ITEM: 6.5

REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A197/23

Report Date: February 16, 2024

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's <u>website</u>.

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes □	No ⊠	General Comments
Building Standards (Zoning)	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Development Engineering	Yes ⊠	No □	Recommend Approval w/Conditions
Development Finance	Yes □	No ⊠	General Comments
By-law & Compliance	Yes □	No ⊠	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes ⊠	No □	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File) Application Description	
(i.e. Minor Variance Application; Approved by COA / OLT)	
N/A N/A	

ADJOURNMENT HISTORY		
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.		
Hearing	Hearing Date Reason for Adjournment (to be obtained from NOD_ADJ)	
N/A	N/A N/A	

SCHEDULES		
Schedule A	Drawings & Plans Submitted with the Application	
Schedule B	Comments from Agencies, Building Standards & Development Planning	
Schedule C (if required)	Public & Applicant Correspondence	
Schedule D (if required)	Background	



MINOR VARIANCE APPLICATION FILE NUMBER A197/23 236 STORMONT TRAIL, WOODBRIDGE

CITY WARD #:	3
APPLICANT:	Diana Ferrari & Luciano
	-
AGENT:	Diana Ferrari
PROPERTY:	236 Stormont Trail, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas".
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.1049 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.51 m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line.
3	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3.]	To permit a residential accessory structure with an eaves encroachment having a minimum distance of 0.26 m from an interior lot line.
4	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1.]	To permit a residential accessory structure with a maximum height of 3.21 m.

HEARING INFORMATION

DATE OF MEETING: Thursday, February 22, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT		
Date Public Notice Mailed:	February 8, 2024	
Date Applicant Confirmed Posting of Sign:	February 4, 2024	
Applicant Justification for Variances: *As provided in Application Form	The rear yard setback of 1.46 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 2.4 metres. [Zoning By-law 001-2021, as amended, Section 4.1.2], The rear yard setback of 1.46 metres to the proposed accessory structure encroaches into the minimum required rear yard setback of 2.4 metres. [Zoning By-law 001-2021, as amended, Section 4.1.2]. The height of 3.15 metres of the proposed accessory structure has exceeded the maximum permitted height of 3.0 metres from established grade. Section 3, Definitions, for Height and Established Grade, Zoning By-law 001- 2021, as amended]	
Was a Zoning Review Waiver (ZRW) Form	•	
submitted by Applicant:	100 2 110 2	
*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.		
COMMENTS:		
None		
Committee of Adjustment Recommended Conditions of Approval:	None	
BUILDING	STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments		
Building Standards Recommended Conditions of Approval:	None	
	DPMENT PLANNING	
**See Schedule B for Development Planning	Comments.	
Development Planning Recommended Conditions of Approval:	None	

DEVELOPMENT ENGINEERING

<u>Link to Grading Permit</u> <u>Link to Pool Permit</u> <u>Link to Curb Curt Permit</u> <u>Link Culvert Installation</u>

The proposed cabana can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner / Applicant shall ensure that positive drainage is achieved and that no surface drainage problems are created on adjacent private or public lands because of the construction in accordance with the City's Engineering standards. It's important note that any in-

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation

ground structure exceeding 10 m² necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Development Engineering Department does not object to the Minor Variance application A197/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval: The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits | City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH) No comments received to date PFH Recommended Conditions of Approval: None

DEVELOPMENT FINANCE		
No comment no concerns.		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No objections or comments	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIR	E DEPARTMENT
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering	The Owner/Applicant shall submit an
	Rex.bondad@vaughan.ca	application and obtain an approved Grading
		Permit before initiating any work on the
		property. The Final Lot Grading and/or
		Servicing Plan will be required for the Grading
		Permit Application. Please visit the Permits
		page of the City of Vaughan's website: Permits
		City of Vaughan to apply for a Grading
		Permit. For any inquiries regarding the Grading
		Permit, please email <u>DEPermits@vaughan.ca</u>
2	TRCA	That the applicant provides the required fee
	Kristen.Regier@trca.ca	amount of \$660.00 payable to the Toronto and
		Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

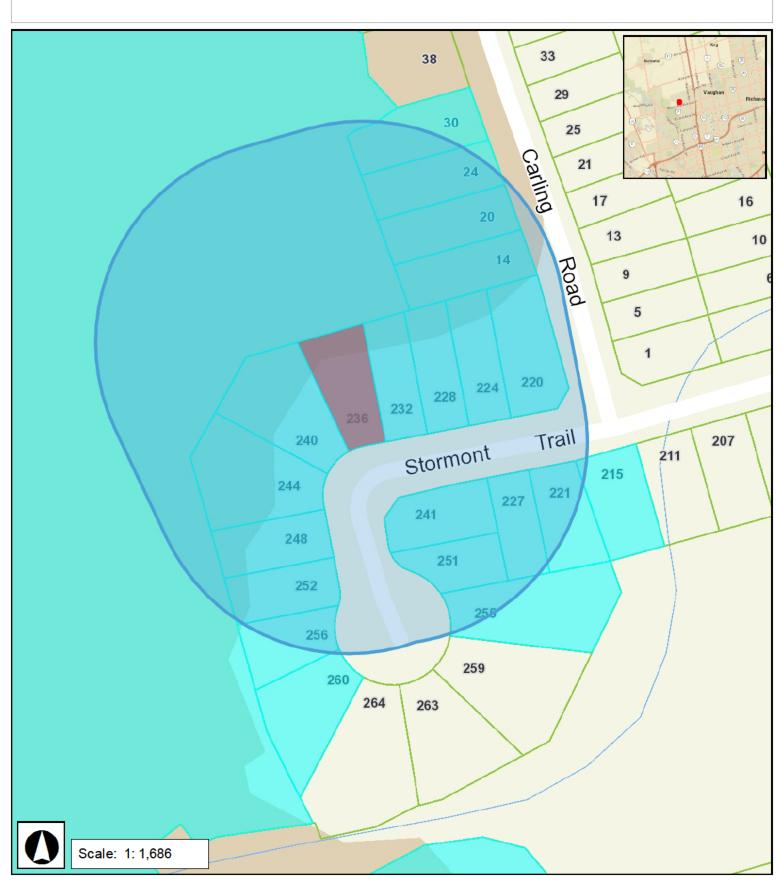
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

