

	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A229/21
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AGENDA ITEM NUMBER: 2	CITY WARD #: 3
APPLICANT:	Michael Melo and Diana Macri Melo
AGENT:	Schiller Engineering Ltd.
PROPERTY:	146 Pieta Place, Woodbridge
ZONING DESIGNATION:	The subject lands are zoned RV2(W.S) and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the existing shed and cabana in rear yard.

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE *Please see Schedule C of this report for a copy of the public & applicant correspondence listed below. The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date. Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website. All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND *Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY * Previous hearing dates where this application was adjourned by the Committee and public notice issued.
None



COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A229/21

FILE MANAGER: Adriana MacPherson, Administrative Coordinator - Committee of Adjustment

AGENDA ITEM NUMBER: 2	CITY WARD #: 3
APPLICANT:	Michael Melo and Diana Macri Melo
AGENT:	Schiller Engineering Ltd.
PROPERTY:	146 Pieta Place, Woodbridge
ZONING DESIGNATION:	The subject lands are zoned RV2(WS) and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small>	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the existing shed and cabana in rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R2(EN) – Second Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.693 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 metres shall not be closer than 2.4 metres to any lot line [Section 4.1.2, sentence 1.b)]	To permit a residential accessory structure with a height greater than 2.8 metres to be 0.61 metres to any lot line (Shed).
2	A residential accessory structure with a height greater than 2.8 metres shall not be closer than 2.4 metres to any lot line [Section 4.1.2, sentence 1.b)]	To permit a residential accessory structure with a height greater than 2.8 metres to be 0.86 metres to any lot line (Cabana).

The subject lands are zoned RV2- Residential Urban Village Zone Two and subject to the provisions of Exception 9(1024) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	Any accessory building or structure shall be located in the rear yard [Section 4.1.1 c)].	To permit an Accessory structure not entirely in the rear yard (cabana).
4	A minimum Rear yard of 6.0 metres is required (Schedule A1).	To permit a minimum rear yard of 0.61 metres (shed).
5	A minimum Interior side yard of 1.2 metres is required (Schedule A1).	To permit a minimum interior side yard of 0.61 metres (shed).
6	A minimum Interior side yard of 1.2 metres is required (Schedule A1).	To permit a minimum interior side yard of 0.86 metres (cabana).

HEARING INFORMATION

DATE & TIME OF HEARING: Thursday, March 3, 2022 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC PARTICIPATION

You can watch a live stream of the hearing at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

If you wish to speak to the Committee of Adjustment on an application please complete and submit a [Public Deputation Form](#) to cofa@vaughan.ca by noon on the last business day prior to the hearing.

Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application must be

submitted by **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be emailed to cofa@vaughan.ca

[For more information, please visit the City of Vaughan website.](#)

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	February 15, 2022
Date Applicant Confirmed Posting of Sign:	February 16, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Zoning Restrictions
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS
<p>Stop work orders and orders to comply: Order No. 21-108606, Order to Comply for, Issue Date: Apr 14, 2021.</p> <p>Building Permit(s) Issued: A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2. The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.</p> <p>The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).</p> <p>The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. Please note as of January 1, 2015 Accessible Parking Spaces are subject to the provisions of Ontario Regulation - O.Reg.413/12, Subsections 80.32 through 80.39, which supersede the current by-law requirements in By-law 1-88 as amended.</p> <p>Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.</p>

BUILDING STANDARDS (ZONING) COMMENTS	
An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule C for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
As the proposed cabana and shed in the subject property are 22.35 m2 and 10.15 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit.	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comments at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No response	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No response	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No response	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

