

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A200/23
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Report Date: February 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Michael & Patty Guerra	8 Weller Crescent	01/25/2024	Confirmation letter advising no grading/drainage issues

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION
FILE NUMBER A200/23
6 WELLER CRESCENT, MAPLE**

CITY WARD #:	1
APPLICANT:	Dolores Menna
AGENT:	Gabe Faraone
PROPERTY:	6 Weller Crescent, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing dwelling, covered patio and shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E (EN) - First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.68 m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.61 m from the interior side lot line.
3	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3.]	To permit the eaves of a residential accessory structure to encroach into the minimum required yard having a minimum distance of 0.20 m from the interior side lot line.
4	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1.]	To permit a residential accessory structure with a maximum height of 3.12 m.
5	A maximum lot coverage of 20%. [Table 7- 3]	To permit a maximum lot coverage of 29.7%.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 22, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 8, 2024
Date Applicant Confirmed Posting of Sign:	February 3, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	House and shed over coverage
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling/ structure/ cabana in the subject property is 15 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)

No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$120.00 payable to the Toronto and Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

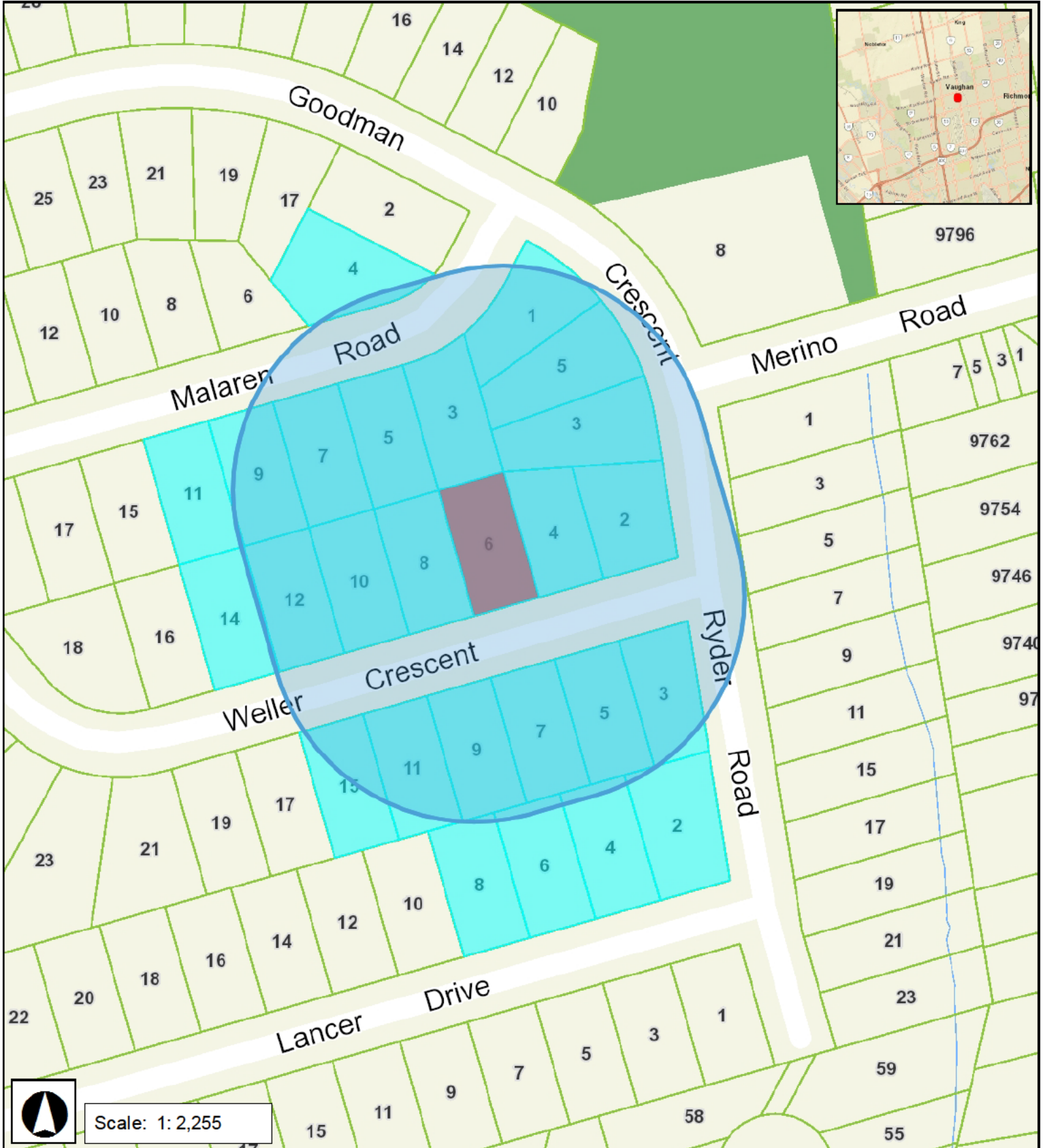
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

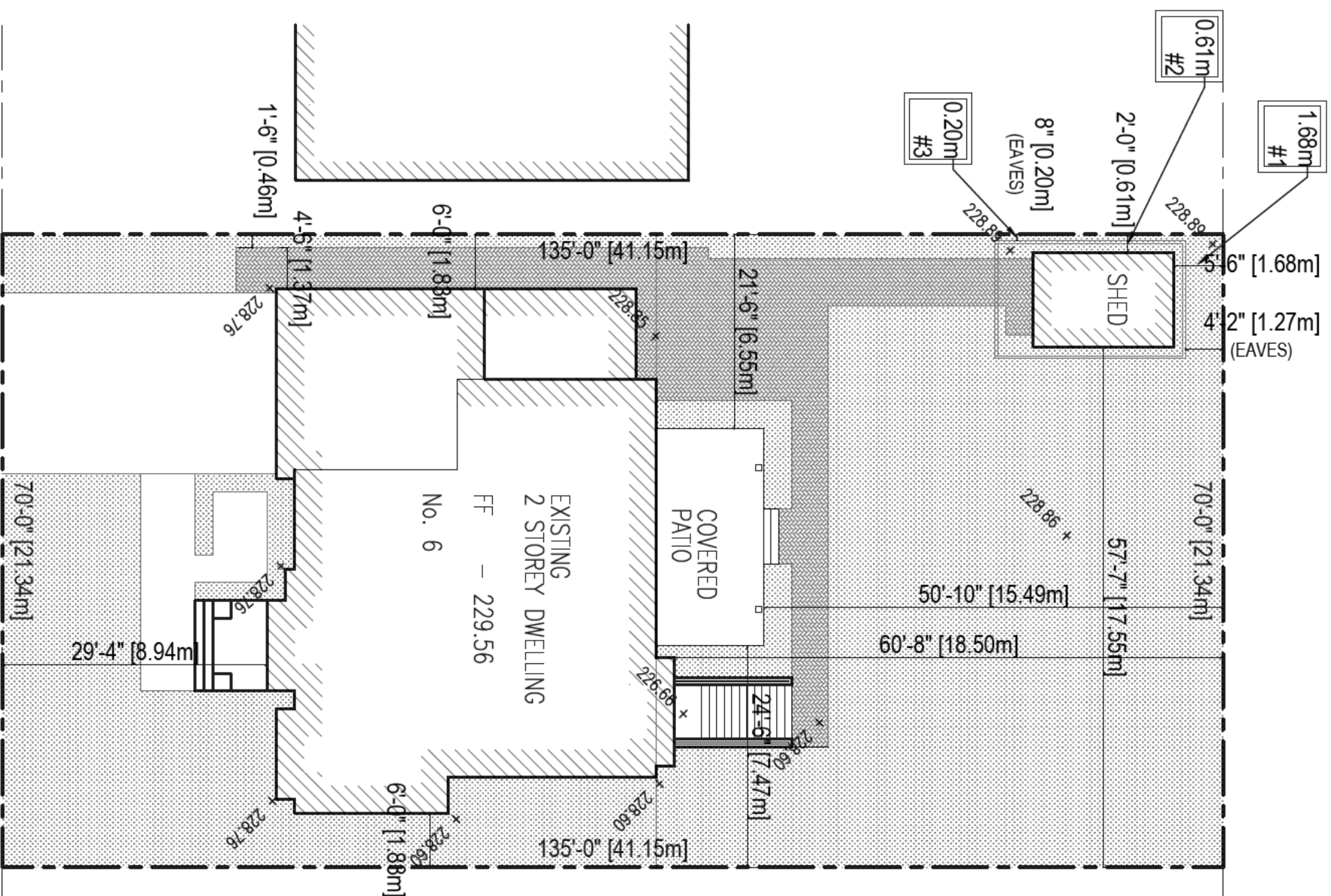
SCHEDULE A: DRAWINGS & PLANS

6 Weller Crescent, Maple



SKETCH OF SURVEY SHOWING
 LOT 122
 REG. PLAN 5990
 TOWN OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

NOTE:
 ALL INFORMATION TAKE FROM SURVEY
 AS PREPARED BY
 ERTL SURVEYORS, DATED FEB. 15 2011



WELLER CRESCENT

SUMMARY OF AREAS

SITE = 9,464.7 s.f. +/- / 879.3 s.m. +/-

Existing Dwelling = 2,301.0 s.f. +/- / 213.8 s.m. +/- (24.3%)
Existing Front Porch = 60.0 s.f. +/- / 5.6 s.m. +/- (0.63%)
Prop. Covered Patio = 285.0 s.f. +/- / 26.5 s.m. +/- (3%)
Prop. Shed = 161.5 s.f. +/- / 15.0 s.m. +/- (1.7%)

TOT. Coverage = 29.7%

REAR YARD AREAS

Rear Yard = 4387.7 s.f. +/- / 407.6 s.m. +/-
Shed = 161.5 s.f. +/- / 15.0 s.m. +/-
Patio = 285.0 s.f. +/- / 26.5 s.m. +/-
Walkout = 99.7 s.f. +/- / 9.3 s.m. +/-

Landscaping = 3807.5 s.f. +/- / 353.7 s.m. +/-
Soft Landscaping = 3211.9 s.f. +/- / 298.4 s.m. +/-

REVISIONS		
No.	Description	Date
8.		
7.		
6.		
5.		
4.		
3.		
2.	Revision	2024.01.08 I.F.
1.	Issued To Client	2023.12.05 I.F.

