melekhovets, Tatiana Volossiuk
Agent: Lasonne Engineering Limited c/o Daniel Falzon**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 31, 2022. TRCA staff has reviewed the above noted application, and as per the "Living City Policies for Planning and Development within the Watersheds of the TRCA" (LCP), provides the following comments as part of TRCA's commenting role under the *Planning Act*; the Authority's delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA's Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under both Zoning By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021

1. To permit a residential accessory structure with a height greater than 2.8 m to be located closer than 2.4 m to any lot line. (1.31 metre rear yard setback, 1.72 metre interior side yard setback),

whereas a residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.

2. To permit a maximum height of 3.29 metres for a residential accessory structure, whereas in any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

By-Law 1-88

1. To permit a minimum rear yard setback of 1.31 metres for an accessory structure (gazebo), whereas a minimum rear yard setback of 7.5 metres is required.
2. To permit a minimum interior side yard setback of 1.72 metres for an accessory structure (gazebo), whereas the minimum interior side yard shall be 3.5 metres on a lot abutting a non-residential use including a walkway, Greenway, buffer block or stormwater management pond.
1. To permit a maximum driveway width and a curb cut of 6.63 metres at the street curb, whereas the maximum width of a driveway at the street curb and a curb cut shall be six (6) metres.
2. To permit the portion of the driveway between the street line and the street curb to be 8.38 metres in width, whereas the portion of the driveway between the street line and the street curb shall not exceed six (6) metres in width.
3. To permit a maximum driveway width of 8.72 metres on the lot, whereas a maximum driveway width of 8.55 metres is permitted on the lot, based on a lot frontage of 17.1 metres, per Surveyor's Certificate dated December 10, 2009.

The noted variances are being requested to facilitate the construction of a gazebo at the rear yard.

Ontario Regulation 166/06

A portion of the subject lands are located within TRCA's Regulated Area due to the presence of an unevaluated wetland to the northwest and a Provincially Significant Wetland to the southwest of the subject property. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

The north and west of the subject property are adjacent to an Open Space block established as part of the Draft Plan of Subdivision 19T-03V01 (Phase 2A). The natural features were delineated through the subdivision process, appropriate buffers were applied, and a portion of lands were conveyed to TRCA.

TRCA issued a permit to facilitate the construction of a gazebo at the rear yard and landscaping at the front and rear yard on October 8, 2021 (TRCA Permit No. C-211179).

Based on a review of the plans submitted with this variance application, TRCA is satisfied that the noted works are consistent with the plans that were approved as a part of the TRCA Permit C-211179. As such, TRCA has no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$610.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A243.21 subject to the following condition:

1. That the applicant provides the required fee amount of \$610.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I
Development Planning and Permits

HR/mh

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE
--

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A179/16	05/19/2016	Approved by COA
A264/15	09/17/2015	Approved by COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A179/16

APPLICANT: Thornhill Ravine Development Corporation

PROPERTY: Part of Lot 19, Concession 2 (Lot 5 of Registered Plan 65M-4264) municipally known as 79 Cedarpoint Court, Maple.

ZONING: The subject lands are zoned RD3, Residential Detached Zone Three, subject to Exception 9(1275) under By-law 1-88 as amended.

PURPOSE: To permit the construction of a residential dwelling with attached garage

PROPOSAL:

1. To permit a maximum interior garage width of 8.6 metres.
2. To permit a garage to project 3.35 metres into the front yard where there is a covered and unenclosed porch.

BY-LAW REQUIREMENT:

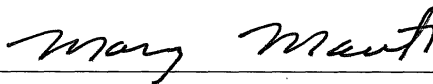
1. A maximum interior garage width of 6.096 metres is permitted.
2. No garage shall project into the front yard more than 2.0 metres beyond the most distant point of any wall at the ground floor level where there is a covered and unenclosed porch.

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:

A264/15- Reducing side yard setback to 0.3m- APPROVED on Sept 17 2015

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A179/16, Thornhill Ravine Development Corporation**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

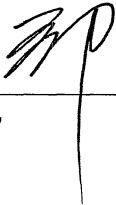
CARRIED.

