

<b>ITEM: 6.6</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A199/23</b>
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Report Date: February 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



**MINOR VARIANCE APPLICATION  
FILE NUMBER A199/23  
151, 155 NEW HUNTINGTON ROAD, WOODBRIDGE**

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	155 New Huntington Inc.
<b>AGENT:</b>	Baldassarra Architects Inc.
<b>PROPERTY:</b>	151 & 155 New Huntington Road, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a retaining wall.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exception 14.897 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall from a lot line. [Table 4-1]	To permit a retaining wall with a maximum height of 1.93 m requiring a minimum setback of 1.93 m from a lot line to have a proposed setback of .200 m from an interior side lot line.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, February 22, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

## INTRODUCTION

That the general intent and purpose of the by-law will be maintained.  
 That the general intent and purpose of the official plan will be maintained.  
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	February 9, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	February 6, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	The difference in grade between the neighbouring site and subject lands requires a retaining wall to facilitate an acceptable driveway condition on the subject lands.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering Department has reviewed Minor Variance application A199/23 and has no concerns with the proposed retaining wall. The Development Engineering Department does not object to the Minor Variance application A199/23.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments	
<b>PFH Recommended Conditions of Approval:</b>	<ol style="list-style-type: none"> <li>1. Applicant/owner shall provide an arborist report to the satisfaction of the forestry division.</li> <li>2. Applicant/owner may be required to obtain a "Private Property Tree Removal &amp; Protection" permit through the forestry division prior to any construction works on the subject property.</li> </ol>

## DEVELOPMENT FINANCE

No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments

**BCLPS Recommended Conditions of Approval:**

None

## BUILDING INSPECTION (SEPTIC)

No comments received to date

**Building Inspection Recommended Conditions of Approval:**

None

## FIRE DEPARTMENT

No comments received to date

**Fire Department Recommended Conditions of Approval:**

None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	1. Applicant/owner shall provide an arborist report to the satisfaction of the forestry division. 2. Applicant/owner may be required to obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.



### IMPORTANT INFORMATION

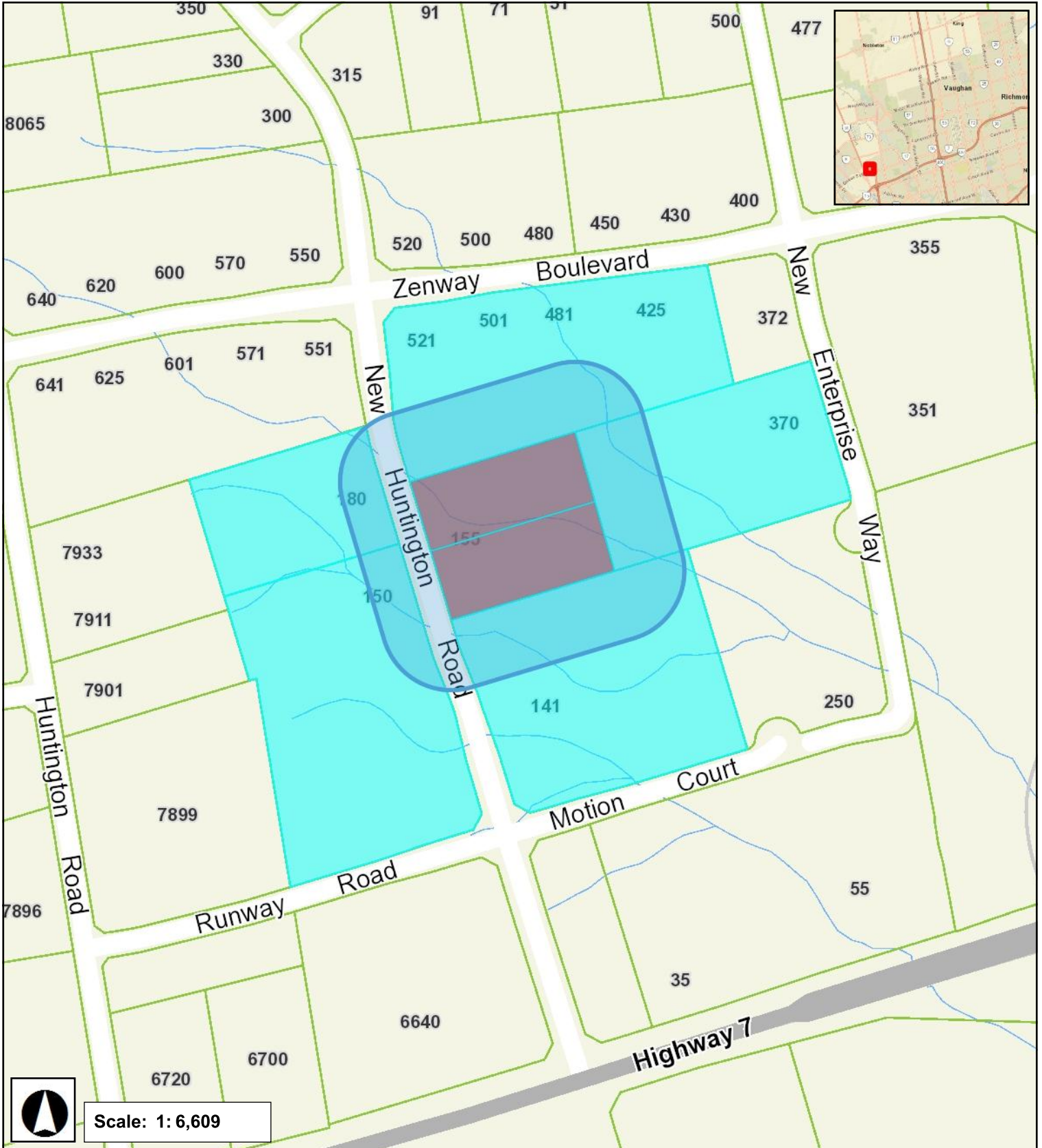
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

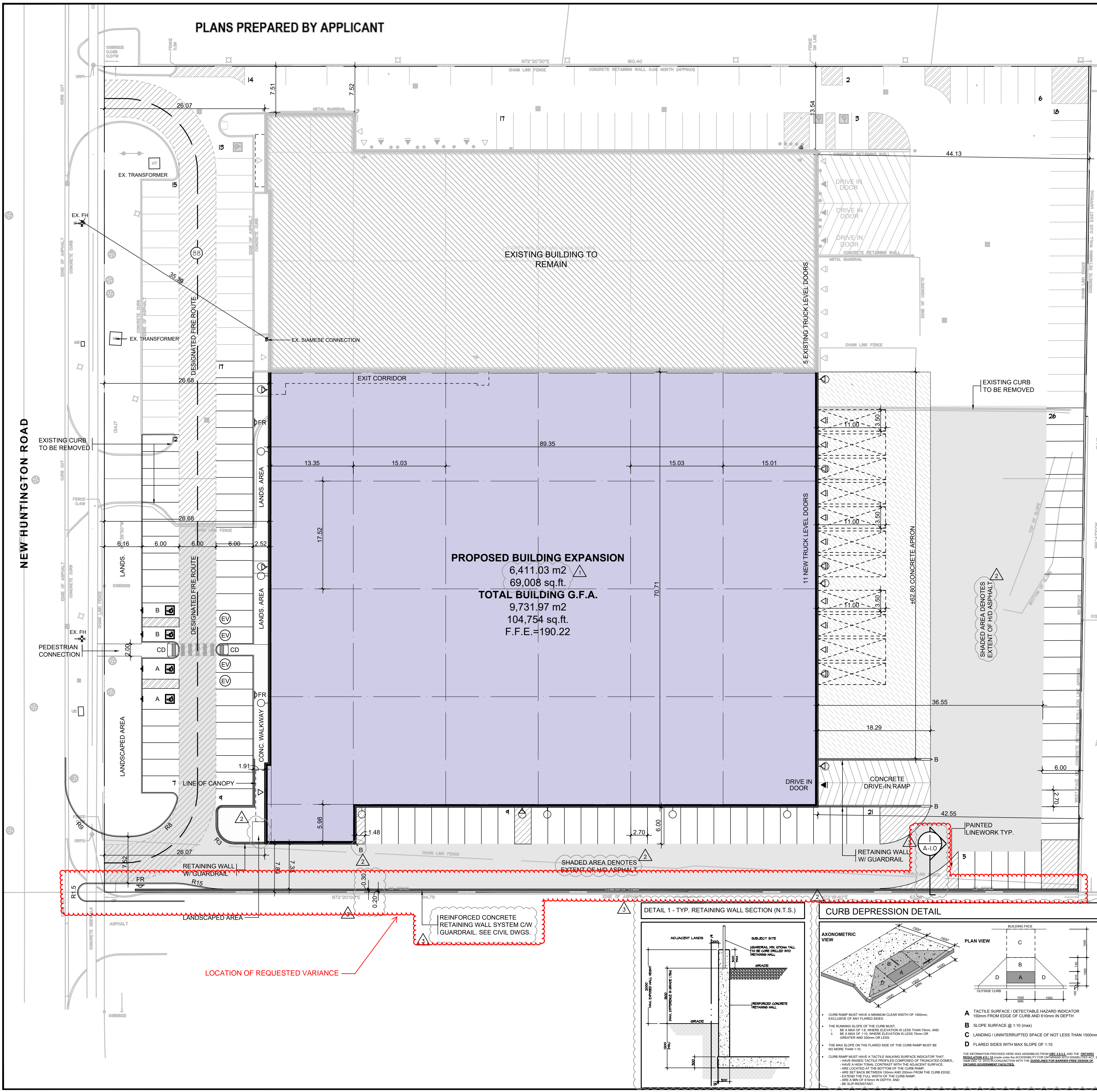
**SCHEDULE A: DRAWINGS & PLANS**

151 & 155 NEW HUNTINGTON ROAD





PLANS PREPARED BY APPLICANT



**PROPOSED BUILDING EXPANSION**  
 6,411.03 m<sup>2</sup> (69,008 sq.ft.)  
**TOTAL BUILDING G.F.A.**  
 9,731.97 m<sup>2</sup> (104,754 sq.ft.)  
 F.F.E. = 190.22

LOCATION OF REQUESTED VARIANCE

KEY PLAN



LEGAL DESCRIPTION

PART 1  
 PLAN OF TOPOGRAPHICAL SURVEY OF  
 BLOCKS 27 AND 28  
 REGISTERED PLAN 65M-3992  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK

SITE STATISTICS

SITE AREA	21,383.94 m <sup>2</sup>	or	5.28 acres
ZONING	EM1		
SETBACKS (PER BY-LAW 01-2021)	REQUIRED	PROVIDED	
FRONT YARD SETBACK	4.5 m	26.07 m	
NORTH SIDE YARD SETBACK	3.0 m	7.51 m	
SOUTH SIDE YARD SETBACK	3.0 m	7.83 m	
REAR YARD SETBACK	7.5 m	42.55 m	
G.F.A.			
TOTAL EXISTING BUILDING G.F.A.	±3,320.94 m <sup>2</sup>	or	±35,746 sq.ft.
NEW OFFICE AREA	1,051.34 m <sup>2</sup>	or	11,317 sq.ft.
NEW WAREHOUSE AREA	5,359.69 m <sup>2</sup>	or	57,691 sq.ft.
NEW EXPANSION TOTAL G.F.A.	6,411.03 m <sup>2</sup>	or	69,008 sq.ft.
TOTAL BUILDING G.F.A.	±9,731.97 m <sup>2</sup>	or	±104,754 sq.ft.
SITE COVERAGE PROVIDED	△ 1 9,731.97 m <sup>2</sup>	or	45.51%
LANDSCAPED AREA	1,264.40 m <sup>2</sup>	or	5.91%
PAVED AREA	10,387.57 m <sup>2</sup>	or	48.58%
PARKING	REQUIRED	PROVIDED	
BY-LAW 1-88			
EMPLOYMENT AREA (8,680.63 m <sup>2</sup> ) 1.5 parking space per 100 sq.m GFA	130.2 spaces		
FUTURE ANCILLARY OFFICE (1,051.34 m <sup>2</sup> ) 2.0 parking spaces per 100 sq.m GFA	21.0 spaces		
TOTAL PARKING	152 spaces	194 spaces	
BY-LAW 01-2021			
MANUFACTURING (8,680.63 m <sup>2</sup> ) 1.0 parking space per 100 sq.m GFA	86.8 spaces		
FUTURE ANCILLARY OFFICE (1,051.34 m <sup>2</sup> ) 3.0 parking spaces per 100 sq.m GFA	31.5 spaces		
TOTAL PARKING	119 spaces	194 spaces	
ELECTRIC VEHICLE PARKING	4 spaces		
ACCESSIBLE PARKING SPACES	7 spaces	7 spaces	
LOADING SPACES (3.5 m x 11.0 m)	3 spaces	16 spaces	

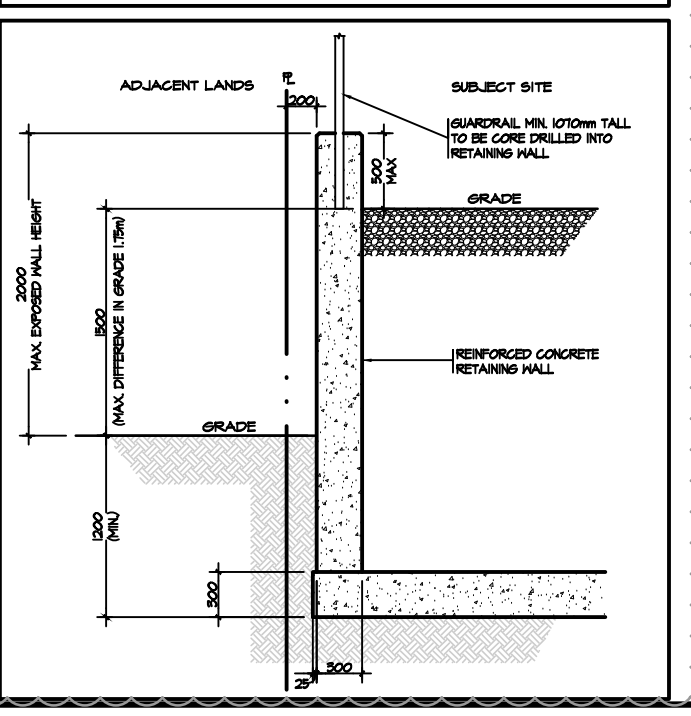
SYMBOL LEGEND

▽	MAN DOOR LOCATIONS
▷	LOADING DOCK LOCATIONS
▶	DRIVE-IN OVERHEAD DOORS
⊕	HYDRANT & VALVE
□	CATCH BASIN
▣	DOUBLE CATCH BASIN
○	STORM SEWER MANHOLE
●	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TW	TOP OF WALL
⊙	WALL MOUNTED LUMINAIRE
CB	CATCH BASIN
⊗	SETTING OUT POINT
CD	DEPRESSED CURB, BARRIER FREE ACCESS
FR	FIRE ROUTE SIGN
⊥	BARRIER FREE PARKING SIGN

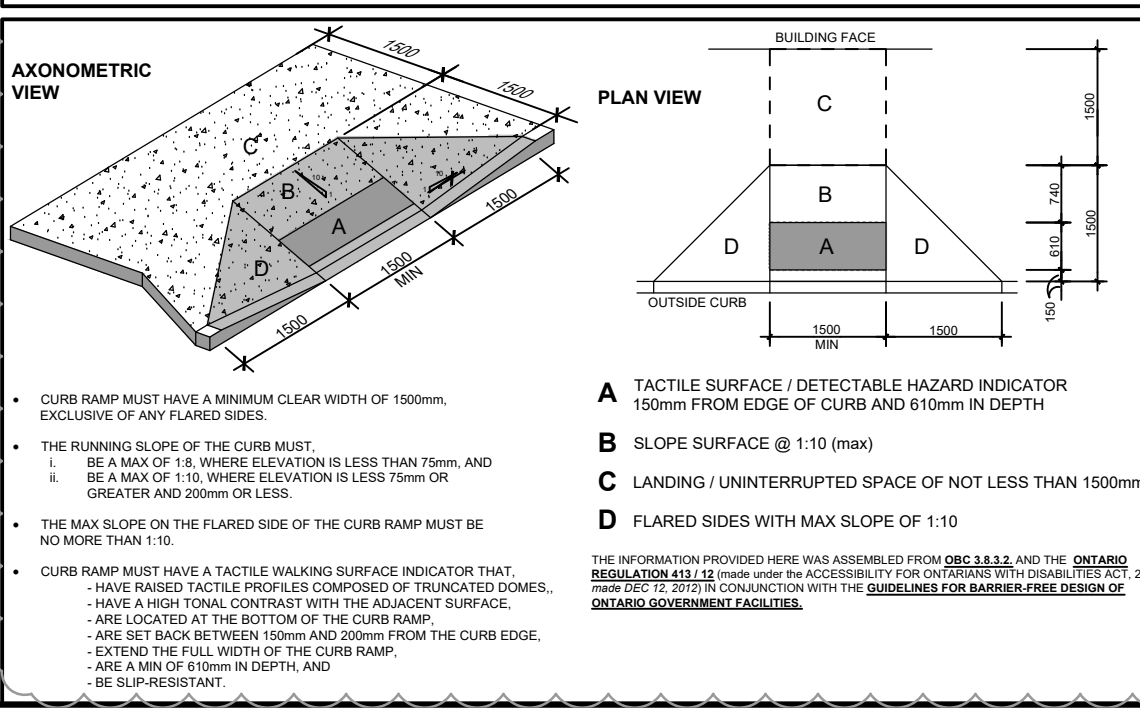
SITE PLAN NOTES

1. OWNER IS RESPONSIBLE FOR INSTALLATION OF REQUIRED TRAFFIC SIGNAGE AND MARKINGS.

DETAIL 1 - TYP. RETAINING WALL SECTION (N.T.S.)