STAMP:

GPF Design Service Inc.

2572 Eglinton Ave. W.
 Toronto, Ontario
 M6M 1T4
 Tel. 416-656-0134
 Fax 416-656-5343



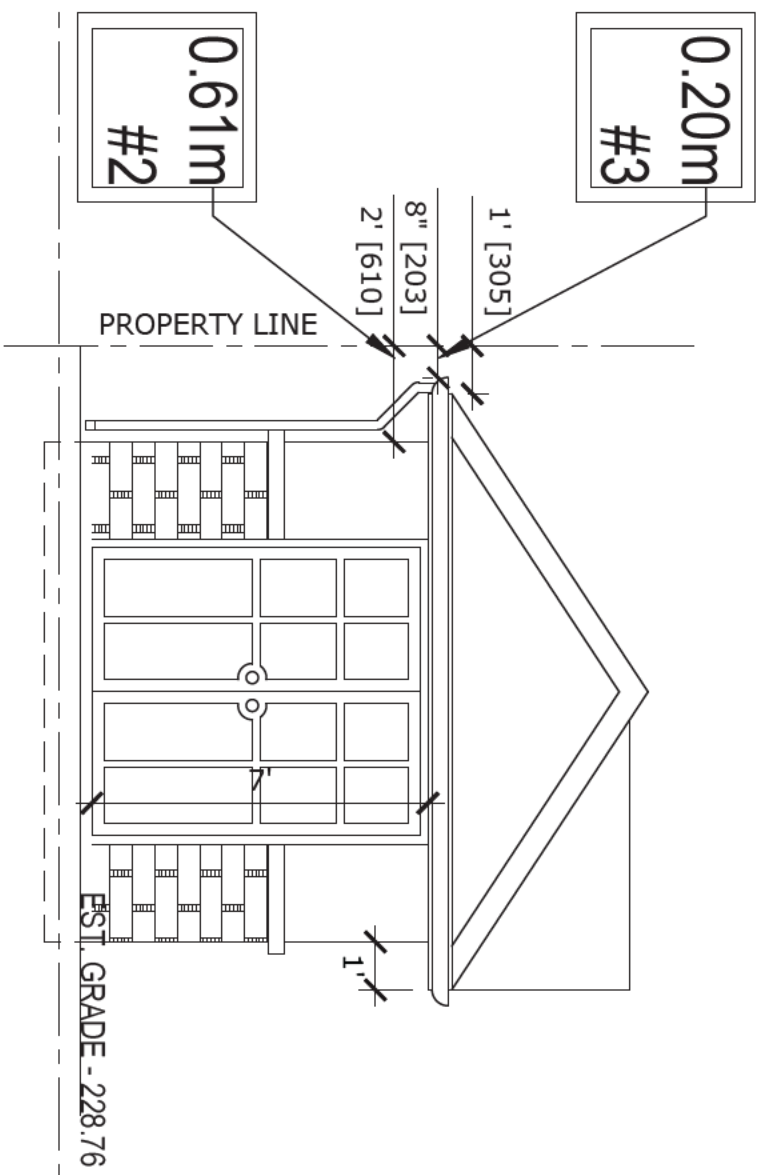
PROJECT:

6 Weller Cresc.
 Vaughan, ON

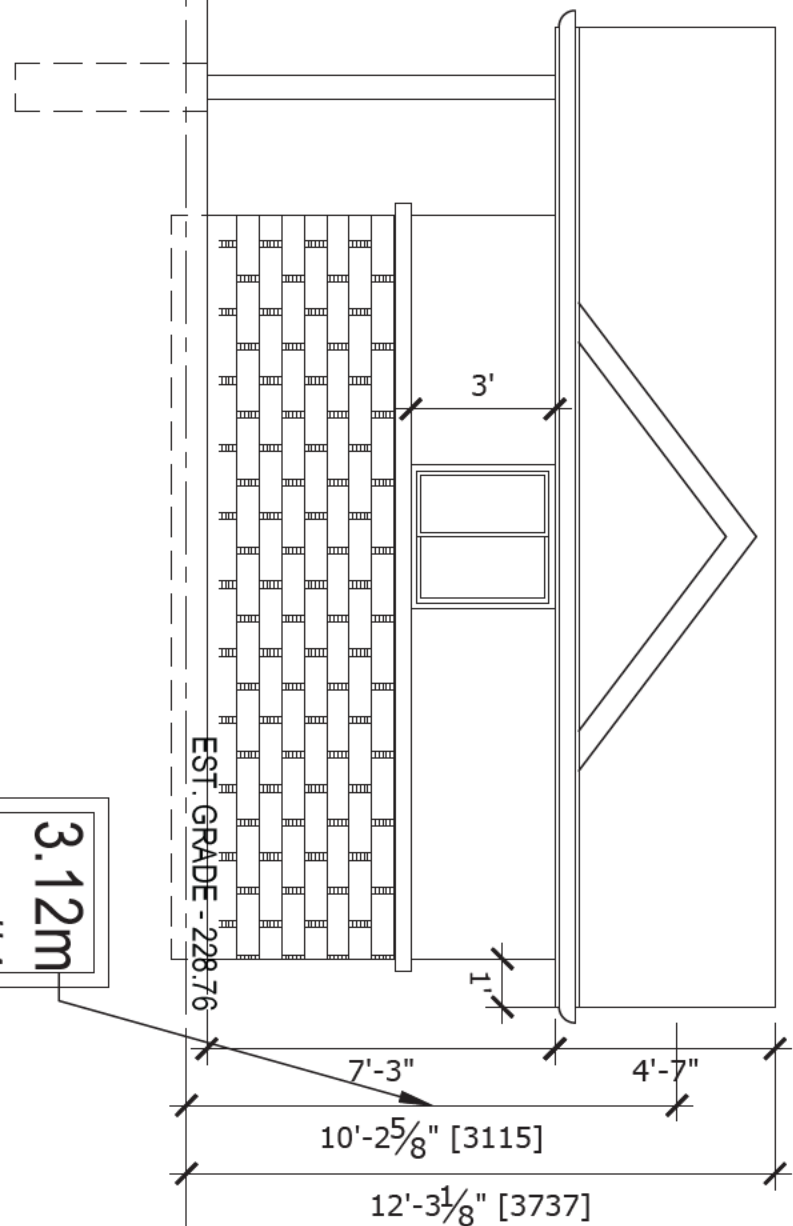
SHEET TITLE: SITE PLAN

SCALE: 1/16" = 1'-0"