CHAIR: _____

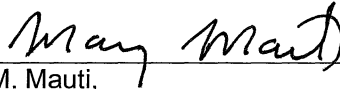


Signed by all members present who concur in this decision:

H. Zheng,
Chair



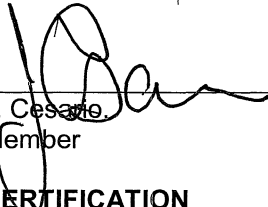
M. Mauti,
Vice Chair



R. Buckler,
Member



J. Cesario,
Member



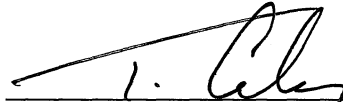
A. Perrella,
Member



CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment



Date of Hearing:

MAY 19, 2016

Last Date of Appeal:

JUNE 8, 2016

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

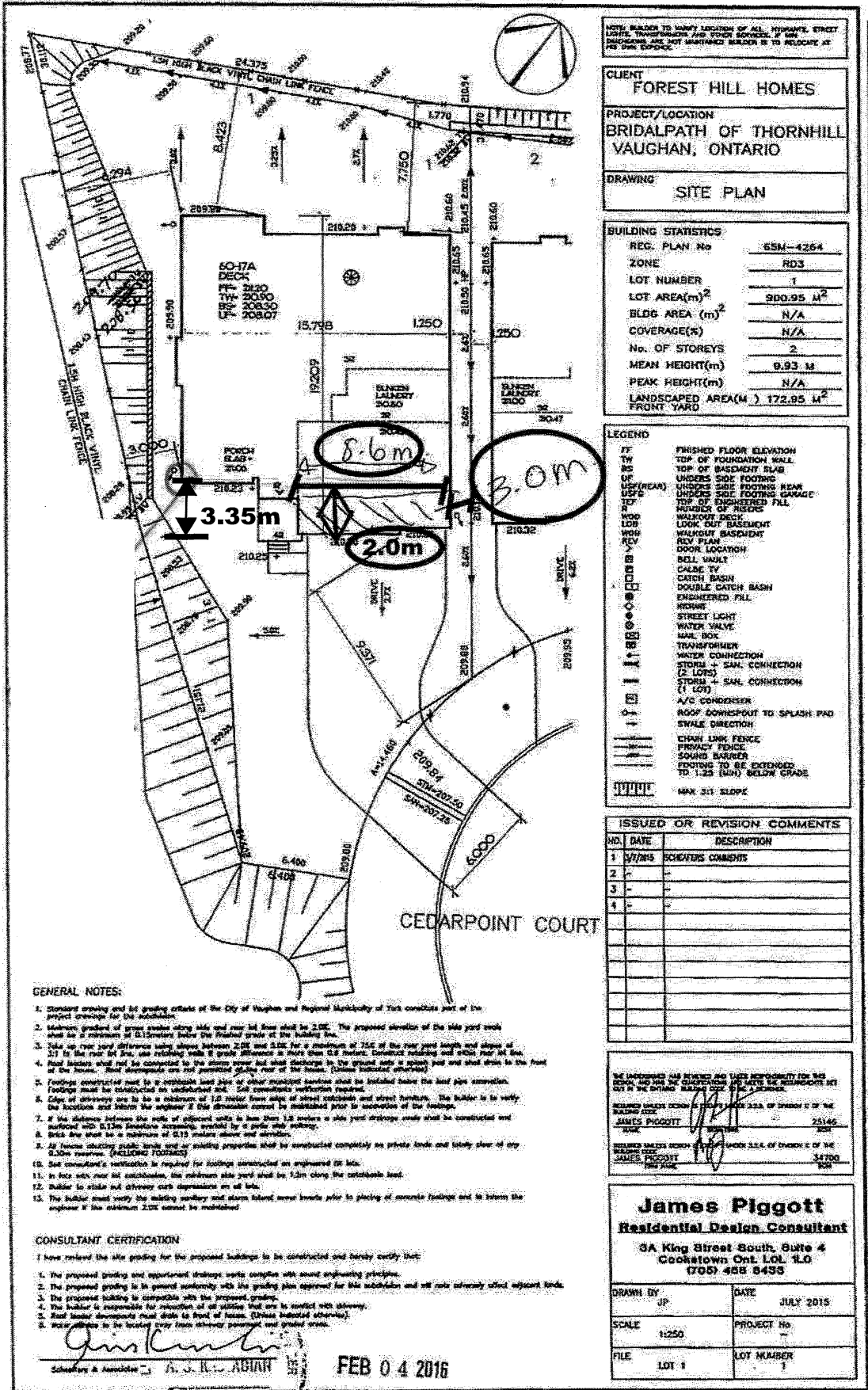
NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

JUNE 8, 2017

A179/16



Proposal: To permit the construction of a residential dwelling with attached garage

- To permit an increase in garage size (width) from 2.504m to 8.6m (increase of 6.096M)
- To permit an increase in projection of garage into front yard of 1.0m to 3.35m

NOTE: REFERENCE TO VARIOUS LOCATIONS OF ALL HYDRAULIC STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF ANY, INDICATED ARE NOT MAINTAINED HEREIN IS TO REDUCATE AT THE OWNERS RISK.

