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| ITEM: 6.5 | REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A197/23 |
|------------------|--|

Report Date: February 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

| Internal Departments <small>*Comments Received</small> | Conditions Required | | Nature of Comments |
|---|---|--|----------------------------------|
| Committee of Adjustment | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Building Standards (Zoning) | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | Recommend Approval w/Conditions |
| Development Finance | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| By-law & Compliance | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

| External Agencies <small>*Comments Received</small> | Conditions Required | | Nature of Comments <small>*See Schedule B for full comments</small> |
|--|---|--|--|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | General Comments w/Conditions |

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received <small>(mm/dd/yyyy)</small> | Summary |
|---------------------|------|---------|--|---------|
| None | | | | |

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

| Application No. (City File) | Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small> |
|-----------------------------|--|
| N/A | N/A |

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

| Hearing Date | Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small> |
|--------------|---|
| N/A | N/A |

| SCHEDULES | |
|---------------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Comments from Agencies, Building Standards & Development Planning |
| Schedule C (if required) | Public & Applicant Correspondence |
| Schedule D (if required) | Background |



**MINOR VARIANCE APPLICATION
FILE NUMBER A197/23
236 STORMONT TRAIL, WOODBRIDGE**

| | |
|--|---|
| CITY WARD #: | 3 |
| APPLICANT: | Diana Ferrari & Luciano [REDACTED] |
| AGENT: | Diana Ferrari |
| PROPERTY: | 236 Stormont Trail, Woodbridge |
| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas". |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit a proposed cabana. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.1049 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|---|
| 1 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.] | To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.51 m from the rear lot line. |
| 2 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.] | To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line. |
| 3 | Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3.] | To permit a residential accessory structure with an eaves encroachment having a minimum distance of 0.26 m from an interior lot line. |
| 4 | In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1.] | To permit a residential accessory structure with a maximum height of 3.21 m. |

HEARING INFORMATION

DATE OF MEETING: Thursday, February 22, 2024
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

| | |
|--|--|
| Date Public Notice Mailed: | February 8, 2024 |
| Date Applicant Confirmed Posting of Sign: | February 4, 2024 |
| Applicant Justification for Variances: <small>*As provided in Application Form</small> | The rear yard setback of 1.46 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 2.4 metres. [Zoning By-law 001-2021, as amended, Section 4.1.2], The rear yard setback of 1.46 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 2.4 metres. [Zoning By-law 001-2021, as amended, Section 4.1.2]. The height of 3.15 metres of the proposed accessory structure has exceeded the maximum permitted height of 3.0 metres from established grade. Section 3, Definitions, for Height and Established Grade, Zoning By-law 001- 2021, as amended] |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| COMMENTS: | |
| None | |
| Committee of Adjustment Recommended Conditions of Approval: | None |

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

| | |
|---|------|
| Building Standards Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

| | |
|---|------|
| Development Planning Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed cabana can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It's important note that any in-

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A197/23, subject to the following condition(s):

| | |
|--|---|
| Development Engineering Recommended Conditions of Approval: | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca |
|--|---|

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date

| | |
|--|------|
| PFH Recommended Conditions of Approval: | None |
|--|------|

DEVELOPMENT FINANCE

No comment no concerns.

| | |
|--|------|
| Development Finance Recommended Conditions of Approval: | None |
|--|------|

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No objections or comments

| | |
|--|------|
| BCLPS Recommended Conditions of Approval: | None |
|--|------|

BUILDING INSPECTION (SEPTIC)

No comments received to date

| | |
|--|------|
| Building Inspection Recommended Conditions of Approval: | None |
|--|------|

FIRE DEPARTMENT

No comments received to date

| | |
|--|------|
| Fire Department Recommended Conditions of Approval: | None |
|--|------|

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| # | DEPARTMENT / AGENCY | CONDITION |
|---|---|---|
| 1 | Development Engineering Rex.bondad@vaughan.ca | The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca |
| 2 | TRCA Kristen.Regier@trca.ca | That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. |

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

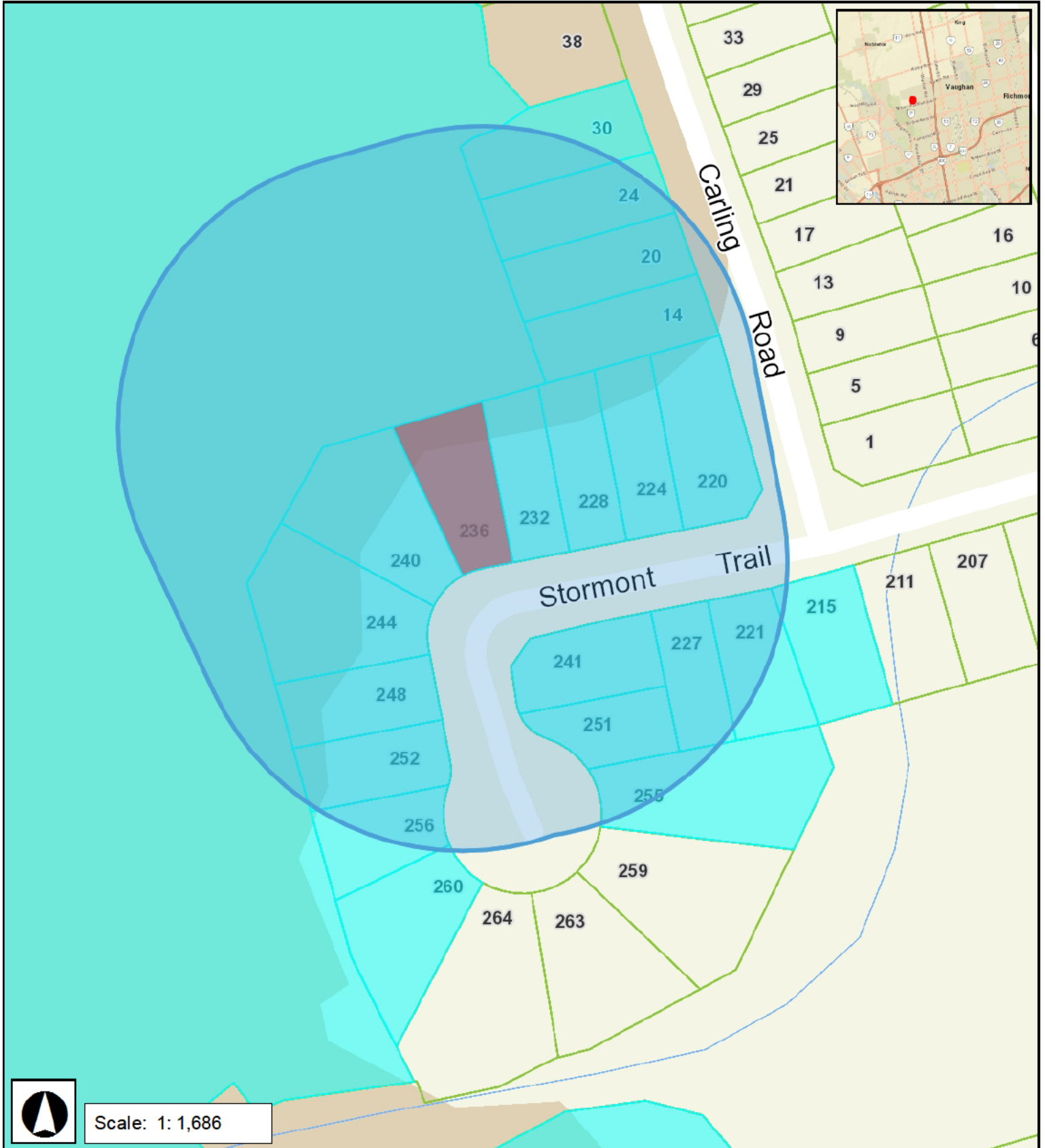
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

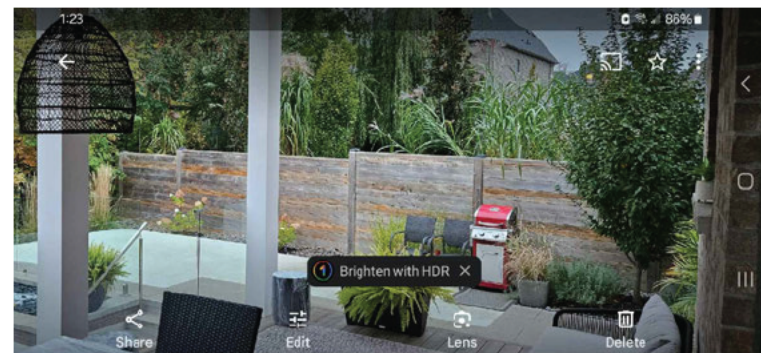
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