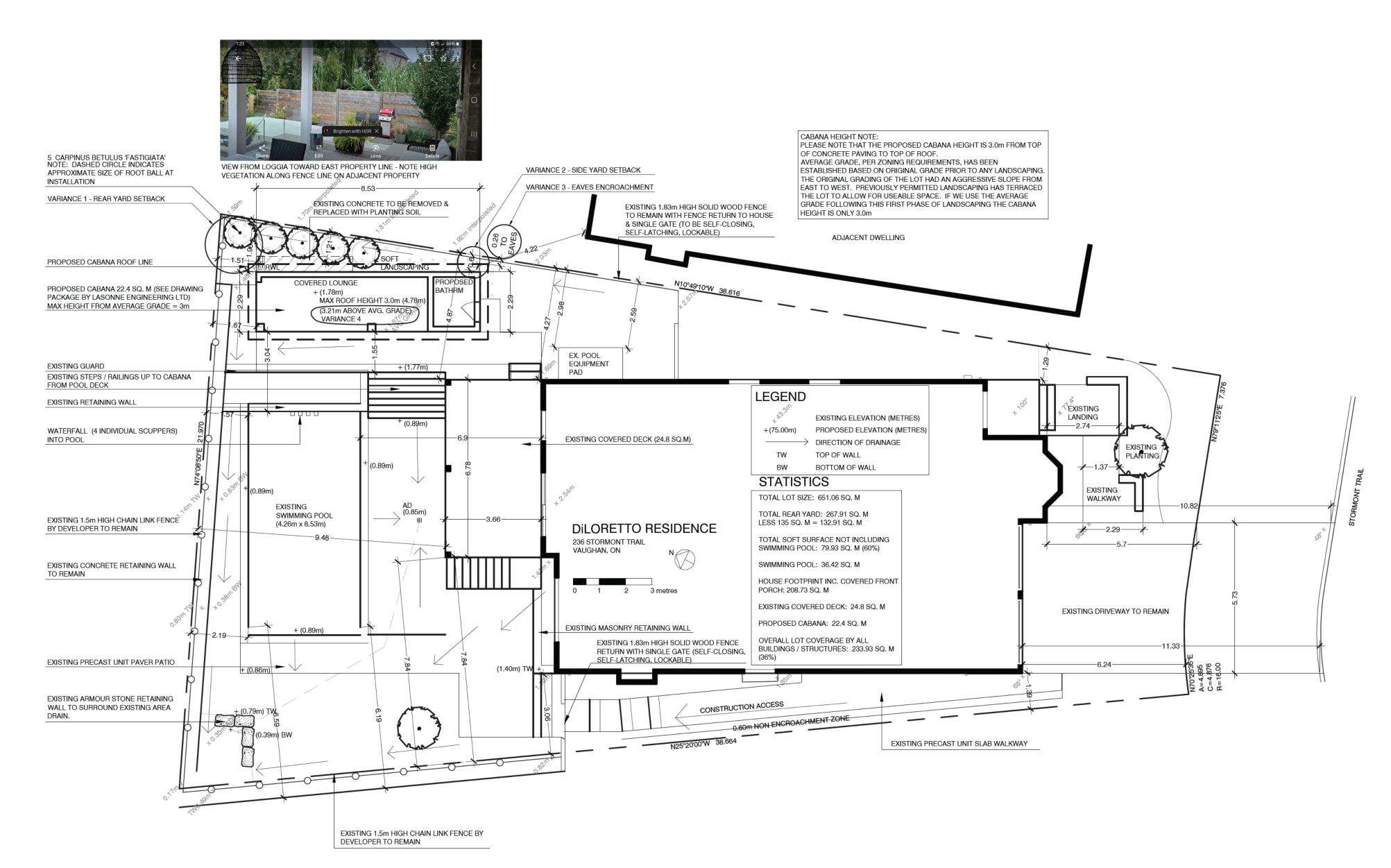
SCHEDULE A: DRAWINGS & PLANS

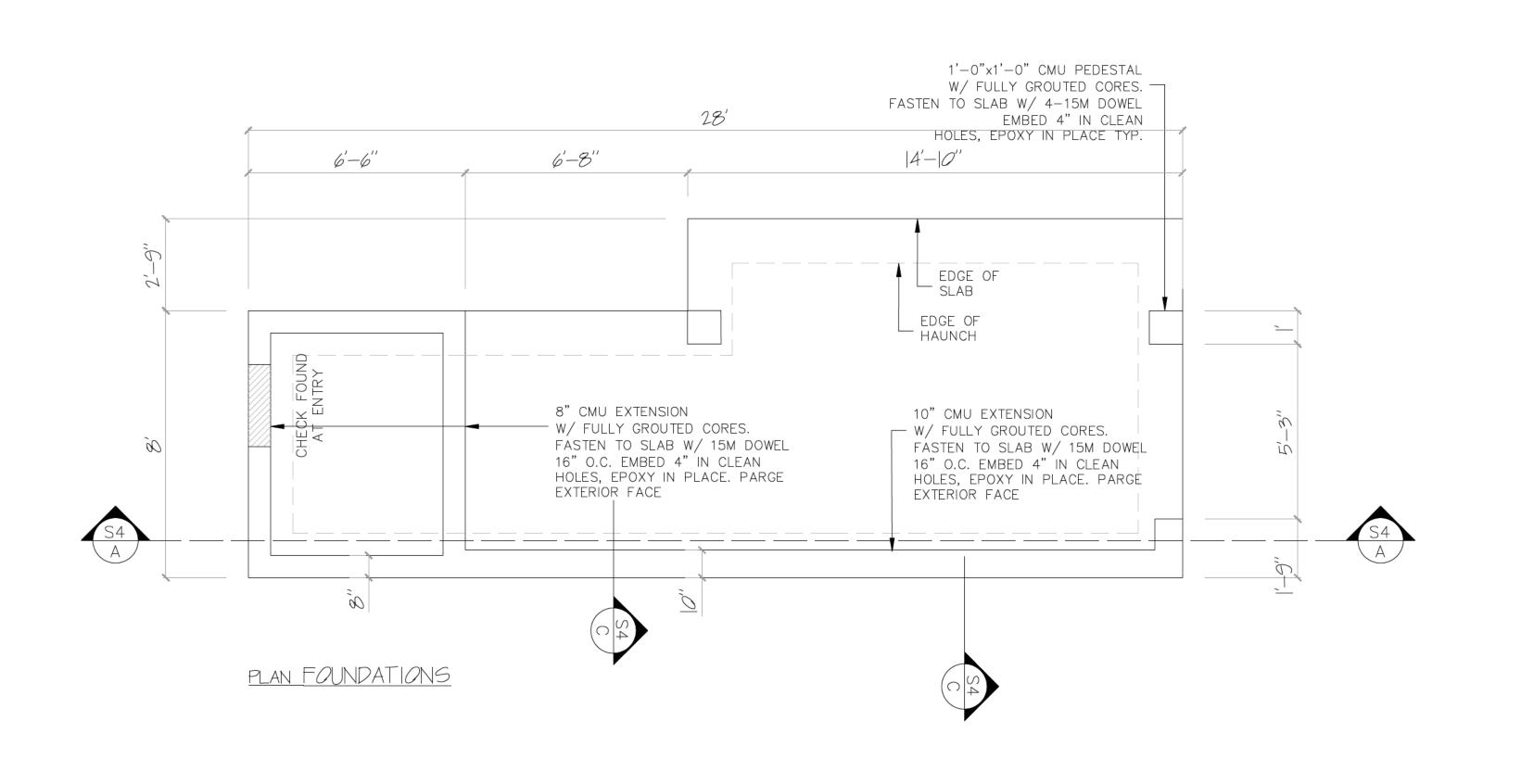


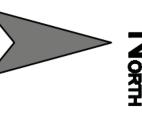
VAUGHAN LOCATION MAP A197/23

236 Stormont Trail Woodbridge









EXHAUST FAN - 50CFM VENTED TO OUTSIDE

CARBON MONOXIDE DETECTOR

CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)

SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES) SOLID WOOD BEARING TO MATCH FROM ABOVE

DJ DOUBLE JOIST TJ TRIPLE JOIST

LVL LAMINATED VENEER LUMBER

PT PRESSURE TREATED LUMBER GT GIRDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETIRMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE

SIZE FPR

34"W X 8'0" 1HR D2 28"W X 6'8" - WOOD N/A
D3 30"W X 6'8" - WOOD N/A D4 32"W X 6'8" - WOOD N/A

SB3 - 3-2"X"6" SOLID BEARING SB4 - 4-2"X"6" SOLID BEARING SB5 - 5-2"X"6" SOLID BEARING SB6 - 5-2"X8" SOLID BEARING ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LG. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. GALV. BOLTS BOLTED AT MID—DEPTH OF BEAM AT 400mm O.C.

12'-10" 6'-6'' 6'-8'' 2"X10" SPF 2 ROOF JST 16" + %" SPR PLY H: 8'-6' COVERED LOUNGE 2"X10" SPF 2 ROOF JST 12" O.C. + %" SPR PLY CHANGE R*OO*M 2"X10" SPF 2 ROOF JST 16" O.C. ____ + 5%" SPR PLY

28'

EXTENT OF ROOF ABV.

<u>PLAN GROUND LEVEL</u>

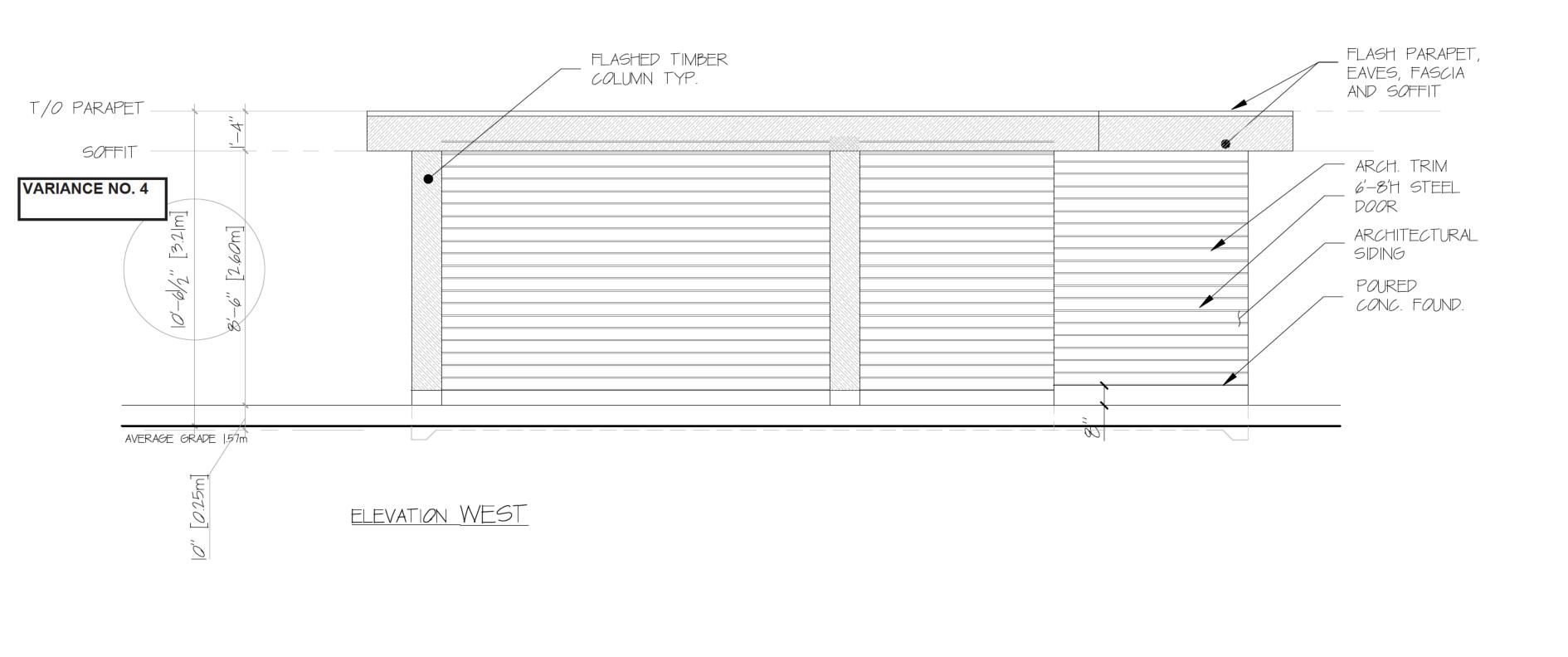
C1 DENOTES HSS 127x127x6.4 COL. W' 225x200x9.0mm BASEPLATE AND 6.4MM TOP SADDLE TO SUIT. BOLT TO FOUND W' 4-12.5mm THREADED RODS 450mm EMBEDMENT. 2—12.5mm THROUGH BOLTS AT EA. SADDLE