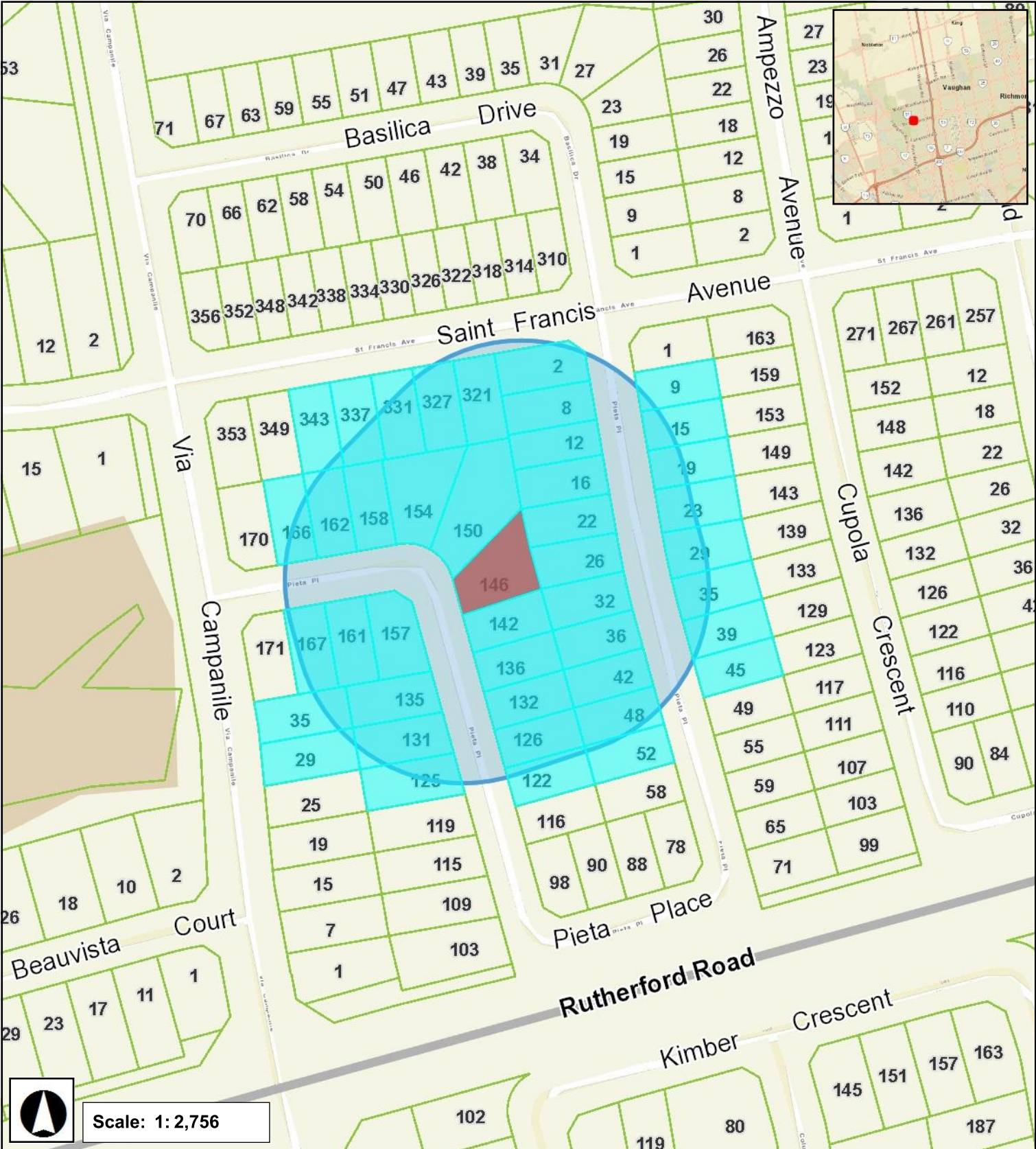
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