236 Stormont Trail Woodbridge





5 CARPINUS BETULUS 'FASTIGIATA'
NOTE: DASHED CIRCLE INDICATES
APPROXIMATE SIZE OF ROOT BALL AT
INSTALLATION

VIEW FROM LOGGIA TOWARD EAST PROPERTY LINE - NOTE HIGH
VEGETATION ALONG FENCE LINE ON ADJACENT PROPERTY

CABANA HEIGHT NOTE:
PLEASE NOTE THAT THE PROPOSED CABANA HEIGHT IS 3.0m FROM TOP
OF CONCRETE PAVING TO TOP OF ROOF.
AVERAGE GRADE, PER ZONING REQUIREMENTS, HAS BEEN
ESTABLISHED BASED ON ORIGINAL GRADE PRIOR TO ANY LANDSCAPING.
THE ORIGINAL GRADING OF THE LOT HAD AN AGGRESSIVE SLOPE FROM
EAST TO WEST. PREVIOUSLY PERMITTED LANDSCAPING HAS TERRACED
THE LOT TO ALLOW FOR USEABLE SPACE. IF WE USE THE AVERAGE
GRADE FOLLOWING THIS FIRST PHASE OF LANDSCAPING THE CABANA
HEIGHT IS ONLY 3.0m

VARIANCE 1 - REAR YARD SETBACK

VARIANCE 2 - SIDE YARD SETBACK

VARIANCE 3 - EAVES ENCROACHMENT

PROPOSED CABANA ROOF LINE

PROPOSED CABANA 22.4 SQ. M (SEE DRAWING
PACKAGE BY LASONNE ENGINEERING LTD)
MAX HEIGHT FROM AVERAGE GRADE = 3m

EXISTING GUARD

EXISTING STEPS / RAILINGS UP TO CABANA
FROM POOL DECK

EXISTING RETAINING WALL

WATERFALL (4 INDIVIDUAL SCUPPERS)
INTO POOL

EXISTING 1.5m HIGH CHAIN LINK FENCE
BY DEVELOPER TO REMAIN

EXISTING CONCRETE RETAINING WALL
TO REMAIN

EXISTING PRECAST UNIT PAVER PATIO

EXISTING ARMOUR STONE RETAINING
WALL TO SURROUND EXISTING AREA
DRAIN.

EXISTING 1.5m HIGH CHAIN LINK FENCE BY
DEVELOPER TO REMAIN

EXISTING 1.83m HIGH SOLID WOOD FENCE
TO REMAIN WITH FENCE RETURN TO HOUSE
& SINGLE GATE (TO BE SELF-CLOSING,
SELF-LATCHING, LOCKABLE)

ADJACENT DWELLING

EX. POOL
EQUIPMENT
PAD

LEGEND

| | |
|------------|-----------------------------|
| + (75.00m) | EXISTING ELEVATION (METRES) |
| + (75.00m) | PROPOSED ELEVATION (METRES) |
| → | DIRECTION OF DRAINAGE |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |

STATISTICS

| | |
|--|---|
| TOTAL LOT SIZE: | 651.06 SQ. M |
| TOTAL REAR YARD: | 267.91 SQ. M LESS 135 SQ. M = 132.91 SQ. M |
| TOTAL SOFT SURFACE NOT INCLUDING SWIMMING POOL: | 79.93 SQ. M (60%) |
| SWIMMING POOL: | 36.42 SQ. M |
| HOUSE FOOTPRINT INC. COVERED FRONT PORCH: | 208.73 SQ. M |
| EXISTING COVERED DECK: | 24.8 SQ. M |
| PROPOSED CABANA: | 22.4 SQ. M |
| OVERALL LOT COVERAGE BY ALL BUILDINGS / STRUCTURES: | 233.93 SQ. M (36%) |

DILORETTO RESIDENCE

236 STORMONT TRAIL
VAUGHAN, ON

0 1 2 3 metres

EXISTING MASONRY RETAINING WALL

EXISTING 1.83m HIGH SOLID WOOD FENCE
RETURN WITH SINGLE GATE (SELF-CLOSING,
SELF-LATCHING, LOCKABLE)

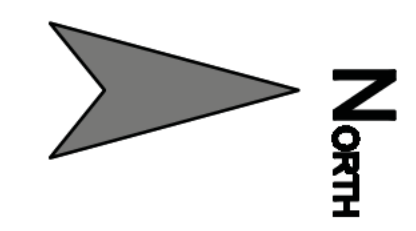
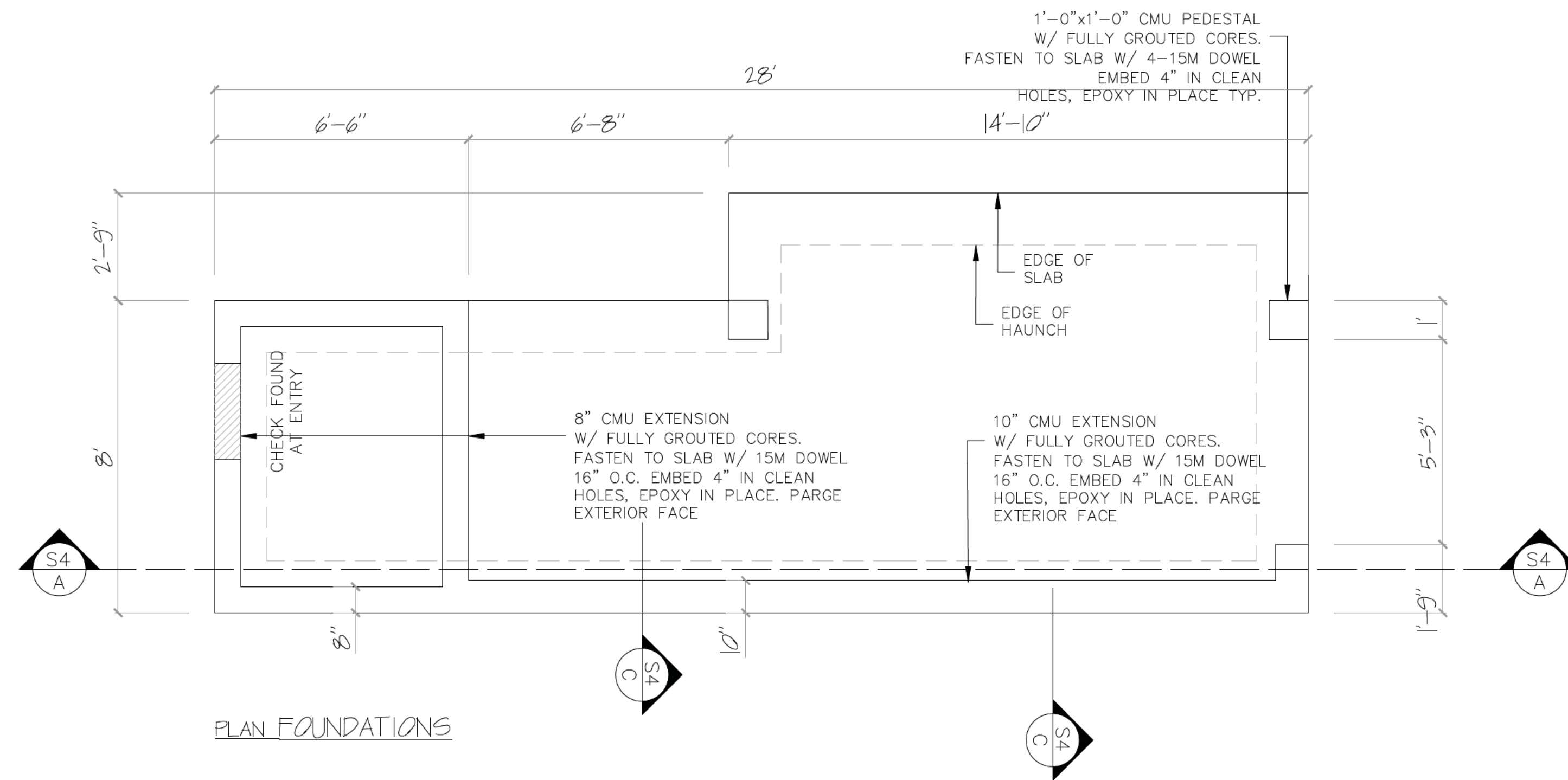
N