CURB DEPRESSION DETAIL



No.	ISSUED	DATE
1	ISSUED FOR CLIENT REVIEW	APR. 13, 2022
2	ISSUED FOR CLIENT REVIEW	MAY 13, 2022
3	ISSUED FOR COORDINATION	NOV. 2, 2022
4	ISSUED FOR PERMIT	NOV. 24, 2022
5	RE-ISSUED FOR PERMIT	JAN. 30, 2023
6	ISSUED FOR TENDER	JUNE 30, 2023
7	ISSUED FOR POST TENDER ADDENDUM #1	AUG. 25, 2023
8	ISSUED FOR CONSTRUCTION	SEPT. 12, 2023
9	ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 05, 2023

3	REVISED AS NOTED	DEC. 05, 2023
2	REVISED AS NOTED	JUNE 19, 2023
1	REVISED AS NOTED	NOV. 11, 2022

**BALDASSARRA**  
 Architects Inc.  
 30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7  
 T: 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:

155 New  
 Huntington Road

Vaughan, ON

Site Plan

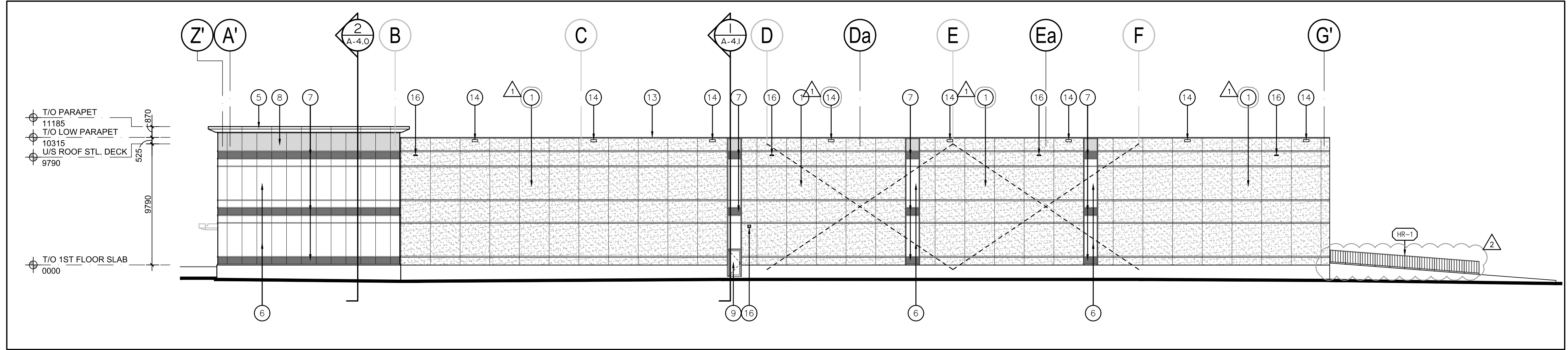
DATE:	DRAWN BY:	CHECKED:	SCALE:
Mar. 2022	MM	MB	1:300
PROJECT No.	DRAWING No.		
22-81	A-1.0		



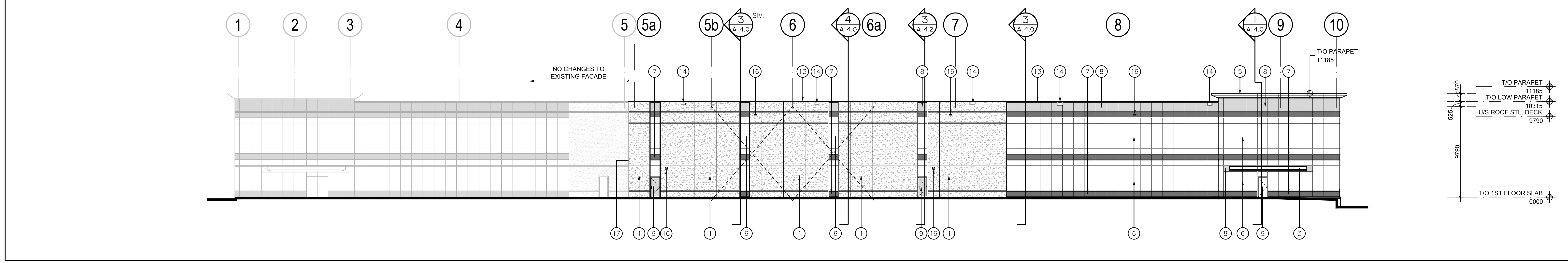
**RECEIVED**  
By RECEIVED at 9:58 am, Feb 05, 2024

**A199/23**

- ① INSULATED PRECAST CONCRETE PANEL WITH EXPOSED AGGREGATE FINISH AND SMOOTH BANDS. COLOUR TO MATCH EXISTING BUILDING.
- ② RESERVED.
- ③ ALUMINUM COMPOSITE PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO MATCH EXISTING BUILDING.
- ④ RESERVED.
- ⑤ PRE-FINISHED PLATE ALUMINUM PANELS. COLOUR TO MATCH EXISTING BUILDING.
- ⑥ THERMAL GLAZING IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. SEE GLAZING NOTES ON COVER SHEET A-0.0 FOR IGU SPECIFICATION. TINT COLOUR TO MATCH EXISTING BUILDING.
- ⑦ SPANDREL GLAZING IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. SEE GLAZING NOTES ON COVER SHEET A-0.0 FOR SPANDREL SPECIFICATION. SPANDREL COLOUR TO MATCH EXISTING BUILDING.
- ⑧ PRE-FINISHED PLATE ALUMINUM PANELS IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. COLOUR TO MATCH EXISTING BUILDING.
- ⑨ ALUMINUM AND THERMAL GLAZED DOOR(S) IN CURTAIN WALL DOOR FRAMING SYSTEM. COLOUR TO MATCH CURTAIN WALL SYSTEM.
- ⑩ INSULATED HOLLOW METAL DOOR IN PRESSED STEEL FRAMES. COLOUR TO MATCH EXISTING.
- ⑪ INSULATED SECTIONAL OVERHEAD DOOR C/W DOCK SEAL, DOCK LEVELLER, AND DOCK BUMPERS. COLOUR TO BE WHITE. SEE DOOR SCHEDULE A-6.0 FOR DOOR SIZE. PRECAST MANUFACTURER TO PROVIDE MIN. 405mm FLAT SURFACE AT HEAD AND JAMBS OF ROUGH OPENING.
- ⑫ INSULATED SECTIONAL OVERHEAD DOOR. COLOUR TO BE WHITE. SEE DOOR SCHEDULE FOR DOOR SIZE. PRECAST MANUFACTURER TO PROVIDE MIN. 100mm FLAT SURFACE AT JAMBS OF ROUGH OPENING.
- ⑬ PRE-FINISHED METAL COPING. COLOUR TO MATCH MATERIAL BELOW.
- ⑭ SCUPPER. SEE ROOF PLAN SHEET A-2.2
- ⑮ KNOCK-OUT PANEL FOR FUTURE OVERHEAD DOOR.
- ⑯ WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DWGS. COLOUR TO MATCH COLOUR OF EXTERIOR BUILDING MATERIAL. PRECAST MANUFACTURER TO PROVIDE SMOOTH AREA EXTENDING 65mm MIN. BEYOND LIGHT FIXTURE IN ALL (4) DIRECTIONS.
- ⑰ 50mm WIDE EXPANSION JOINT. SEE MS-25 ON COVER SHEET A-0.0



② South Elevation  
A-3.0 Scale = 1:200



① West Elevation  
A-3.0 Scale = 1:200

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No.	REVISION	DATE
1	REVISED AS NOTED	NOV. 11, 2022
2	REVISED AS NOTED	JUNE 20, 2023

**BALDASSARRA**  
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7  
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:



155 New  
Huntington Road

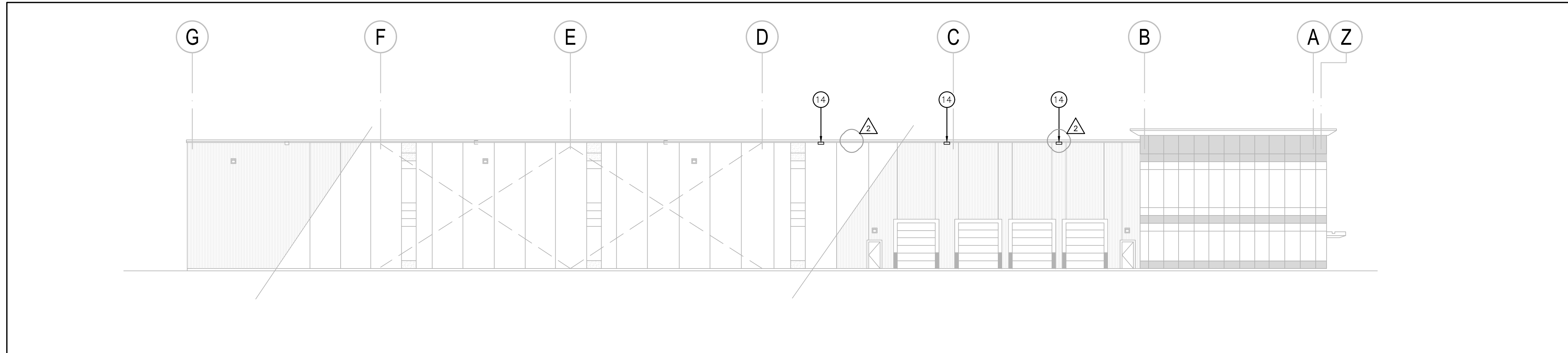
Vaughan, ON

Elevations			
DATE:	DRAWN BY:	CHECKED:	SCALE:
Mar. 2022	MM/LY	MB	As Noted
PROJECT No.	DRAWING No.		
22-81			<b>A-3.0</b>

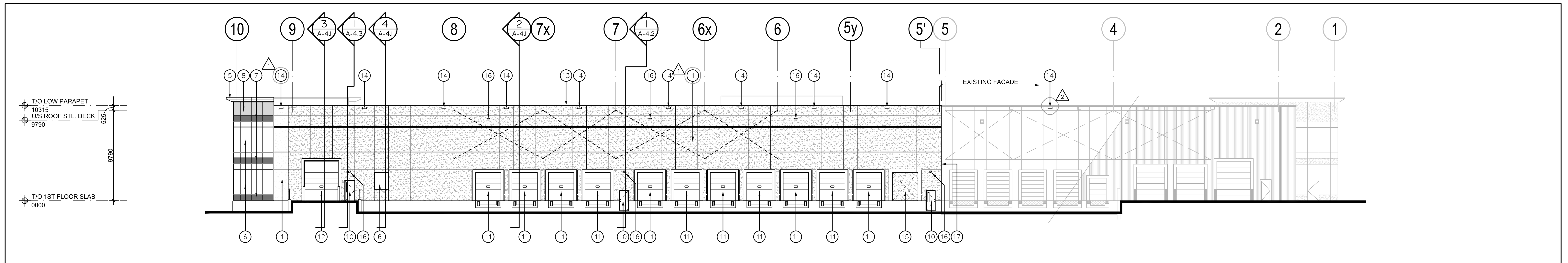
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② North Elevation  
A-3.1 Scale = 1:200



① East Elevation  
A-3.1 Scale = 1:200

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OWNERS INFORMATION:



155 New  
Huntington Road

Vaughan, ON

**Elevations**

DATE:	DRAWN BY:	CHECKED:	SCALE:
Oct. 2022	MMLY		As Noted

PROJECT No. 22-81 DRAWING No. A-3.1

22-81

**A-3.1**



**RECEIVED**  
By RECEIVED at 10:00 am, Feb 05, 2024

**MASTER PLANT LIST**

KEY	QNT	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	SPACE	COND.	ON.	DT	ST
<b>Deciduous Trees</b>											
AF	5	Acer freemanii 'Jeffers red'	Autumn Blaze Maple	60	4000	2000	as shown	WB		✓	
GT	3	Gleditsia tricanthos var. inermis 'Shademaster'	Shademaster Thornless Honey Locust	60	4000	2000	as shown	WB	✓	✓	✓
<b>Shrubs</b>											
Eac	50	Euonymus alatus 'Compactus'	Dwarf Winged Burning Bush	-	700	-	750	CG			✓
Pom	20	Physocarpus opulifolius 'Monlo'	Diablo Ninebark	-	600	-	750	CG	✓	✓	✓
Sb	14	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	-	800	-	600	CG			✓
Sj	49	Spiraea japonica 'Nana'	Alpine Spirea	-	250	-	600	CG			✓
<b>Perennials and Grasses</b>											
cak	224	Calamagrostis x acutiflora	Karl Foerster Reed Grass	-	2 GAL	-	600	CG2		✓	✓
hem	92	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	-	2 GAL	-	500	CG2			✓

**GENERAL NOTES**

- VERIFY ALL DIMENSIONS.
- DO NOT SCALE DRAWINGS.
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT.



**LEGEND**

- EXISTING TREE TO BE PRESERVED
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS
- SODDING
- CONCRETE PAVING

**GENERAL NOTES:**

**PLANTING:**  
(UNLESS OTHERWISE SPECIFIED)

- PREPARE PLANTING SOIL BY EVENLY MIXING FOUR PARTS SANDY TOPSOIL, ONE PART ORGANIC SOIL ADDITIVE WITH 50% BONE MEAL AND 75% COMMERCIAL FERTILIZER PER CUBIC METER. THE FOREGOING RATES ARE SUBJECT TO ADJUSTMENT ON RECEIPT OF TOPSOIL ANALYSIS REPORT.
- EXCAVATE AND PROVIDE PLANTING SOILS AS PER PLANTING DETAILS.
- PROVIDE ALL SHRUBS AND TREES ACCORDING TO THE GUIDE SPECIFICATIONS FOR NURSERY STOCK OF THE CANADIAN NURSERY TRADE ASSOCIATION WITH REGARD TO QUALITY AND GRADING AND SIZED AS PER PLANT LIST.
- SPRAY ALL PLANTINGS IN LEAF WITH ANTIDESICCANT. PROVIDE TREES WITH STAKES.
- PLANTS ARE TO BE No. 1 NURSERY GROWN, UNDER PROPER CULTURAL PRACTICES, IN PARTICULAR WITH RESPECT TO AMPLER SPACING, PEST AND DISEASE CONTROL, AND BRANCH AND ROOT PRUNING.
- TREES ARE TO HAVE STURDY, STRAIGHT TRUNKS.
- TREES SHALL BE WELL BRANCHED AND BALANCED WITH A STRONG CENTRAL LEADER.
- DECIDUOUS SHADE TREES SHALL BE FREE OF BRANCHES NOT LESS THAN 1.8m ABOVE THE GROUND.
- ALL SHRUBS ARE TO BE PLANTED IN CONTINUOUS BEDS.
- DO NOT SOO BETWEEN PLANTS. EXCAVATE ENTIRE AREA OF SHRUB BED UNIFORMLY TO SPECIFIED DEPTH AND FILL WITH SPECIFIED PLANTING SOIL.