A229/21 - Notification Map

146 Pieta Place, Woodbridge

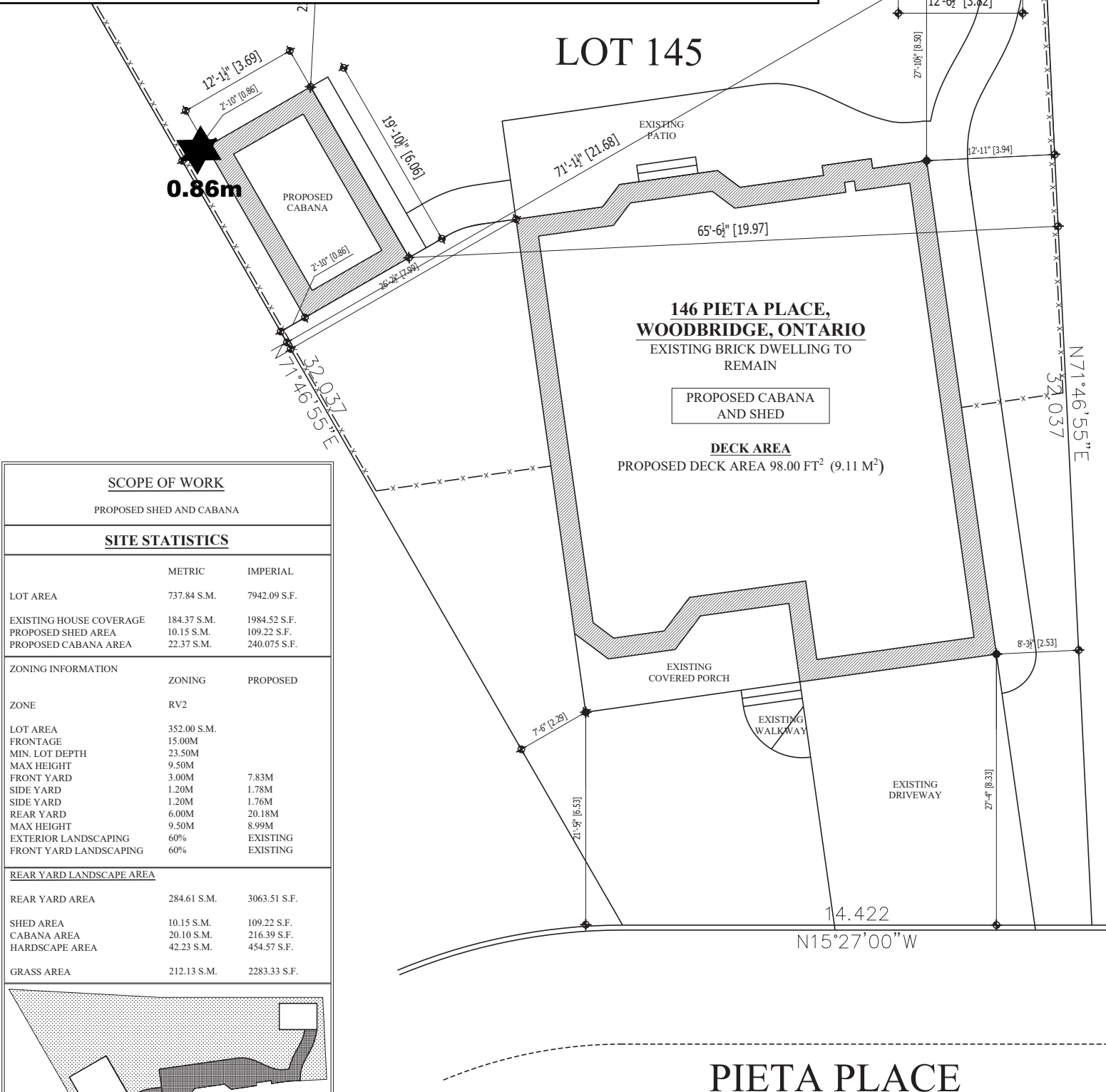


Zoning By-law 01-2021

- 1. To permit a residential accessory structure with a height greater than 2.8 metres to be 0.61 metres to any lot line (Shed).
- 2. To permit a residential accessory structure with a height greater than 2.8 metres to be 0.86 metres to any lot line (Cabana).

Zoning By-law 1-88

- 3. To permit an Accessory structure not entirely in the rear yard (cabana).
- 4. To permit a minimum rear yard of 0.61 metres (shed).
- 5. To permit a minimum interior side yard of 0.61 metres (shed).
- 6. To permit a minimum interior side yard of 0.86 metres (cabana).



SCOPE OF WORK		
PROPOSED SHED AND CABANA		
SITE STATISTICS		
	METRIC	IMPERIAL
LOT AREA	737.84 S.M.	7942.09 S.F.
EXISTING HOUSE COVERAGE	184.37 S.M.	1984.52 S.F.
PROPOSED SHED AREA	10.15 S.M.	109.22 S.F.
PROPOSED CABANA AREA	22.37 S.M.	240.075 S.F.
ZONING INFORMATION		
	ZONING	PROPOSED
ZONE	RV2	
LOT AREA	352.00 S.M.	
FRONTAGE	15.00M	
MIN. LOT DEPTH	23.50M	
MAX HEIGHT	9.50M	
FRONT YARD	3.00M	7.83M
SIDE YARD	1.20M	1.78M
SIDE YARD	1.20M	1.76M
REAR YARD	6.00M	20.18M
MAX HEIGHT	9.50M	8.99M
EXTERIOR LANDSCAPING	60%	EXISTING
FRONT YARD LANDSCAPING	60%	EXISTING
REAR YARD LANDSCAPE AREA		
REAR YARD AREA	284.61 S.M.	3063.51 S.F.
SHED AREA	10.15 S.M.	109.22 S.F.
CABANA AREA	20.10 S.M.	216.39 S.F.
HARDSCAPE AREA	42.23 S.M.	454.57 S.F.
GRASS AREA	212.13 S.M.	2283.33 S.F.