CONSTRUCTION ACCESS

0.60m NON ENCRACHMENT-ZONE

EXISTING PRECAST UNIT SLAB WALKWAY

PROPOSED CABANA SITE PLAN



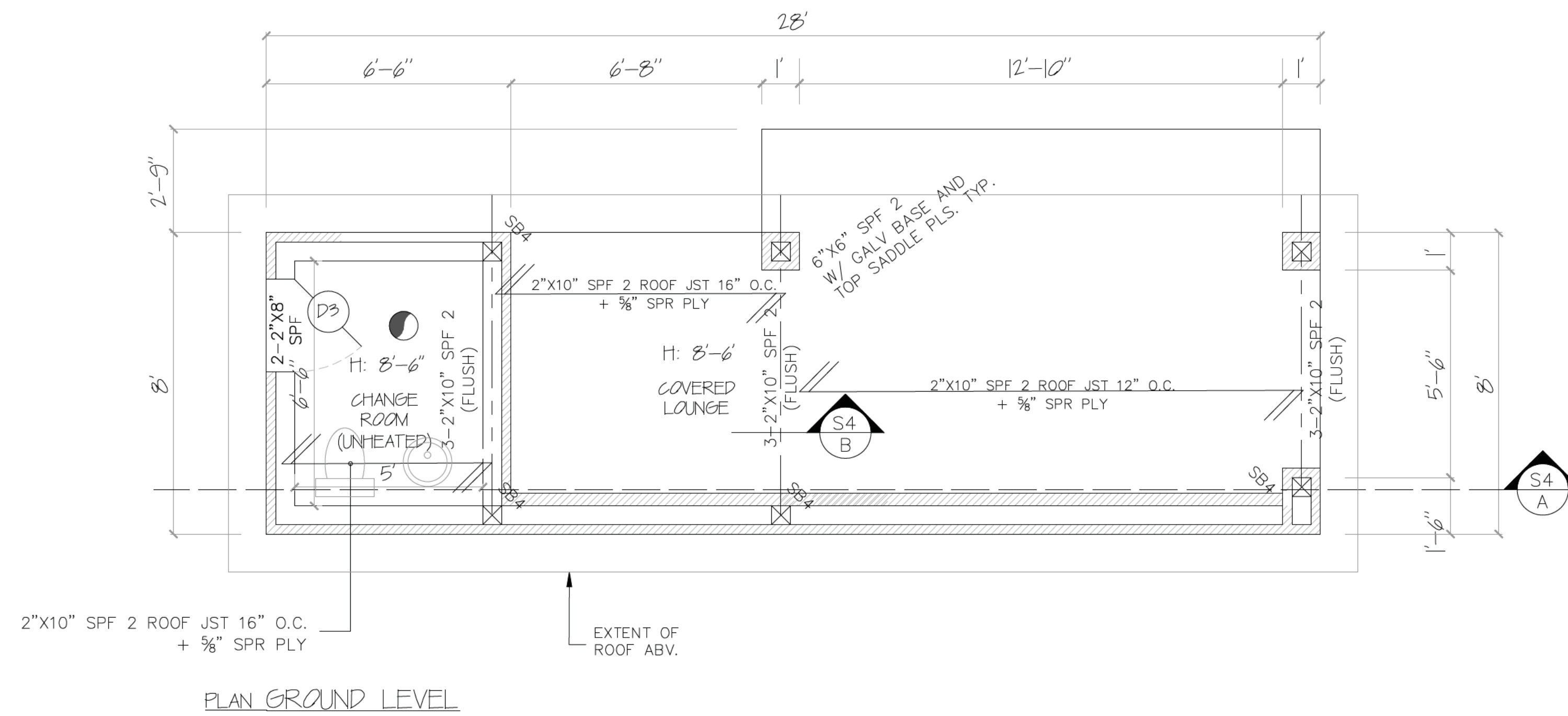
- LEGEND**
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
 - CARBON MONOXIDE DETECTOR
 - CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
 - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES) FROM ABOVE
 - SOLID WOOD BEARING TO MATCH FROM ABOVE
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - LVL LAMINATED VENEER LUMBER
 - PT PRESSURE TREATED LUMBER
 - GR GIRDERS BY MANU.
- ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE

| NO. | SIZE | FPR |
|-----|---------------------|-----|
| D1 | 34" W X 8'0" | THR |
| D2 | 28" W X 6'8" - WOOD | N/A |
| D3 | 30" W X 6'8" - WOOD | N/A |
| D4 | 32" W X 6'8" - WOOD | N/A |

SB3 - 3-2"x6" SOLID BEARING
SB4 - 4-2"x6" SOLID BEARING
SB5 - 5-2"x6" SOLID BEARING
SB6 - 5-2"x8" SOLID BEARING
ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LG. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11'-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 15mm DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.



C1 DENOTES:
HSS 127x127x6.4 COL. W/
225x200x9.0mm BASEPLATE
AND 6.4MM TOP SADDLE TO SUIT.

BOLT TO FOUND W/
4-12.5mm THREADED RODS 450mm
EMBEDMENT.

2-12.5mm THROUGH BOLTS AT EA.
SADDLE

General Notes



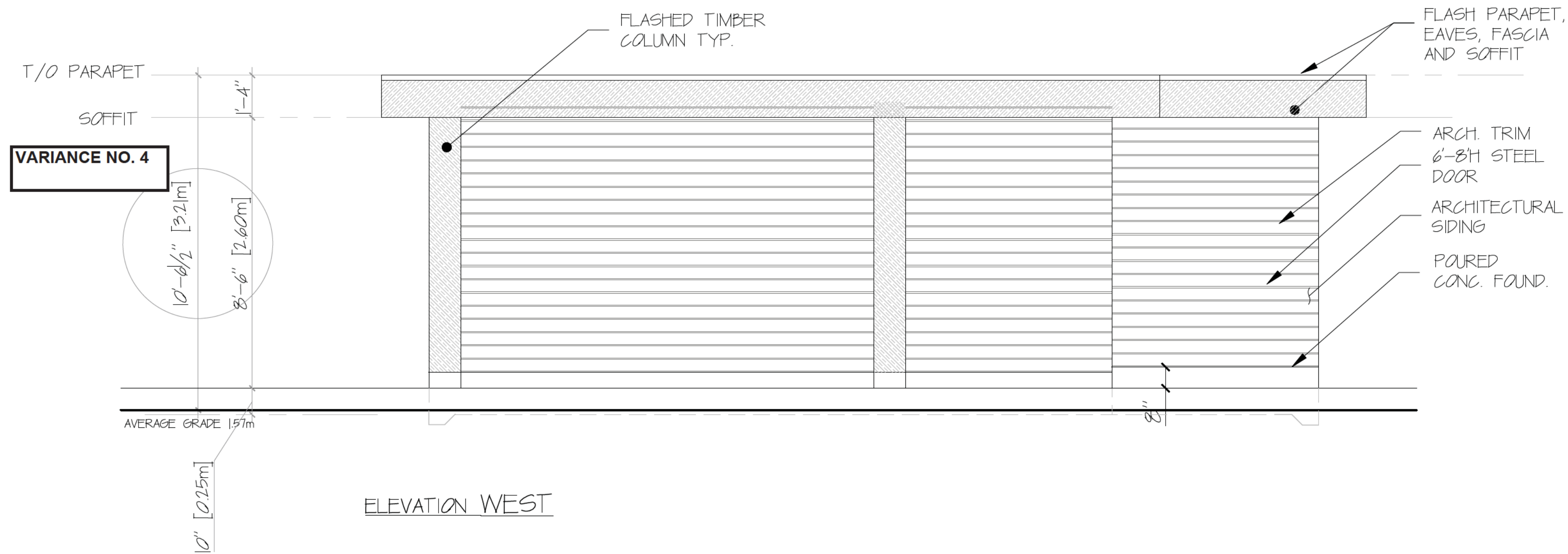
**LASONNE
ENGINEERING LTD.**
KLEINBURG 416.662.2673