CLIENT
FOREST HILL HOMES

PROJECT/LOCATION
BRIDALPATH OF THORNHILL
VAUGHAN, ONTARIO

DRAWING
SITE PLAN

BUILDING STATISTICS

REG. PLAN No	65M-4264
ZONE	RD3
LOT NUMBER	1
LOT AREA(m) ²	900.95 M ²
BLOG AREA (m) ²	N/A
COVERAGE(%)	N/A
No. OF STOREYS	2
MEAN HEIGHT(m)	9.93 M
PEAK HEIGHT(m)	N/A
LANDSCAPED AREA(M ²)	172.95 M ²
FRONT YARD	

LEGEND

FF	FINISHED FLOOR ELEVATION
FW	TOP OF FOUNDATION WALL
BS	TOP OF BASEMENT SLAB
UP	UNDER SIDE FOOTING
US(FR)	UNDER SIDE FOOTING REAR
US(FR)	UNDER SIDE FOOTING GARAGE
US(FR)	TOP OF ENGINEERED FILL
W	WALKOUT DECK
W	LOOK OUT BASEMENT
W	WALKOUT BASEMENT
W	REAR PLAN
W	DOOR LOCATION
W	BELL VAULT
W	CALM TV
W	CATCH BASIN
W	DOUBLE CATCH BASIN
W	ENGINEERED FILL
W	HOUSE
W	STREET LIGHT
W	WATER VALVE
W	MAIL BOX
W	TRANSFORMER
W	WATER CONNECTION
W	STORM + SAN CONNECTION (2 LOTS)
W	STORM + SAN CONNECTION (1 LOT)
W	A/C CONDENSER
W	ROOF DOWNSPOUT TO SPLASH PAD
W	SWALE DIRECTION
W	CHAIN LINK FENCE
W	FRONT FENCE
W	SOUND BARRIER
W	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
W	MAX 3:1 SLOPE

ISSUED OR REVISION COMMENTS		
NO.	DATE	DESCRIPTION
1	5/1/16	SCHEMATIC DRAFTING
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-
11	-	-
12	-	-
13	-	-
14	-	-
15	-	-
16	-	-
17	-	-
18	-	-
19	-	-
20	-	-

WE HEREBY CERTIFY AND WARRANT THAT THE INFORMATION ON THIS DRAWING AND THE CALCULATIONS AND DATA THEREON ARE TRUE AND CORRECT AND THAT THE INFORMATION ON THIS DRAWING AND THE CALCULATIONS AND DATA THEREON ARE TRUE AND CORRECT AND THAT THE INFORMATION ON THIS DRAWING AND THE CALCULATIONS AND DATA THEREON ARE TRUE AND CORRECT.

JAMES PIGGOTT
DATE: 25/1/16
SIGNATURE: [Signature]

JAMES PIGGOTT
DATE: 25/1/16
SIGNATURE: [Signature]

James Piggott
Residential Design Consultant
3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