(22/01/24) D. FALZON LASONNE ENGINEERING LTD. KLEINBURG 416.662.2673 Revision/Issue **PLANS**

General Notes

236 STORMONT TRAIL ACCESSORY STRUCTURE Vaughan, Ontario

Project	2139	Sheet
Date	OCT '23	S1
Scale	¾" = 1'−0"	





LEGEN

EXHAUST FAN - 50CFM VENTED TO OUTSIDE

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CEILING MOUNTED SMOKE ALARM

CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)

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 DOOR
 SCHEDULE

 MK
 SIZE
 FPR

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 1HR

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 28"W X 6'8" - WOOD
 N/A

 D3
 30"W X 6'8" - WOOD
 N/A

 D4
 32"W X 6'8" - WOOD
 N/A

SB3 - 3-2"X"6" SOLID BEARING
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CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPENCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

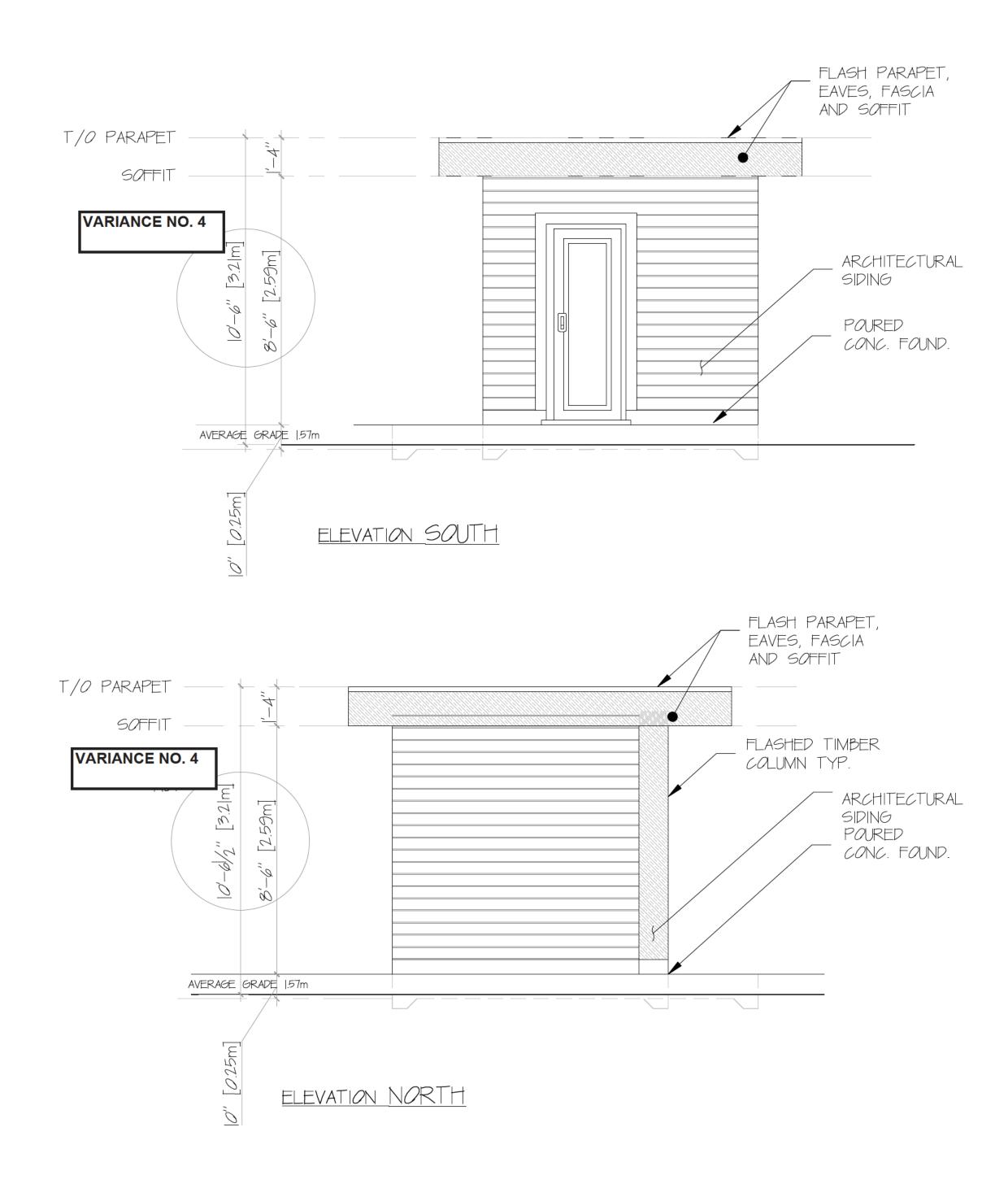
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS, ONT. REG. 332/12.

22/01/24 D. FALZON LASONNE ENGINEERING LTD. 416.662.2673 KLEINBURG Revision/Issue **ELEVATIONS I**

General Notes

236 STORMONT TRAIL
ACCESSORY STRUCTURE
Vaughan, Ontario

Project 2139Date OCT '23Scale $\frac{3}{8}" = 1'-0"$



EXHAUST FAN - 50CFM VENTED TO OUTSIDE

CARBON MONOXIDE DETECTOR

CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)

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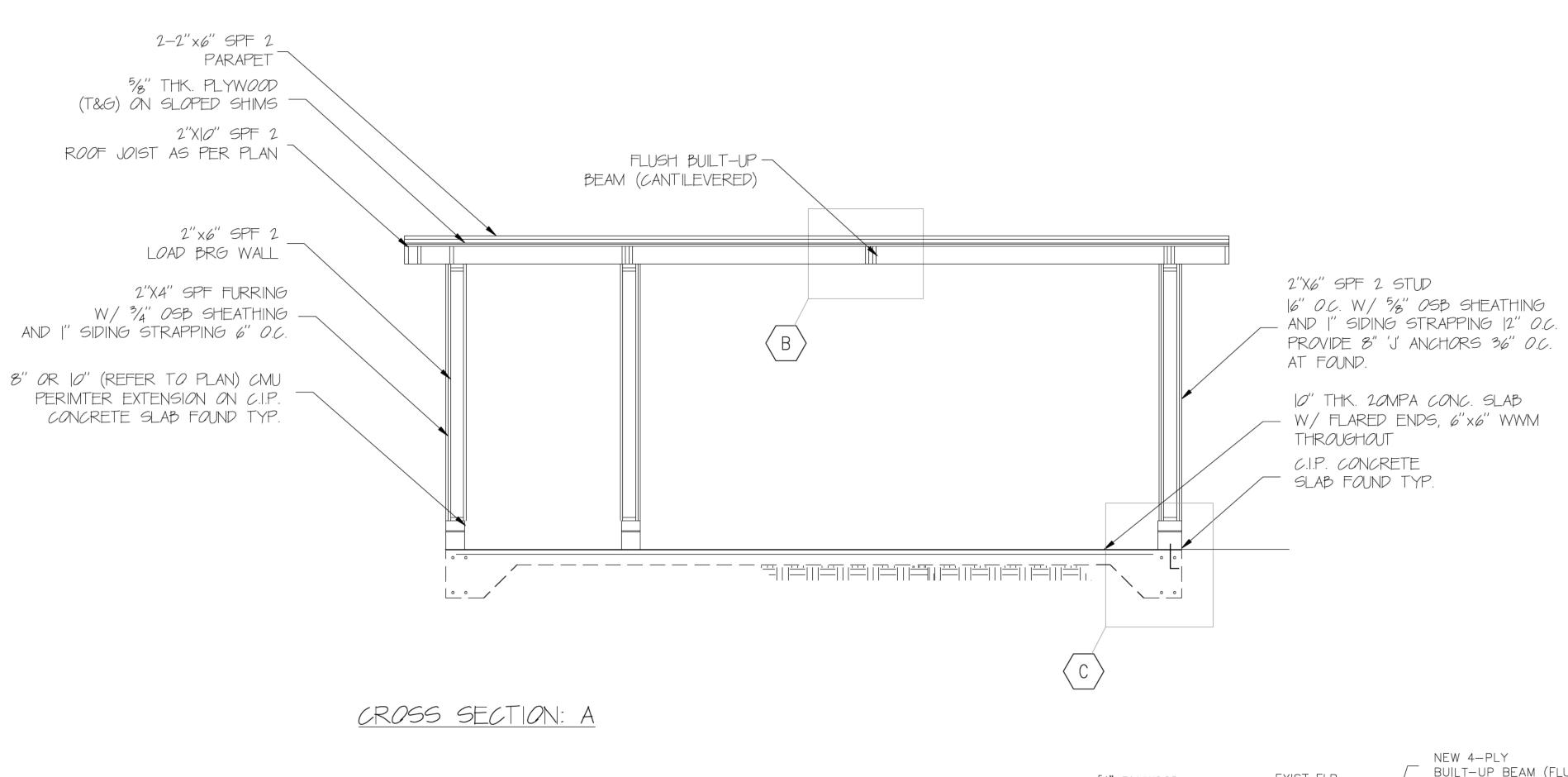
(22/01/24) D. FALZON LASONNE ENGINEERING LTD. KLEINBURG 416.662.2673 Revision/Issue