**TREE LOCATION:**

- NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES OR OVER UNDERGROUND SERVICES.
- TREES ARE NOT TO BE PLANTED LESS THAN 1M FROM CURBS, UNDERGROUND UTILITIES, SIDEWALKS AND DRIVEWAYS, 2m FROM FIRE HYDRANTS AND TRANSFORMERS, AND 4m FROM LIGHT STANDARDS.
- THE CONTRACTOR IS TO STAKE OUT LOCATIONS OF TREE PITS. THIS STAKE OUT IS TO BE INSPECTED BEFORE THE EXCAVATION OF ANY TREE PITS.
- BEFORE THIS STAKE OUT, THE CONTRACTOR IS TO REQUEST A STAKE OUT ALL UNDERGROUND SERVICES.
- THE LANDSCAPE ARCHITECT AND THE MUNICIPALITY MAY, AT THEIR DISCRETION REDISTRIBUTE TREE LOCATIONS, PRIOR TO PLANTING, IN ORDER TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.

**SODDING:**

- PREPARE A MINIMUM 100mm DEPTH OF TOPSOIL WITH A 10-6-4 COMMERCIAL FERTILIZER AT 7.3kg/100sq.m. and SUPER PHOSPHATE AT 5kg/100sq.m.. THE PROPORTIONS SPECIFIED ARE SUBJECT TO ADJUSTMENT DEPENDING ON TOPSOIL ANALYSIS REPORT.
- LAY No. 1 NURSERY SOO ON ALL AREAS OF THE PROJECT NOT COVERED BY BUILDINGS OR PAVING.
- IMMEDIATELY AFTER INSTALLATION, SOO MUST BE WATERED AND ROLLED.

**RODENT PROTECTION:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND SHRUBS FROM RODENT INJURY FOR THE DURATION OF THE GUARANTEE PERIOD. PROTECTIVE WIRE MESH GUARDS SHALL BE EMPLOYED AROUND ALL DECIDUOUS TREES. GUARDS SHALL BE INSTALLED PRIOR TO THE APPLICATION OF MULCH AND SHOULD BE PLACED A MINIMUM OF 50mm OUT FROM THE TREE TRUNK ON ALL SIDES. SUFFICIENT MESH SHOULD BE CUT TO COMPLETE THIS CIRCUMFERENCE AS WELL AS TO PROVIDE A MINIMUM OF 25mm OVERLAP.
- THE WIRE MESH GUARDS MUST BE OF GALVANIZED STEEL 12mm SQUARE MESH, 19 GAUGE AND SUPPLIED IN 600mm ROLLS. THE WIRE MESH CAN BE FASTENED WITH ANY ACCEPTABLE GALVANIZED WIRE TIE. ALL SHRUBS AND CONIFEROUS TREES SHALL HAVE AN APPLICATION OF "SHOOT" OR APPROVED EQUIVALENT RODENT FORMULA, TO BE APPLIED AT THE END OF OCTOBER. FOLLOW MANUFACTURER'S DIRECTIONS FOR APPLICATION.

**UTILITIES:**

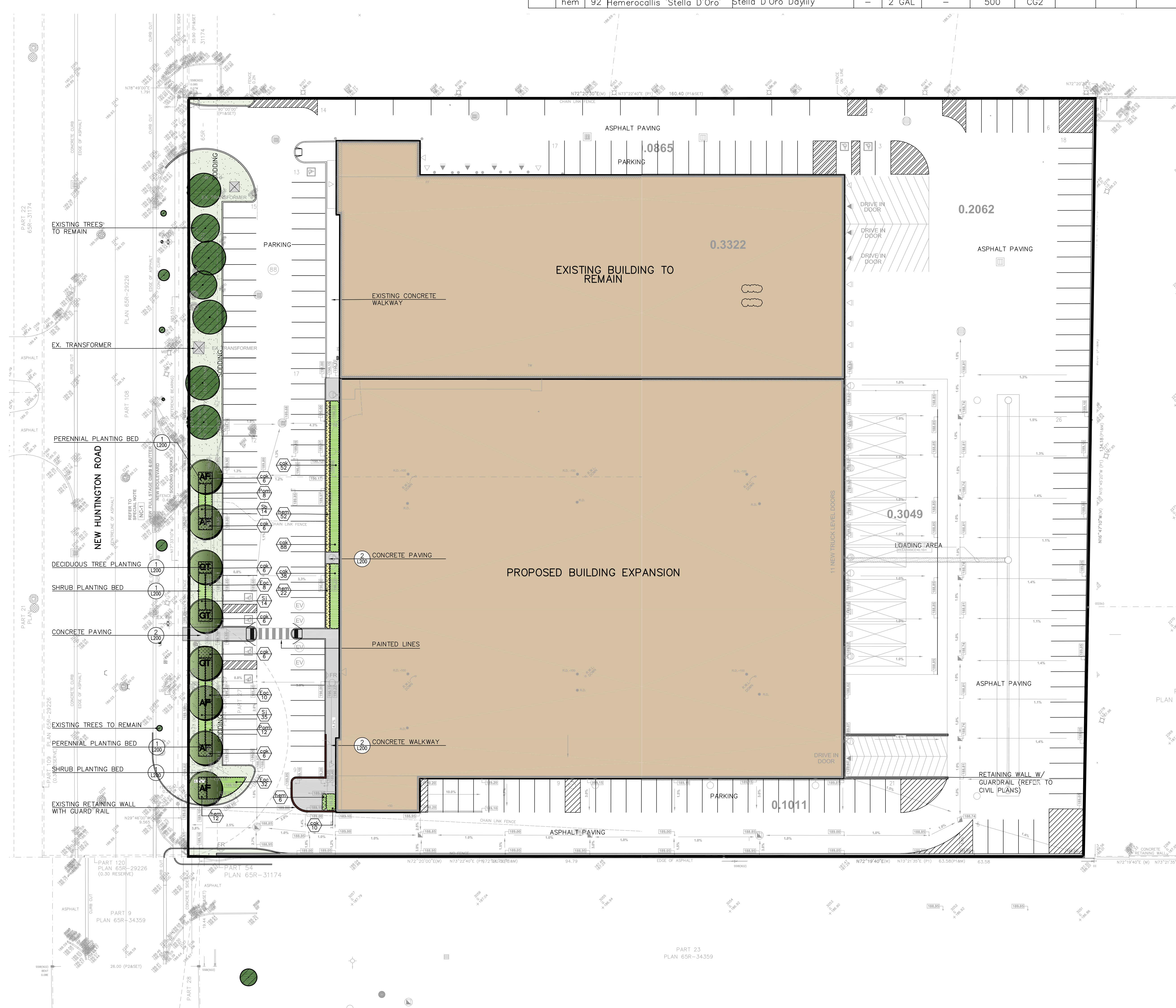
- APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY APPROVALS FROM THE UTILITY COMPANIES FOR WORKS WITHIN THE MUNICIPAL BOULEVARD.
- ALL UTILITIES WITHIN THE BOULEVARDS MUST BE LOCATED PRIOR TO COMMENCING CONSTRUCTION WITHIN THE BOULEVARD.

**TOPSOIL:**

- USE EVENLY MIXED TOPSOIL OF FERTILE, FRIABLE NATURAL LOAM CONTAINING NOT LESS THAN 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% MINIMUM ORGANIC MATTER FOR SAND LOAMS WITH AN ACIDITY RANGE OF 5.5 TO 7.5 pH. ALL TOPSOIL SHOULD BE FREE OF SUBSOILS, CLAY, STONES, ROOTS, EXCESS WATER, FROST AND OTHER TRANSGENOUS MATTER.

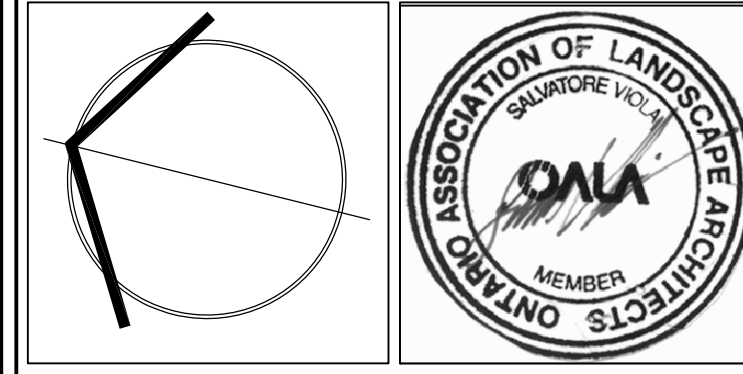
**MAINTENANCE & ACCEPTANCE:**

- ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IMMEDIATELY AFTER ANY PLANTING HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF FINAL ACCEPTANCE.
- SUCH MAINTENANCE SHALL INCLUDE ALL MEASURES NECESSARY TO ESTABLISH AND MAINTAIN ALL PLANTS IN AN ACCEPTABLE, VIGOROUS AND HEALTHY GROWING CONDITION INCLUDING CULTIVATING AND WEEDING, WATERING (WHEN REQUIRED), PRUNING AND MAINTENANCE OF ALL ACCESSORIES.
- AT TIME OF INSPECTION FOR INITIAL & FINAL ACCEPTANCE, ALL PLANTING BEDS AND TREE PITS SHALL BE FRESHLY CULTIVATED, FREE OF WEEDS, LEAVES, BROKEN BRANCHES AND RUBBISH AND SHALL BE IN A NEAT AND TIDY CONDITION.
- ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF 2 (TWO) YEARS FROM THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND LOCAL AUTHORITY UNLESS OTHERWISE NOTED.
- MAINTAIN PLANTING BEDS AND TREE PITS FREE OF WEEDS THROUGHOUT THE GUARANTEE PERIOD.
- THE DEVELOPER SHALL REGULARLY REMOVE DEBRIS FROM THE WETLAND UNTIL THE COMPLETION OF ALL BUILDING CONSTRUCTION WITHIN THE DEVELOPMENT.



No.	DATE	REVISION	BY
4	2023-07-04	REVISED AS PER SITE PLAN	A.J.
3	2022-11-16	REVISED AS PER SITE PLAN AND GRADING S.D.	S.D.
2	2022-11-14	UPDATED PLANTING MATERIAL	S.D.
1	2022-11-09	ISSUED FOR REVIEW	S.D.

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.



**SBK** 5770 HURONTARIO STREET, SUITE 320  
MISSISSAUGA, ONTARIO, L4R 3G5  
T: 416.695.4949 F: 905.712.3101  
WWW.STRYBOS.COM

**STRYBOS BARRON KING**  
LANDSCAPE ARCHITECTURE

PROJECT: **Proposed Addition to Industrial Building 155 New Huntingdon VAUGHAN, ON**

DRAWING TITLE: **LANDSCAPE PLAN**

SCALE: 1:300 PROJECT No. **5847**

DATE: NOV 04 2022

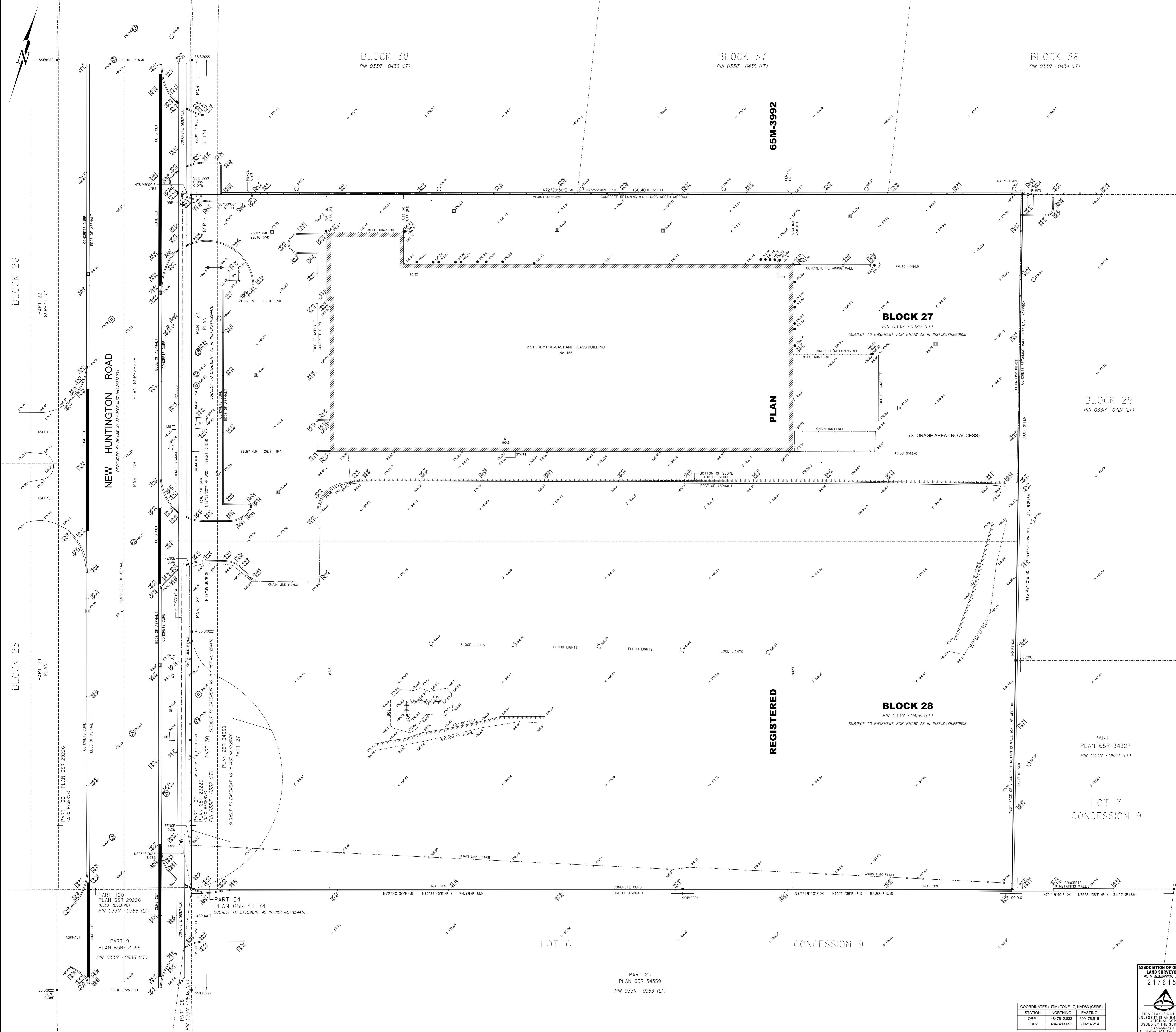
DRAWN BY: S.D. DRAWING No. **L100**

CHECKED BY: A.S.

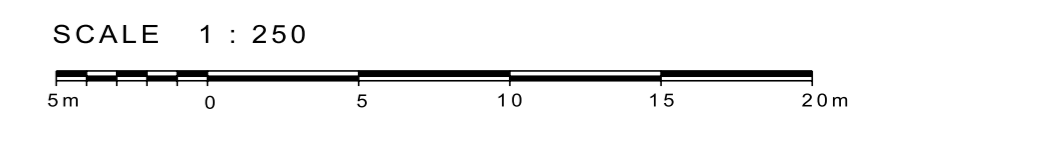


**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**SURVEYOR'S  
REAL PROPERTY REPORT**



PART 1  
PLAN OF TOPOGRAPHICAL SURVEY OF  
**BLOCKS 27 AND 28**  
**REGISTERED PLAN 65M-3992**  
**CITY OF VAUGHAN**  
REGIONAL MUNICIPALITY OF YORK



PART 2  
**REPORT**  
REGISTERED EASEMENTS OR RIGHTS-OF-WAY:  
SUBJECT TO EASEMENT AS IN INST. Nos. YR087176, YR1294476,  
SUBJECT TO EASEMENT FOR ENTRY AS IN INST. No. YR1660808.  
ADDITIONAL REMARKS: DUE TO SNOW STORAGE, ICE BUILD-UP  
AND STORAGE MATERIALS, SOME TOPOGRAPHIC DETAILS WERE  
UNABLE TO BE LOCATED AND ARE MISSING FROM THIS PLAN.  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH MUNICIPAL  
ZONING BY-LAWS.