DRAWN BY JP **DATE** JULY 2015

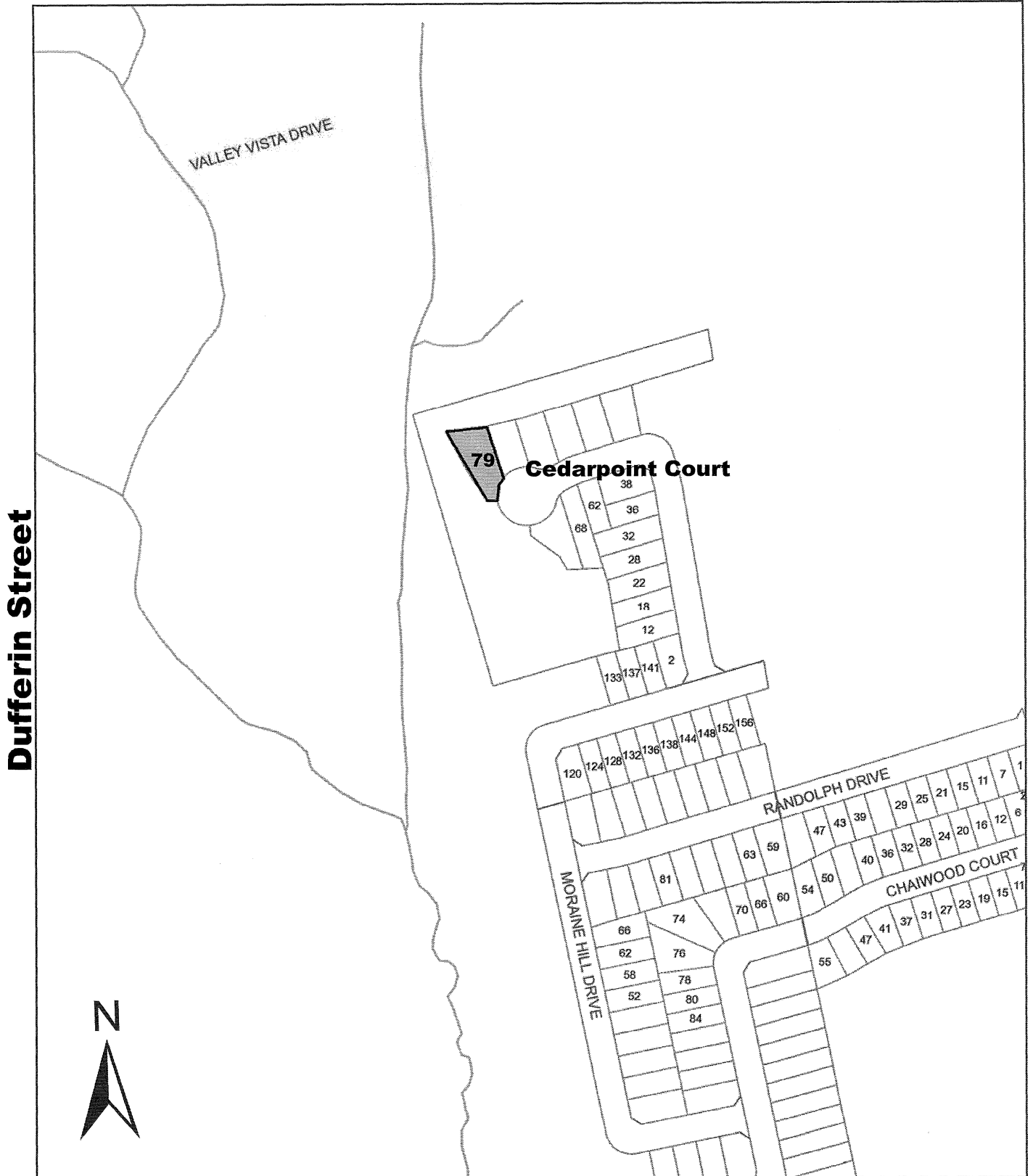
SCALE 1:250 **PROJECT No.**

FILE LOT 1 **LOT NUMBER** 1



Location Map- A179/16

79 Cedarpoint Court, Maple



City of Vaughan

0 0.05 0.1 0.2 Kilometers

Rutherford Road

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A264/15

APPLICANT: THORNHILL RAVINES DEVELOPMENT CORPORATION

PROPERTY: Part of Lot 19, Concession 2 (Lot 1, Registered Plan 65M-4264), municipally known as 79 Cedarpoint Court, Maple.

ZONING: The subject lands are zoned RD3, Residential Detached Zone Three and subject to the provisions of Exception 9(1275) under By-law 1-88 as amended.

PURPOSE: To permit the construction of a proposed two-storey single family detached dwelling.

PROPOSAL: 1. To permit a minimum interior side yard of 3.0 metres on a lot abutting a non-residential use.

BY-LAW REQUIREMENT: 1. A minimum interior side yard of 3.5 metres on a lot abutting a non-residential use is required.

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:
Plan of Subdivision - 19T-03V01 (Subdivision plan as part of community planning of Block 11)
Zoning By-law Amendment - Z.03.003

A sketch is attached illustrating the request.

MOVED BY:

may mauts

SECONDED BY:

R. Brunel

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

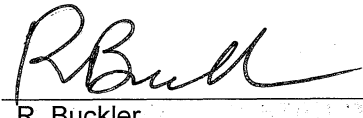

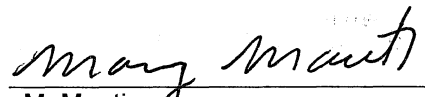
THAT Application No. **A264/15, THORNHILL RAVINES DEVELOPMENT CORPORATION**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

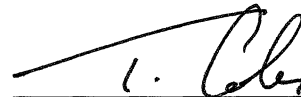
CARRIED.