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |

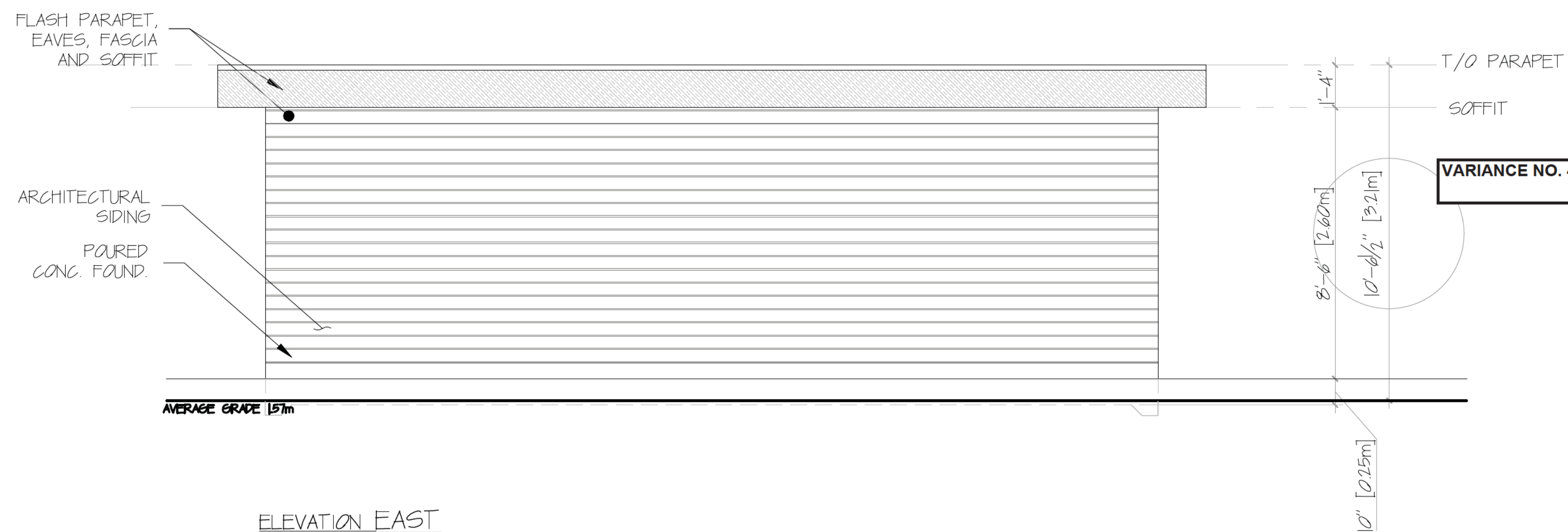
PLANS

**236 STORMONT TRAIL
ACCESSORY STRUCTURE**
Vaughan, Ontario

| | | | |
|---------|--------------|-------|----|
| Project | 2139 | Sheet | S1 |
| Date | OCT '23 | | |
| Scale | 3/8" = 1'-0" | | |



ELEVATION WEST



ELEVATION EAST

- LEGEND**
- ⊙ EXHAUST FAN - 50CFM VENTED TO OUTSIDE
 - ⊙ CARBON MONOXIDE DETECTOR
 - ⊙ CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
 - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES)
 - SOLID WOOD BEARING TO MATCH FROM ABOVE
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - LVL LAMINATED VENEER LUMBER
 - PT PRESSURE TREATED LUMBER
 - GT GIRDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE

| MKI | SIZE | FPR |
|-----|-------------|------|
| D1 | 34"W X 8'0" | THR |
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| D3 | 30"W X 6'8" | WOOD |
| D4 | 32"W X 6'8" | WOOD |

- SB3 - 3-2"x6" SOLID BEARING
- SB4 - 4-2"x6" SOLID BEARING
- SB5 - 5-2"x6" SOLID BEARING
- SB6 - 5-2"x6" SOLID BEARING
- ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH FLY OF LVL WITH 89mm L.D. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11'-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.

General Notes



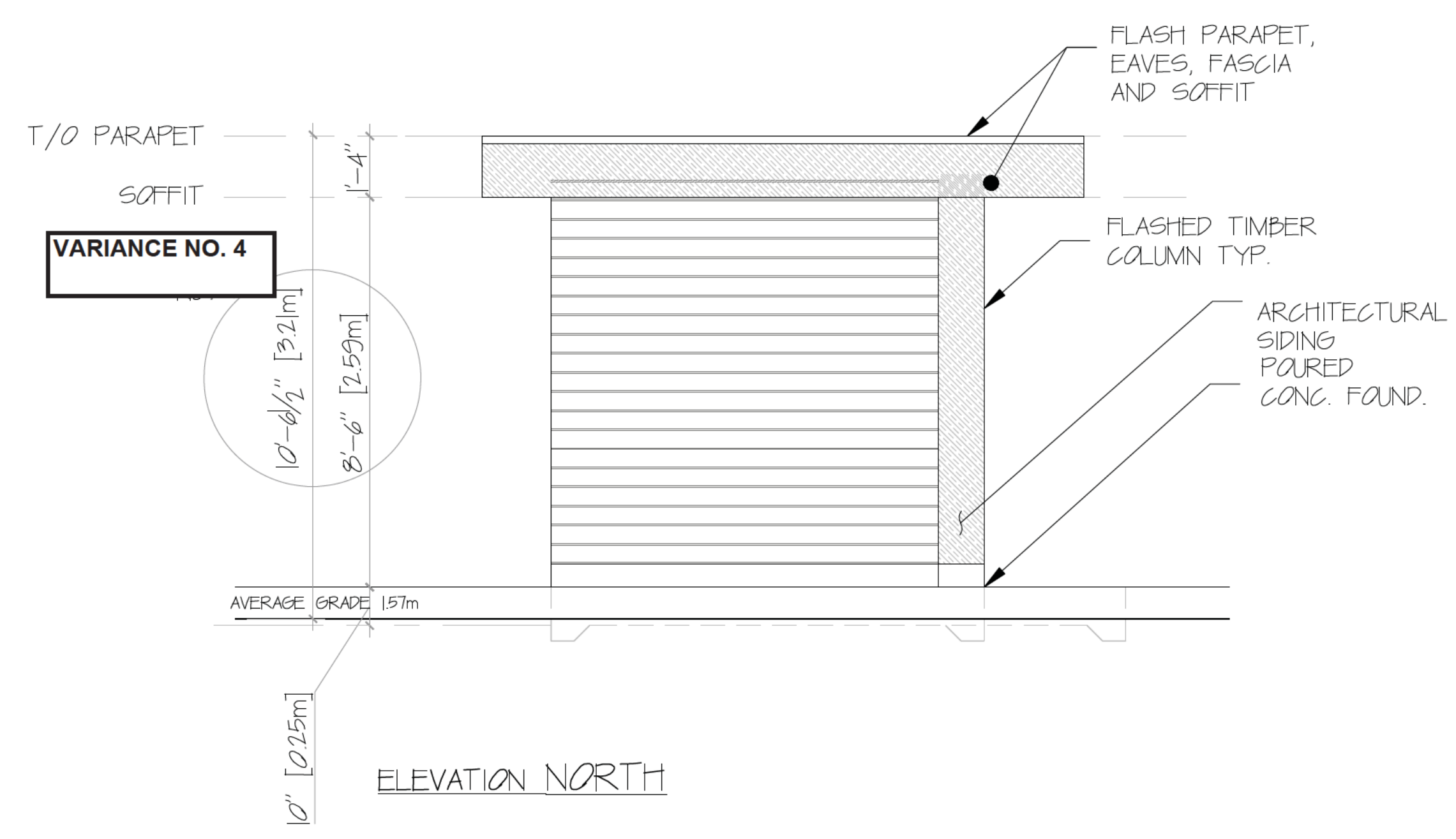
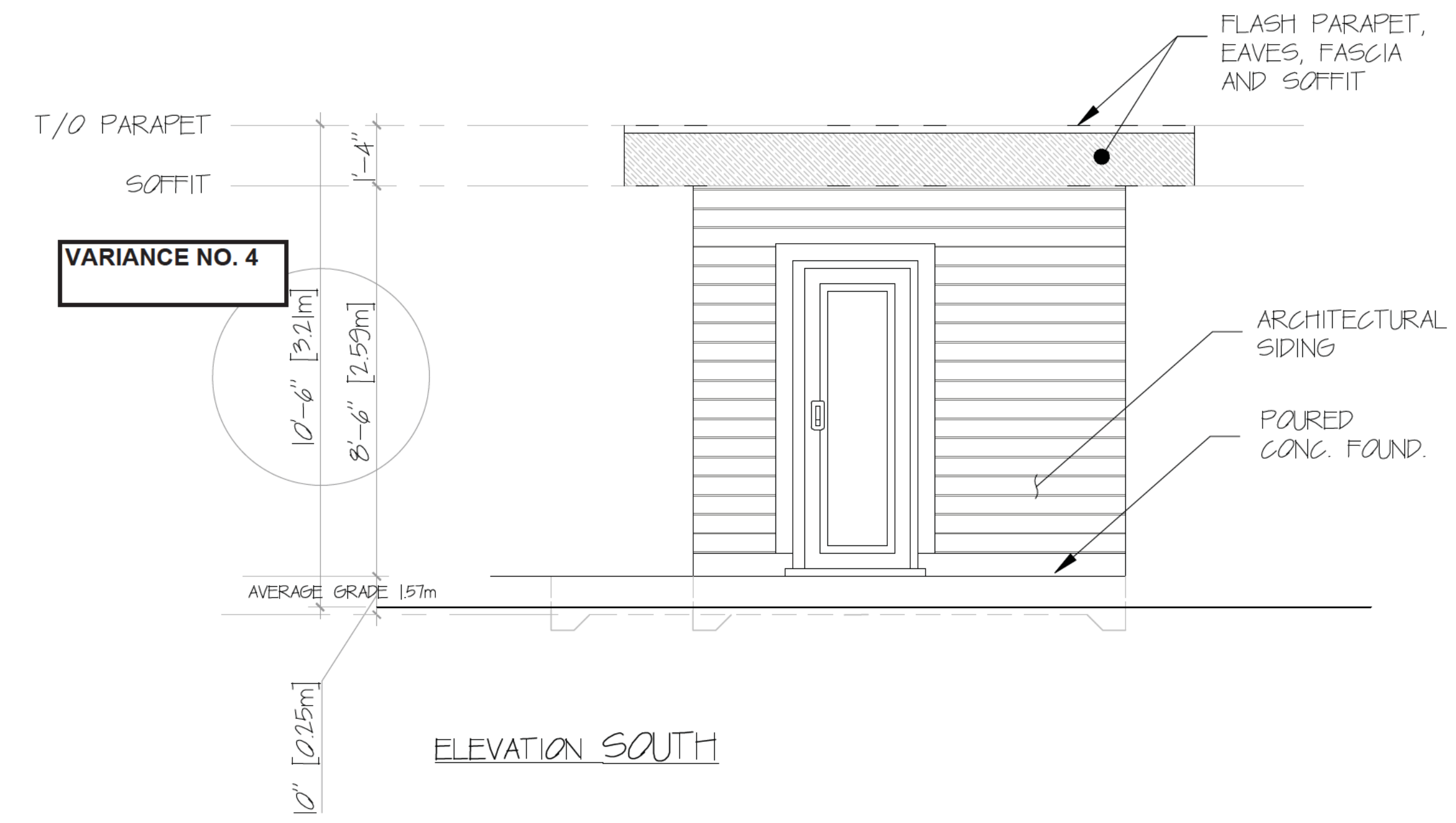
LASONNE ENGINEERING LTD.
KLEINBURG 416.682.2673