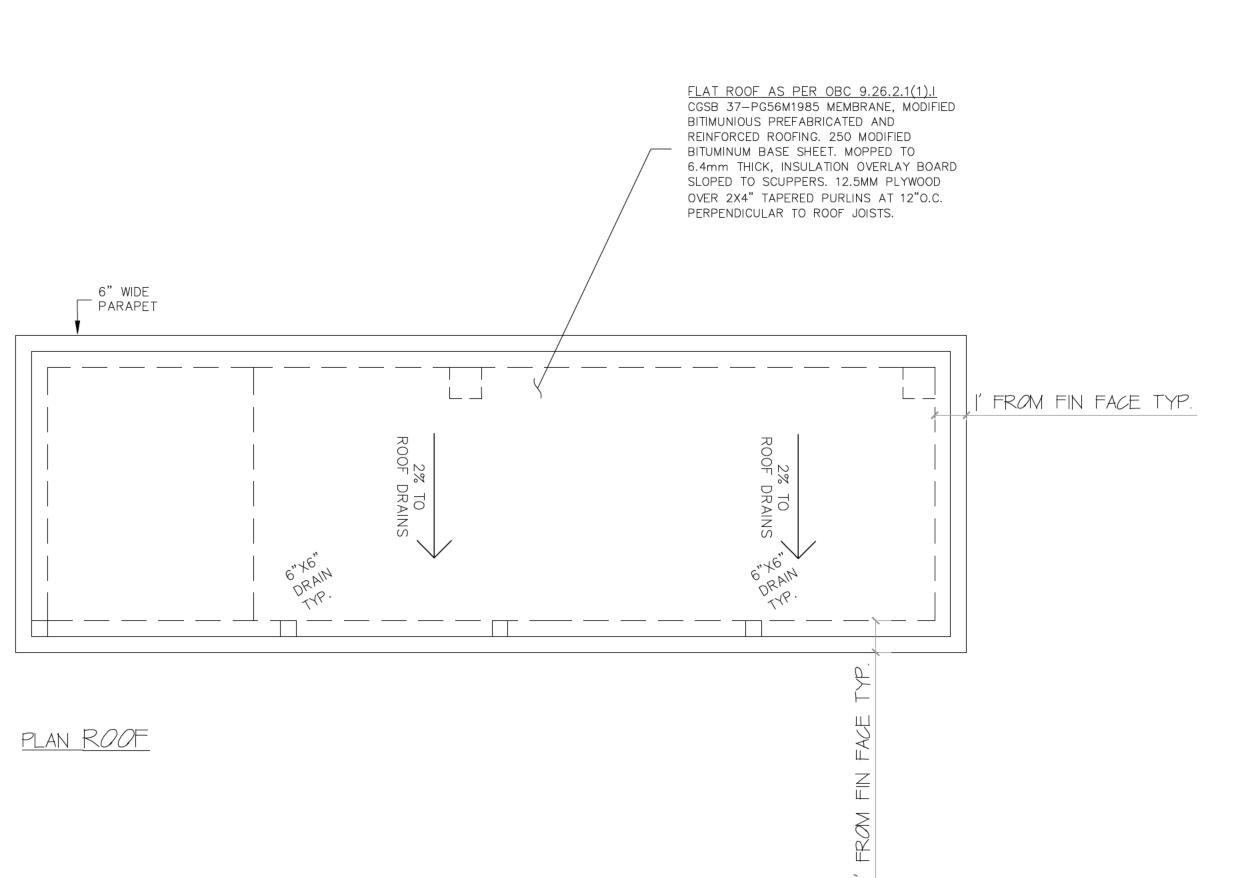
General Notes

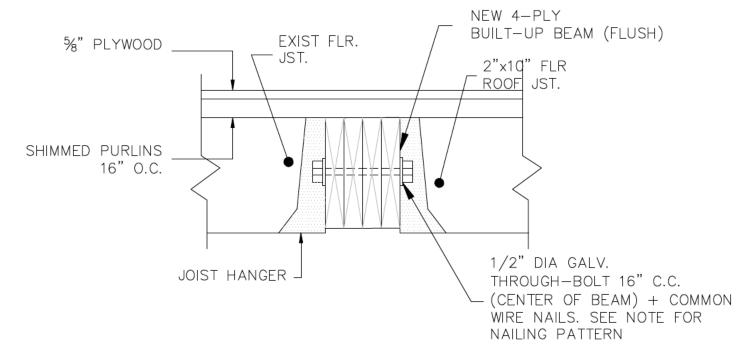
ELEVATIONS II

236 STORMONT TRAIL ACCESSORY STRUCTURE Vaughan, Ontario

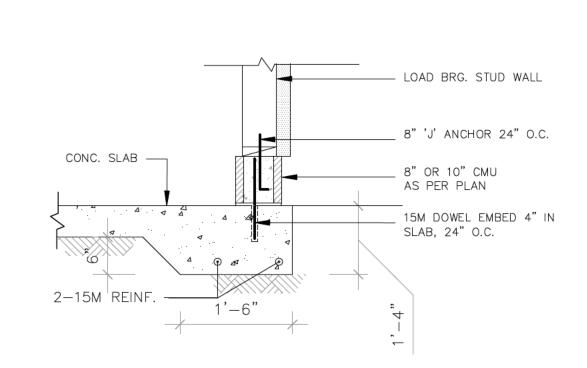
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SECTION B: FLUSH BUILT-UP BEAM



LOAD BRG. WALL AT SLAB THICKENING

GENERAL NOTES:

2.1 LUMBER: 1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.

2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.

3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTIONG WITH FLUSH BUILT-UP WOOD MEMBERS.

4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (45lbs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.

2.2 STEEL:

1. STRUCTURAL STEEL SHALL CONFORM TO

1. STRUCTURAL STEEL SHALL CONFORM TO

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-C40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.

2. REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400W.

2.3 CONCRETE: 1. THE MINIMUM COMPRESSIVE STRENGTH F'c OF ALL CONCRETE SHALL BE 30MPa.

2. CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:

> 100mm+/- 20mm FOOTINGS CAST AGAINST EARTH 70mm +/- 20mm REMAINDER UNLESS NOTED

2.3 MECHANICAL:
1. MECHANICAL VENTILATION SHALL PROVIDE 1 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 0.5
PER HOUR IF AIR CONDITIONED AVERAGED OVER 25

2. HOT WATER TANK MANUFACTURER SPECS SHALL CONFORM TO OBC 9.31.6.

2.4 FLASHINGS:
1. FLASHING MATERIALS AND DISTALLATION SHALL CONFORM TO O.B.C SECTIONS 9.20.13, 9.26.4 &

2.5 ELECTRICAL FACILITIES:
1. ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

2.6 GRADING: 1. THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL CONFORM TO 9.14.6.

(22/01/24) D. FALZON 100159595 LASONNE ENGINEERING LTD. 416.662.2673 KLEINBURG Revision/Issue **DETAILS**

General Notes

236 STORMONT TRAIL ACCESSORY STRUCTURE Vaughan, Ontario

OCT '23 $\frac{1}{4}$ " = 1'-0"

GENERAL NOTES:

EXCAVATION AND BACKFILL

1. EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES 2. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC

3. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 500MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL

4. BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

DAMP-PROOFING AND DRAINAGE

1. IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED

3. 100MM DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 150MM OF CRUSHED STONE, FOUNDATION DRAINS HALL DRAIN TO A STORM SEWER, DRAINAGE DITCH,

MASONRY FOUNDATION WALLS SHALL BE PARGED

WITH 6MM OF MORTAR COVED OVER THE FOOTING PRIOR

DRY WELL OR SUMP. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP. 5. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS

SHALL BE MADE TO PREVENT SOIL EROSION. 6. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR. 7. THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT

FOOTINGS

1. MINIMUM 30MPA POURED CONCRETE.

2 MINIMUM 1200MM BELOW FINISHED GRADE. FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR

ADVERSELY AFFECT ADJACENT PROPERTIES.

FOUNDATION WALLS

1. TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).

2. DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL. FOUNDATION WALL TO EXTEND MINIMUM 150MM

4 A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 900MM BELOW EXTERIOR GRADE.

5. A DRAINAGE LAYER SHALL CONSIST OF: MIN. 19MM MINERAL FIBRE INSULATION WITH MIN. MIN. 100MM OF FREE DRAINAGE GRANULAR MATERIAL AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

CONCRETE FLOOR SLABS

1. GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 32MPA CONCRETE WITH 2. BASEMENT SLAB 25MPA CONCRETE, MINIMUM 75MM THICK, PLACED ON A MINIMUM 100MM OF COARSE, CLEAN, GRANULAR MATERIAL, ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT

MASONRY WALLS

1. WHERE CONSTRUCTED OF 90MM BRICK, WALL SHALL BE BONDED WITH A HEADER COURSE EVERY 600MM O/C VERTICALLY AND HORIZONTALLY AND 900MM O/C FOR BLOCK OR TILE. PROVIDE 50MM SOLID MASONRY, CONCRETE FILLED

TOP COURSE OR CONTINUOUS 38X89 WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS. PROVIDE 190MM SOLID MASONRY UNDER BEAMS AND COLUMNS. MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 40MM X 4.76MM CORROSION RESISTAN STEEL STRAPS, KEYED MINIMUM 100MM INTO MASONRY

WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 2000MM O.C. INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER. FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, TIE MINIMUM 90MM BRICK TO MINIMUM 90MM BACKUP BLOCK WITH CORROSION RESISTANT TIES AT LEAST .8MM IN CROSS SECTIONAL AREA, SPACED 200MM VERTICALLY AND 900MM HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 150MM END BEARING. MASONRY VENEER

1. MINIMUM 70MM THICK IF JOINTS ARE NOT RAKED AND 10MM THICK IF JOINTS ARE RAKED. 2. MINIMUM 25MM AIR SPACE TO SHEATHING.