SEAL

PROJECT

146 PIETA PLACE,
WOODBRIDGE, ON

PAGE

PROPOSED SITE PLAN

NOTES

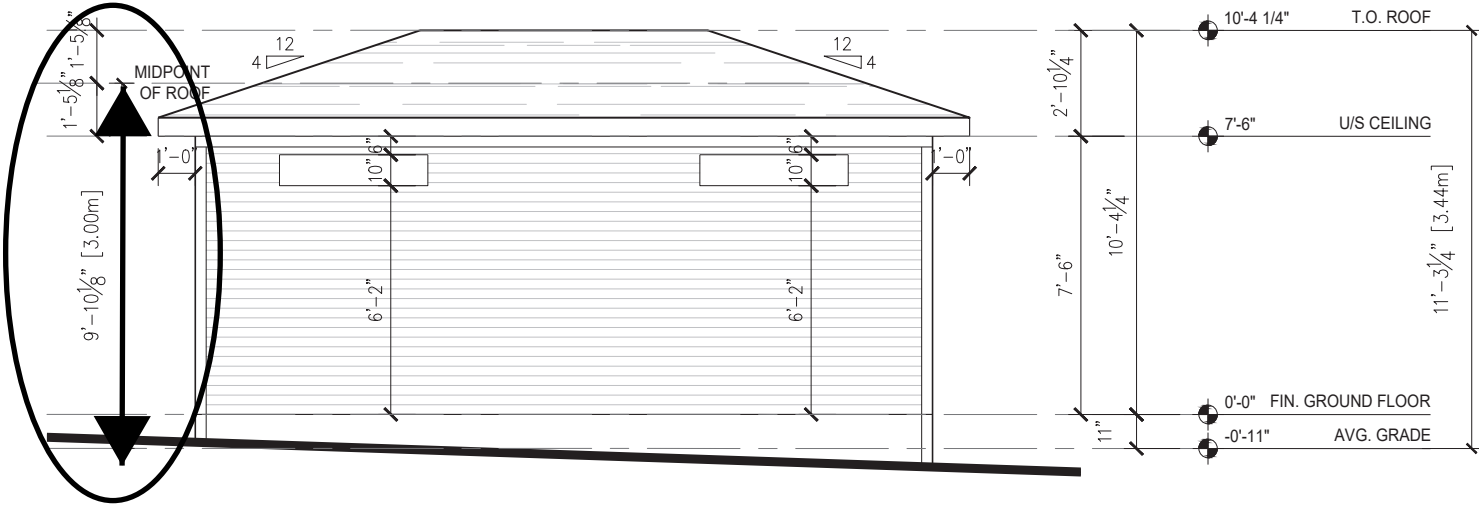
THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, MECHANICAL, ELECTRICAL INFORMATION SHOWN ON THIS DRAWING. REFER TOT HE APPROPRIATE ENGINEERING DRAWINGS (I.E. FLOOR LAYOUT, TRUSS LAYOUT) BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE REQUIRED BUILDING PERMITS HAVE BEEN ISSUED.

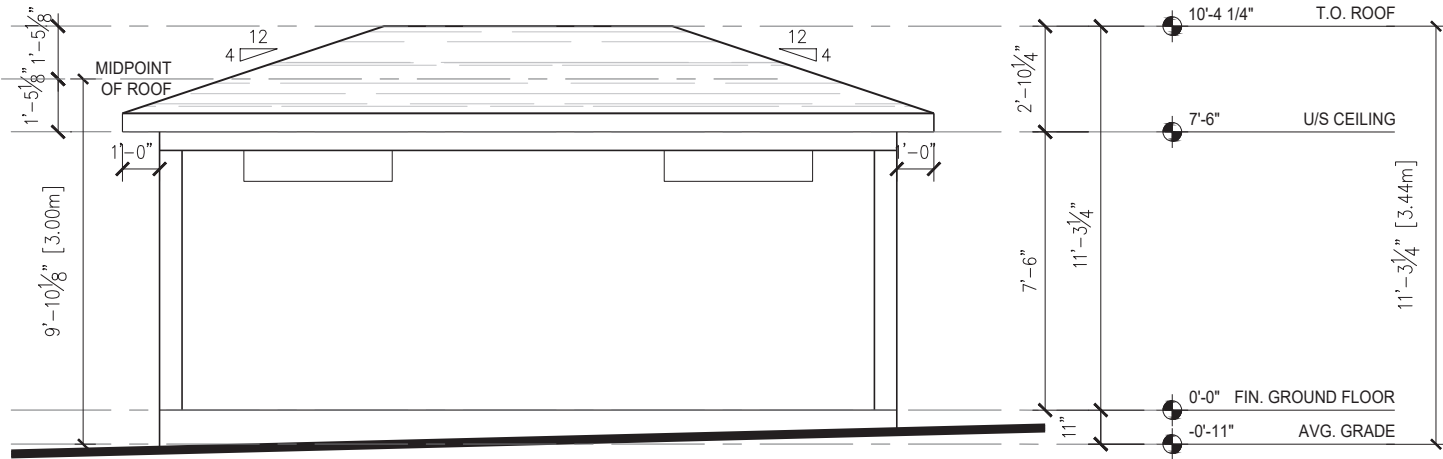
SE SCHILLER
ENGINEERING LTD.