**NOTES**  
THIS PLAN AND REPORT WAS PREPARED FOR THE SOLE USE OF  
HARDY CONSTRUCTION

BEARINGS ARE UTM GRID, ZONE 17, NAD83(CRS) (2011) AND ARE  
DERIVED FROM THE OBSERVED REFERENCE POINTS ORP1 AND  
ORP2 AS DETERMINED BY LEICA NETWORK GPS STATIC  
OBSERVATIONS.

DISTANCES SHOWN ON THIS PLAN ARE GROUND AND CAN BE  
CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE  
FACTOR OF 0.999975142.

OBSERVED REFERENCE POINTS SHOWN HAVE BEEN TIED TO THIS  
SURVEY TO THE URBAN ACCURACY PER SEC.14(2) OF ONTARIO  
REGULATION 216/10.

COORDINATES SHOWN CANNOT, IN THEMSELVES, BE USED TO  
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**LEGEND**

P1	REGISTERED PLAN 65M-3992
P2	PLAN 65R-34359
P3	PLAN 65R-31174
P4	PLAN OF SURVEY BY SCHAEFFER DZALDOV BENNETT LTD., DATED SEPTEMBER 20, 2011, (JOB No. 04-722-27).
C1	CALCULATED FROM P1 AND P2
M	MEASURED
S22	SCHAEFFER DZALDOV BENNETT LTD.
OU	ORIGIN UNKNOWN
CC	CUT CROSS
CP	CONCRETE PIN
ORP	OBSERVED REFERENCE POINT
CB	CATCH BASIN
CH	FIRE HYDRANT
SC	SIAMMSE CONNECTION
SM	FOUND SURVEY MONUMENT
BL	BOLLARD
LS	LIGHT STANDARD
MA	MANHOLE
WV	WATER VALVE/ KEY
PE	PEDESTAL
SL	SIGN
GL	GAS VALVE/ LINE
HT	HYDRO TRANSFORMER PAD
DS	DOOR SILL
FF	FINISHED FLOOR
TW	TOP OF WALL
TOS	TOP OF SLOPE
BOS	BOTTOM OF SLOPE
MB	MAIL BOX
UB	UTILITY BOX

**BENCH MARK**  
ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF VAUGHAN  
VERTICAL CONTROL MONUMENT No. 58-2, HAVING AN ELEVATION OF  
190.045 METRES.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND  
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 11th DAY OF MARCH,  
2022.  
DATE: MARCH 14, 2022

*J. Nanfara*  
J. NANFARA  
ONTARIO LAND SURVEYOR

**REVISION B**  
ADDITIONAL TOPOGRAPHIC DETAILS WERE OBTAINED ON APRIL 1, 2022  
AND ADDED TO THIS PLAN ON APRIL 5, 2022.

STATION	NORTHING	EASTING
ORP1	4847612.233	609176.515
ORP2	4847461.852	609244.214

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2176154

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**nanfara & ng surveyors inc**  
PROFESSIONAL LAND SURVEYORS

#1 ASHBURIDGE CIRCLE, UNIT 9 WOODBRIDGE, ONTARIO, L4L 3R5  
TEL: 905.856.5923 FAX: 905.856.7092 nmsurveyors@gmail.com

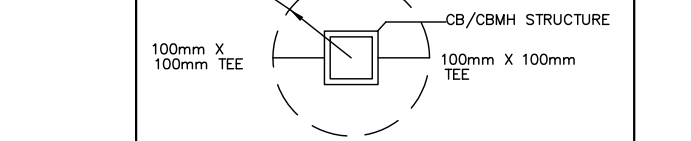
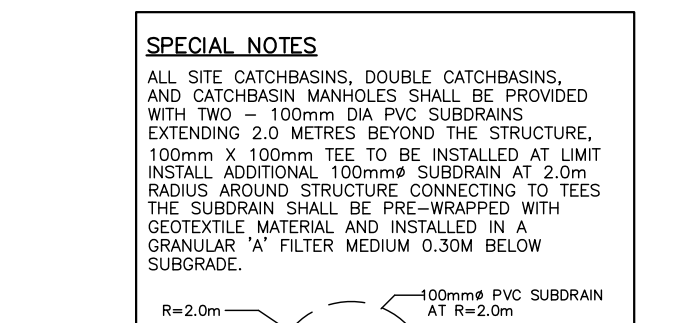
THIS PLAN IS NOT VALID UNLESS IT IS AN UNREVISED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1001, Section 21(2)

CHECKED BY:	DRAWN BY:	REV. DATE:	REV. NO.:
JN	MRO	20220405	2022106911



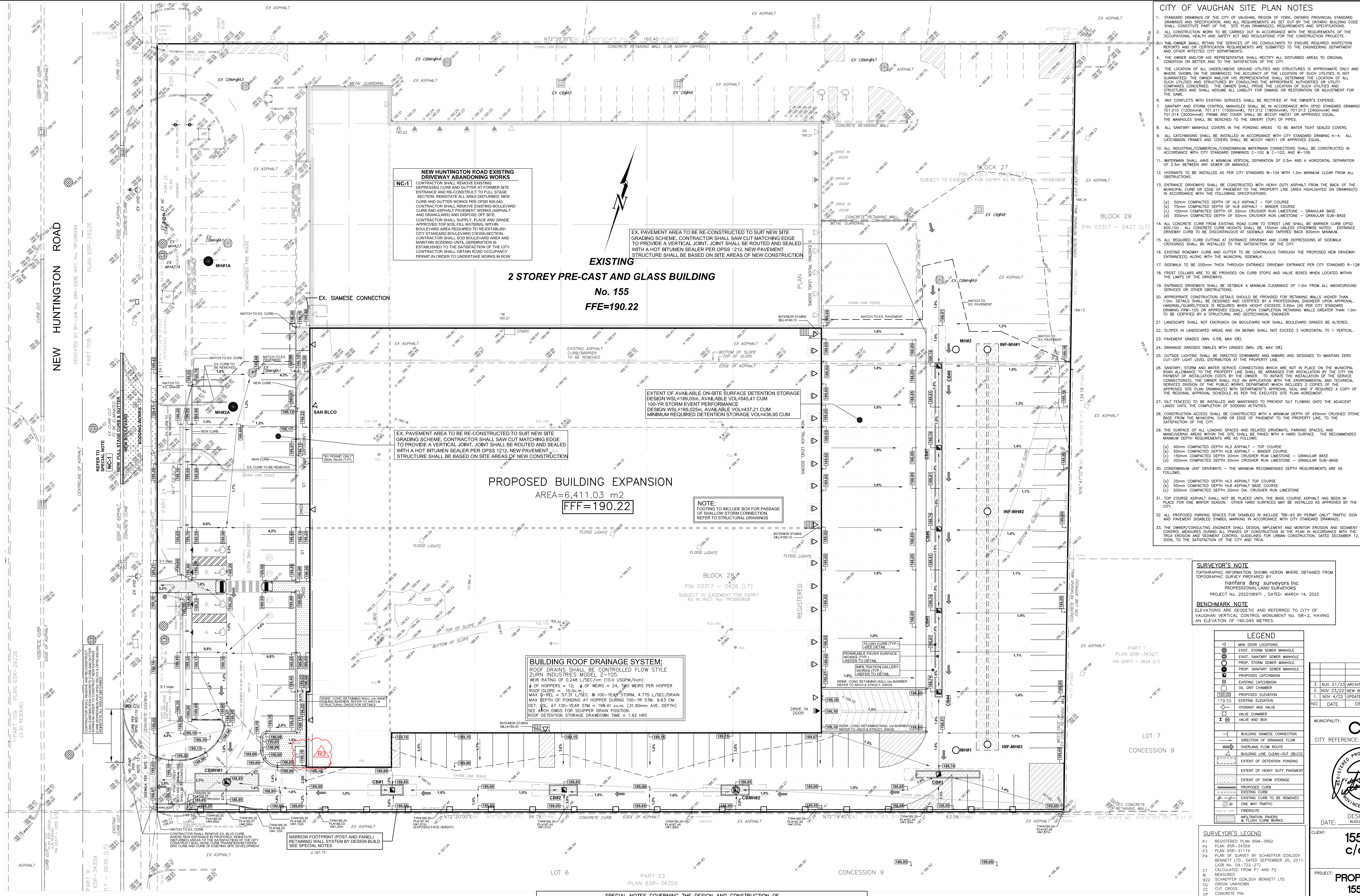
CITY OF VAUGHAN SITE PLAN NOTES

- 1. STANDARD DRAWINGS OF THE CITY OF VAUGHAN, REGION OF YORK, ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS...
2. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR THE CONSTRUCTION PROJECTS.
3. THE OWNER SHALL RETAIN THE SERVICES OF HIS CONSULTANTS TO ENSURE REQUIRED INSPECTION AND REPORTS ARE SUBMITTED TO THE ENGINEERS DEPARTMENT AND OTHER AFFECTED CITY DEPARTMENTS.
4. THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
5. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY AND WHERE SHOWN ON THE DRAWINGS...
6. ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
7. SANITARY AND STORM CATCHBASINS SHALL BE IN ACCORDANCE WITH OPSD STANDARD DRAWINGS...
8. ALL SANITARY MANHOLE COVERS IN THE PONDING AREAS TO BE WATER TIGHT SEALED COVERS.
9. ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DRAWING K-4. ALL CATCHBASIN FRAMES AND COVERS SHALL BE MCCOY HM311 OR APPROVED EQUAL.
10. ALL INDUSTRIAL/COMMERCIAL/CONDOMINIUM WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DRAWINGS C-102 & C-103 AND W-108.
11. WATERMAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5m AND A HORIZONTAL SEPARATION OF 2.5m BETWEEN ANY SEMI OR MANHOLE.
12. HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W-104 WITH 1.0m MINIMUM CLEAR FROM ALL OBSTRUCTIONS.
13. ENTRANCE DRIVEWAYS SHALL BE CONSTRUCTED WITH HEAVY DUTY ASPHALT FROM THE BACK OF THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE...
14. ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB OPSD...
15. ALL REQUIRED CURB CUTTING AT ENTRANCE DRIVEWAY AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS...
16. EXISTING ROADWAY CURB AND GUTTER TO BE CONTINUOUS THROUGH THE PROPOSED NEW DRIVEWAY ENTRANCE(S) ALONG WITH THE MUNICIPAL SIDEWALK.
17. SIDEWALK TO BE 200mm THICK THROUGH ENTRANCE DRIVEWAY ENTRANCE PER CITY STANDARD R-128...
18. ENTRANCE DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
19. APPROPRIATE CONSTRUCTION DETAILS SHOULD BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0m...
20. LANDSCAPE SHALL NOT ENROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
21. SLOPES IN LANDSCAPED AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
22. PAVEMENT GRADES (MIN. 0.5%, MAX. 5%).
23. DRAINAGE GRASSES SHALL BE WITH GRADES (MIN. 2%, MAX. 5%).
24. OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUT-OFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
25. SANITARY, STORM AND WATER SERVICE CONNECTIONS MUST NOT BE PLACED ON THE MUNICIPAL ROAD ALLOWANCE...
26. CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 450mm...
27. SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO THE ADJACENT LANDS...
28. THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS, PARKING SPACES, AND MANUVERING AREAS WITHIN THE SITE SHALL BE PAVED WITH A HARD SURFACE...
29. CONDOMINIUM UNIT DRIVEWAYS - THE MINIMUM RECOMMENDED DEPTH REQUIREMENTS ARE AS FOLLOWS:
(a) 25mm COMPACTED DEPTH H-3 ASPHALT TOP COURSE
(b) 50mm COMPACTED DEPTH H-3 ASPHALT BASE COURSE
(c) 200mm COMPACTED DEPTH 20mm GRAIN CRUSHER RUN LESTONITE - GRANULAR SUB-BASE
30. CONSTRUCTION ASPHALT SHALL NOT BE PLACED UNTIL THE BASE COURSE ASPHALT HAS BEEN IN PLACE FOR ONE WINTER SEASON...
31. ALL PROPOSED PARKING SPACES FOR DISABLED IN ACCORDANCE WITH PERMIT ONLY TRAFFIC SIGN AND PAVEMENT DISABLED SYMBOL...
32. THE OWNER/CONSULTING ENGINEER SHALL DESIGN, IMPLEMENT AND MONITOR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION...
33. THE OWNER/CONSULTING ENGINEER SHALL DESIGN, IMPLEMENT AND MONITOR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION...



RECEIVED
By attwalap at 12:17 pm, Dec 14, 2023

A199/23



NEW HUNTINGTON ROAD EXISTING DRIVEWAY ABANDONING WORKS
CONTRACTOR SHALL REMOVE EXISTING DRIVEWAY AND RE-CONSTRUCT TO FULL STAGE SECTION. RENESTATE ALL AREA DISTURBED...

EX. PAVEMENT AREA TO BE RE-CONSTRUCTED TO SUIT NEW SITE GRADING SCHEME. CONTRACTOR SHALL SAW CUT MATCHING EDGE TO PROVIDE A VERTICAL JOINT. JOINT SHALL BE ROUTED AND SEALED WITH A HOT BITUMEN SEALER PER OPSS 1212...

EXISTING
2 STOREY PRE-CAST AND GLASS BUILDING
No. 155
FFE=190.22

EXTENT OF AVAILABLE ON-SITE SURFACE DETENTION STORAGE
DESIGN WSL=189.05m, AVAILABLE VOL=454.41 CUM
100-YR STORM EVENT PERFORMANCE
DESIGN WSL=189.025m, AVAILABLE VOL=437.21 CUM
MINIMUM REQUIRED DETENTION STORAGE VOL=436.95 CUM

PROPOSED BUILDING EXPANSION
AREA=6,411.03 m2
FFF=190.22

NOTE: FOOTING TO INCLUDE BOX FOR PASSAGE OF SHALLOW STORM CONNECTION. REFER TO STRUCTURAL DRAWINGS

BUILDING ROOF DRAINAGE SYSTEM:
ROOF DRAINS SHALL BE CONTROLLED FLOW STYLE ZURN INDUSTRIES MODEL Z-105
WEIR RATING OF 0.248 L/SEC/CM (1.0 USOP/INCH)
# OF HOPPER = 12, # OF WEIRS = 24, 290 WEIRS PER HOPPER
ROOF SLOPE = 1/80.0m

SURVEYOR'S NOTE
TOPOGRAPHIC INFORMATION SHOWN HEREON WHERE OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY nanfara & ng surveyors inc...

BENCHMARK NOTE
ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF VAUGHAN VERTICAL CONTROL MONUMENT NO. 58-2, HAVING AN ELEVATION OF 190.045 METRES.

LEGEND table with symbols for man door locations, storm sewer manhole, oil curb chamber, etc.

SURVEYOR'S LEGEND table with codes for registered plan, plan number, etc.

SPECIAL NOTES AND REQUIREMENTS OF THE CITY TO BE FULFILLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
1. THE OWNER/BUILDER SHALL OBTAIN ANY REQUIRED ADDITIONAL PERMITS AND SHALL CO-ORDINATE ALL INSPECTIONS DIRECTLY THROUGH THE CITY'S DEPARTMENT OF ENGINEERING INSPECTION AND LOT GRADING DIVISION...

INFILTRATION PAVEMENT MAINTENANCE
THE INFILTRATION CAPABILITY OF THE INFILTRATION PAVEMENT SURFACE SHALL BE EXAMINED ANNUALLY AND TESTING UNDERMINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MARKHAM...