3. PROVIDE WEEP HOLES ® 800MM O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND 4. DIRECT DRAINAGE THROUGH WEEP HOLES WITH 0.5MM POLY FLASHING EXTENDING MINIMUM 150MM UP BEHIND THE SHEATHING PAPER. VENEER TIES MINIMUM 0.76MM THICK X 22MM WIDE ORROSION RESISTANT STRAPS SPACED @ 500MM VERTICALLY AND 600MM HORIZONTALLY.

6. FASTEN TIES WITH CORROSION RESISTANT 3.18MM

DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 50MM INTO STUDS. WOOD FRAME CONSTRUCTION

1. ALL LUMBER SHALL BE SPRUCE—PINE—FIR NO. 1 &
2, AND SHALL BE IDENTIFIED BY A GRADE STAMP MAXIMUM MOISTURE CONTENT 19% AT TIME OF WOOD FRAMING MEMBERS WHICH ARE SUPPORTED

ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING. ALLS EXTERIOR WALLS SHALL CONSIST OF:

 CLADDING
 AIR BARRIER SYSTEM LAPPED 100MM AT JOINTS — LUMBER, PLYWOOD, OSB OR GYPSUM 38X140 STUDS @ 400MM O.C. - RSI 4.23 INSULATION

HEADS OF WINDOWS, DOORS AND STEEL SUPPORTS. EXTEND FLASHING A

MINIMUM OF 6" ABOVE WINDOW OR DOOR HEAD, ENSURE THAT FLASHING

• BASE FLASHING SHALL BE PLACED BENEATH WEEP HOLES AND 6" UP BEHIND WALL SHEATHING PAPER.

MINIMOM OF 6 ABOVE WINDOW OF BOOK FIRAD. ENSURE ITAL FLASHING IS INSTALLED UNDER BUILDING PAPER. ALL FLASHING TO BE CONTINUOL PROVIDE WEEPHOLES AT 30" O/C AT ALL WINDOW HEADS, SILLS AND

USE 45# ROLL ROOFING OR TYVEK MEMBRANGE.

PT. GR. WOOD TRIM AND KREZON WOOD PANELLING, ON TYVECK

BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD FILLED, TAPED, SANDED, READY FOR PAINT.

CONCRETE/CONC.BLOCKS FOUNDATION AS NOTED ON DRAWINGS,
REINFORCING & SIZE AS PER DWG. PROVIDE CONTINUOUS 2 X 6

WOOD SILL PLATE FASTENED W/ 1/2" Ø X 12" LONG ANCHOR BOLTS

@ 6'-0" O.C. MAX. SET MIN. 6" INTO CONCRETE, SILL PLATE TO BE

PROVIDE 1/2" AIR SPACE W/ 15 LB. BUILDING PAPER, 2 X 4 WOOD STUDS @ 16" O.C. W/ MIN. R-20 CONT. INSULATION, 6 MIL SUPER

NOTED ON DWGS. PROVIDE 3/16" 'BLOCKLOK' @ 16" O.C. VERTICAL.

FOR COLUMN FOOTINGS.) NOTE: ALL NEW FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH

MINIMUM HORIZONTAL STEPS & VERTICAL STEPS NO GREATER THAN

2/3 OF HORIZONTAL STEP TO A MAXIMUM OF 2'-0". BACKFILL W/ NON-FROST SUSCEPTIBLE BACKFILL. FOR REINFORCED FOUNDATION WALLS, PROVIDE REINFORCING AS NOTED ON PLAN.

STUD WALL, AND APPROVED VAPOUR BARRIER TO 610mm(24")BELOW FINISH EXTERIOR GRADE. DAMPPROF WITH BUILDING PAPER BETWEEN

NOTE: ALL NEW FOOTINGS SHALL BEAR ON UNDISTURBED SO ASSUMED BEARING CAPACITY OF 150KpA. TO BE VERIFIED BY GEOTECHNICAL ENGINEER. STEP FOOTINGS SHALL HAVE 2'-O

R20 INSULATION BLANKET OR BATTS WITH 23x89mm(2x4")

THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS.

100mm (4") CONCRETE SLAB, 25 MPa(3600 psi), ON 00mm(4")

COARSE GRANULAR FILL, OR 20 MPa (3000psi) CONCRETE WITH DAMPPROOFING BELOW SLAB. (PROVIDE DRAIN AS PER DRAWING).

100mm(4") CONCRETE SLAB, COMPRESSIVE STRENGTH 32 MPa

(4640psi), WITH 5-8% AIR ENTRAINMENT ON OPT. 100mm(4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT AT 2% MINIMUM.

(70) BASEMENT INSULATION

8 BASEMENT SLAB CONSTRUCTION

9 GARAGE SLAB CONSTRUCTION

POLY VAPOUR BARRIER AND 1/2" GYPSUM BOARD, FILLED, TAPED,

NOTE: FOR FOUNDATION WALL EXPOSED ABOVE GRADE, PROVIDE STONE VENEER WHERE REQ'D BONDED SOLID TO CONC. FTG. AS

SPF STUD FRAMING W/ 2 X 6 WOOD GIRT AT MID-HEIGHT, DOUBLE PLATES AT TOP. SILL PLATE AT BOTTOM, 6 MIL SUPER POLY VAPOUR

MAXIMUM WALL HEIGHT 36'-0".

6 BAY PROJECTION/DORMER WALL CONSTRUCTION

2. INTERIOR LOADBEARING WALLS SHALL CONSIST OF: 38X89 STUDS @ 400MM O.C. 38X89 BOTTOM PLATE AND DOUBLE38X89 TOP 38X89 MID-GIRTS IF NOT SHEATHED

JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 12.7MM ANCHOR BOLTS @ 2400MM

3. HEADER JOISTS BETWEEN 1200MM AND 3200MM IN LENGTH SHALL BE SIZED BY CALCULATIONS. . TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800MM AND 2000MM. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 2000MM. 5. 38X38 CROSS BRIDGING REQUIRED NOT MORE THAN 2100MM FROM EACH SUPPORT AND FROM OTHER ROWS 6. JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS.

ROOF & CEILINGS 1. HIP AND VALLEY RAFTER SHALL BE 38MM DEEPER 2. 38X39 COLLAR TIES ® RAFTER SPACING WITH 19X84 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE

SUPPORTED ON A JOIST OR ON A BLOCKING BETWEEN

7. NON-LOADBEARING PARTITIONS SHALL BE

EXCEEDS 2400MM IN LENGTH.

NOTCHING & DRILLING TRUSSES, JOIST, RAFTERS

NOTCHING WEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 50MM FROM EDGES. NOTCHES IN FLOOR, ROOF AND CELLING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST SPAN. 3. WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 40MM IF

 ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED. DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE

ROOFING

1. FASTENERS FOR ROOFING SHALL BE CORROSION

1. FASTENERS RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12MM INTO ROOF SHEATHING. 2. EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000MM WIDE SHINGLE (OR 611MM STAPLES).

EAVES PROTECTION SHALL EXTEND 900MM UP THE ROOF SLOPE FROM THE EDGE AND AT LEAST 300MM FROM THE INSIDE FACE OF THE EXTERIOR WALL AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 100MM HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5. OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED. 4. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN.

5. SHEET METAL SHALL CONSIST OF NOT LESS THAN 1.73M SHEET LEAD, 0.33MM GALVANIZED STEEL, 0.33MM COPPER, 0.35M ZINC, OR 0.48MM ALUMINUM.

COLUMNS, BEAMS & LINTELS

1. STEEL BEAMS AND COLUMNS SHALL BE SHOP HANDRAILS AND GUARDS

1. A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS. MINIMUM 89MM END BEARING FOR WOOD AND S. MINIMOM OSMM END BEARING FOR WOOD AND STEEL BEAMS, WITH 190MM SOLID MASONRY BENEATH THE BEAM.

ADJACENT LEVEL AND WHERE THE ADJACENT SURFACE HAS A SLOPE OF MORE THAN 1: 2.

EXTERIOR GUARDS SHALL BE 1070MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.

5. GUARDS SHALL HAVE OPENINGS SMALLER THAN

THAT WILL FACILITATE CLIMBING.

EJECTION PUMP.

OOMM AND NO MEMBER BETWEEN 140MM AND 900MM

PLUMBING

1. EVERY DWELLING REQUIRES A KITCHEN SINK,
LAVATORY. WATER CLOSET, BATHTUB OR SHOWER STALL

AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY

BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE

CONTROLLED BY A 3 WAY SWITCH AT THE HEAD OF THE

4. BASEMENTS REQUIRE A LIGHT FOR EACH 30M CONTROLLED BY A SWITCH AT THE HEAD OF THE

MECHANICAL VENTILATION

1. A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM

10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM

AVOID CONTAMINATION FROM EXHAUST OUTLETS

5.0 L/S FOR EACH OTHER ROOM

2. A FLOOR DRAIN SHALL BE INSTALLED IN THE

3. INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH.

3. STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 73MM AND MINIMUM WALL THICKNESS OF

4. WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 89MMX89MM; IN ALL OTHER CASES EITHER 140MMX140MM OR 184MM ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER. 5. MASONRY COLUMNS SHALL BE A MINIMUM OF 290 MMX290 MM OR 240MM X 380MM. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS. INSULATION AND WATERPROOFING

1. SUPPLY DUCTS IN UNHEATED SPACE INSULATION HALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15MM POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS. DUCTS PASSING THROUGH UNHEATED SPACE SHALL

ELECTRICAL

1. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR BE MADE AIRTIGHT WITH TAPE OR SEALANT. SWITCH IS REQUIRED AT EVERY ENTRANCE. . CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR 2. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN DOORS AND WINDOWS BETWEEN THE FRAME AND THE EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED 4. WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR. RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS. EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE 3. STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS
BATTIER TO THE PASSAGE OF WATER VAPOUR FROM THE

INTERIOR AND TO THE LEAKAGE OF AIR FROM THE NATURAL VENTILATION EVERY ROOF SPACE ABOVE AN INSULATED CEILING BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA

2. INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED

UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

OTHER ROOMS: 0.28M

OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA. A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED 3. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE SWITCH IDENTIFIED AS SUCH. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.

4. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV ENTRY OF RAIN, SNOW OR INSECTS . UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1M 2 OF VENTILATION FOR EACH 50M2 S REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE BATHROOMS: 0.09M 5. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO

DOORS AND WINDOWS

1. EVERY FLOOR LEVEL CONTAINING A BEDROOM AND THE PROPERTY OF THE PROPERTY NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND NO DIMENSION LESS THAN 380MM, GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS MAXIMUM SILL HEIGHT 1000MM FOR FIN. FLOORS ABOVE SURFACE WHICH IS MORE THAN 600MM ABOVE THE

> EXTERIOR HOUSE DOORS AND WINDOWS WITHIN OOOMM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK

THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT 4. MAXIMUM U-VALUE 1.8 FOR WINDOWS \$ SLIDING

EXTERIOR WALLS

1. NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES 15.9MM TYPE 'X' FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE

EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH

1200MM AND NOT LESS THAN 600MM FROM NON COMBUSTIBLE CLADDING SHALL BE INSTALLED N ALL EXTERIOR WALLS LESS THAN 600MM FROM

PROPERTY LINES

CERAMIC TILE

1. WHEN CERAMIC TILE IS APPLIED TO A MORTAR

1. WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 12.5MM THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON WITH AT LEAST 2 ROWS CROSS BRIDGING

ACCESS TO ATTICS AND CRAWL SPACES

1. ACCESS HATCH MINIMUM 545MMX 588MM TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 10M OR MORE IN AREA AND MORE THAN 600MM IN HEIGHT.ACCESS HATCH MINIMUM 500MMX 700MM TO BE PROVIDED TO EVERY CRAWI SPACE. GARAGE GAS-PROOFLNG

1. THE WALLS AND CEILING OF AN ATTACHED

GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES. ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED. DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHER-STRIPPED AND HAVE A SELF-CLOSER.

ALARMS AND DETECTORS.

1. AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 900MM OR MORE ABOVE AN

2. SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 5M OF EVERY BEDROOM DOOR AND NO MORE THAN 15M TRAVEL DISTANCE FROM ANY POINT ON A FLOOR. 3. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING FIREPLACE OR STOVE,

MAXIMUM RISE : 200MM MINIMUM RUN: 210MM MINIMUM TREAD: 235MM MINIMUM HFAD ROOM: 1950MM

OR AN ATTACHED GARAGE.

2. CURVED STAIRS SHALL HAVE A MIN. RUN OF 150MM AT ANY POINT AND A MINIMUM AVERAGE RUN OF

3. WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90' WITH NO LESS THAN 30' OR MORE THAN 45' PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 4. A LANDING IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO O DWELLING AND OTHER EXTERIOR ENTRANCES WITH MORE

5. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.

1 FLUSH ROOF CONSTRUCTION

2-PLY TORCHED ON ROOFING ON 1/2" PLYWOOD SHEATHING ON ROOF JOISTS AS NOTED ON DRAWINGS, 6 MIL SUPER POLY VAPOUR BARRIER AT U/S OF CEILING JOIST W/ 1/2" GYPSUM BOARD TILLED, TAPED, SANDED READY FOR PAINT.

NOTE: ALLOW FOR CROSS VENTILATION IN PLENUM BETWEEN ROOF AND CEILING JOISTS WITH ROOF VENTING AREA MIN. 1 SQ.FT./150 SQ.FT. OF ROOF AREA. PROVIDE MIN. R-31 BATT. INSULATION. WHERE VENTILATION IS NOT PROVIDED FILL JOIST CAVITY SOLID W/ MIN. R.-50 SPRAY FOAM INSULATION.

2 SLOPED ROOF CONSTRUCTION BITUMINOUS SHINGLES ON 1x3 NAILER ON 1/2" PLYWOOD SHEATHING ON TYPAR ROOFING MEMBRANE ON RAFTERS/TRUSSES AS NOTED. PROVIDE APPROVED EAVES PROTECTION TO MINIMUM 6"-0" BEYOND INNER FACE OF EXTERIOR WALL MIN. R-31 BATT INSULATION IN CATHEDRAL CEILING SPACE; 6 MIL SUPER POLY VAPOUR BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD TAPED, FILLED, SANDED, READY FOR PAINT. PROVIDE MIN. 1 SQ. FT. OF ROOF VENT AREA PER 300 SQ.FT. CEILING AREA W/ MIN. 50% AT EAVES. PROVIDE CONTINUOUS ROOF VENTING AT EAVE & RIDGE

3 COPPER/METAL ROOF CONSTRUCTION COPPER/METAL ROOFING ON 15 LB. BLDG. PAPER ON 1/2" PLYWOOD SHEATHING, ON ROOF RAFTERS OR TRUSSES AS NOTED. PROVIDE PPROVED EAVES PROTECTION (ICE & WATER SHIELD) TO MINIMUM 6'-0" BEYOND INNER FACE OF EXTERIOR WALL, MIN. R-24 BATT NSULATION IN CATHEDRAL CEILING SPACE: 6 MIL SUPER POLY VAPOUR BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD TAPED, FILLED, SANDED, READY FOR PAINT.

NOTE: PROVIDE MIN. 1 SQ. FT. OF ROOF VENT AREA PER 300 SQ.FT. OF CELLING AREA W/ MIN. 50% AT EAVES. PROVIDE CONTINUOUS ROOF VENTING AT EAVE & RIDGE, AND MIN. 2 1/4" VENT SPACE ABOVE INSULATION IN RAFTER CAVITY 4 STONE VENEER WALL CONSTRUCTION

2" STONE VENEER, 1" AIR SPACE, VECK "HOUSE WRAP" (JOINTS TAPED AND SEALED) ON 1/2" PLYWOOD SHEATHING ON 2 x 6 @ 16" O. C. SPF STUD WALLS 2" x 6" WOOD GIRT AT MID— HEIGHT.
DOUBLE PLATES AT TOP, SILL PLATE AT BOTTOM, PROVIDE .03" THICK x 7/8" WIDE MASONRY TIES @ 16" 0.0 HORIZONTALLY AND 32" O.C. VERTICALLY, PROVIDE WEEP HOLES ©
24" O.C. AT COURSES AT TOP OF FOUNDATION WALL AND ABOVE ALL OPENINGS. PROVIDE THROUGH WALL BASE FLASHING UP MIN. 6" BEHIND SHEATHING PAPER.

NOTE: USE TYPE "X" DRYWALL AT ALL WALLS CLOSER THAN 1.2M TO PROPERTY LINE 5 STUCCO ON BLOCK WALL CONSTRUCTION (EIFS- CCMC No. 12969-R) 3 COAT STUCCO STUCCO APPLICATION 1" (.25mm) POLYSTYRENE BOARD FASTENED (R5 CONT INS.) W/ CORROSION-RESISTANT SCREWS WITH WIND-DEVIL 2 PLASTIC WASHERS ON 4" CONC. BLOCK VENEER, 1" AIR SPACE, TYVECK 'HOUSE WRAP' (JOINTS TAPED AND SEALED) N 1/2" PLYWOOD SHEATHING ON 2x6 @ 16" O.C. SPF STUD WAL W/ R-24 BATT INSULATION. 2x6 WOOD GRIT AT MID-HEIGHT. DOUBLE PLATES TOP & SILL PLATE AT BOTTOM, 6MIL POLY VAPOUR BARRIER(WARM SIDE) W/ 5/8" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT, PROVIDE 0.03" THICK x7/8" WIDE MASONRY TIES @ 16" O.C. HORIZONTALLY AND 32" O.C. VERTICALLY. PROVIDE VEEP HOLES @ 24" O.C. AT COURSES AT TOP OF FOUNDATION WALL AND ABOVE ALL OPENINGS. PROVIDE THROUGH ALL BASE FLASHING UP MIN. 6"BEHIND SHEATHING PAPER.
OTE THAT OVERALL WALL CONSTRUCTION FOLLOWS THE RAINSREEN

SA) STUCCO ON WOOD FRAME WALL (EIFS— CCMC No. 12969—R)
3 COAT STUCCO APPLICATION ON FIBERGLASS MESH ON 1½"
POLYSTYRENE BOARD FASTENED W/ "WINDLOCK" FASTENERS(EIFS SYSTEM OR EQ.) ON TYVECK "HOUSE WRAP" (JOINTS TAPED & SEALED) ON R5 CONT. INS. ON 5/8" SHEATHING ON 2" x 6" @16" .C STUD WALLS W/ R-24 BATT INSULATION 2x6 WOOD GIRT AT ID-HEIGHT, DOUBLE PLATES AT TOP & SILL PLATE AT BOTTOM; 6 MIL POLY VAPOUR BARRIER (WARM SIDE) W/ ½" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT.PROVIDE THROUGH WALL ASE FLASHING UP MIN. 6" BEHIND SHEATHING FILM.
OTE: CONTRACTOR IS RESPONSIBLE FOR INSTALLATION WARRANTY OF
RODUCT. ARCHITECT IS NOT RESPONSIBLE FOR SPECIFICATION OF

STUCCO INSTALLATION. SIDING ON WOOD FRAME WALL
1"X2" TIMBER STRAPPING FASTENED W/ "WINDLOCK" FASTENERS(EIFS SYSTEM OR EQ.) ON TYVECK "HOUSE WRAP" (JOINTS TAPED & SEALED) ON R5 CONT. INS. ON 5/8" SHEATHING ON 2" x 6" @16" D.C STUD WALLS W/ R-24 BATT INSULATION 2x6 WOOD GIRT AT MID-HEIGHT, DOUBLE PLATES AT TOP & SILL PLATE AT BOTTOM: 6 MIL POLY VAPOUR BARRIER (WARM SIDE) W/ ½" GYPSUM BOARD
TAPED, FILLED, SANDED READY FOR PAINT.PROVIDE THROUGH WALL BASE FLASHING UP MIN. 6" BEHIND SHEATHING FILM. NOTE: CONTRACTOR IS RESPONSIBLE FOR INSTALLATION WARRANTY OF PRODUCT. ARCHITECT IS NOT RESPONSIBLE FOR SPECIFICATION OF SIDING INSTALLATION.