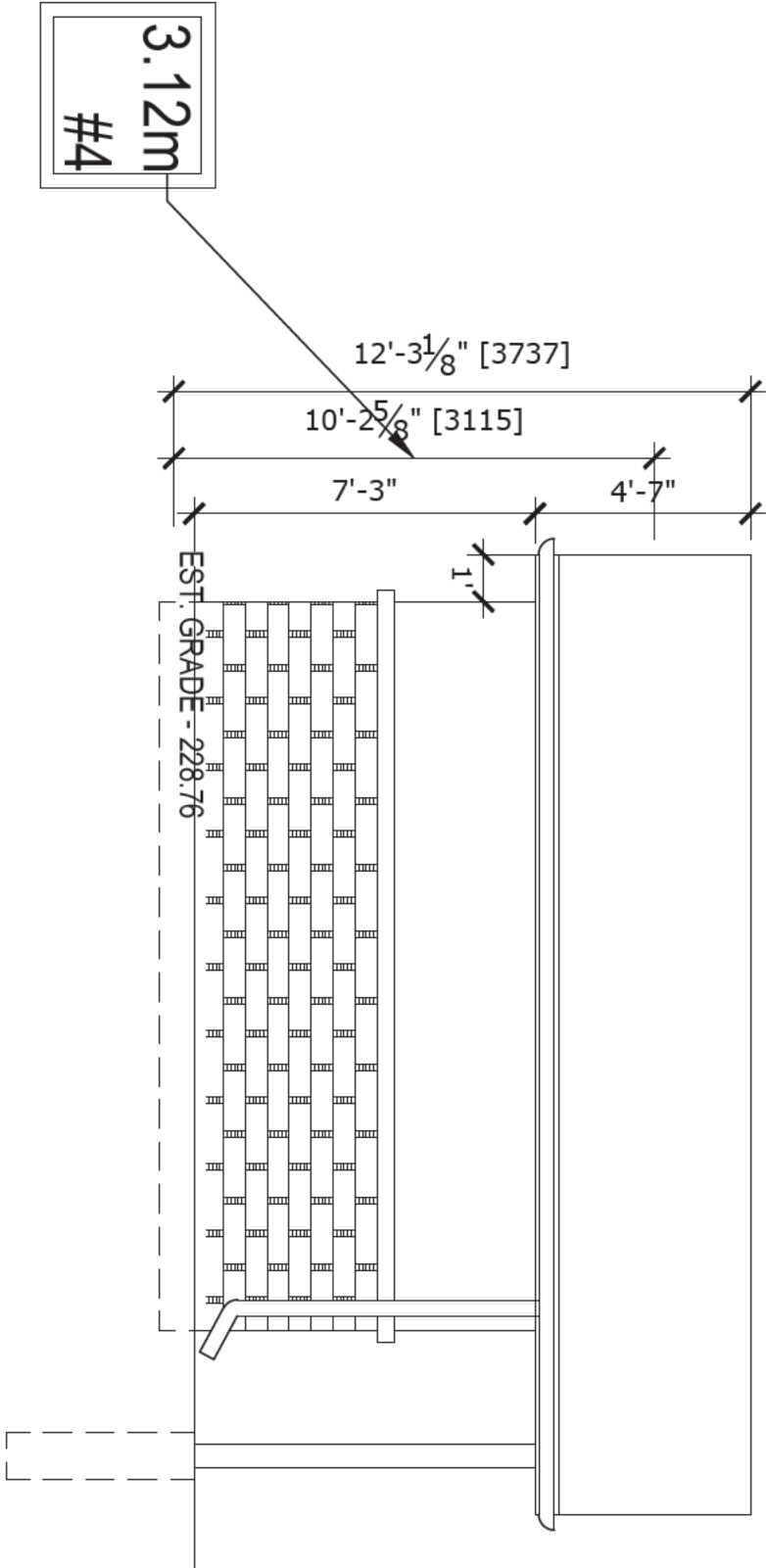
SP1.01



SOUTH



EAST



WEST

REVISIONS			
No.	Description	Date	By
1.	Issued To Client	2023.12.05	J.F.
2.	Revision	2024.01.08	J.F.
3.			
4.			
5.			
6.			
7.			
8.			

STAMP:

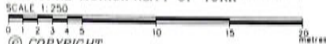
GPF Design Service Inc.
 2572 Eglinton Ave. W.
 Toronto, Ontario
 M6M 1T4
 Tel. 416-656-0134
 Fax 416-656-5343

PROJECT:
 6 Weller Cresc.
 Vaughan, ON

SHEET TITLE: SHED ELEVATIONS
 SCALE: 1/4"=1'-0"

A2.02

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF LOT 122
 REGISTERED PLAN 5590
CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK



© COPYRIGHT
ertl surveyors 2011
 Ontario Land Surveyors

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

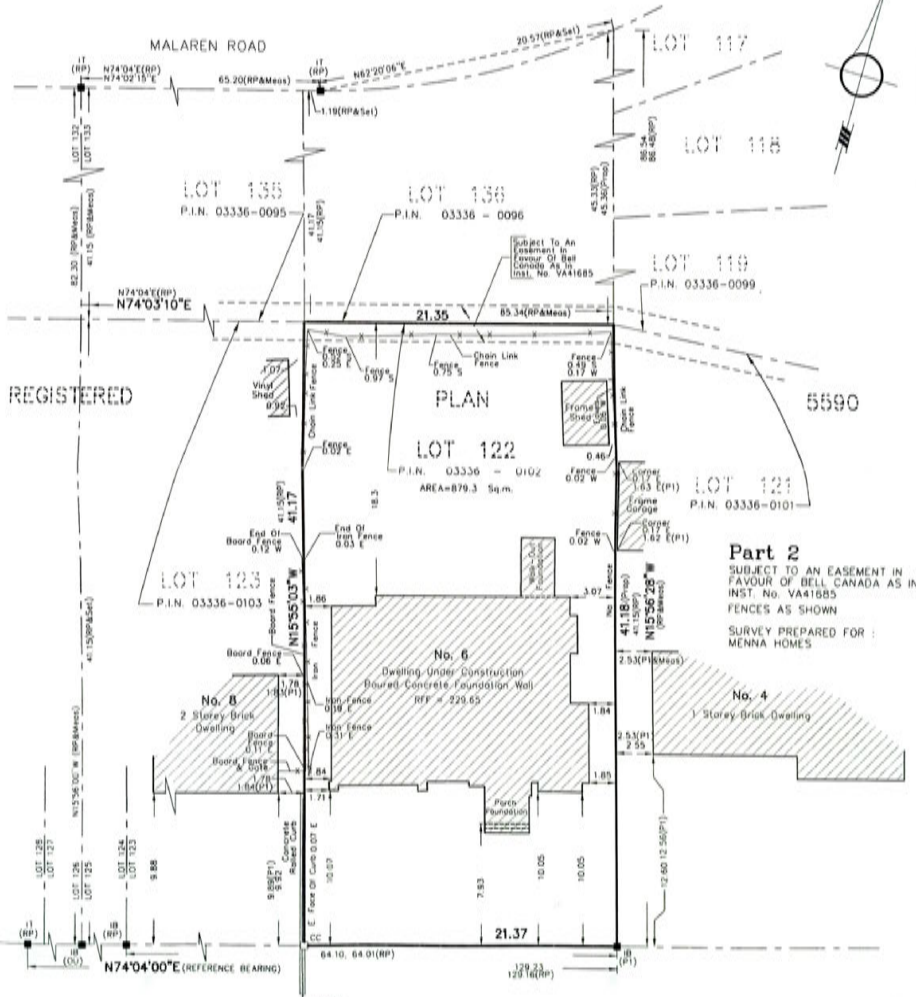
ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1777202



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 IN ACCORDANCE WITH
 REGULATION 1026, SECTION 29(3)

Notes

- BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
 NORTHERLY LIMIT OF WELER CRESCENT HAVING A BEARING
 OF N74°04'00"E, AS SHOWN ON REGISTERED PLAN 5590
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - DENOTES STANDARD IRON BAR
 - ▣ DENOTES IRON BAR
 - ▢ DENOTES IRON TUBE
 - CC DENOTES CUT CROSS
 - RP DENOTES REGISTERED PLAN 5590
 - RP# DENOTES BUILDING LOCATION SURVEY BY S. MCKECHNIE AND BOWYER O.L.S. DATED APRIL 25th., 1985
 - RFF DENOTES ROUGH FINISHED FLOOR ELEVATION
 - N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST



Benchmark
 BENCHMARK No 25-5
 ELEVATION = 229.168

WELER CRESCENT
 (DEDICATED BY REGISTERED PLAN 5590)
 P.I.N. 0336 - 0144

Surveyor's Certificate

I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT
 AND THE REGULATIONS MADE UNDER THEM

2. THE SURVEY WAS COMPLETED ON THE 11th DAY OF MAY 2011

Lawrence O. Cull
 Ontario Land Surveyor

ertl surveyors
 Ontario Land Surveyors

1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1
 TELEPHONE (905) 731-7834 FAX (905) 731-7852 [EMAIL: info@ertl-sols.com]
 DRAWING: 10148-SRPP-FINAL.DWG PROJECT: 10148
 CALC. BY LE, DRAWN BY HD, CHECKED BY I. ERTL

May 30th 2011
 Date

CONSTRUCTION NOTES (Unless noted otherwise)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12

1. ROOF CONSTRUCTION

No. 210 (10.25 kg/m²) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 24" (600) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (900) FROM EDGE OF ROOF AND MIN. 12" (300) BEYOND INNER FACE OF EXTERIOR WALL, 2"x4"(38x89) TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. DAVESTROUGH, FASCIA, RAIL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2. SIDING WALL CONSTRUCTION (2"x6")

SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR GRADE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C., R19 (RSI 3.34) MINIMUM BATT INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. WALL ASSEMBLY R22 (RSI 3.8) (GYPSUM SHEATHING, RIGID INSULATION, AND FIREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3)

2A. SIDING WALL CONSTRUCTION (2"x6") [NON COMBUSTIBLE]

SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.8) (GYPSUM SHEATHING, RIGID INSULATION, AND FIREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3)

2B. SIDING WALL @ GARAGE CONSTRUCTION (2"x4")

SIDING AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON 2"x4" (38x89) SPRUCE STUDS @ 16" (400) O.C., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - OBC 9.23)

2C. SIDING WALL CONSTRUCTION (2"x6") - CONTINUOUS INSULATION

SIDING AS PER ELEVATION SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER RS (RSI 0.88) RIGID INSULATION, EXTERIOR GRADE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C., R19 (RSI 3.52) MINIMUM BATT. INSULATION IN CONTINUOUS CONTACT W/ SHEATHING & CONTINUOUS VAPOUR BARRIER, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. WALL ASSEMBLY R22 (RSI 3.8) (GYPSUM SHEATHING, RIGID INSULATION, AND FIREBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING - O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3)

3. BRICK VENEER WALL CONSTRUCTION (2"x6")

4" (90) FACE BRICK 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. TIES TO BE IN CONTACT WITH WOOD STUDS ONLY. APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, 2"x6" (38x140) STUDS @ 16" (400) O.C., R24 (RSI 3.34) INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER, WALL ASSEMBLY R22 (RSI 3.8) AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3.