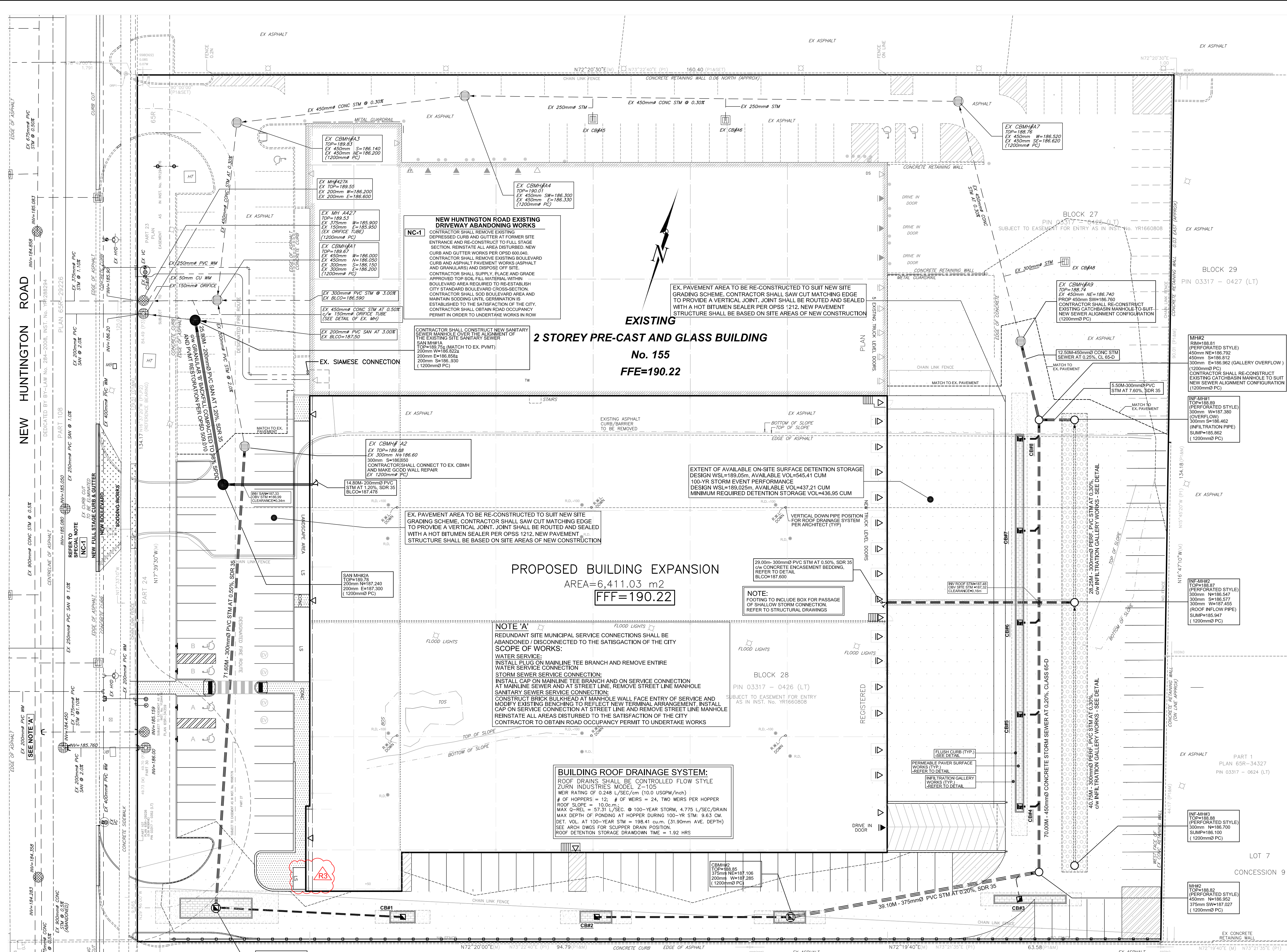
SPECIAL NOTES GOVERNING THE DESIGN AND CONSTRUCTION OF THE SITE POST AND PANEL CONCRETE RETAINING WALL SYSTEMS
1. CONTRACTOR SHALL RETAIN QUALIFIED PROFESSIONAL ENGINEERS THAT WILL BE RESPONSIBLE FOR THE DESIGN AND/OR CONSTRUCTION CERTIFICATION OF THE PROPOSED POST AND PANEL RETAINING WALL SYSTEMS...

REFER TO DRAWING 22106-G3 FOR PROFILE AND DETAILS OF ROOF DRAINAGE SYSTEM, INFILTRATION GALLERY WORKS, SITE CATCHBASIN / CATCHBASIN MANHOLE INFILTRATION GALLERY AND PAVEMENT WORKS, DETAILS RELATED TO SITE ENTRANCE WORKS, DETAILS RELATED TO SITE POST AND PANEL RETAINING WALL SYSTEM AND OTHER MISCELLANEOUS PROJECT DETAILS

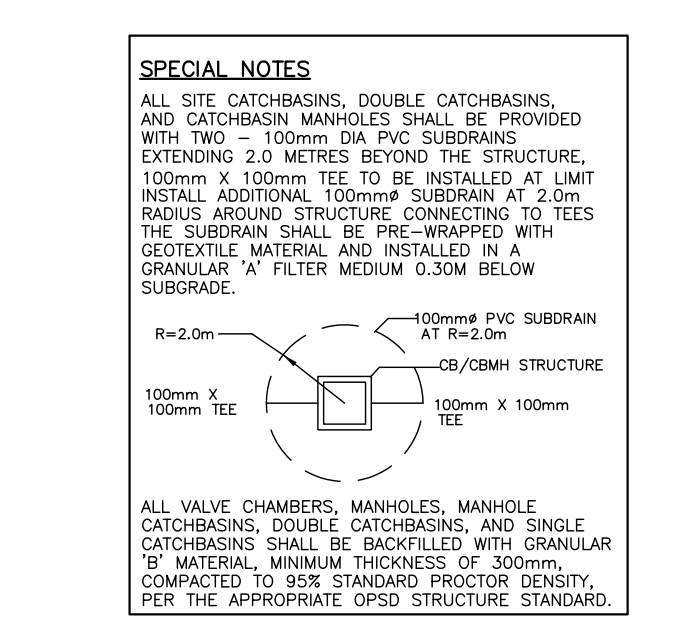
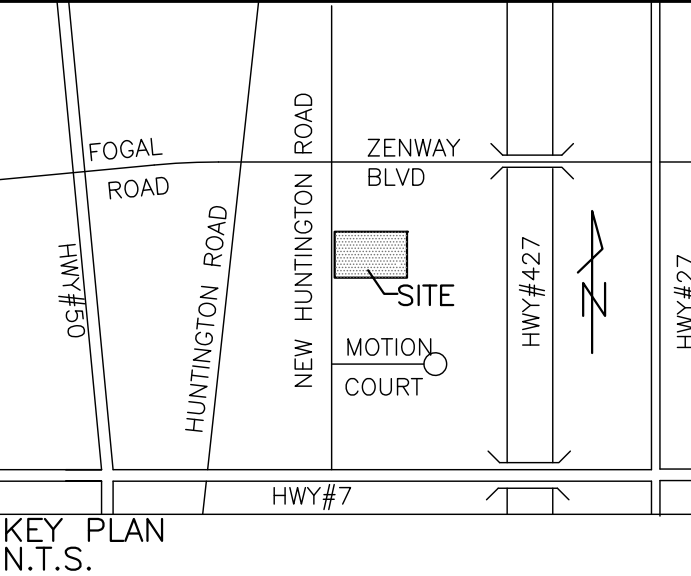
City of Vaughan logo, project information, client name (155 NEW HUNTINGTON INC.), drawing title (SITE GRADING PLAN), and date (OCTOBER 28, 2022).

22106-G1
DPL: 22106-R3.DWG





- ### CITY OF VAUGHAN SITE PLAN NOTES
- STANDARD DRAWINGS OF THE CITY OF VAUGHAN, REGION OF YORK, ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS AND ALL REQUIREMENTS AS SET OUT BY THE ONTARIO BUILDING CODE SHALL CONSTITUTE PART OF THE SITE PLAN DRAWINGS, REQUIREMENTS AND SPECIFICATIONS.
  - ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR THE CONSTRUCTION PROJECTS.
  - THE OWNER SHALL RETAIN THE SERVICES OF HIS CONSULTANTS TO ENSURE REQUIRED INSPECTION REPORTS AND OR CERTIFICATION REQUIREMENTS ARE SUBMITTED TO THE ENGINEERING DEPARTMENT AND OTHER AFFECTED CITY DEPARTMENTS.
  - THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
  - THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS ORIGINAL ONLY AND WHERE SHOWN ON THE DRAWINGS THE ACCURACY OF THE LOCATION OF SUCH UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE OWNER SHALL PROVIDE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION OR ADJUSTMENT FOR THE SAME.
  - ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
  - SANITARY AND STORM CONTROL MANHOLES SHALL BE IN ACCORDANCE WITH CITY STANDARD DRAWINGS 701.01 (1200mm), 701.01 (1500mm), 701.02 (1200mm), 701.02 (1500mm) AND 701.04 (3000mm). FRAME AND COVER SHALL BE MCCOY H3131 OR APPROVED EQUAL. THE MANHOLES SHALL BE BENCHED TO THE CORNER (TOP) OF THE CURB OR TO THE CORNER OF THE STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION OR ADJUSTMENT FOR THE SAME.
  - ALL SANITARY MANHOLE COVERS IN THE PONDING AREAS TO BE WATER TIGHT SEALED COVERS.
  - ALL CATCHBASIN SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DRAWING K-4. ALL CATCHBASIN FRAMES AND COVERS SHALL BE MCCOY H3131 OR APPROVED EQUAL.
  - ALL INDUSTRIAL/COMMERCIAL/CONDOMINIUM WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DRAWINGS C-102 & C-103 AND W-106.
  - WATERMAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5m AND A HORIZONTAL SEPARATION OF 2.5m BETWEEN ANY SEWER OR MANHOLE.
  - HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W-104 WITH 1.0m MINIMUM CLEAR FROM ALL OBSTRUCTIONS.
  - ENTRANCE DRIVEWAYS SHALL BE CONSTRUCTED WITH HEAVY DUTY ASPHALT FROM THE BACK OF THE MINOR CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE (AREA HIGHLIGHTED ON DRAWINGS) IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
    - 50mm COMPACTED DEPTH OF H/3 ASPHALT - TOP COURSE
    - 75mm COMPACTED DEPTH OF H/3 ASPHALT - BINDER COURSE
    - 150mm COMPACTED DEPTH OF 20mm CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
    - 300mm COMPACTED DEPTH OF 50mm CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
  - ALL CONCRETE CURB FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB OPSD 600.100. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm UNLESS OTHERWISE NOTED. ENTRANCE DRIVEWAYS SHALL BE DISCONTINUOUS AT SIDEWALKS AND TURNED BACK 600mm MINIMUM.
  - ALL REQUIRED CURB BE INSTALLED AT ENTRANCE DRIVEWAY AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE OUTLET TO THE SATISFACTION OF THE CITY.
  - EXISTING ROADWAY CURB AND GUTTER TO BE CONTINUOUS THROUGH THE PROPOSED NEW DRIVEWAY ENTRANCE WITH CITY STANDARD DRAWINGS C-102 & C-103 AND W-106.
  - SIDEWALK TO BE 200mm THICK THROUGH ENTRANCE DRIVEWAY ENTRANCE PER CITY STANDARD R-128.
  - FROST COLLARS ARE TO BE PROVIDED ON CURB STOPS AND VALVE BOXES WHEN LOCATED WITHIN THE LIMITS OF THE DRIVEWAYS.
  - ENTRANCE DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTION.
  - APPROPRIATE CONSTRUCTION DETAILS SHOULD BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0m. DETAILS SHALL BE DESIGNED AND CHECKED BY A PROFESSIONAL ENGINEER UPON APPROVAL. HANDLING/GRADING PER CITY STANDARD DRAWING R-105 OR APPROVED EQUAL. UPON COMPLETION RETAINING WALLS GREATER THAN 1.0m TO BE CERTIFIED BY A STRUCTURAL/GEOTECHNICAL ENGINEER.
  - LANDSCAPE SHALL NOT ENCRUSH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
  - SLOPES IN LANDSCAPED AREAS AND ON DRIVEWAYS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
  - PAVEMENT GRASSES (MIN. 0.5% MAX. 5%).
  - DRAINAGE GRASSES SHALL GRASSES (MIN. 2% MAX. 5%).
  - OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUT-OFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
  - SANITARY, STORM AND WATER SERVICE CONNECTIONS WHICH ARE NOT IN PLACE ON THE MUNICIPAL ROAD ALLOWANCE TO THE PROPERTY LINE SHALL BE ARRANGED FOR INSTALLATION BY THE CITY ON PAYMENT OF INSTALLATION COSTS BY THE OWNER. TO INITIATE THE INSTALLATION OF THE SERVICE CONNECTIONS, THE OWNER SHALL FILE AN APPLICATION WITH THE ENVIRONMENTAL AND TECHNICAL SERVICES DIVISION OF THE PUBLIC WORKS DEPARTMENT WHICH INCLUDES 2 COPIES OF THE APPROVED SITE PLAN DRAWINGS WITH DEPARTMENT'S APPROVAL SEAL AND IF REQUIRED A COPY OF THE REGIONAL APPLICABLE SCHEDULE AS PER THE EXECUTED SITE PLAN AGREEMENT.
  - SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO THE ADJACENT LANDS UNTIL THE COMPLETION OF SODDING ACTIVITIES.
  - CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 450mm CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.
  - THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS, PARKING SPACES, AND MANEUVERING AREAS WITHIN THE SITE SHALL BE PAVED WITH A HARD SURFACE. THE RECOMMENDED MINIMUM DEPTH REQUIREMENTS ARE AS FOLLOWS:
    - 45mm COMPACTED DEPTH H/3 ASPHALT - TOP COURSE
    - 50mm COMPACTED DEPTH H/3 ASPHALT - BINDER COURSE
    - 150mm COMPACTED DEPTH 20mm CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
    - 200mm COMPACTED DEPTH 50mm CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
  - CONDOMINIUM UNIT DRIVEWAYS - THE MINIMUM REQUIRED DEPTH REQUIREMENTS ARE AS FOLLOWS:
    - 25mm COMPACTED DEPTH H/3 ASPHALT TOP COURSE
    - 50mm COMPACTED DEPTH H/3 ASPHALT BINDER COURSE
    - 200mm COMPACTED DEPTH 20mm CRUSHER RUN LIMESTONE
  - TOP COURSE ASPHALT SHALL NOT BE PLACED UNTIL THE BASE COURSE ASPHALT HAS BEEN IN PLACE FOR THE WINTER SEASON. OTHER HARD SURFACES MAY BE INSTALLED AS PER THE CITY.
  - ALL PROPOSED PARKING SPACES FOR DISABLED IN CLASSE "B3" BY PERMIT ONLY TRAFFIC SIGN AND PARKING DESIGNATED SYMBOL. MARKING IN ACCORDANCE WITH CITY STANDARD DRAWING R-105 OR APPROVED EQUAL.
  - THE OWNER/CONSULTING ENGINEER SHALL DESIGN, IMPLEMENT AND MONITOR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION IN THE PLAN IN ACCORDANCE WITH THE TRCA EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION, 12 DECEMBER 12, 2006, TO THE SATISFACTION OF THE CITY AND TRCA.



### CATCHBASIN DATA CHART

CB ID	TOP ELEV.	LEAD	LEAD DESCRIPTION	INV. OF MAIN	INV. OF MANHOLE
CB#1	188.85	187.450.30.00m	200mm PVC STM @ 1.00%	187.150	187.000
CB#2	188.85	187.450.30.00m	200mm PVC STM @ 0.55%	187.285	187.100
CB#3	188.74	187.340.3.00m	200mm PVC STM @ 0.200%	187.268	187.034
CB#4	188.74	187.340.3.00m	200mm PVC STM @ 2.00%	187.280	186.931
CB#5	188.74	187.340.3.00m	200mm PVC STM @ 2.00%	187.280	186.903
CB#6	188.74	187.340.3.00m	200mm PVC STM @ 2.00%	187.280	186.875
CB#7	188.74	187.340.3.00m	200mm PVC STM @ 2.00%	187.280	186.847
CB#8	188.74	187.340.3.00m	200mm PVC STM @ 2.00%	187.280	186.817

### STORM WATER MANAGEMENT SYSTEM PERFORMANCE SUMMARY

CATCHMENT AREA ALLOWABLE RELEASE RATE: 384.91 l/sec

ORIFICE CONTROL DIAMETER: 150mm

SURFACE DETENTION STORAGE MAX DESIGN TWL: 189.05m

100-YR STORM EVENT MAX DESIGN TWL: 189.05m

ORIFICE TUBE DESIGN HEAD: 3.00m

COMBINED RELEASE RATE OF SITE SWM SYSTEM: 141.25 l/sec

AVAILABLE DETENTION STORAGE VOLUME: 437.21 cum

REQUIRED DETENTION STORAGE VOLUME: 436.95 cum

LOWEST ELEVATION FOR SITE STW NETLY: 186.74m

DEPTH OF 100-YR STW DETENTION STORAGE: 0.275m

### SURVEYOR'S NOTE

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM TOPOGRAPHIC SURVEY PREPARED BY: Ruffalo & Sons Surveyors Inc. PROFESSIONAL LAND SURVEYORS

PROJECT NO. 2022106911, DATED: MARCH 14, 2022

### BENCHMARK NOTE

ELEVATIONS ARE GEODETIC AND REFERRED TO THE CITY OF VAUGHAN VERTICAL CONTROL MONUMENT NO. 58-2, HAVING AN ELEVATION OF 190.045 METRES.