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |

ELEVATIONS I

236 STORMONT TRAIL
ACCESSORY STRUCTURE
Vaughan, Ontario

| | | | |
|---------|--------------|-------|----|
| Project | 2139 | Sheet | |
| Date | OCT '23 | | S2 |
| Scale | 3/8" = 1'-0" | | |



- LEGEND**
- ⊙ EXHAUST FAN - 50CFM VENTED TO OUTSIDE
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CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.



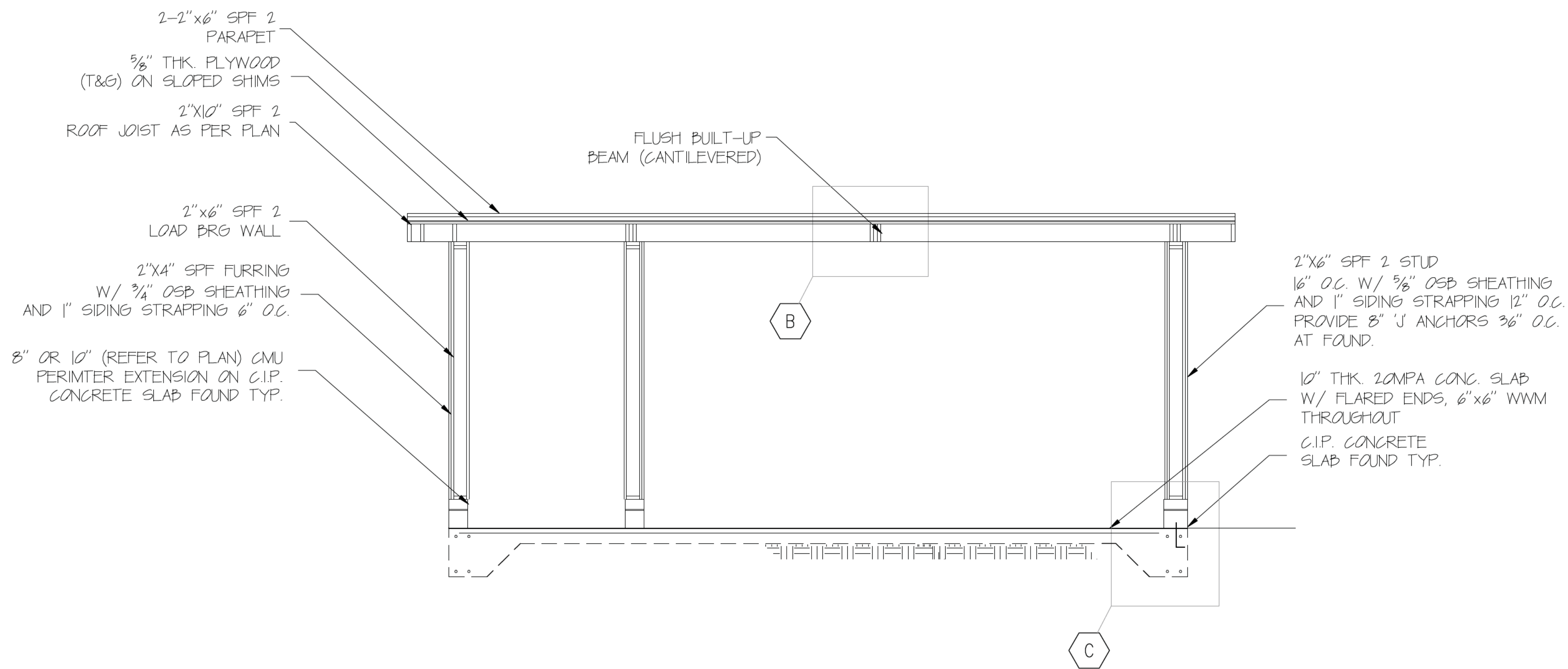
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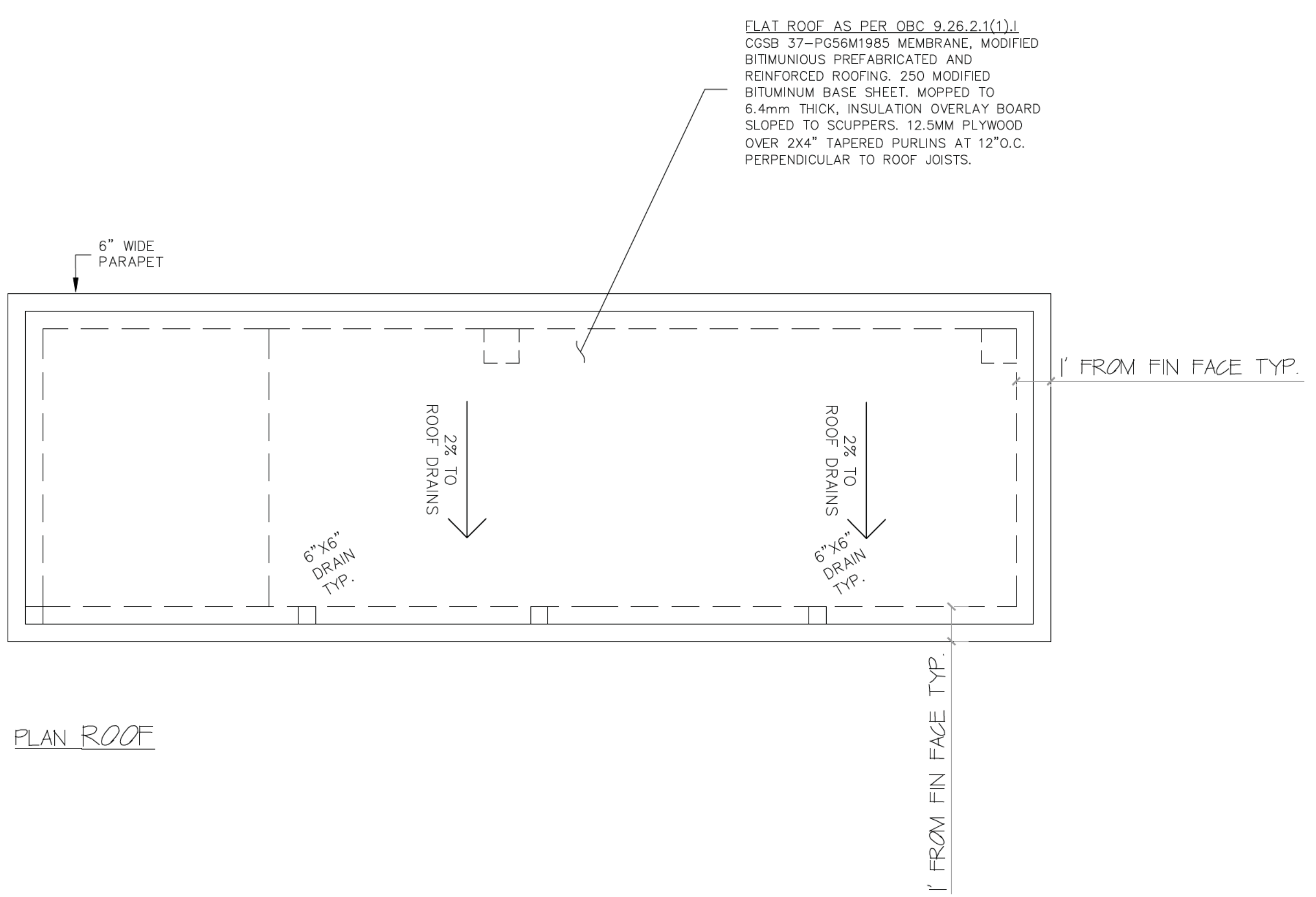
ELEVATIONS II