3A. BRICK VENEER WALL CONSTRUCTION (2"x4")

4" (90) FACE BRICK 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. TIES TO BE IN CONTACT WITH WOOD STUDS ONLY. APPROVED SHEATHING PAPER, RS (RSI 0.9) EXT. RIGID INSUL. BD., 2"x4" (38x89) STUDS @ 16" (400) O.C. WITH APPROVED DIAGONAL WALL BRACING, R14 (RSI 2.46) INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER, WALL ASSEMBLY R22 (RSI 3.8) AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3.

3B. BRICK VENEER WALL @ GARAGE CONSTRUCTION (2"x4")

4" (100) BRICK VENEER TIED TO WOOD FRAMING MEMBERS W/ 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. AND 24" (610) O.C. VERT., 1" (25) AIR SPACE, APPROVED AIR BARRIER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON 2"x4" SPRUCE STUDS @ 16" (400) O.C., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MINIMUM BEHIND BUILDING PAPER.

3C. BRICK VENEER WALL (2"x6") - CONTINUOUS INSULATION

4" FACE BRICK, 1" AIR SPACE, 22 Ga. (0.76mm) THICK x 1" (22mm) WIDE GALVANIZED METAL TIES, INSTALLED W/ GALVANIZED SPIRAL NAILS OR SCREWS, 16" O.G. HORIZONTAL, 24" O.G. VERTICAL, SHEATHING PAPER W/ LAYERS TO OVERLAP EACH OTHER, RS (RSI 0.88) RIGID INSULATION FOR EXTERIOR TYPE SHEATHING, 2"x6" WOOD STUDS @ 16" O.C. R19 (RSI 3.52) BATT INSULATION IN CONT. CONTACT W/ SHEATHING CONTINUOUS VAPOUR/AIR BARRIER, DOUBLE PLATE @ TOP, SOLE PLATE @ BOTTOM, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER, AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 2"x4" (38x89) @ 16" (400) O.C. FOR 2 STOREYS AND 12" (300) O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (600) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2"x4" (2/38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED.

4A. EXTERIOR LOFT WALL CONSTRUCTION - NO CLADDING (2"x6")

3/8" (9.5) EXTERIOR TYPE SHEATHING, 2"x6" (38x140) STUDS @ 16" (400) O.C., R19 (RSI 3.34) INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. WALL ASSEMBLY CALC. AS PER O.B.C. 9.23 & 12.3.2.1 & 12.3.3.3

5. FOUNDATION WALL/FOOTINGS - O.B.C. 9.15.4.-

10" (200) CONC. BLK. FDN. WITH BITUMINOUS DAMPROOFING AND OPT. DRAINAGE LAYER. DRAINAGE LAYER REQUIRED WHEN BASEMENT INSUL. EXTENDS 2'-11" (900) BELOW FIN. GRADE. MAXIMUM UNSUPPORTED HEIGHT 8'-2" (2500) WITH 4'-11" (1500) MAX. EARTH RETENTION FROM BASEMENT SLAB TO FIN. GRADE. CONC. FOOTING: JOIST SPANS GREATER THAN 16'-0" (4900) SHALL BE SIZED IN ACCORDANCE TO 9.15.3.4 (1) OF THE O.B.C. (PLEASE SEE A11 FOR TABLE). BRACE FDN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 1500 PSF OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY ENGINEERED FOOTINGS ARE REQUIRED.

6. 4" (100) # WEEPING TILE @ 6" (150) CRUSHED STONE OVER AND AROUND WEEPING TILES.

7. BASEMENT SLAB - O.B.C. 9.13 -

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB.

B. EXPOSED FLOOR TO EXTERIOR

PROVIDE R31 INSULATION, 6 mil POLY VAPOUR BARRIER AND CONTIN. AIR BARRIER, FINISHED SOFFIT.

9. R50 2LBS. SPRAY FOAM INSULATION, 1/2" DRYWALL [INT. SIDE]

10. ALL STAIRS/EXTERIOR STAIRS - O.B.C. 9.8.-

MAX. RISE = 7-7/8" (200) RAIL @ LANDING = 2'-10" (665)
MIN. RISE = 4-7/8" (125) RAIL @ STAIR = 2'-10" (665)
MIN. RUN = 10" (255) MIN. STAIR WIDTH = 2'-11" (900)
NOSING = 1" (25) FOR CURVED STAIRS
MIN. HEADROOM = 6'-5" (1950) MIN. RUN = 7-1/2" (190)

11. GUARDS/RAILINGS - O.B.C. 9.8.-

FINISHED NON-CLIMBABLE GUARD/RAILING WITH 4" (100) O.C. MAXIMUM SPACING BETWEEN PICKETS, THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED SHALL BE:
i) A UNIFORM LOAD OF 113 lb/ft OR A CONCENTRATED LOAD OF 225 lbs.
ii) A VERTICAL LOAD OF 168 lb/ft, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.
iii) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 lbs AT ANY MOMENT.

GUARDS - O.B.C. 9.8.7.-

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 3'-6" (1070) MIN.
GLASS IN GUARDS - O.B.C. 9.8.8.7.-
(1) glass in guards shall be:
(a) safety glass of the laminated or tempered type conforming to CAN/csgb-12.1-M, "Tempered or Laminated Safety Glass", or
(b) wired glass conforming to CAN/csgb-12.11-M, "wired Safety glass".

12. 2"x4" (38x89) SIL PLATE WITH 1/2" (12.7) ANCHOR BOLTS @ 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-10" (2400) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUND. WALL. USE NON-SHRINK GROUT TO LEVEL SIL PLATE WHEN REQUIRED.

13. R12 (RSI 2.11) INSULATION BLANKET OR BATTS WITH 2"x4" (38x89) STUD WALL, 6 mil POLYETHYLENE VAPOUR BARRIER W/ R10 (RSI 1.78) RIGID INSULATION, DAMPROOFING WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION TOP TO GRADE LEVEL. WALL ASSEMBLY R20 (RSI 3.52) NOTE: INSULATION TO EXTEND TO FULL HEIGHT OF FOUNDATION WALL TO UNDERSIDE OF SUBFLOOR TO TOP OF SLAB.

14. BEARING STUD PARTITION

2"x4" (38x89) STUDS @ 16" (400) O.C., 2"x4" (38x89) SIL PLATE ON DAMPROOFING MATERIAL, 1/2" (12.7) @ ANCHOR BOLTS @ 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2400) O.C. 4" (100) HIGH CONC. CURB ON 14"x6" (350x150) CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN

9'-10" MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90) # SINGLE TUBE NON-ADJUSTABLE STEEL COL. CONFORMING TO CAN/CSSB-7.2M, AND WITH 6"x6"x3/8" (150x150x9.5) STL. PLATE TOP & BOTTOM. FIELD WELD BM/COL CONNECTION. 34"x34"x16" (870x870x410) CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kPa MINIMUM.

15A. STEEL BASEMENT COLUMN

3 1/2" (90) # x 0.188" (4.78) NON-ADJUSTABLE STEEL COL. WITH 6"x6"x3/8" (150x150x9.5) STL. PLATE TOP & BOTTOM. FIELD WELD BM/COL CONNECTION. 42"x42"x18" (1070x1070x460) CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kPa MINIMUM AND AS PER SOILS REPORT.

15B. STEEL COLUMN

3 1/2" (90) # x 0.188" (4.78) NON-ADJUSTABLE STEEL COL. TO BE ON 6"x6"x3/8" (150x150x9.5) STL. TOP PLATE & 6"x4"x3/8" (150x100x9.5) BOTTOM PLATE. BASE PLATE 4'-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2" # x 12" LONG x 2" HOOK ANCHORS (2-12.7x305x50). FIELD WELD COL. TO BASE PLATE AND BEAMS.

16. BEAM POCKET OR 8"x8" (200x200) POURED CONC. NB WALLS. MIN. BEARING 3 1/2" (90).

17. 1"x3" (19x64) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB:

4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL TO FRONT @ 18" MIN.

19. 1/2" (12.7) GYPSUM BD. ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. R24 IN WALLS, R31 IN CEILING. TAPE AND SEAL ALL JOINTS GAS TIGHT.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING.

21. PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7-7/8" (200), MIN. TREAD 9-1/2" (235).

22. CAPPED DRYER EXHAUST VENTED TO EXTERIOR, CONFORMING TO PART 6, OBC 9.32.1.5(1).

23. ATTIC ACCESS HATCH MIN. 0.32m² WITH NO DIM. LESS THAN 545mm WITH WEATHERSTRIPPING. R40 (RSI 7.00) RIGID INSUL. BACKING. OBC 9.19.2.1

24. BUILT-UP 2 PLY TORCH DOWN ON 1/2" EXT. PLY. SHEATHING W/ "H" CLIPS APPROVED EAVES PROTECTION TO EXTEND 2'-11" (900) FROM EDGE OF ROOF AND MIN. 12" (300) BEYOND INNER FACE OF EXTERIOR WALL. ROOF DRAINED TO ROOF DRAINS OR SCUPPERS, BUILT IN ACCORDANCE TO SUBSECTION 9.26.11. O.B.C. REG. 332/12

25. LINEN CLOSET, 4 SHELVES MIN. 14" (350) DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

27. STEEL BEARING PLATE FOR MASONRY WALLS

11"x11"x5/8" (280x280x15.9) STL. PLATE FOR STL. BEAMS AND 11"x11"x1/2" (280x280x12.7) STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

27. SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.17.4.2.(2). 6" x 6" WOOD POST ANCHORED TO 12" DIA. POURED CONC. PIER TO A MIN. OF 4'-0" BELOW GRADE W/ MTL. SHOE & 1/2" Ø BOLT ANCHORED MIN. 4" INTO PIER.

28. STEP FOOTINGS: MIN. HORIZ. STEP = 23 5/8" (600), MAX. VERT. STEP = 23 5/8" (600).

31. MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6x6x2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

32. DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR, MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRY INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR JOIST STRAPPING AND BRIDGING

5/8" (15.9) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE OBC 9.30.6. ALL JOISTS TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2100) O.C. MAX. ALL JOIST TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2100) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

35. EXPOSED BUILDING FACE - O.B.C. 9.10.14.4. & 9.10.15.4

EXPOSED BUILDING FACE WITH A LIMITING DISTANCE LESS THAN 3'-11" (1200) REQUIRING A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES AND CONFORMING TO O.B.C. 9.10.14.4. & 9.10.15.4. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

36. COLD CELLAR PORCH SLAB - O.B.C. 9.40

FOR MAX. 8'-2" (2500) PORCH DEPTH 5" (125) 32 MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINFORCE WITH 10M BARS @ 8" (200) O.C. EACH WAY IN BOTTOM THIRD OF SLAB, 2" (30mm) COVER 24"x24" (610x610) 10M DOWELS @ 24" (600) O.C., ANCHORED IN PERIMETER FOUND. WALLS. SLOPE SLAB 1.0% FROM DOOR. PROVIDE (17) UNTELS OVER CELLAR DOOR.

37. THE FOUND. WALL SHALL NOT BE REDUCED TO LESS THAN 3-1/2" (90) THICK TO A MAX. DEPTH OF 24" (610) AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 8" (200) O.C. VERTICALLY AND 36" (915) O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOIL WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING - O.B.C. 9.23

2"x6" (38x140) RAFTERS @ 16" (400) O.C., 2"x8" (38x184) RIDGE BOARD, 2"x4" (38x89) COLLAR TIES AT MIDSPANS, CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (400) O.C. FOR MAX. 9'-3" (2830) SPAN & 2"x6" (38x140) @ 16" (400) O.C. FOR MAX. SPAN 14'-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (600) O.C. UNLESS OTHERWISE SPECIFIED.

39. TWO STOREY VOLUME SPACES

- FOR WIND LOADS <= 0.5 kPa (g50)
PROVIDE 2-2"x6" (2-38x140) SPR.#2 CONTINUOUS STUDS @ 12" (300) O.C. FOR BRICK AND 16" (400) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY. (O.B.C. 9.23.10.1)
- FOR WIND LOADS > 0.5 kPa (g50)
PROVIDE 2-2"x6" (2-38x140) SPR.#2 CONTINUOUS STUDS @ 8" (200) O.C. FOR BRICK AND 12" (300) O.C. FOR SIDING C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1200) O.C. VERTICALLY.
- FOR HORIZONTAL DISTANCES LESS THAN 9'-6" (2900) PROVIDE CONTINUOUS 2"x6" (38x140) STUDS @ 16" (400) O.C. WITH CONTINUOUS 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MINIMUM OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-WALLED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40. TYPICAL 1 HOUR FIRE RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. STUCCO WALL CONSTRUCTION (2"x6")

STUCCO CLADDING CONFORMING TO O.B.C. REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1" (25) MINIMUM EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXT. TYPE SHEATHING ON 2"x6" (38x140) SPRUCE STUDS @ 16" (400) O.C., R19 (RSI 3.34) BATT INSUL., APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.8) O.B.C. 12.3.2.1 & 12.3.3.3

41A. STUCCO WALL CONSTRUCTION (2"x4")

STUCCO CLADDING CONFORMING TO OBC REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS ON R5 (RSI 0.9) 1" (25) MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXTERIOR TYPE SHEATHING ON 2"x4" (38x89) SPRUCE STUDS @ 16" (400) O.C., R14 (RSI 3.25) BATT INSULATION, APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. WALL ASSEMBLY R22 (RSI 3.8) O.B.C. 12.3.2.1 & 12.3.3.3.

41B. STUCCO WALL @ GARAGE CONST. (2"x4")

STUCCO CLADDING CONFORMING TO OBC REQUIREMENTS AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1" (25) MINIMUM EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED SHEATHING PAPER ON 1/2" (12.7) EXTERIOR TYPE SHEATHING ON 2"x4" (38x89) SPRUCE STUDS @ 16" (400) O.C., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH.

42. FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
- BARS TO HAVE MIN. 2" (50) CONC. COVER
- BARS TO EXTEND 2'-0" (600) BEYOND BOTH SIDES OF OPENING
43. STUD WALL REINFORCEMENT - OBC 9.5.2.3:
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. 3.8.3.8.1(d) (4) FOR WATER CLOSETS AND O.B.C. 3.8.3.13.1(f) FOR SHOWERS OR BATHTUBS.

44. RADON GAS BARRIER:

PROVIDE A SOIL GAS BARRIER ON THE FOUNDATION WALLS (BITUMINOUS DAMPROOFING), AND UNDER THE BASEMENT FLOOR SLAB USING 6 MIL POLYETHYLENE LAPPED NOT LESS THAN 300 MM. AND SEALING ALONG THE PERIMETER OF THE BASEMENT FLOOR SLAB AND AT ALL PENETRATIONS USING FLEXIBLE SEALANT (POLYURETHANE CAULKING), CONFORMING TO O.B.C. 9.13.4.2.(3), 9.13.4.2.(4)(a) & Figures SB-9A or SB-9B
PLEASE NOTE: CARE MUST BE TAKEN WHEN INSTALLING 6 MIL POLYETHYLENE SINCE IT IS PRONE TO PUNCTURE. PLEASE ENSURE THE 6 MIL POLYETHYLENE IS ADEQUATELY PROTECTED.

45. WALL SEPARATION BETWEEN UNITS

SUPPLEMENTARY STANDARD W4d (60min F.R.R. - 51 S.T.C.)
1 LAYER 5/8" TYPE "X" GYP. W.B.
3 1/2" ABSORPTIVE MATERIAL IN STUDS (AS NOTED).
2 LAYERS 5/8" TYPE "X" GYP. W.B. W/ RESILIENT METAL CHANNELS SPACED @ 16" O.C.

46. FLOOR SEPARATION BETWEEN UNITS

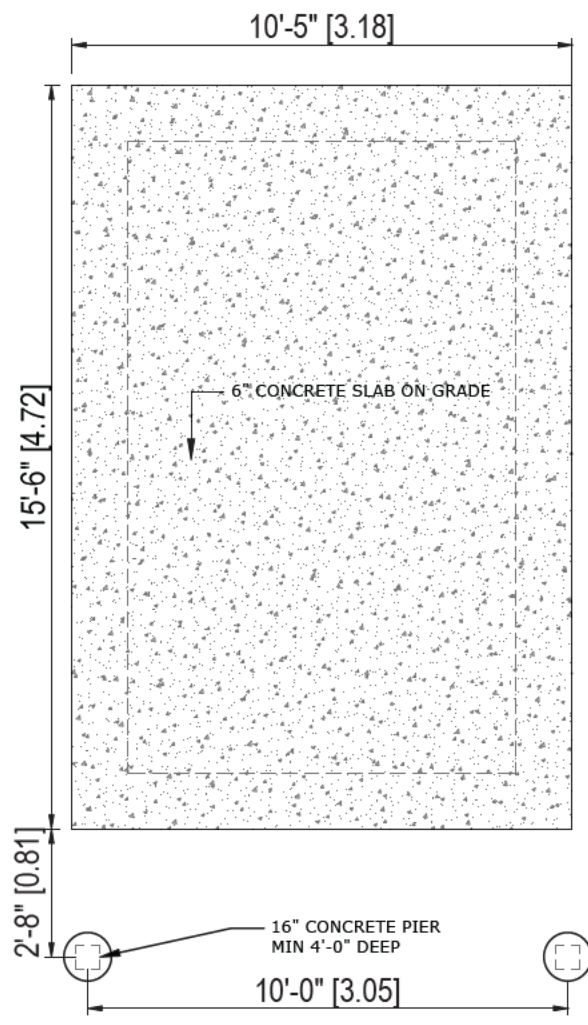
SUPPLEMENTARY STANDARD F8d (30min F.R.R. - 50 S.T.C.)
FLOOR JOISTS (AS NOTED) @ 16" O.C. W/ PROP. ABSORPTIVE MATERIAL IN CAVITY
RESILIENT METAL CHANNELS SPACED @ 24" O.C.
1 LAYER 5/8" TYPE "X" GYP. W.B.