- ### SPECIAL NOTES AND REQUIREMENTS OF THE CITY TO BE FULFILLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- THE OWNER/BUILDER SHALL OBTAIN ANY REQUIRED ADDITIONAL PERMITS AND SHALL CO-ORDINATE ALL INSPECTIONS DIRECTLY THROUGH THE CITY'S INSPECTION DIVISION OF THE CITY OF VAUGHAN. THE OWNER SHALL OBTAIN A RECEIPT OF SITE PLAN APPROVAL FOR ALL PROPOSED WORKS WHEN THAT CITY'S RIGHT-OF-WAY CURB CUTS/STOPS, SIDEWALK RE-CONSTRUCTION OR INSTALLATION, BOULEVARD REHABILITATION, ETC.)
  - THE OWNER/BUILDER SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION IN THE PLAN IN ACCORDANCE WITH THE TRCA EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION, 12 DECEMBER 12, 2006, TO THE SATISFACTION OF THE CITY AND TRCA.
  - THE OWNER/BUILDER SHALL CONTACT THE CITY'S ENVIRONMENTAL SERVICES DEPARTMENT THROUGH THE DEVELOPMENT ENGINEERING INSPECTION AND LOT GRADING DIVISION OF THE CITY OF VAUGHAN AT LEAST 72 HOURS IN ADVANCE OF ANY AND/OR DISCONNECTING FROM ANY MUNICIPAL SERVICES TO ENSURE THAT STAFF IS PRESENT ON SITE TO OBSERVE THE WORKS INCLUDING THE DECOMMISSIONING OF SERVICES AND TO PROVIDE ANY ADDITIONAL REQUIREMENTS OF THE CITY TO THEIR SOLE SATISFACTION.
  - THE OWNER/BUILDER SHALL CONTACT THE CITY'S ENVIRONMENTAL SERVICES DEPARTMENT TO PURCHASE A WATER METER IF REQUIRED. NOTE THAT THE WATER METER SHALL BE INSTALLED BY THE OWNER/BUILDER CONTRACTOR WITH SUFFICIENT READ-OUT EQUIPMENT TO THE SATISFACTION OF THE CITY OF VAUGHAN.

### SURVEYOR'S LEGEND

- P1 REGISTERED PLAN E5M-3992
- P2 PLAN E5M-34359
- P3 PLAN E5M-31174
- P4 PLAN OF SURVEY BY SCHAEFFER DZALDOV BENNETT LTD., DATED SEPTEMBER 20, 2011. (JOB NO. 04-722-27)
- C1 CALCULATED FROM P1 AND P2
- OU UNDEGROUND
- CU CUT CROSS
- OP CONCRETE PIN
- OR OBSERVED REFERENCE POINT
- CB CATCH BASIN
- SC SIAMSESE CONNECTION
- FM FOUND SURVEY MONUMENT
- SO SOIL
- SL LIGHT STANDARD
- RE RENEWAL
- WV WATER VALVE/ KEY
- PE PEDESTAL
- SI SIGN
- GV GAS VALVE/LINE
- HT HYDRO TRANSFORMER PAD
- DS DOOR SILL
- FF FINISHED FLOOR
- TP TOP OF WALL
- TS TOP OF SLOPE
- TOS BOTTOM OF SLOPE
- MB MAIL BOX
- UB UTILITY BOX

### LEGEND

- MAN DOOR LOCATIONS
- EXIST. STORM SEWER MANHOLE
- EXIST. SANITARY SEWER MANHOLE
- PROP. STORM SEWER MANHOLE
- PROP. SANITARY SEWER MANHOLE
- PROPOSED CATCHBASIN
- EXISTING CATCHBASIN
- OIL CRT CHAMBER
- PROPOSED ELEVATION
- 179.55
- PROPOSED CATCHBASIN
- HYDRANT AND VALVE
- VALVE CHAMBER
- VALVE AND BOX
- BUILDING SIAMSESE CONNECTION
- DIRECTION OF DRAINAGE FLOW
- OVERLAND FLOW ROUTE
- BUILDING LINE CLEAN-OUT (B.L.C.O.)
- EXTENT OF DETENTION PONDING
- EXTENT OF HEAVY DUTY PAVEMENT
- EXTENT OF SNOW STORAGE
- EXISTING CURB
- EXISTING CURB TO BE REMOVED
- ONE WAY TRAFFIC
- FIREROUTE
- INFILTRATION PAVERS
- FLUSH CURB

### REVISIONS

NO.	DATE	DESCRIPTION
1.	AUG 21/23	ARCHITECTURAL CO-ORDINATION
2.	NOV 24/22	ISSUED FOR PERMIT
3.	NOV 23/22	NEW BUILDING ADDITION SAN ADDED PER ARCH
4.	NOV 4/22	UPDATED SWM REFLECTING REVISED ARCH RECEIVED ON NOV 3/22

MUNICIPALITY: **CITY OF VAUGHAN**

CITY REFERENCE: DA

DESIGNED BY: **DAVID PISCIONE**

DATE: AUGUST 21, 2023

CLIENT: **155 NEW HUNTINGTON INC. c/o KIERLAND GROUP**

50 NIMACOR AVENUE  
CONCORD, ONTARIO, L4K 4Z9

PROJECT: **PROPOSED BUILDING ADDITION AT 155 NEW HUNTINGTON ROAD**

DRAWING TITLE: **SITE SERVICING PLAN**

CIVIL CONSULTANT: **V.A. PISCIONE & ASSOCIATES INC.**

50 RITIN LANE, UNIT NO. 18  
CONCORD, ONTARIO, L4K 4C9  
TEL: 416-736-9094 FAX: 905-660-3769  
email: vap@bellnet.ca

DATE: OCTOBER 28, 2022

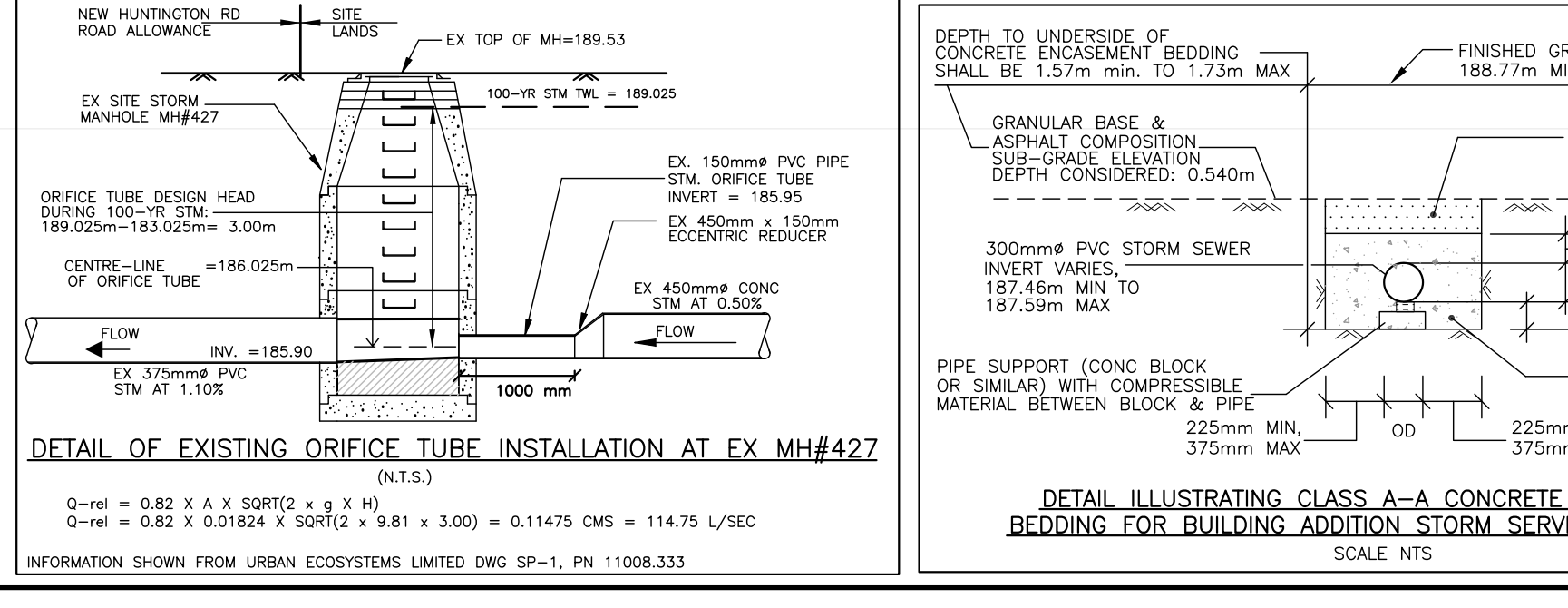
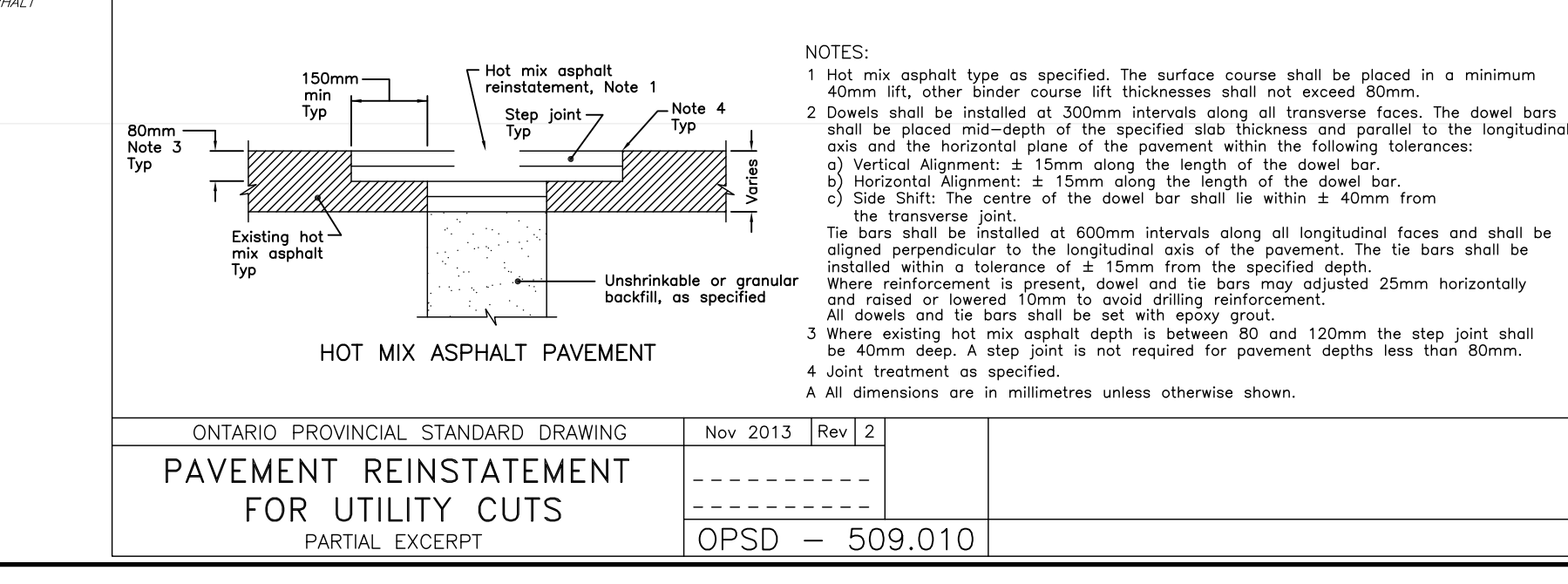
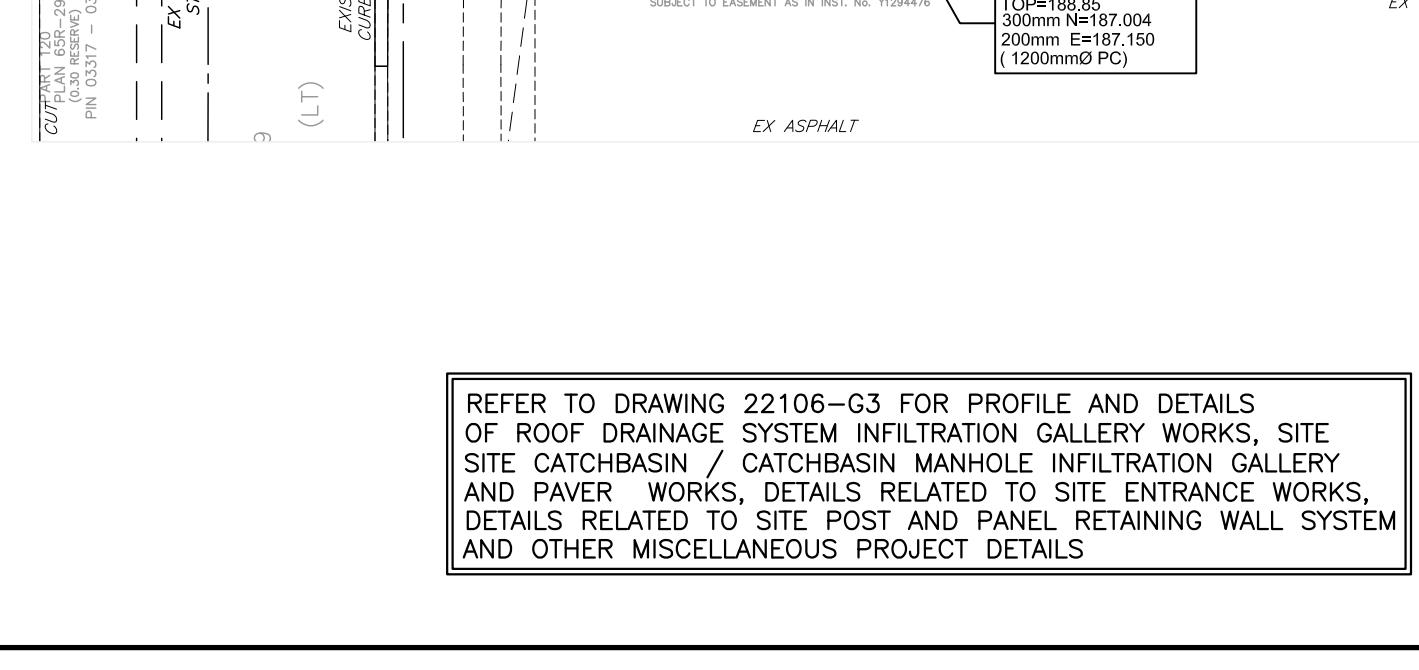
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DRAWN BY: AL / H.S.