CHAIR: 

Signed by all members present who concur in this decision:


A. Perrella,
Chair
H. Zheng,
Vice Chair
R. Buckler,
Member
J. Cesario,
Member
M. Mauti,
Member**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: SEPTEMBER 17, 2015**Last Date of Appeal: OCTOBER 7, 2015****APPEALS**

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

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CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

OCTOBER 7, 2016



1. Standard drawing and lot grading criteria of the City of Vaughan and Regional Municipality of York constitute part of the project drawings for the subdivision.
2. Minimum gradient of grass swales along side and rear lot lines shall be 2.0%. The proposed elevation of the side yard swale shall be a minimum of 0.15meters below the finished grade at the building line.
3. Take up rear yard difference using slopes between 2.0% and 5.0% for a maximum of 75% of the rear yard length and slopes of 3:1 to the rear lot line, use retaining walls if grade difference is more than 0.6 meters. Construct retaining wall within rear lot line.
4. Roof leaders shall not be connected to the storm sewer but shall discharge to the ground onto a splash pad and shall drain to the front of the house. Roof downspouts are not permitted at the rear of the house. (Unless indicated otherwise)
5. Footings constructed next to a catchbasin lead pipe or other municipal services shall be installed below the lead pipe excavation. Footings must be constructed on undisturbed soil. Soil consultants verification required.
6. Edge of driveways are to be a minimum of 1.0 meter from edge of street catchbasin and street furniture. The builder is to verify the locations and inform the engineer if this dimension cannot be maintained prior to excavation of the footings.
7. If the distance between the walls of adjacent lots is less than 1.8 meters a side yard drainage swale shall be constructed and surfaced with 0.13m limestone screening, overlaid by a patio slab walkway.
8. Brick line shall be a minimum of 0.15 meters above sod elevation.
9. All fences abutting public lands and or existing properties shall be constructed completely on private lands and totally clear of any 0.30m reserves. (INCLUDING FOOTINGS)
10. Soil consultant's verification is required for footings constructed on engineered fill lots.
11. In lots with rear lot catchbasins, the minimum side yard shall be 1.2m along the catchbasin lead.
12. Builder to stake out driveway curb depressions on all lots.
13. The builder must verify the existing sanitary and storm lateral sewer inverts prior to placing of concrete footings and to inform the engineer if the minimum 2.0% cannot be maintained

I have reviewed the site grading for the proposed buildings to be constructed and hereby certify that:

1. The proposed grading and appurtenant drainage works complies with sound engineering principles.
2. The proposed grading is in general conformity with the grading plan approved for this subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.
4. The builder is responsible for relocation of all utilities that are in conflict with driveway.
5. Roof leader downspouts must drain to front of house. (Unless indicated otherwise).
6. Water service to be located away from driveway pavement and graded areas.

Scheggers & Associates

FF	FINISHED FLOOR ELEVATION
TW	TOP OF FOUNDATION WALL
BS	TOP OF BASEMENT SLAB
UF	UNDERSIDE FOOTING
USF(REAR)	UNDERSIDE SIDE FOOTING REAR
USFG	UNDERSIDE SIDE FOOTING GARAGE
TOEF	TOP OF ENGINEERED FILL
RF	NUMBER OF RISERS
WOD	WALKOUT DECK
LOB	LOOK OUT BASEMENT
WOB	WALKOUT BASEMENT
REV	REV PLAN
⊗	DOOR LOCATION
⊗	BELL VAULT
⊗	CALBE TV
⊗	CATCH BASIN
⊗	DOUBLE CATCH BASIN
⊗	ENGINEERED FILL
⊗	HYDRANT
⊗	STREET LIGHT
⊗	WATER VALVE
⊗	MAIL BOX
⊗	TRANSFORMER
⊗	WATER CONNECTION
==	STORM + SAN. CONNECTION (2 LOTS)
==	STORM + SAN. CONNECTION (1 LOT)
AC	A/C CONDENSER
○→	R/OF DOWNSPOUT TO SPLASH PAD
→	SWALE DIRECTION
—x—	CHAIN LINK FENCE
—xx—	PRIVATE DRIVE
—xxx—	SOUND BARRIER
-----	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

MAX 3:1 SLOPE

[illegible]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5. OF DIVISION C OF THE BUILDING CODE

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5. OF DIVISION C OF THE BUILDING CODE