47. FIRE SAFETY NOTE:

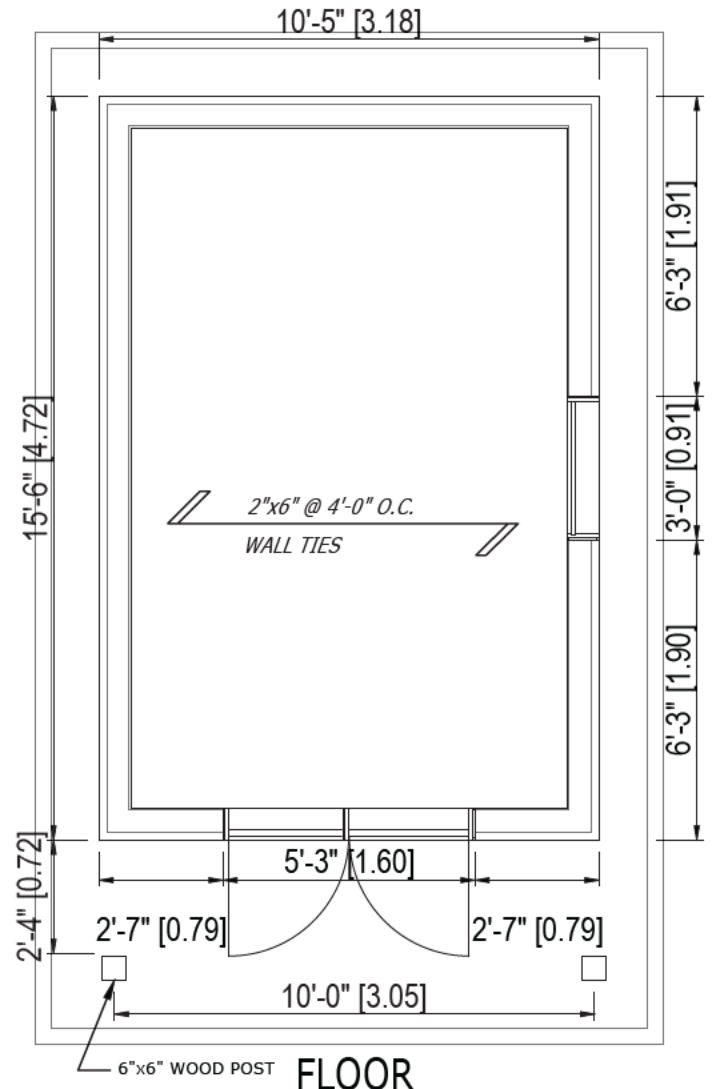
PROVIDE SMOKE DETECTORS IN RETURN AIR DUCTS, WHICH WOULD TURN OFF THE FUEL SUPPLY & ELEC. POWER TO THE HEATING SYSTEM/UAO ACTIVATION, AS PER PART 11 OF THE OBC

WOOD UNTELS AND BUILT-UP WOOD BEAMS

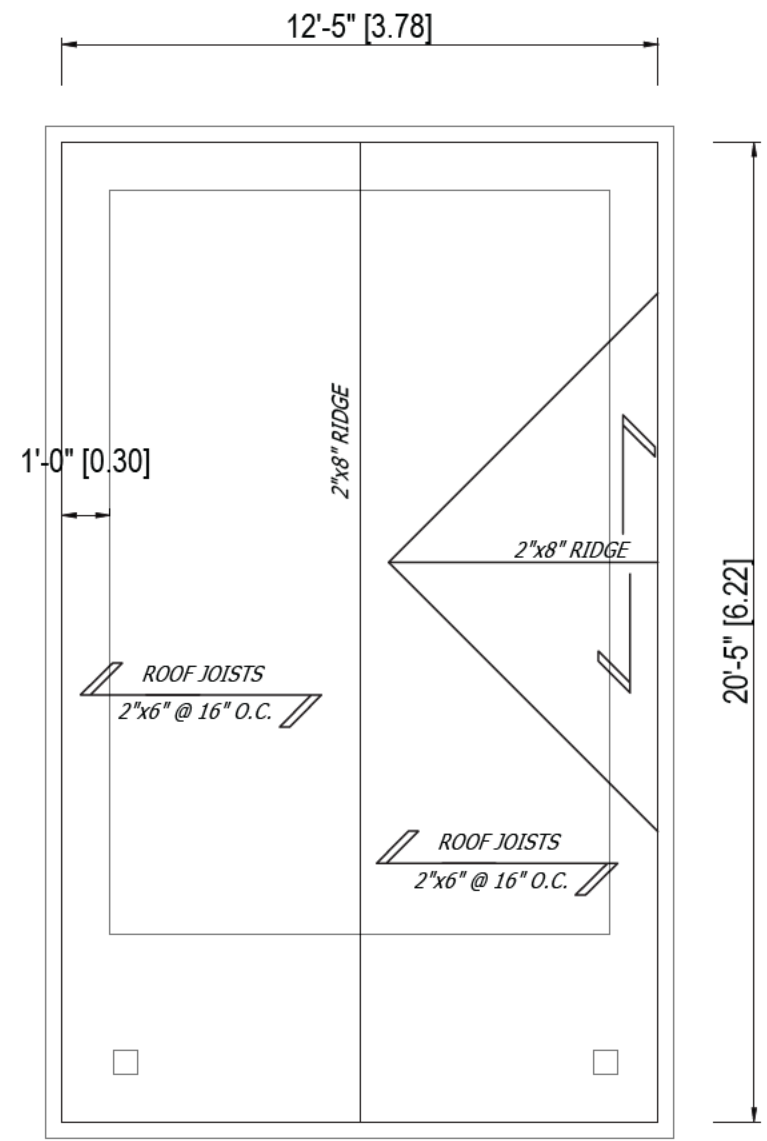
L1	2/2"x8" (2/38x184)	SPR.#2
B1	3/2"x8" (3/38x184)	SPR.#2
B2	4/2"x8" (4/38x184)	SPR.#2
B7	5/2"x8" (5/38x184)	SPR.#2
L3	2/2"x10" (2/38x235)	SPR.#2
B3	3/2"x10" (3/38x235)	SPR.#2
B4	4/2"x10" (4/38x235)	SPR.#2
B8	5/2"x10" (5/38x235)	SPR.#2
L5	2/2"x12" (2/38x286)	SPR.#2
B5	3/2"x12" (3/38x286)	SPR.#2
B6	4/2"x12" (4/	



FOUNDATION



FLOOR



ROOF

REVISIONS			
No.	Description	Date	By
8.			
7.			
6.			
5.			
4.			
3.			
2.	Revision	2024.01.08	I.F.
1.	Issued To Client	2023.12.05	I.F.

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GPF Design Service Inc.



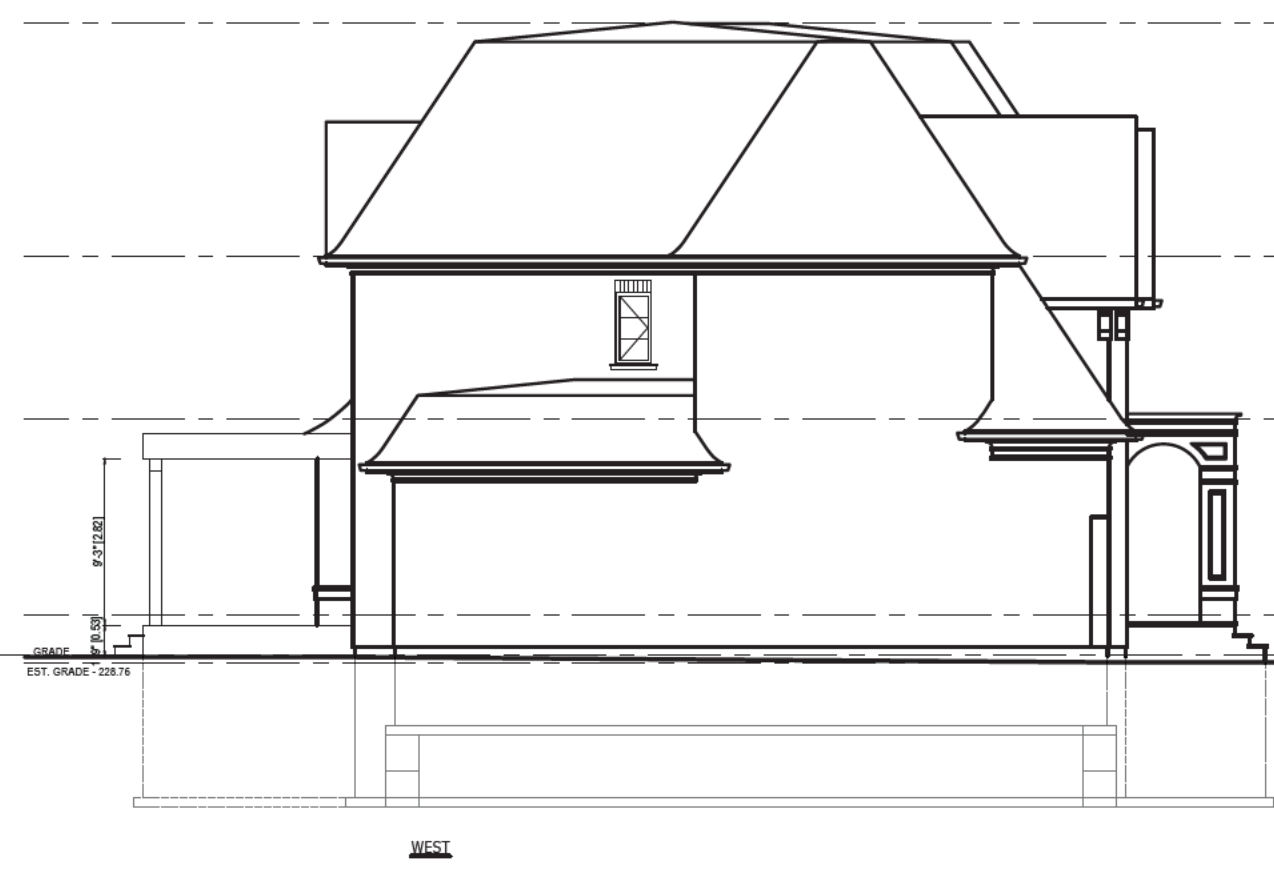
2572 Eglinton Ave. W.
Toronto, Ontario
M6M 1T4
Tel. 416-656-0134
Fax 416-656-5343