236 STORMONT TRAIL ACCESSORY STRUCTURE
Vaughan, Ontario

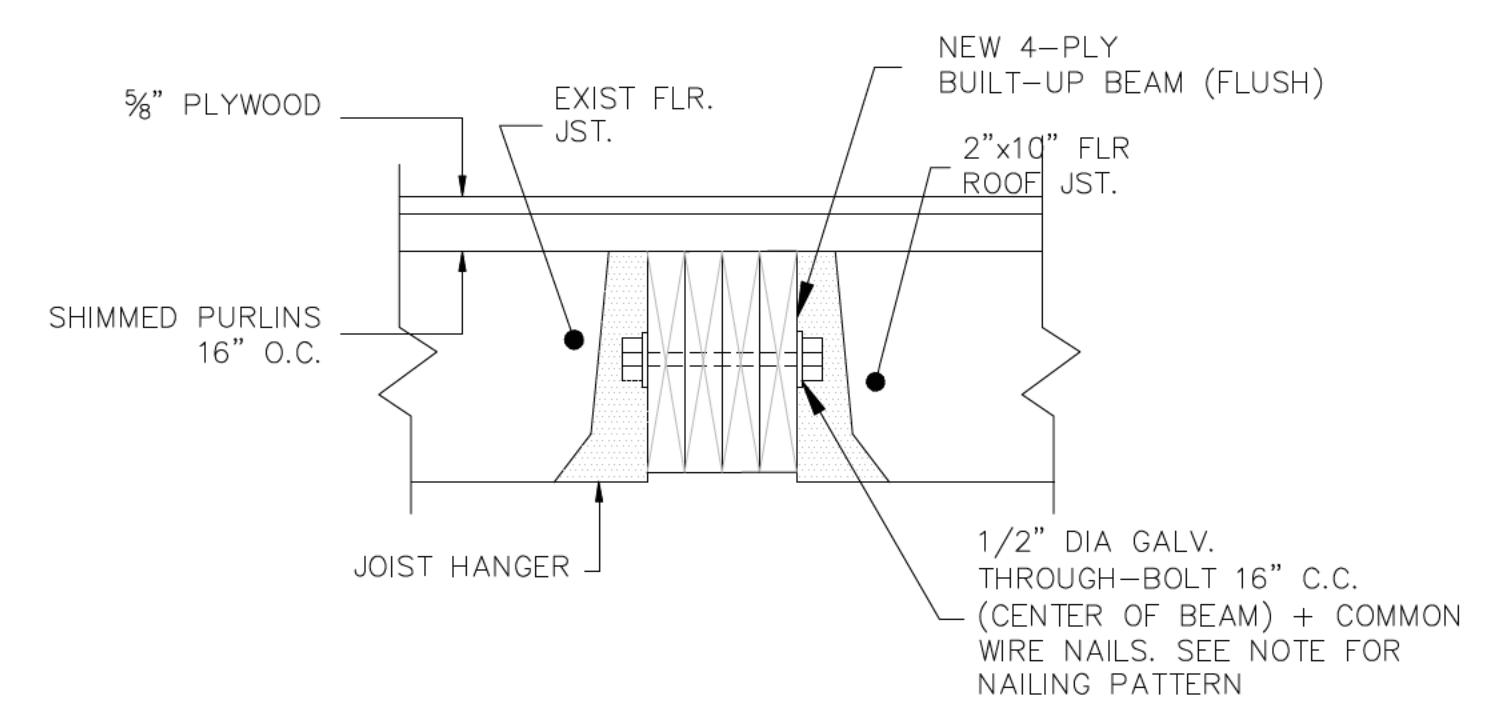
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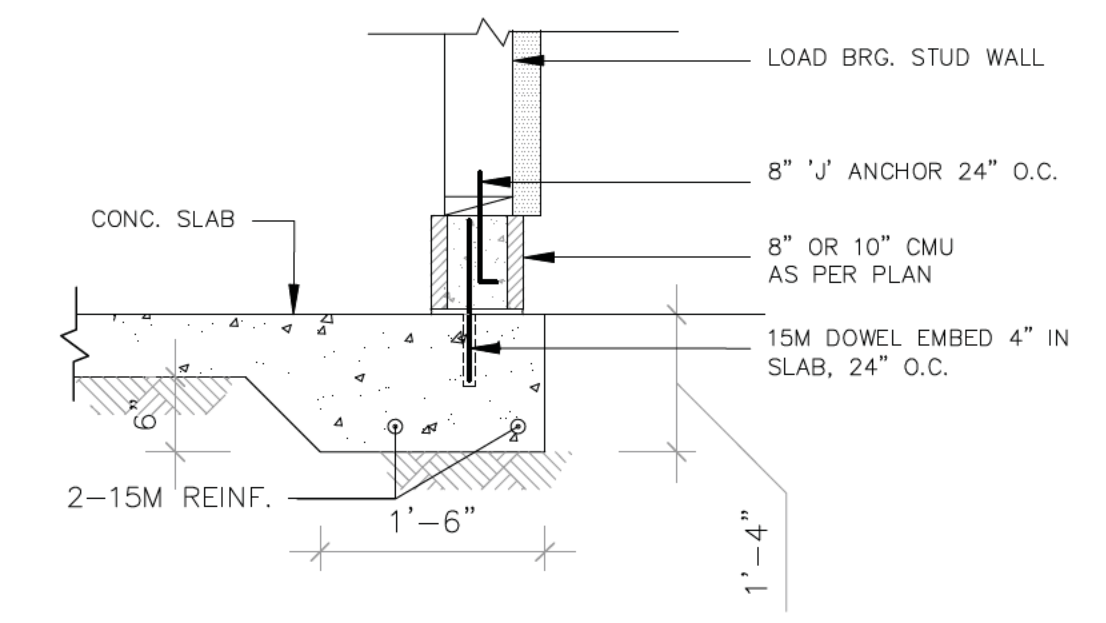
CROSS SECTION: A