APPROVED BY:	TS
DATE:	APR. 2021
SCALE:	$\frac{3}{32}'' = 1' 0''$
PROJECT No.	2021SE179

A0.1



1
A2.1
PROPOSED CABANA NORTH ELEVATION
1/4" = 1'-0"



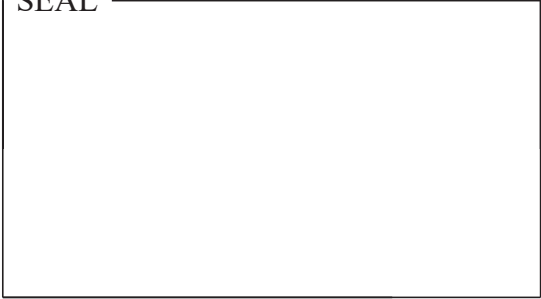
2
A2.1
PROPOSED CABANA SOUTH ELEVATION
1/4" = 1'-0"

NOTES

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SEAL



PROJECT

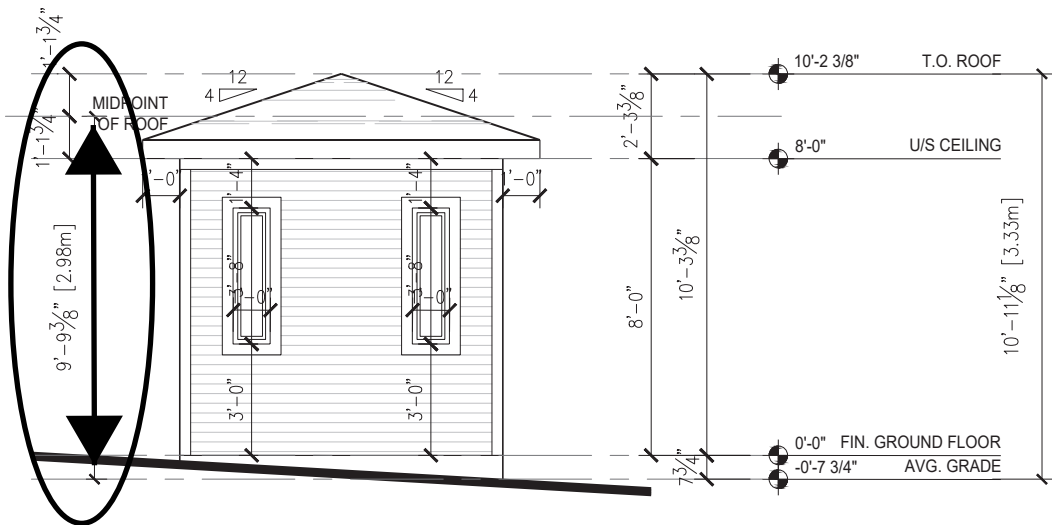
146 PIETA PLACE,
WOODBRI

PAGE

PROPOSED CABANA
SOUTH & NORTH
ELEVATION

APPROVED BY:	TS
DATE:	APR. 2021
SCALE:	1/4" = 1' 0"
PROJECT No.	2021SE179

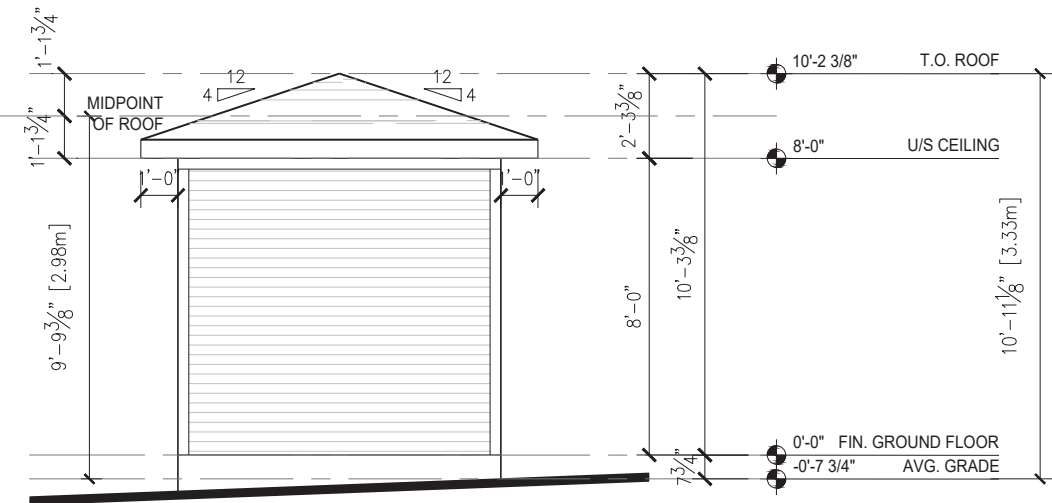
A2.1



1
A4.1

PROPOSED SHED NORTH ELEVATION

1/4" = 1'-0"



2
A4.1

PROPOSED SHED SOUTH ELEVATION

1/4" = 1'-0"

NOTES

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SEAL

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ENGINEERING LTD.

PROJECT

146 PIETA PLACE,
WOODBRIIDGE, ON

PAGE

PROPOSED SHED
NORTH AND SOUTH
ELEVATION

APPROVED BY:	TS
DATE:	APR. 2021
SCALE:	1/4" = 1' 0"
PROJECT No.	2021SE179

A4.1

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Adriana MacPherson

Subject: FW: [External] RE: A229/21 - Request for Comments (146 Pieta Place, Vaughan)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: February-14-22 10:33 AM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A229/21 - Request for Comments (146 Pieta Place, Vaughan)

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Adriana MacPherson

Subject: FW: [External] RE: A229/21 - Request for Comments (146 Pieta Place, Vaughan)

From: York Plan <yorkplan@trca.ca>

Sent: February-04-22 4:34 PM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Subject: [External] RE: A229/21 - Request for Comments (146 Pieta Place, Vaughan)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property. Furthermore, the site is not within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, so no water balance would be required.

Should further clarification be required, please contact me at your convenience.

Mark Howard, BES, MLA, MCIP, RPP

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: mark.howard@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: March 03, 2022

Name of Owner: Michael Melo and Diana Macri-Melo

Location: 146 Pieta Place

File No.(s): A229/21