(10) COLD CELLAR PORCH SLAB.

 BRICK VENEER WALLS
 1" MAXIMUM BRICK PROJECTION OVER FOUNDATION WALL. ENEER TIES 20 GA X 7/8" ATTACHED TO WOOD FRAME AT MAXIMUM 175mm THK. 30 MPa CONC.SLAB WITH 5/8% AIR ENTRAINMENT, REINF. WITH 15M BARS @ 300mm O.C.
EACH DIRECTION IN BOTTOM THIRD OF SLAB. MIN.
30mm(1/4")COVER, 600X600 (23 5/8"X23 5/8") DOWELS @ 24" O.C. VERTICALLY, 16" O.C.H. HORIZONTALLY. VENEER TIES MINIMUM 0.03" THICK, 7,8" WIDE EROSION-RESISTANT (GALVANIZED) STRAPS, CONFOREMING TO CAN-A370-M84, CONNECTORS 300mm O.C., ANCHORED IN PERIMETER FOUND, WALLS, SLOP 15# BUILDING PAPER OVER SHEATHING TO BE WATER SLAB MIN.1% FROM WALL, SLAB TO HAVE MIN. 75mm (3" BEARING ON FOUND.WALL. PROVIDE (L7/REINFORCEMENT) LINTELS REPELLENT BREATHER TYPE. 1" MINIMUM AIR SPACE BETWEEN BRICK VENEER AND OVER CELLAR DOOR WITH 100mm(4*) END BEARING. VALL SHEATHING. • FLASHING REQUIRED BENEATH JOINTED MASONRY SILLS AND ABOVE

100 SLAB ON GRADE

MIN.100mm(4") CONCRETE SLAB ON GRADE 100mm(4") COARSE GRANULAR FILL, REINFORCED WITH 6X6-W2.9 MESH, PLACED NEAR MID-DEPTH OF SLAB. CONC.STRENGHT 32 MPa(4600psi), WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

FLOOR CONSTRUCTION
FINISHED FLOOR ON 5/8" OSB ON FLOOR JOISTS (GLUE AND SCREW), HARD WOOD; WRAP ALL HEADERS W/ VAPOUR BARRIER
PRIOR TO PLACEMENT ON FOUNDATION WALL AND PRIOR TO ERECTION
OF STUD WALLS. ALLOW FOR OVERLAP AND CONTINUOUS VAPOUR NOTE: CO-ORDINATE SILL PLATE HEIGHT AND QUANTITY W/ TILE FLOOR CONSTRUCTION (NOTE11a).

TILE FLOOR CONSTRUCTION CERAMIC OR STONE TILE DRY SET ON 1 1/2" CONC. TOPPING ON 5/8" OSB SHEATHING (GLUE & SCREW) ON FLOOR JOISTS AS NOTED ON DWGS.; 7) FOUNDATION WALL CONSTRUCTION
DRAINAGE LAYER W/ FILTER PAPER ON WATER PROOFING ON POURED

HARDWOOD/LAMINATE FLOOR CONSTRUCTION
HARDWOOD OR LAMINATE ON 3/8" (9.5mm) APPROVED WOOD TILE FLOOR CONSTRUCTION (BASEMENT)
CERAMIC TILE ON THIN SET MORTAR BED ON CONCRETE SLAB.

13) INTERIOR STUD PARTITION
2 X 4 STUDS @ 16" O.C. W/ 2 X 4 SILL PLATE ON STRUCTURAL SUPPORT AS NOTED, 1/2" GYP. BD. EACH SIDE. (136) INTERIOR STUD PARTITION
2 X 6 STUDS @ 16" O.C. W/ 2 X 6 SILL PLATE ON STRUCTURAL

SUPPORT AS NOTED, 1/2" GYP. BD. EACH SIDE. (13b) INTERIOR STUD PARTITION 2 X 6 STUDS @ 16" O.C. W/ 2 X 6 SILL PLATE ON STRUCTURAL SUPPORT AS NOTED, R-24 BATT INSULATIN, 1/2" GYP. BD. EACH

ALLOW FOR FULL CONTACT W/ STONE OR BRICK. EXTENTION ABOVE GROUND: EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150mm (5 1/8") ABOVE FINISHED GROUND 13c) INTERIOR STUD PARTITION 2 X 6 STUDS @ 12" O.C. W/ 2 X 6 STUL PLATE ON STRUCTURAL SUPPORT AS NOTED, 1/2" GYP. BD. EACH SIDE. POURED CONCRETE FOOTINGS WIDTH AND DEPTH AS NOTED ON DWGS. c=30Mpg CONC., REINFORCED AS PER PLAN OR SOIL REPORT. GARAGE WALL & CEILING CONSTRUCTION
EXTER.CLADDING, 25mm(1")AIR SPACE, 22x180x0.78(PROVIDE 4" DIA. WEEPING TILES COVERED W/ 6" MIN. GRANULAR MATERIAL AND FILTER CLOTH, WATER PROOFING COVED OVER POURED CONCRETE FOOTING AT FOUNDATION WALL INTERFACE. (SEE DWGS.

%"x7"x0.03")GALV.METAL TIES @ 400mm(16") O.C. HORIZONTAL 600mm(34")O.C. VERTICAL APPROVED SHEATHING PAPER, 9.5mm(%")EXT.TYPE SHEATHING, 38x150mm(2x6")STUDS @ 400mm(16") O.C.WITH APPROVED DIAGONAL WALL BRACING. NOTE: WHERE FLOOR EXIST ABOVE GARAGE, PROVIDE WEEP HOLES @800mm(32")O.C.BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN.150mm(6")BEHIND PAPER. BRICK TO BE MIN.150mm(6")ABOVE FINISH GRADE. NOTE: GASPROOF W/ 1 LAYER 5/8" GYPSUM BOARD EACH SIDE. PROVIDE MIN. R-24 INSULATION IN CAVITY; 6 MIL SUPER POLY VAPOR BARRIER. (WARM SIDE). TAPE ALL JOINTS W/ FIBERGLASS TAPING TO PROVIDE CONTINUOUS SEAL.

(15) DECORATIVE WOOD TRIM WOOD TRIM AS PER DETAIL DRAWING - PRIME AND PAINT W/ 3 COATS - BENJAMIN MOORE EXTERIOR ALKYD. ALL WORK TO B CO-ORDINATED W/ ON SITE DIMENSIONS AND PROPORTIONED

16 PRECAST CONCRETE / CUT LIMESTONE SILL, COPING, TRIM DIMENSION AS PER DETAIL DRAWINGS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW. PREFINISHED METAL FLASHING

47 AT PROVIDE STEPPED THROUGH WALL FLASHING SLOPING INTERFACE(S) AND CAPPING AS REQUIRED. COLOUR AS PER DESIGNER. PAINTED 1 X 4 T & G WOOD SOFFIT W/ CONTINUOUS VENT BEHIND FASCIA; PRIME & PAINT AS PER NOTE 15.

PREFIN. METAL EAVESTROUGH ON 1 X 8 FASCIA BOARD. 20) PREFIN. METAL RAINWATER LEADER (RWL) - TO MATCH WASHROOMS TO BE MECHANICALLY VENTED TO EXTERIOR. PROVIDE MIN. 2 AIR CHANGES PER HOUR. LINEN CLOSET: 4 SHELVES MIN. 14" DEEP

(23) MAIN STAIRS / EXTERIOR STAIRS MAX. RISE: = 7 1/2" MIN. TREAD: = 10" MIN. NOSING: = 1" RAILING AT: = 3'-6" A.F.F. LANDING AT STAIR: = 3'-0" ABOVE NOSING OF TREAD

MIN. HEADROOM: = 7'-0" 24 SECONDARY STAIRS MAX. RISE: = $7 \ 3/4$ " MIN. TREAD: = 9" RAILING AT: = 3'-6" A.F.F. LANDING

AT STAIR: = 3'-0" ABOVE NOSING OF TREAD MIN. HEADROOM: = 7'-0" 25) DRYER AND/OR COOKTOP TO BE VENTED DIRECTLY OUTSIDE THROUGH WALL. GUARD RAIL 3'-6" HIGH (4" MAX. SPACE BETWEEN PICKETS).