PLAN ROOF



SECTION B: FLUSH BUILT-UP BEAM



LOAD BRG. WALL AT SLAB THICKENING

- GENERAL NOTES:**
- 2.1 LUMBER:**
 1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
 2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
 3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
 4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (45lbs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.
- 2.2 STEEL:**
 1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-C40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 1H.
 2. REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400W.
- 2.3 CONCRETE:**
 1. THE MINIMUM COMPRESSIVE STRENGTH F_c OF ALL CONCRETE SHALL BE 30MPa.
 2. CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:
 100mm +/- 20mm FOOTINGS CAST AGAINST EARTH
 70mm +/- 20mm REMAINDER UNLESS NOTED
- 2.3 MECHANICAL:**
 1. MECHANICAL VENTILATION SHALL PROVIDE 1 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 0.5 PER HOUR IF AIR CONDITIONED AVERAGED OVER 25 HOURS.
 2. HOT WATER TANK MANUFACTURER SPECS SHALL CONFORM TO OBC 9.31.6.
- 2.4 FLASHINGS:**
 1. FLASHING MATERIALS AND DISTALLATION SHALL CONFORM TO O.B.C SECTIONS 9.20.13, 9.26.4 & 9.27.3
- 2.5 ELECTRICAL FACILITIES:**
 1. ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34
- 2.6 GRADING:**
 1. THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL CONFORM TO 9.14.6.

General Notes



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DETAILS

236 STORMONT TRAIL ACCESSORY STRUCTURE
 Vaughan, Ontario

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| Project | 2139 | Sheet | |
| Date | OCT '23 | | S4 |
| Scale | 3/4" = 1'-0" | | |

GENERAL NOTES:

EXCAVATION AND BACKFILL
1. EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.

2. THE TOPSOIL AND VEGETATIVE MATTER IN EXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

3. IF TERMITES ARE KNOWN TO EXIST, ALL STAMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO MINIMUM DEPTH OF 500MM IN EXCAVATED AREAS UNDER A BUILDING AND THE CLEARANCE BETWEEN UNTRACED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.

4. BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

DAMP-PROOFING AND DRAINAGE
1. IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED WHERE HYDROSTATIC PRESSURE OCCURS. A WATERPROOFING SYSTEM IS REQUIRED.

2. MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6MM OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMP-PROOFING.

3. 100MM DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE. DRAINS SHALL BE COVERED WITH 100MM OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.

4. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A TIE-IN OR DRAIN TO A STORM SEWER SHALL HAVE CONNECTIONS TO CARRY WATER AND DEBRIS FROM BUILDINGS AND DOWNSPUTS SHALL BE MADE TO PREVENT SOIL EROSION.

6. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.

7. THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FOOTINGS
1. MINIMUM 300MPA POURED CONCRETE.

2. MINIMUM 1200MM BELOW FINISHED GRADE. FOOTINGS SHALL BE FOUND ON NATURAL OR UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 15KPA.

FOUNDATION WALLS
1. TO BE POUNDED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).

2. DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.

3. FOUNDATION WALL TO EXTEND MINIMUM 150MM ABOVE FINISHED GRADE.

4. A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 900MM BELOW EXTERIOR GRADE.

5. A DRAINAGE LAYER SHALL CONSIST OF: MIN. 19MM MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 KG/M³ MIN. 100MM OF FREE DRAINAGE GRANULAR MATERIAL OR AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE. FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

CONCRETE FLOOR SLABS

1. GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 30MPA CONCRETE WITH 5% AIR ENTRAINMENT.

2. BASEMENT SLAB 25MPA CONCRETE, MINIMUM 75MM THICK, PLACED ON A MINIMUM 100MM OF COARSE, CLEAN, GRANULAR SAND OR SANDSTONE.

3. ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

MASONRY WALLS

1. WHERE CONSTRUCTED OF 90MM BRICK, WALL SHALL BE BOWDED WITH A HEADER COURSE EVERY 900MM O/C. VERTICALLY AND HORIZONTALLY AND 900MM O/C FOR BLOCK OR TILE.

2. PROVIDE 50MM SOLID MASONRY, CONCRETE FILLED TOP COURSE OR CONTINUOUS 380MM WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.

3. PROVIDE 190MM SOLID MASONRY UNDER BEAMS AND COLUMNS.

4. MASONRY WALL TO BE TIED TO EACH TIE OF JOISTS WITH 40MM X 4.76MM CORROSION RESISTANT STEEL STRAPS, KEED MINIMUM 100MM INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 2000MM O.C.

6. INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BRICKS-TYPE ASPHALT PAPER.

7. FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, THE MINIMUM 100MM BRICK FACING SHALL BE BLOCK WITH CORROSION RESISTANT TIES AT LEAST 17.8MM IN CROSS SECTION AND 2 SPACED 300MM VERTICALLY AND 900MM HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

8. MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PAINTED STEEL UNTELS WITH A MINIMUM OF 150MM END BEARING.

MASONRY VENEERS

1. MINIMUM 75MM THICK IF JOINTS ARE NOT RAKED AND 100MM THICK IF JOINTS ARE RAKED.

2. MINIMUM 25MM AIR SPACE TO SHEATHING.

3. PROVIDE WEEP HOLES @ 900MM O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.

4. DIRECT DRAINAGE THROUGH WEEP HOLES WITH 0.5MM POLY FLYSHING, EXTENDING MINIMUM 100MM UP BEHIND THE SHEATHING PAPER.

5. VENEER TIES MINIMUM 0.76MM THICK X 22MM WIDE CORROSION RESISTANT STRAPS SPACED @ 500MM VERTICALLY AND 600MM HORIZONTALLY.

6. FASTEN TIES WITH CORROSION RESISTANT 3.18MM DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 50MM INTO CONCRETE WITH 100MM POLYETHYLENE OR TYPE "S" ROLL ROOFING.

WOOD FRAME CONSTRUCTION

1. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2 AND SHALL BE IDENTIFIED BY A GRADE STAMP.

2. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.

3. WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM CONCRETE WITH 0.50MM POLYETHYLENE OR TYPE "S" ROLL ROOFING.

WALLS

1. EXTERIOR WALLS SHALL CONSIST OF: CLADDING - AIR BARRIER SYSTEM LAPPED 100MM AT JOINTS - LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING - 38K140 STUDS @ 400MM O.C. - R5 4.2 INSULATION.

2. INTERIOR LOADBEARING WALLS SHALL CONSIST OF: 38K198 BOTTOM PLATE AND DOUBLESX869 TOP PLATE - 38K89 MID-OBSITS IF NOT SHEATHED - 12.7MM GYPSUM BOARD SHEATHING.

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4. WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 90MM DIA. IN ALL OTHER CASES EITHER 140MMX140MM OR 184MM ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.

5. MASONRY COLUMNS SHALL BE A MINIMUM OF 290 MMX290 MM OR 240MM X 300MM.

6. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER BETWEEN CONCENTRATED LOADS.

INSULATION AND WATERPROOFING
1. SUPPLY DUCTS IN UNHEATED SPACE INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15MM POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATION.

2. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

3. CALCULUS SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

4. WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

5. EXTERIOR WALLS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

NATURAL VENTILATION
1. BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.

2. INSULATED ROOF SPACES NOT INCORPORATING AN OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.

3. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.

4. UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1M² OF VENTILATION FOR EACH 50M² UNFINISHED BASEMENT; 0.2% OF FLOOR AREA.

5. MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE: BATHROOMS: 0.09M² OTHER ROOMS: 0.26M²

6. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600MM WIDE.

7. SHEET METAL SHALL BE OF NOT LESS THAN 1.73MM BEEF LEAD, 0.33MM GALVANIZED STEEL, 0.33MM COPPER, 0.35M ZINC, OR 0.48MM ALUMINIUM.

COLUMNS, BEAMS & UNTELS

1. STEEL BEAMS AND UNTELS SHALL BE SHOP PRIMED 350W STEEL.

2. MINIMUM 90MM END BEARING FOR WOOD AND STEEL BEAMS, WITH 190MM SOLID MASONRY BENEATH THE BEAM.

3. STEEL STEPS SHALL HAVE MINIMUM OUTSIDE DIAMETER OF 75MM AND MINIMUM WALL THICKNESS OF 4.76MM.

4. WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 90MM DIA. IN ALL OTHER CASES EITHER 140MMX140MM OR 184MM ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.