PROJECT:
6 Weller Cresc.
Vaughan, ON

SHEET TITLE:

SCALE: 1/4" = 1'-0"

A1.04



+ 228.76

REVISIONS			
No.	Description	Date	By
8.			
7.			
6.			
5.			
4.			
3.			
2.	Revision	2024.01.08	I.F.
1.	Issued To Client	2023.12.05	I.F.

STAMP:

GPF Design Service Inc.



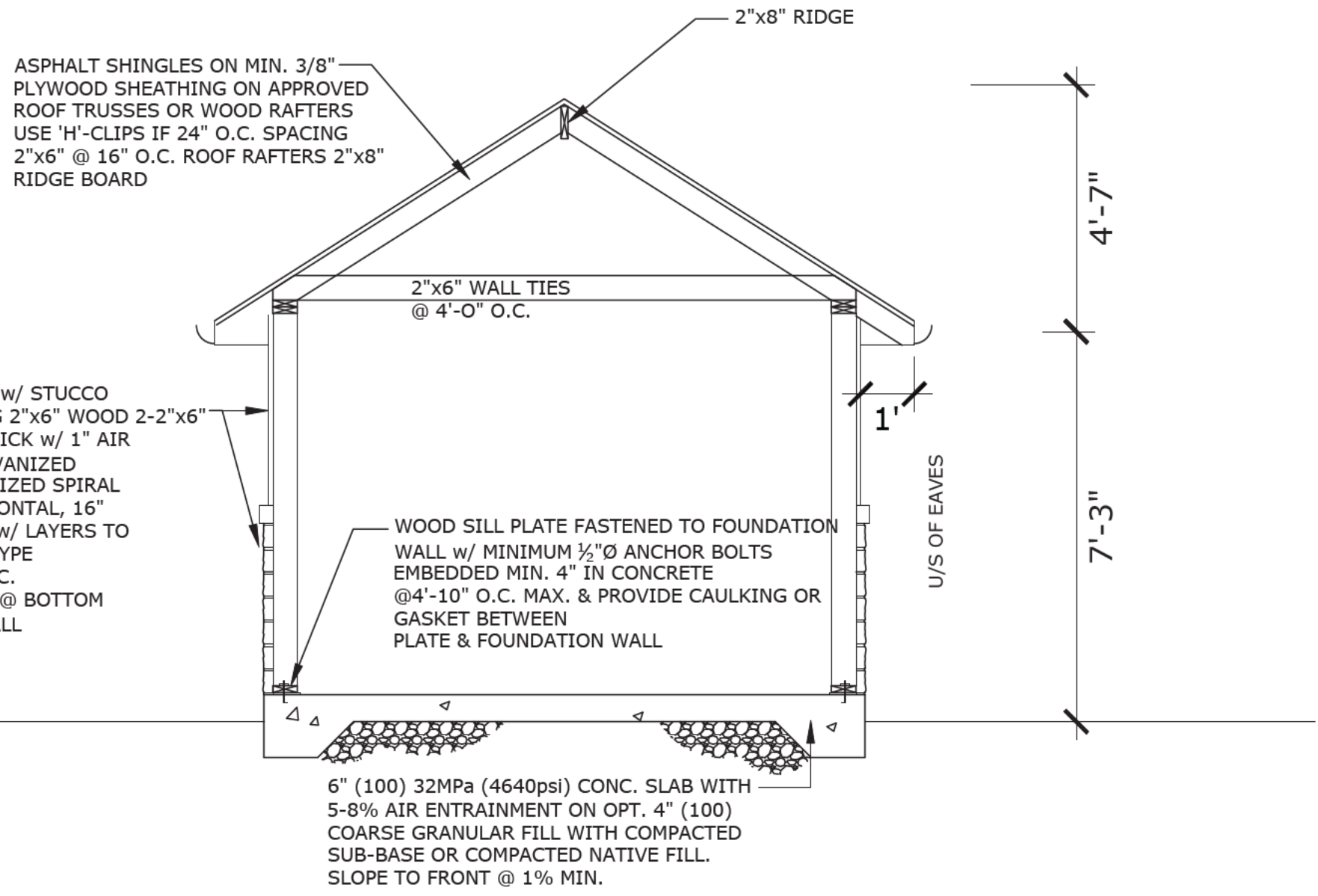
2572 Eglinton Ave. W.
 Toronto, Ontario
 M6M 1T4
 Tel. 416-656-0134
 Fax 416-656-5343

PROJECT:
 6 Weller Cresc.
 Vaughan, ON

SHEET TITLE:

SCALE: $\frac{3}{32}'' = 1'-0''$

A1.04



ASPHALT SHINGLES ON MIN. 3/8"
 PLYWOOD SHEATHING ON APPROVED
 ROOF TRUSSES OR WOOD RAFTERS
 USE 'H'-CLIPS IF 24" O.C. SPACING
 2"x6" @ 16" O.C. ROOF RAFTERS 2"x8"
 RIDGE BOARD

NEW FRAME WALL CONSTRUCTION w/ STUCCO
 FINISH EXTERIOR TYPE SHEATHING 2"x6" WOOD 2-2"x6"
 STUDS @ 16" O.C. AND 4" FACE BRICK w/ 1" AIR
 SPACE 0.03 THICK x 7/8" WIDE GALVANIZED
 METAL TIES INSTALLED w/ GALVANIZED SPIRAL
 NAILS OR SCREWS 32" O.C. HORIZONTAL, 16"
 O.C. VERTICAL SHEATHING PAPER w/ LAYERS TO
 OVERLAP EACH OTHER EXTERIOR TYPE
 SHEATHING 2"x6" STUDS @ 16" O.C.
 DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM
 INTERIOR WALL FINISH 1/2" DRY WALL

WOOD SILL PLATE FASTENED TO FOUNDATION
 WALL w/ MINIMUM 1/2"Ø ANCHOR BOLTS
 EMBEDDED MIN. 4" IN CONCRETE
 @4'-10" O.C. MAX. & PROVIDE CAULKING OR
 GASKET BETWEEN
 PLATE & FOUNDATION WALL

6" (100) 32MPa (4640psi) CONC. SLAB WITH
 5-8% AIR ENTRAINMENT ON OPT. 4" (100)
 COARSE GRANULAR FILL WITH COMPACTED
 SUB-BASE OR COMPACTED NATIVE FILL.
 SLOPE TO FRONT @ 1% MIN.

REVISIONS			
No.	Description	Date	By
8.			
7.			
6.			
5.			
4.			
3.			
2.	Revision	2024.01.08	I.F.
1.	Issued To Client	2023.12.05	I.F.

STAMP:

GPF Design Service Inc.



2572 Eglinton Ave. W.
 Toronto, Ontario
 M6M 1T4
 Tel. 416-656-0134
 Fax 416-656-5343

PROJECT:
 6 Weller Cresc.
 Vaughan, ON

SHEET TITLE: SHED SECTION
 SCALE: 3/8" = 1'-0"

A4.02

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

To: Committee of Adjustment
From: Stan Belardinelli, Building Standards Department
Date: January 23, 2024
Applicant: Gabe Faraone
Location: 6 Weller Crescent
 PLAN RP5590 Lot 122
File No.(s): A200/23

Zoning Classification:

The subject lands are zoned **R1E (EN) - First Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.534** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.68 m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.61 m from the interior side lot line.
3	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3.]	To permit the eaves of a residential accessory structure to encroach into the minimum required yard having a minimum distance of 0.20 m from the interior side lot line.
4	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1.]	To permit a residential accessory structure with a maximum height of 3.12 m.
5	A maximum lot coverage of 20%. [Table 7- 3]	To permit a maximum lot coverage of 29.7%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10 m².