(27) 24" x 30" insulated attic hatch. CARBON MONOXIDE ALARM (CMA.) (9.33.4)
INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE.
SINGLE STATION ALARM STYLE COMBUSTION ALARM PERMANENTL
MOUNTED ON HALL CELLING AND CONNECTED TO THE BUILDING
ELECTRICAL SUPPLY WITHOUT A DISCONNECT WALL SWITCH AND
HAVING A CIRCUIT NOT CONNECTED TO ANY WALL OUTLET.

GUARDS TO RESIST LOADS AS PER O.B.C. SEC. 4.1.10.1.

29) SMOKE ALARM (SA.) (9.10.19)
PROVIDE 1 PER FLOOR, NEAR STAIRS CONNECTING THE FLOOR LEVEL INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUND.) MECHANICAL VENTILATION (MV.)
PROVIDE MIN. 1 AIR CHANGE PER HOUR IN ROOMS SPECIFIED TO BE

MECHANICALLY VENTED 80 CFM (CUBIC FOOT PER MINUTE) PRIMARY VENTS FOR BATHROOMS UNDER 100 SQUARE FEET. FOR BATHROOMS VER 100 SQUARE FEET, 50 CFM SHOULD BE MADE FOR EACH SIDING ON ICF EXTERIOR WALL ASSEMBLY

1" THIK. EXTERIOR SIDING ON 1"X2" • 16" O.C. SPF STRAPPING FASTENED W/ CORROSION-RESISTANT SCREWS WITH WIND-DEVIL 2

PLASTIC WASHERS ON 10" (2" FORM + 6" CORE + 2" FORM)
REINFORCED ICF EXTERIOR WALL (R24 WALL ASSEMBLY). 6MIL POL VAPOUR BARRIER (WARM SIDE) W/ 1/2" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT. NOTE: USE TYPE %" "TYPE X" DRYWALL AT ALL WALLS CLOSER THAN 1.2M TO PROPERTY LINE

PROFESSION 22/01/24 D. FALZON 100159595 LASONNE ENGINEERING LTD. KLEINBURG 416.662.2673

General Notes

Revision/Issue

GENERAL NOTES & DRAWING MARKS

236 STORMONT TRAIL **ACCESSORY STRUCTURE** Vaughan, Ontario

Project NTS

SCHEDULE B: COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Department / Agency *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes ⊠	No □	General Comments w/Conditions

memorandum



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: February 12, 2024

Name of Owners: Diana Ferrari & Luciano

Location: 236 Stormont Trail

File No.: A197/23

Proposed Variances (By-law 001-2021):

- 1. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.51 m from the rear lot line.
- 2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line.
- 3. To permit a residential accessory structure with an eave's encroachment having a minimum distance of 0.26 m from an interior lot line.
- 4. To permit a residential accessory structure with a maximum height of 3.21 m.

By-Law Requirements (By-law 001-2021):

- 1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
- 2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.
- 3. Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line.
- 4. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Natural Areas"

Comments:

The Owners are requesting relief to permit a proposed residential accessory structure (Cabana) at 236 Stormont Circle with the above noted variances. The subject property is designated "Natural Areas" by VOP 2010. The subject property is part of a plan of subdivision that pre-dates VOP 2010. Policy 10.2.1.4. of VOP 2010 is designed to recognize legally existing land uses as they exist at the time VOP 2010 was approved and to permit minor extensions, reductions, or expansions of such uses without amendment to the Official Plan provided that its intent is not compromised, and a set of tests are met. Tests particularly applicable to this application include maintaining the intent of the Zoning By-law, mitigation of adverse impacts associated with the expansion of the use and demonstrating no negative impacts on existing natural features and functions within the Natural Areas designation. The subdivision is an existing residential use abutting significant forest and wetland features to the north and west. The variances meet the general intent and purpose of the Official Plan, as will be further shown in the analysis contained below.

The Development Planning Department has no objection to Variances 1 through 3 to permit encroachments into the minimum required distances from the rear lot line (Variance 1) and interior side lot line (Variances 2 & 3) for the proposed Cabana. The rear lot line abuts a woodlot and therefore staff are of the opinion that the proposed Cabana will have no direct massing or visual (privacy) impacts on the property to the north. Variances 2 and 3 are to permit the proposed cabana to have an encroachment having a minimum distance of 0.60 metres measured from the wall (Variance 2) and 0.26 metres measured from the eaves of the Cabana (Variance 3).

The proposed interior side yard setbacks for Variances 2 & 3 are measured at a pinch-point from the wall and the eave overhang to the east interior side lot line. The subject property is a pie-shaped lot which expands outward from the front lot line. Due to this

memorandum



unique shape and the relatively rectangular footprint of the dwelling, the interior side yards widen the further away from the front lot line one travels. The east interior side yard setback for the shed expands from 0.60 metres to 1.96 metres at its greatest extent. This triangular area between the proposed Cabana and east interior side lot line provides sufficient space to accommodate the proposed vegetative screening (five plantings) spanning over half the Cabana's east wall. Therefore, the proposed structure is not anticipated to have adverse use (privacy) or massing impacts on the neighbouring property to the east (232 Stormont Trail) and the 0.60 metre minimum side yard setback from the Cabana provides sufficient space for maintenance and access.

The Development Planning Department has no objection to Variance 4 to permit a 0.21 metre increase to the maximum height of an accessory building. The Cabana is proposed on the east side of the rear yard, east of the existing Pool, and south of the rear lot line which abuts a woodlot. The accessory structure provides sufficient space for access and maintenance and to accommodate proposed vegetative screening that spans over half of the east wall of the Cabana. Five (5) Carpinus Betulus 'Fastigiata' plantings are proposed along a portion of the east interior side lot line to provide vegetative screening to assist in buffering most of the Cabana from the abutting property to the east (232 Stormont Trail). No adverse massing or use impacts are anticipated to 232 Stormont Trail. The introduction of the canopy does not adversely impact the functionality of the rear yard and pool access.

In support of the application, the Owners submitted an Arborist Letter prepared by CINEREA Urban Forestry Services, dated January 14, 2024. The letter concludes that there are no by-law protected trees with Minimum Tree Protection Zones that infringe upon the property and as a result of this, there is no need for any tree inventory, arborist report, or preservation plan. This report reinforces that the proposed development will not pose any negative impacts to the existing natural features (significant woodland) abutting the subject property to the north, which further demonstrates conformity with Section 10.2.1.4 of VOP 2010 given the applicable "Natural Area" designation.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I David Harding, Senior Planner



To: Committee of Adjustment

From: Stan Belardinelli, Building Standards Department

Date: January 17, 2024

Applicant: Diana Ferrari

Location: 236 Stormont Trail

PLAN 65M4575 Lot 13

File No.(s): A197/23

Zoning Classification:

The subject lands are zoned R3 – Third Density Residential Zone and subject to the provisions of Exception 14.1049 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 1.51 m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b.]	To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line.
3	Unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3.]	To permit a residential accessory structure with an eaves encroachment having a minimum distance of 0.26 m from an interior lot line.
4	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1.]	To permit a residential accessory structure with a maximum height of 3.21 m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 23-140306 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

^{*} Comments are based on the review of documentation supplied with this application.



Date: December 22nd 2023

Attention: Christine Vigneault

RE: Request for Comments

File No.: A197-23

Related Files:

Applicant Diana Ferrari

Location 236 Stormont Trail



COMMENTS:

	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T

Supervisor, Distribution Design, ICI & Layouts (North)

Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner

Supervisor, Distribution Design-Subdivisions

Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com



January 4, 2023 CFN 70450.01 X-Ref: CFN 69582, 64843

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A197/23

PLAN 65M4575 Lot 13 236 Stormont Trail

City of Vaughan, Region of York

Applicant: Diana Ferrari

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on December 21, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a residential accessory structure with a height greater than 2.8 metres to be located a minimum of 1.46 metres from the rear lot line, whereas a residential accessory structure with a height greater than 2.8 metres shall not be located closed than 2.4 metres to any lot line.
- To permit a residential accessory structure with a height greater than 2.8 metres to be located a
 minimum of 0.45 metres from the interior side lot line, whereas a residential accessory structure
 with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line.
- To permit a residential accessory structure with an eaves an encroachment having a minimum distance of 0.26 metres from an interior lot line, whereas unless otherwise expressly permitted by this By-law, a minimum distance of 0.6 metres shall be required from any permitted encroachment to the nearest lot line.
- To permit a residential accessory structure with a maximum height of 3.21 metres, whereas in any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres.

The noted variances are being requested to facilitate the construction of a cabana in the rear yard of an existing residential dwelling.

Ontario Regulation 166/06

The subject property is located within TRCA's Regulated Area because of a valley corridor associated with a tributary of the Humber River located to the west of the subject property. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding. erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

TRCA staff issued a permit to facilitate the construction of the cabana on August 15, 2023 (TRCA Permit No. C-230947).

Based on a review of the plans submitted with this variance application, the noted works are generally consistent with the plans that were approved as part of TRCA Permit No. C-230947. As such, TRCA has no concerns with the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A197.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Planner

Development Planning and Permits

KR/sb

Pravina Attwala

Subject: FW: [External] RE: A197/23 (236 Stormont Trail) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Development Services <developmentservices@york.ca>

Sent: January-05-24 6:02 PM

To: Christine Vigneault < Christine. Vigneault@vaughan.ca>

Cc: Committee of Adjustment < CofA@vaughan.ca>

Subject: [External] RE: A197/23 (236 Stormont Trail) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A197/23 (236 Stormont Trail) and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1 1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None