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HANDRAILS AND GUARDS

1. A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.

2. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 900MM ABOVE THE ADJACENT LEVEL, AND WHERE THE ADJACENT SURFACE HAS A SLOPE OF MORE THAN 1:2.

3. INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH.

4. WOOD GUARDS SHALL BE 107MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.

5. GUARDS SHALL HAVE OPENINGS SMALLER THAN 100MM AND NO MEMBER BETWEEN 140MM AND 900MM THAT WILL FACILITATE CLIMBING.

PLUMBING

EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.

2. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.

ELECTRICAL
1. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.

2. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.

3. STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD OF THE STAIRS.

4. BASEMENTS REQUIRE A LIGHT FOR EACH 30M² CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

MECHANICAL VENTILATION
1. A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF: 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM 5.0 L/S EACH FOR OTHER ROOM

2. A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.

3. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.

4. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION, AN HRV REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.

5. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

DOORS AND WINDOWS

1. EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.33M² AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT 1000MM FOR FIN. FLOORS ABOVE GRADE.

2. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.

3. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VENEER, TRANSPARENT GLAZING OR A SIGHTGLASS THAT WILL FACILITATE CLIMBING.

4. MAXIMUM U-VALUE 1.8 FOR WINDOWS & SLIDING GLASS DOORS

EXTERIOR WALLS
1. NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES.

2. 15.8MM TYPE "Y" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN

ACCESS TO ATTICS AND CRAWL SPACES
1. THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUELS, TO PROVIDE TO EVERY CRAWL SPACE.

2. ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CALKED.

3. DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHER-STRIPPED AND HAVE A SELF-CLOSER.

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**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

| Department / Agency <small>*Comments Received</small> | Conditions Required | | Nature of Comments |
|--|---|--|----------------------------------|
| Building Standards (Zoning) *See Schedule B | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | General Comments w/Conditions |

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 12, 2024
Name of Owners: Diana Ferrari & Luciano [REDACTED]
Location: 236 Stormont Trail
File No.: A197/23

Proposed Variances (By-law 001-2021):

1. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.51 m from the rear lot line.
2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line.
3. To permit a residential accessory structure with an eave's encroachment having a minimum distance of 0.26 m from an interior lot line.
4. To permit a residential accessory structure with a maximum height of 3.21 m.

By-Law Requirements (By-law 001-2021):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
3. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
4. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"

Comments:

The Owners are requesting relief to permit a proposed residential accessory structure (Cabana) at 236 Stormont Circle with the above noted variances. The subject property is designated "Natural Areas" by VOP 2010. The subject property is part of a plan of subdivision that pre-dates VOP 2010. Policy 10.2.1.4. of VOP 2010 is designed to recognize legally existing land uses as they exist at the time VOP 2010 was approved and to permit minor extensions, reductions, or expansions of such uses without amendment to the Official Plan provided that its intent is not compromised, and a set of tests are met. Tests particularly applicable to this application include maintaining the intent of the Zoning By-law, mitigation of adverse impacts associated with the expansion of the use and demonstrating no negative impacts on existing natural features and functions within the Natural Areas designation. The subdivision is an existing residential use abutting significant forest and wetland features to the north and west. The variances meet the general intent and purpose of the Official Plan, as will be further shown in the analysis contained below.

The Development Planning Department has no objection to Variances 1 through 3 to permit encroachments into the minimum required distances from the rear lot line (Variance 1) and interior side lot line (Variances 2 & 3) for the proposed Cabana. The rear lot line abuts a woodlot and therefore staff are of the opinion that the proposed Cabana will have no direct massing or visual (privacy) impacts on the property to the north. Variances 2 and 3 are to permit the proposed cabana to have an encroachment having a minimum distance of 0.60 metres measured from the wall (Variance 2) and 0.26 metres measured from the eaves of the Cabana (Variance 3).

The proposed interior side yard setbacks for Variances 2 & 3 are measured at a pinch-point from the wall and the eave overhang to the east interior side lot line. The subject property is a pie-shaped lot which expands outward from the front lot line. Due to this

unique shape and the relatively rectangular footprint of the dwelling, the interior side yards widen the further away from the front lot line one travels. The east interior side yard setback for the shed expands from 0.60 metres to 1.96 metres at its greatest extent. This triangular area between the proposed Cabana and east interior side lot line provides sufficient space to accommodate the proposed vegetative screening (five plantings) spanning over half the Cabana's east wall. Therefore, the proposed structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the east (232 Stormont Trail) and the 0.60 metre minimum side yard setback from the Cabana provides sufficient space for maintenance and access.

The Development Planning Department has no objection to Variance 4 to permit a 0.21 metre increase to the maximum height of an accessory building. The Cabana is proposed on the east side of the rear yard, east of the existing Pool, and south of the rear lot line which abuts a woodlot. The accessory structure provides sufficient space for access and maintenance and to accommodate proposed vegetative screening that spans over half of the east wall of the Cabana. Five (5) *Carpinus Betulus* 'Fastigiata' plantings are proposed along a portion of the east interior side lot line to provide vegetative screening to assist in buffering most of the Cabana from the abutting property to the east (232 Stormont Trail). No adverse massing or use impacts are anticipated to 232 Stormont Trail. The introduction of the canopy does not adversely impact the functionality of the rear yard and pool access.

In support of the application, the Owners submitted an Arborist Letter prepared by CINEREA Urban Forestry Services, dated January 14, 2024. The letter concludes that there are no by-law protected trees with Minimum Tree Protection Zones that infringe upon the property and as a result of this, there is no need for any tree inventory, arborist report, or preservation plan. This report reinforces that the proposed development will not pose any negative impacts to the existing natural features (significant woodland) abutting the subject property to the north, which further demonstrates conformity with Section 10.2.1.4 of VOP 2010 given the applicable "Natural Area" designation.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

To: Committee of Adjustment
From: Stan Belardinelli, Building Standards Department
Date: January 17, 2024
Applicant: Diana Ferrari
Location: 236 Stormont Trail
 PLAN 65M4575 Lot 13
File No.(s): A197/23

Zoning Classification:

The subject lands are zoned **R3 – Third Density Residential Zone** and subject to the provisions of **Exception 14.1049** under **Zoning By-law 001-2021**, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|--|---|
| 1 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.] | To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.51 m from the rear lot line. |
| 2 | A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.] | To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line. |
| 3 | Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3.] | To permit a residential accessory structure with an eaves encroachment having a minimum distance of 0.26 m from an interior lot line. |
| 4 | In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1.] | To permit a residential accessory structure with a maximum height of 3.21 m. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 23-140306 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

| General Comments | |
|------------------|--|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |
| 2 | The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority). |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: December 22nd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A197-23**

Related Files:

Applicant Diana Ferrari

Location 236 Stormont Trail



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

January 4, 2023

CFN 70450.01
X-Ref: CFN 69582, 64843

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A197/23
PLAN 65M4575 Lot 13
236 Stormont Trail
City of Vaughan, Region of York
Applicant: Diana Ferrari**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on December 21, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 1.46 metres from the rear lot line, whereas a residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line.
- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 0.45 metres from the interior side lot line, whereas a residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line.
- To permit a residential accessory structure with an eaves an encroachment having a minimum distance of 0.26 metres from an interior lot line, whereas unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.
- To permit a residential accessory structure with a maximum height of 3.21 metres, whereas in any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres.

The noted variances are being requested to facilitate the construction of a cabana in the rear yard of an existing residential dwelling.

Ontario Regulation 166/06

The subject property is located within TRCA's Regulated Area because of a valley corridor associated with a tributary of the Humber River located to the west of the subject property. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

TRCA staff issued a permit to facilitate the construction of the cabana on August 15, 2023 (TRCA Permit No. C-230947).

Based on a review of the plans submitted with this variance application, the noted works are generally consistent with the plans that were approved as part of TRCA Permit No. C-230947. As such, TRCA has no concerns with the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A197.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,



Kristen Regier
Planner
Development Planning and Permits

KR/sb

Pravina Attwala

Subject: FW: [External] RE: A197/23 (236 Stormont Trail) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentsservices@york.ca>
Sent: January-05-24 6:02 PM
To: Christine Vigneault <Christine.Vigneault@vaughan.ca>
Cc: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A197/23 (236 Stormont Trail) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A197/23 (236 Stormont Trail) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None