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 13, 2024
Name of Owner: Dolores Menna
Location: 6 Weller Crescent
File No.(s): A200/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.68 m from the rear lot line.
2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.61 m from the interior side lot line.
3. To permit the eaves of a residential accessory structure to encroach into the minimum required yard having a minimum distance of 0.20 m from the interior side lot line.
4. To permit a residential accessory structure with a maximum height of 3.12 m.
5. To permit a maximum lot coverage of 29.7%.

By-Law Requirement(s) (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
4. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.
5. A maximum lot coverage of 20%.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit an existing accessory structure (shed) and an existing covered patio at 6 Weller Crescent with the above noted variances.

The Development Planning Department has no objection to Variances 1 through 3 to permit a minimum rear yard setback of 1.68 metres, and minimum interior side yard setback of 0.61 metres to the shed's wall and 0.20 metres to the eaves. The setbacks provide adequate space for maintenance and access. The accessory structure is situated in the northwest corner of the rear yard. There is an armour stone wall at the back of the property stacked two stones high. The rear privacy fence dividing the rear yard on the subject property from the abutting rear yard of the neighbouring residential property to the north (3 Malaren Road) sits above the armour stone wall. The combination of the elevated grade and fence causes substantial amount of the shed's north wall with the exception of the peak of the roof, to be screened to the north. 3 Malaren Road also contains several mature trees planted near the rear property line which provides additional screening for the shed.

No adverse massing impacts are anticipated on the property to the west, 8 Weller Crescent, as it has a shed of a similar depth to the one on the subject property within the northeastern corner of its rear yard which acts as a buffer. As such, the Development Planning Department believes that the structure is not anticipated to have adverse use or massing impacts on either of the neighbouring properties.

The Development Planning Department has no objection to Variance 4 to permit a 0.12 metre increase the maximum permitted height of a residential accessory structure as it is

negligible from a visual perspective. The existing vegetative screening to the north and lower grade of the subject property helps mitigate any potential massing or privacy concerns for 3 and 5 Malaren Road. There are also no perceived massing or privacy impacts anticipated for 8 Weller Crescent.

The Development Planning Department has no objection to Variance 5 to permit a total maximum lot coverage of 29.7%. The requested further 4.7% lot coverage increase is for a covered patio and the shed, not to enlarge the enclosed areas of the existing dwelling. A previous Minor Variance Application (A283/10) was approved to permit a total lot coverage of 24.98% (22.58% for the dwelling, and 2.4% for covered porches). As discussed above, the shed exists in the northwest corner of the subject property. Its location maximizes distance from the dwelling and consolidates rear yard amenity space. It is of a scale and location separate and distinct from the dwelling. The covered patio, although attached to the rear wall of the dwelling and spans just over half the rear wall, also does not contribute to extension dwelling's built form as it is not enclosed, is made of a different material (wood vs. the dwelling's brick) and the structure contains no walls on all three (3) sides. The covered patio also maintains the height and interior side yard setback requirements of the Zoning By-law. The covering is centered on the rear wall, keeping mass as far away from the side lot lines as possible. Therefore, it is staff's opinion that the proposed increase in lot coverage continues to maintain a sufficient rear yard amenity area and does not adversely impact the functionality of the rear yard or the character of the surrounding neighbourhood.

In support of the application, the Owner submitted an Arborist Letter prepared by Al Miley & Associates, dated January 24, 2024. The letter concludes that the trees surrounding the property, despite the construction of the storage shed in 2014, are currently in good health and exhibit no signs of stress or damage.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner



























Date: January 25th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A200-23**

Related Files:

Applicant Gabe Faraone

Location 6 Weller Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

February 1, 2024

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A200/23
Plan RP5590 Lot 122
6 Weller Crescent
City of Vaughan, Region of York
Applicant: Gabe Faraone**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 23, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 01-2021:

By-Law 01-2021:

- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 1.68 metres from the rear lot line, whereas a residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line.
- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 0.61 metres from the interior side lot line, whereas a residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line.
- To permit the eaves of a residential accessory structure to encroach into the minimum required yard having a minimum distance of 0.20 metres from the interior side lot line, whereas unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.
- To permit a residential accessory structure with a maximum height of 3.12 metres, whereas in any residential zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres.
- To permit a maximum lot coverage of 29.7%, whereas a maximum lot coverage of 20% is required.

The noted variances are being requested to facilitate the construction of a covered porch and shed in the rear of an existing dwelling.

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to the presence of the Regional Storm flood plain associated with a tributary of the Don River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, a portion of the subject property is regulated by TRCA due to the presence of a Regional Storm flood plain. Based on a review of TRCA mapping, the proposed works are outside of the Regulated Area.

Based on a review of the materials submitted with this minor variance application, TRCA staff are satisfied that the proposed works are appropriately set back from the Regional Storm flood plain. As such TRCA staff have no objections to the requested variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$120.00 (Screening Letter) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A200.23 subject to the following condition:

1. That the applicant provides the required fee amount of \$120.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,



Kristen Regier
Planner I
Development Planning and Permits

KR/sb

Pravina Attwala

Subject: FW: [External] RE: A200/23 (6 Weller Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>

Sent: Friday, February 9, 2024 5:33 PM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A200/23 (6 Weller Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Lenore,

The Regional Municipality of York has completed its review of the minor variance application – A200/23 (6 Weller Crescent) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: Working together to serve our thriving communities – today and tomorrow

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Michael & Patty Guerra	8 Weller Crescent	01/25/2024	Confirmation letter advising no grading/drainage issues

CITY OF VAUGHAN COMMITTEE OF ADJUSTMENT APPLICATION
NEIGHBOUR ACKNOWLEDGMENT LETTER

Date: JANUARY 25 2024

Home Owner's name: SOLORE MENNA

Home Owner's address: 6 WELER CRES
MAPLE ON L6A 1E4

Home Owner's contact information
(e.g., email and/or phone number):



SUBJECT: COA REFERENCE FILE #: A200 / 23
SOFT LANDSCAPE PAVERS
NEIGHBOUR'S ACKNOWLEDGMENT LETTER FOR ENCROACHING TO APPROX.
0.46 M FROM PROPERTY LINE

To: The City of Vaughan Development Engineering Department,

This is to confirm that I, Michael & Patty Guerre (the Neighbour) residing at
8 Weller Cres. Maple, ON, L6A 1E4 (Neighbour's address)

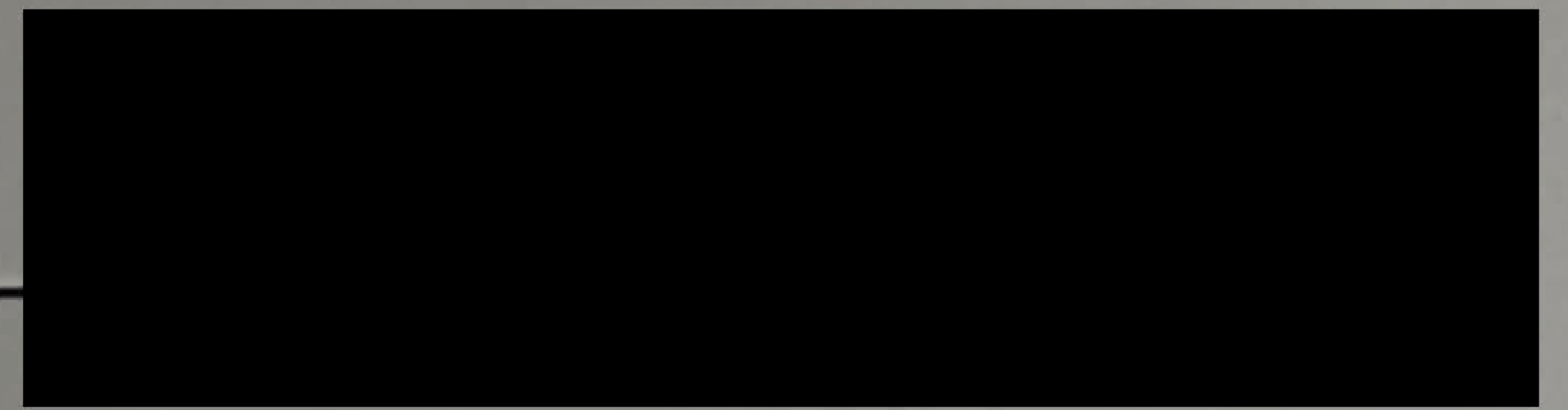
have not experienced any grading and/or drainage adverse effects on my property and have no

objections to the presence of the REAR SHED OR PAVERS ON
THE WEST SIDE OF 6 WELER CRES.

[Signature]
Neighbour's Signature

Date Signed on (mm/dd/yy): 01/25/24

Neighbour's contact information (e.g., email and/or phone number):



SCHEDULE D: BACKGROUND

None