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure with a height greater than 2.8 m to be 0.61 m to any lot line (Shed).
2. To permit a residential accessory structure with a height greater than 2.8 m to be 0.86 m to any lot line (Cabana).

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be closer than 2.4 m to any lot line [Section 4.1.2, sentence 1.b)]
2. A residential accessory structure with a height greater than 2.8 m shall not be closer than 2.4 m to any lot line. [Section 4.1.2, sentence 1.b)]

Proposed Variance(s) (By-law 1-88):

3. To permit an accessory structure not entirely in the rear yard (cabana).
4. To permit a minimum rear yard of 0.61 m (shed).
5. To permit a minimum interior side yard of 0.61 m (shed).
6. To permit a minimum interior side yard of 0.86 m cabana).

By-Law Requirement(s) (By-law 1-88):

3. Any accessory building or structure shall be located in the rear yard [Section 4.1.1 c)].
4. A minimum rear yard of 6 m is required (Schedule A1).
5. A minimum interior side yard of 1.2 m is required (Schedule A1).
6. A minimum interior side yard of 1.2 m is required (Schedule A1).

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is proposing to maintain an existing shed and cabana with the above-noted variances.

The Development Planning Department has no objection to Variances 1, 4, and 5. The existing shed is consistent with similar rear yard accessory structures built in the neighbourhood and is at a height and size that mitigates the visual impact on adjacent properties.

The Development Planning Department has no objection to Variances 2, 3, and 6. The existing cabana is in an area that is effectively used as a rear yard and will not have a visual impact on the streetscape as it is screened by the existing dwelling, fence, and front yard landscaping. The scale, massing, and height of the cabana is considered appropriate given the size of the rear yard, and the reduced interior side yard setback is in keeping with the character of the neighbourhood.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michael Torres, Planner I

Chris Cosentino, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE
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None