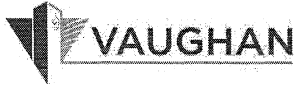
JAMES PIGGOTT	25146
NAME	SIGNATURE
	BCIN

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4. OF DIVISION C OF THE
BUILDING CODE
JAMES PIGGOTT 34700
FIRM NAME FIRM

James Piggott
Residential Design Consultant

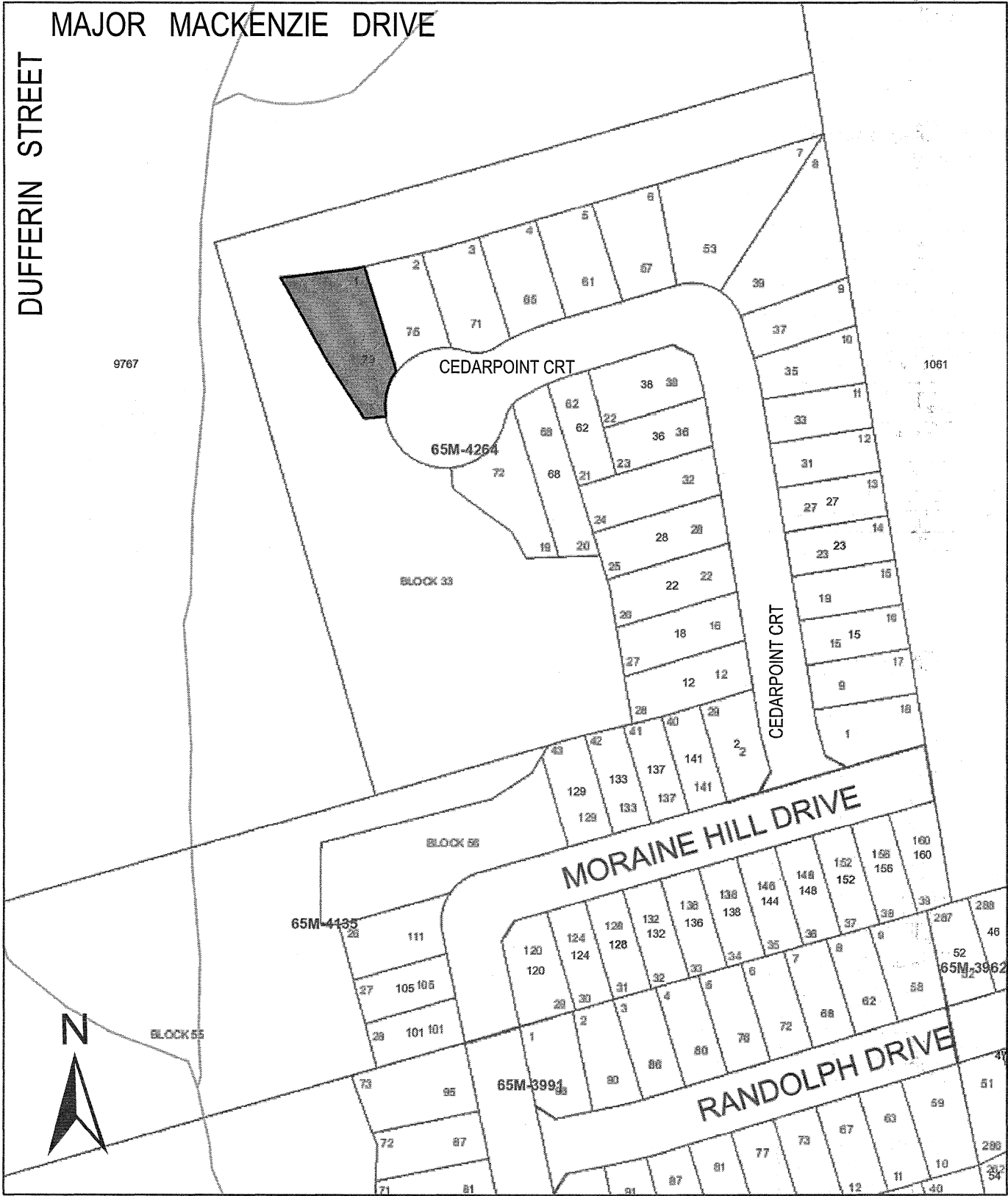
3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 458 8433

DRAWN BY JP	DATE JULY 2015
SCALE 1:250	PROJECT No —
FILE LOT 1	LOT NUMBER 1



Location Map - A264/15

79 Cedarpoint Court



City of Vaughan

0 0.03 0.06 0.12 Kilometers

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.