JOB NO: 22-106-E

DRAWING NO: **22106-G2**

DFILE: 22106-R3.DWG



### ONTARIO PROVINCIAL STANDARD DRAWING

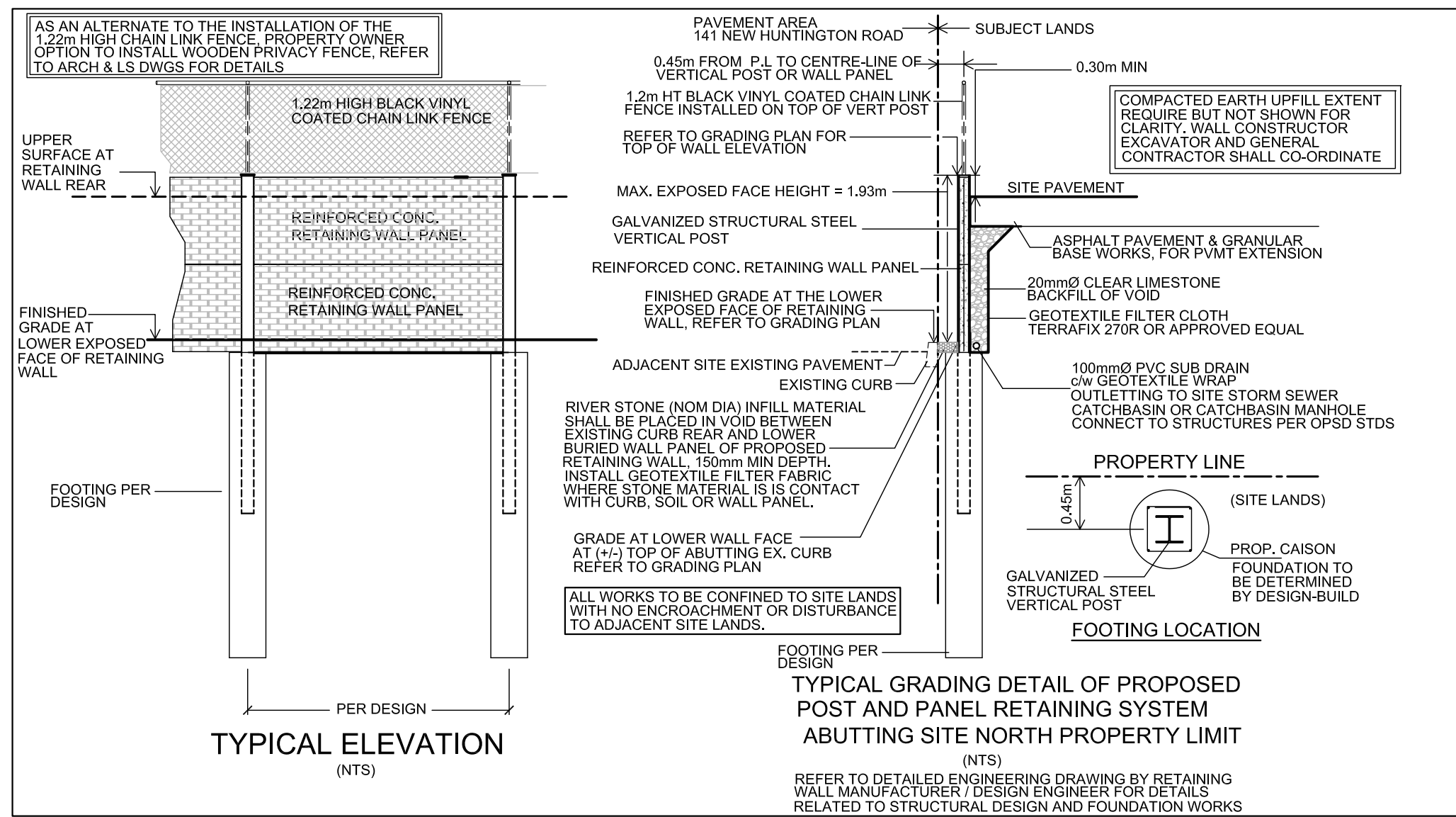
Nov 2013 Rev 2

PARTIAL EXCERPT

OPSD - 509.010

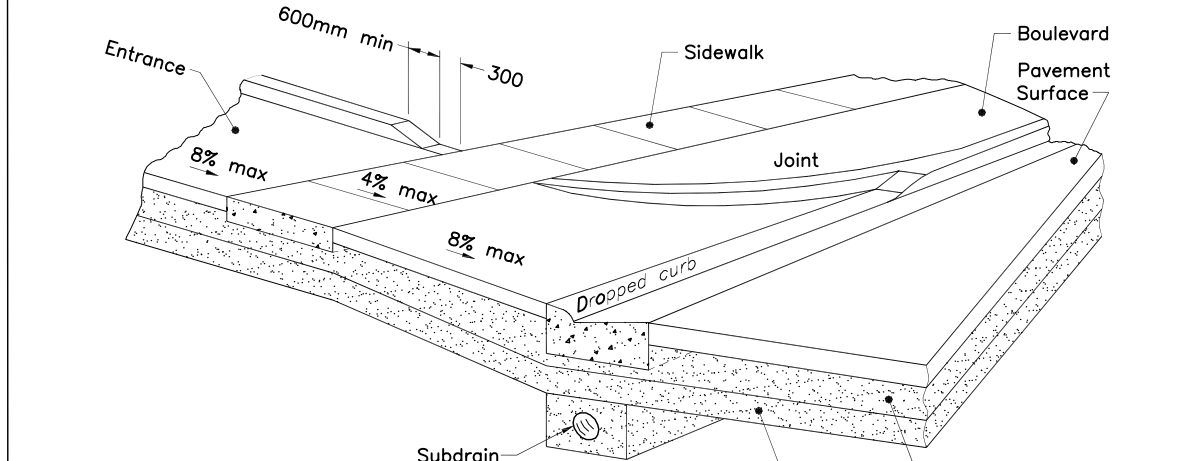
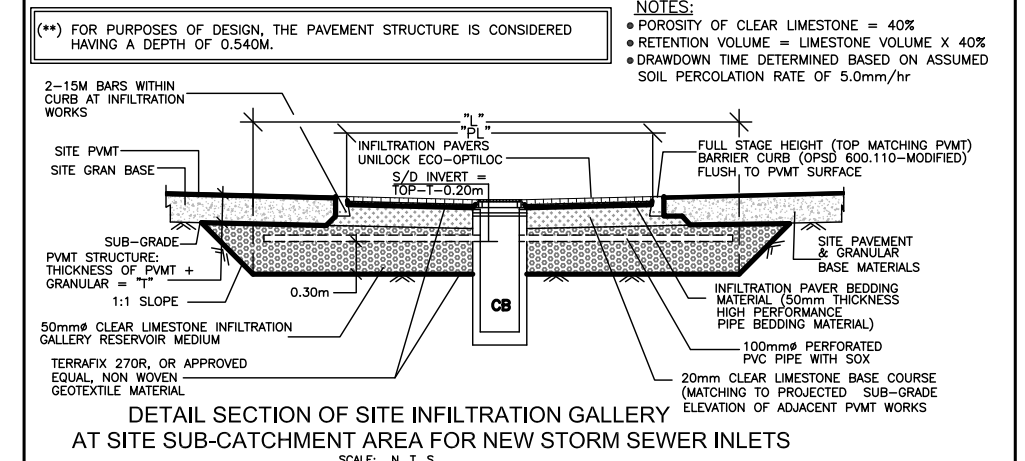
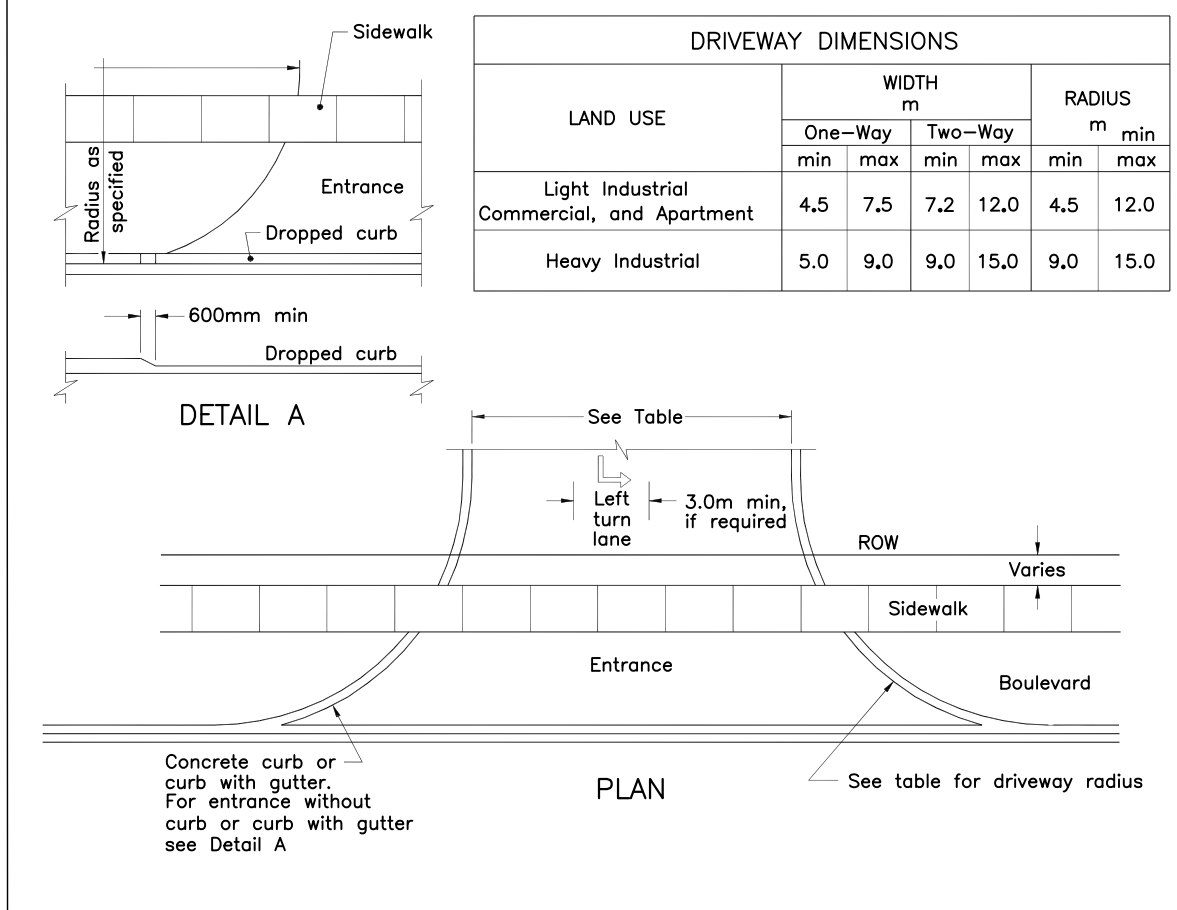
REFER TO DRAWING 22106-G3 FOR PROFILE AND DETAILS OF ROOF DRAINAGE SYSTEM INFILTRATION GALLERY WORKS, SITE CATCHBASIN / CATCHBASIN MANHOLE INFILTRATION GALLERY AND PAVEMENT WORKS, DETAILS RELATED TO SITE ENTRANCE WORKS, DETAILS RELATED TO SITE POST AND PANEL RETAINING WALL SYSTEM AND OTHER MISCELLANEOUS PROJECT DETAILS





**INfiltration Paver Maintenance**

CB ID	RM	NET AREA (sqm)	5.00mm SANDY (sqm)	INfiltration DEPTH (m)	INfiltration LENGTH (m)	PRINTED MANTAIN VOLUME (cu/m)	WIDTH (m)	LENGTH (m)	PERFORATED INVERT ELEVATION (m)	BASE ELEVATION (m)	DRAINAGE (mm)		
CB1M	CB1M	189.74	3049	15.25	0.30	2.40	68.50	19.73	1.05	58.25	188.00	187.70	46.37
CB1F	CB1F	189.85	325	1.83	0.30	2.00	8.50	2.94	1.57	3.65	188.11	187.81	47.78
CB2F	CB2F	189.85	415	2.08	0.30	2.00	11.00	3.74	1.57	4.69	188.11	187.81	47.15
CB3F	CB3F	189.74	597	2.99	0.30	2.00	16.80	5.74	1.55	9.89	188.00	187.70	47.84
CB3M#1	CB3M#1	189.85	178	8.95	0.30	5.00	19.00	11.28	2.87	10.93	188.11	187.81	47.68
CB3M#2	CB3M#2	189.85	414	2.07	0.30	2.00	11.00	2.64	1.57	4.69	188.11	187.81	47.55
<b>TOTAL</b>		<b>6589</b>	<b>3285</b>			<b>42.19</b>							

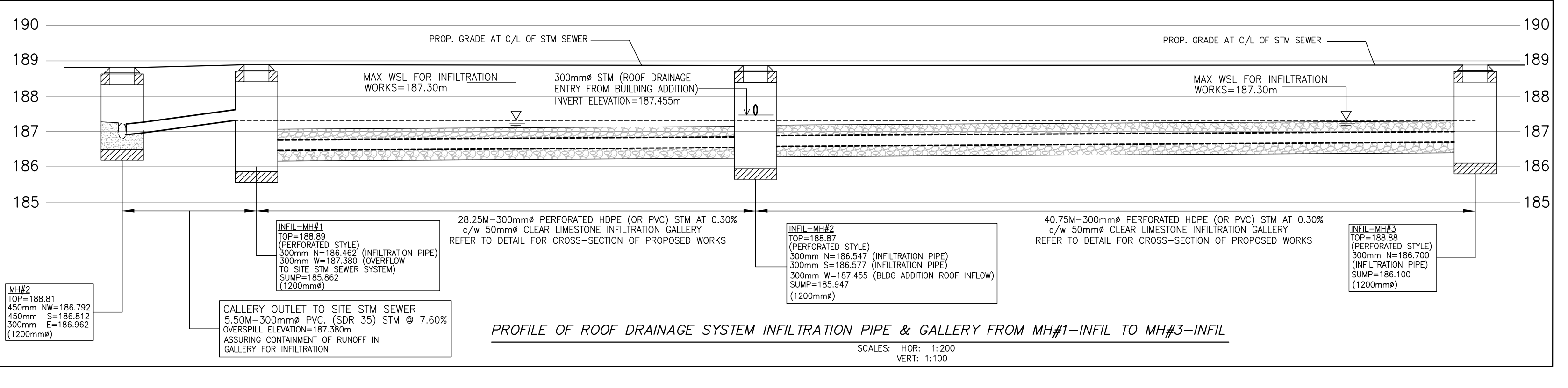
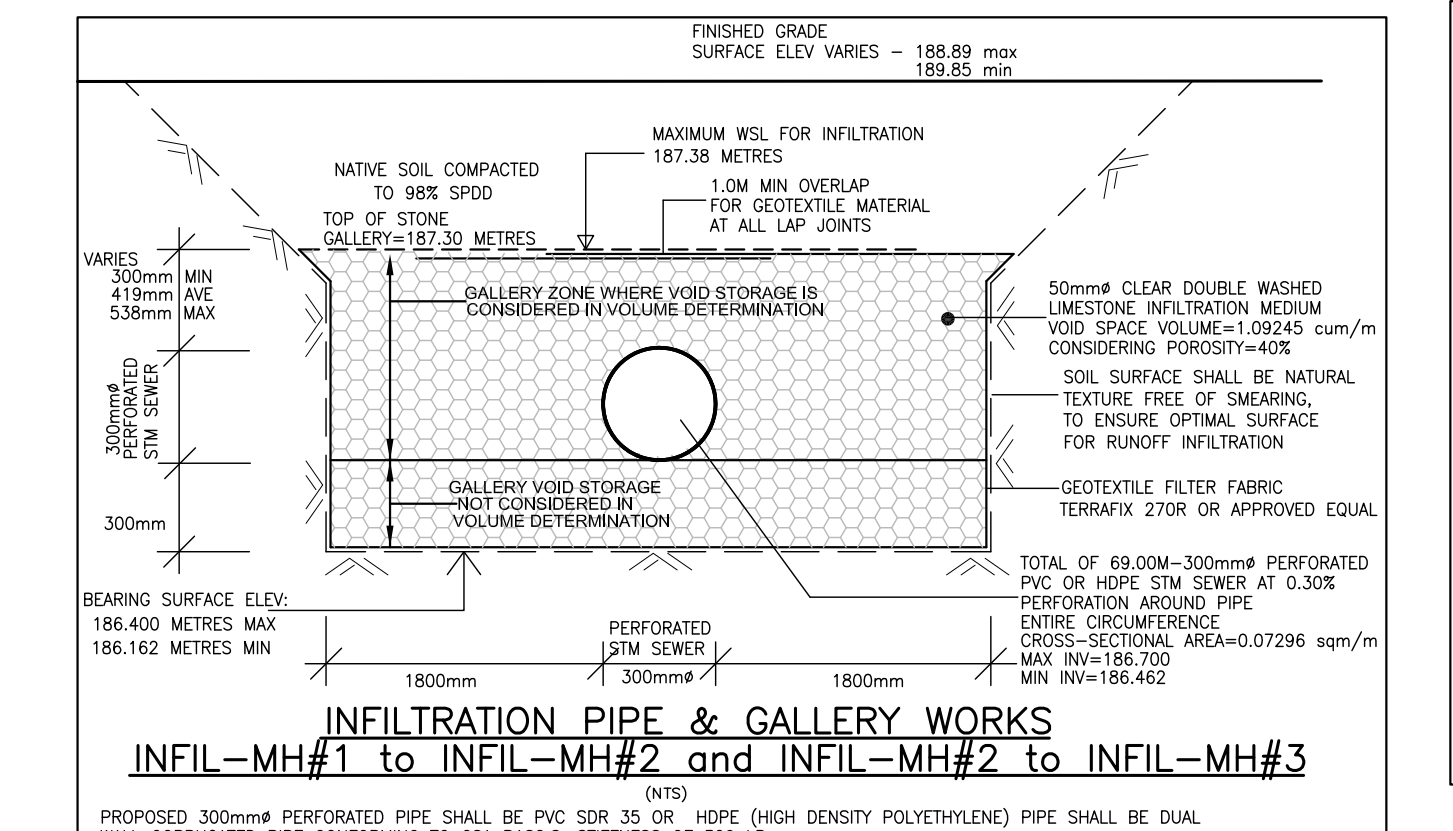
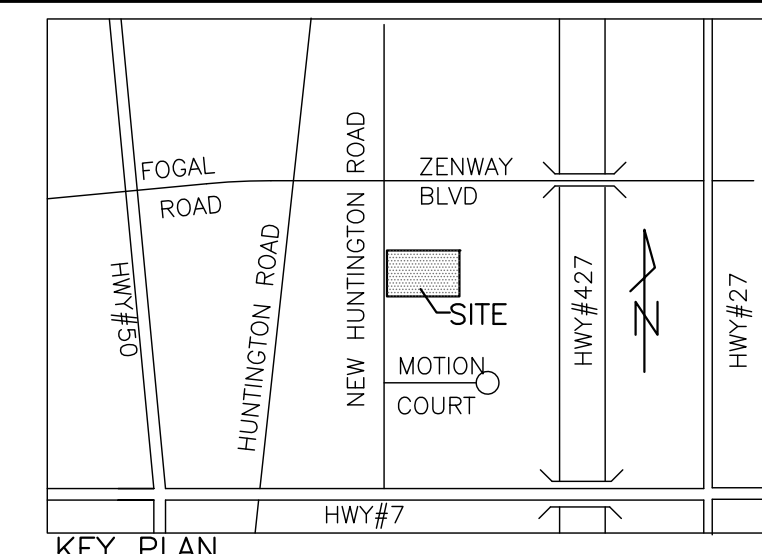


**SPECIAL NOTES GOVERNING THE DESIGN AND CONSTRUCTION OF THE SITE POST AND PANEL CONCRETE RETAINING WALL SYSTEMS**

- CONTRACTOR SHALL RETAIN QUALIFIED PROFESSIONAL ENGINEERS THAT WILL BE RESPONSIBLE FOR THE DESIGN AND/OR CONSTRUCTION CERTIFICATION OF THE PROPOSED POST AND PANEL RETAINING WALL SYSTEMS, IN FULFILLMENT OF ALL REQUIREMENTS OF THE CITY OF MARKHAM.
- THE ENGINEERING CONSULTANT RESPONSIBLE FOR THE CONSTRUCTION CERTIFICATION SHALL ISSUE CERTIFICATES TO THE CITY OF MARKHAM ENGINEERING DEPARTMENT UPON THE COMPLETION OF ALL RETAINING WALL CONSTRUCTION TO CONFIRM & CERTIFY THE COMPLIANCE OF CONSTRUCTION TO THE APPROVED DESIGN, APPLICABLE CODES AND REGULATIONS, TO THE SATISFACTION OF THE CITY.
- A 1.2METER MINIMUM HEIGHT CHAIN LINK FENCE OR RAILING PER OBC (ARCHITECT'S PREFERENCE) SHALL BE INSTALLED ON TOP OF THE RETAINING WALL PER CITY REQUIREMENTS, WHERE THE WALL HT > 0.60m.
- RETAINING WALL DESIGN SHALL INCLUDE EARTH PRESSURE PLUS 200psf LIVE LOAD DUE TO TRAFFIC/VEHICULAR LOAD AT WALL REAR.
- WALL CONSTRUCTION OFFSET FROM PROPERTY SHALL BE MIN 0.15m INSIDE THE SUBJECT LANDS, OR AS NOTED.
- USE OF RETAINING WALL PRODUCT SUBJECT TO OWNER APPROVAL.
- A PHOTOGRAPHIC HISTORY OF THE WALL'S CONSTRUCTION SHALL BE SUBMITTED BY THE CONTRACTOR TO PROVIDE A RECORD OF THE WALL'S CONSTRUCTION COMPLIANCE TO GOVERNING SPECIFICATIONS.
- LOWER GRADE AT FACE OF PROPOSED RETAINING WALL SHALL BE BASED ON PROJECTION OF A 2.0% POSITIVE GRADIENT FROM THE TOP OF CURB, WHERE THE RETAINING WALL INSTALLATION ABUTS THE EXISTING PAVEMENT CURB, OR THE EXISTING GROUND ELEVATION, WHERE NO ROADWAY CURB OR PAVEMENT AREA CURB IS PRESENT.
- GUARD RAIL SHALL BE INSTALLED WHERE INDICATED ON PLANS. DESIGN OF RETAINING WALL SHALL CONSIDER THE PRESENCE OF THE GUARD RAIL BARRIER AND ITS INFLUENCE ON THE DESIGN.

**CITY OF VAUGHAN SITE PLAN NOTES**

- STANDARD DRAWINGS OF THE CITY OF VAUGHAN, REGION OF YORK, ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATION, AND ALL REQUIREMENTS AS SET OUT BY THE ONTARIO BUILDING CODE SHALL CONSTITUTE PART OF THE SITE PLAN DRAWINGS, REQUIREMENTS AND SPECIFICATIONS.
- ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR THE CONSTRUCTION PROJECTS.
- THE OWNER SHALL RETAIN THE SERVICES OF HIS CONSULTANTS TO ENSURE REQUIRED INSPECTION REPORTS AND/OR CERTIFICATION REQUIREMENTS ARE SUBMITTED TO THE ENGINEERING DEPARTMENT AND OTHER AFFECTED CITY DEPARTMENTS.
- THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
- THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY AND WHERE SHOWN ON THE DRAWINGS THE ACCURACY OF THE LOCATION OF SUCH UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE OWNER SHALL PROVIDE THE LOCATION OF SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION OR ADJUSTMENT FOR THE SAME.
- ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
- SANITARY AND STORM CONTROL MANHOLES SHALL BE IN ACCORDANCE WITH OPSD STANDARD DRAWINGS 701.010 (1200mm), 701.011 (1500mm), 701.012 (1800mm), 701.013 (2400mm) AND 701.014 (3000mm). FRAME AND COVER SHALL BE MCCOY MH311 OR APPROVED EQUAL. THE MANHOLES SHALL BE BENCH TO THE OVERTOP (TOP) OF PIPES.
- ALL SANITARY MANHOLE COVERS IN THE PONDING AREAS TO BE WATER TIGHT SEALED COVERS.
- ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DRAWING K-4. ALL CATCHBASIN FRAMES AND COVERS SHALL BE MCCOY MH311 OR APPROVED EQUAL.
- ALL INDUSTRIAL/COMMERCIAL/CONDOMINIUM WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DRAWINGS C-102 & C-103, AND W-106.
- WATERMAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5m AND A HORIZONTAL SEPARATION OF 2.5m BETWEEN ANY SINKER OR MANHOLE.
- HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W-104 WITH 1.0m MINIMUM CLEAR FROM ALL OBSTRUCTIONS.
- ENTRANCE DRIVEWAYS SHALL BE CONSTRUCTED WITH HEAVY DUTY ASPHALT FROM THE BACK OF THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE (AREA HIGHLIGHTED ON DRAWINGS) IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
  - 50mm COMPACTED DEPTH OF H3 ASPHALT - TOP COURSE
  - 75mm COMPACTED DEPTH OF H3 ASPHALT - BINDER COURSE
  - 150mm COMPACTED DEPTH OF 20mm CRUSHER RUN LIMESTONE - GRANULAR BASE
  - 300mm COMPACTED DEPTH OF 50mm CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
- ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB OPSD 600.100. ALL CONCRETE CURB HEIGHTS SHALL BE 150mm UNLESS OTHERWISE NOTED. ENTRANCE DRIVEWAY CURB TO BE DISCONTINUED AT 600mm MINIMUM.
- ALL REQUIRED CURB CUTTING AT ENTRANCE DRIVEWAY AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY.
- EXISTING ROADWAY CURB AND GUTTER TO BE CONTINUOUS THROUGH THE PROPOSED NEW DRIVEWAY ENTRANCES) ALONG WITH THE MUNICIPAL SIDEWALK.
- SIDEWALK TO BE 200mm THICK THROUGH ENTRANCE DRIVEWAY ENTRANCE PER CITY STANDARD R-128.
- FROST COLLARS ARE TO BE PROVIDED ON CURB STOPS AND VALVE BOXES WHEN LOCATED WITHIN THE LIMITS OF THE DRIVEWAYS.
- ENTRANCE DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
- APPROPRIATE CONSTRUCTION DETAILS SHOULD BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0m. DETAILS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER UPON APPROVAL. MANUAL GUARD/FENCE IS REQUIRED WHEN HEIGHT EXCEEDS 0.60m (AS PER CITY STANDARD DRAWING FRW-105 OR APPROVED EQUAL), UPON COMPLETION RETAINING WALLS GREATER THAN 1.0m TO BE CERTIFIED BY A STRUCTURAL AND GEOTECHNICAL ENGINEER.
- LANDSCAPE SHALL NOT ENDOUR ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- SLOPES IN LANDSCAPED AREAS AND ON BELEMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- PAVEMENT GRADES (MIN. 0.5% MAX. 5%).
- DRAINAGE GRASSES SHALLS WITH GRADES (MIN. 2% MAX. 5%).
- OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUT-OFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
- SANITARY, STORM AND WATER SERVICE CONNECTIONS WHICH ARE NOT IN PLACE ON THE MUNICIPAL ROAD ALLOWANCE TO THE PROPERTY LINE SHALL BE ARRANGED FOR INSTALLATION BY THE CITY ON PAYMENT OF INSTALLATION COSTS BY THE OWNER. TO INITIATE THE INSTALLATION OF THE SERVICE CONNECTIONS, THE OWNER SHALL FILE AN APPLICATION WITH THE ENVIRONMENTAL AND TECHNICAL SERVICES DIVISION OF THE PUBLIC WORKS DEPARTMENT WHICH INCLUDES 2 COPIES OF THE APPROVED SITE PLAN DRAWINGS) WITH DEPARTMENT'S APPROVAL SEAL AND IF REQUIRED A COPY OF THE REGIONAL APPROVAL SCHEDULE AS PER THE EXECUTED SITE PLAN AGREEMENT.
- SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO THE ADJACENT LANDS UNTIL THE COMPLETION OF SODDING ACTIVITIES.
- CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 450mm CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.
- THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS, PARKING SPACES, AND MANUEVERING AREAS WITHIN THE SITE SHALL BE PAVED WITH A HARD SURFACE. THE RECOMMENDED MINIMUM DEPTH REQUIREMENTS ARE AS FOLLOWS:
  - 40mm COMPACTED DEPTH H3 ASPHALT - TOP COURSE
  - 50mm COMPACTED DEPTH H3 ASPHALT - BINDER COURSE
  - 150mm COMPACTED DEPTH 20mm CRUSHER RUN LIMESTONE - GRANULAR BASE
  - 200mm COMPACTED DEPTH 20mm CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
- CONDOMINIUM UNIT DRIVEWAYS - THE MINIMUM RECOMMENDED DEPTH REQUIREMENTS ARE AS FOLLOWS:
  - 25mm COMPACTED DEPTH H3 ASPHALT TOP COURSE
  - 50mm COMPACTED DEPTH H3 ASPHALT BASE COURSE
  - 200mm COMPACTED DEPTH 20mm DIA. CRUSHER RUN LIMESTONE
- TOP COURSE ASPHALT SHALL NOT BE PLACED UNTIL THE BASE COURSE ASPHALT HAS BEEN IN PLACE FOR ONE WINTER SEASON. OTHER HARD SURFACES MAY BE INSTALLED AS APPROVED BY THE CITY.
- ALL PROPOSED PARKING SPACES FOR DISABLED IN CLASSE "B8-83 BY PERMIT ONLY" TRAFFIC SIGN AND PAVEMENT DISABLED SPACES MARKING IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
- THE OWNER/CONSULTING ENGINEERS SHALL DESIGN, IMPLEMENT AND MONITOR EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION IN THE PLAN IN ACCORDANCE WITH THE TRCA EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION, DATED DECEMBER 12, 2006, TO THE SATISFACTION OF THE CITY AND TRCA.



**REVISIONS**

NO.	DATE	DESCRIPTION
3.	AUG 21/23	ARCHITECTURAL CO-ORDINATION
2.	NOV 23/22	NEW BUILDING ADDITION SAN ADDED PER ARCH
1.	NOV 4/22	UPDATED SWM REFLECTING REVISED ARCH RECEIVED ON NOV 3/22

MUNICIPALITY: **CITY OF VAUGHAN**  
CITY REFERENCE: DA

DESIGNED BY: [Signature]  
DATE: AUGUST 21, 2023

CLIENT: **155 NEW HUNTINGTON INC. c/o KIERLAND GROUP**  
50 NIMACOR AVENUE  
CONCORD, ONTARIO, L4K 4Z9

PROJECT: **PROPOSED BUILDING ADDITION AT 155 NEW HUNTINGTON ROAD**

DRAWING TITLE: **MISCELLANEOUS PROJECT DETAILS**

CIVIL CONSULTANT: **V.A. PISCIONE & ASSOCIATES INC.**  
50 RITIN LANE, UNIT NO. 18  
CONCORD, ONTARIO, L4K 4C9  
TEL: 416-736-9094 FAX: 905-660-3769  
email: vap@bellnet.ca

DATE: OCTOBER 28, 2022  
SCALE: 1 : 300  
DRAWN BY: A.L./H.S.  
JOB NO.: 22-106-E

DRAWING NO.: **22106-G3**  
DPL: 22106-R3.DWG

**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments



**To:** Committee of Adjustment  
**From:** Stan Belardinelli, Building Standards Department  
**Date:** February 06, 2024  
**Applicant:** Baldassarra Architects Inc.  
**Location:** 155 New Huntington Road  
 PLAN 65M3992 Block 27  
 PLAN 65M3992 Block 28  
**File No.(s):** A199/23

**Zoning Classification:**

The subject lands are zoned **EM1 – Prestige Employment Zone** and subject to the provisions of **Exception 14.897** under **Zoning By-law 001-2021**, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall from a lot line. [Table 4-1]	To permit a retaining wall with a maximum height of 1.93 m requiring a minimum setback of <b>1.93 m</b> from a lot line to have a proposed setback of <b>.200 m</b> from an interior side lot line.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

Building Permit No. 22-141139 for Warehouse Use Unit - Addition, Issue Date: Jun 05, 2023.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** February 13, 2024  
**Name of Owner:** Michael Fantin - 155 New Huntington Inc.  
**Location:** 155 New Huntington Road  
**File No.(s):** A199/23

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a retaining wall with a maximum height of 1.93 m requiring a minimum setback of 1.93 m from a lot line to have a proposed setback of 0.2 m from an interior side lot line.

**By-Law Requirement(s) (By-law 001-2021):**

1. A retaining wall shall be set back an equal distance to the height of the highest portion of the retaining wall from a lot line.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "General Employment" within Volume 1, Schedule 13 – Land Use and Volume 2, Section 12.12 Huntington Business Park

**Comments:**

The Owner is requesting relief to permit the construction of a retaining wall along the southern lot line of the Subject Lands, with the above-noted variance.

The Development Planning Department has no objection to the proposed variance for the retaining wall. The retaining wall has an exposed face height of 0.85 m when facing south, at its western most point. The wall height gradually increases as it travels eastward until it reaches its maximum height of 1.93 m one third down its length. The retaining wall is form and pour finished concrete which generally requires little maintenance. The wall will not encroach into the neighbouring property and an appropriate area is maintained for maintenance access without the need for entering the neighbouring property. The Development Engineering Department has also reviewed the proposal and has no concerns with the retaining wall. As such, the retaining wall is not anticipated to have any adverse impacts to the neighbouring property.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner  
David Harding, Senior Planner

**Date:** January 17<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A199-23**

**Related Files:**

**Applicant** Baldassarra Architects Inc.

**Location** 155 New Huntington Road



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### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

## Prabhdeep Kaur

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**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Wednesday, January 17, 2024 10:39 AM  
**To:** Committee of Adjustment  
**Cc:** Prabhdeep Kaur  
**Subject:** [External] RE: A199/23 (155 New Huntington Rd ) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 155 New Huntington Road, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None