

<b>ITEM: 6.8</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A203/23</b>
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Report Date: February 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



**MINOR VARIANCE APPLICATION  
FILE NUMBER A203/23  
51 HILLSIDE AVENUE, CONCORD**

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	Amaninder & Rasneet Bharj
<b>AGENT:</b>	Mechways Inc.
<b>PROPERTY:</b>	51 Hillside Avenue, Concord
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5 1.]	To permit a maximum height of 9.04 metres.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, February 22, 2024  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.

## INTRODUCTION

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	February 8, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	February 2, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	As per the zoning by law, the maximum height of the building allowed is 8.5 M and the maximum lot coverage permitted is 20%.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

As the proposed dwelling in the subject property is 358.42 m<sup>2</sup>, the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca). The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a> . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: <a href="#">Service Connections   City of Vaughan</a> for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application
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## DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: [Permits | City of Vaughan](#) to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca)

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments or concerns

**PFH Recommended Conditions of Approval:**

Obtain a tree removal permit from the Forestry division.

## DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credit will expire on Nov 29, 2027.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

**Development Finance Recommended Conditions of Approval:**

None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

**BCLPS Recommended Conditions of Approval:**

None

## BUILDING INSPECTION (SEPTIC)

No comments received to date

**Building Inspection Recommended Conditions of Approval:**

None

## FIRE DEPARTMENT

No comments received to date

**Fire Department Recommended Conditions of Approval:**

None

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
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## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

1	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing <a href="mailto:serviceconnections@vaughan.ca">serviceconnections@vaughan.ca</a> . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: <a href="#">Service Connections   City of Vaughan</a> for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: <a href="#">Permits   City of Vaughan</a> to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a>
2	Parks, Forestry and Horticulture Operations <a href="mailto:ryan.cochrane@vaughan.ca">ryan.cochrane@vaughan.ca</a>	Obtain a tree removal permit from the Forestry division.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

## IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

### IMPORTANT INFORMATION

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

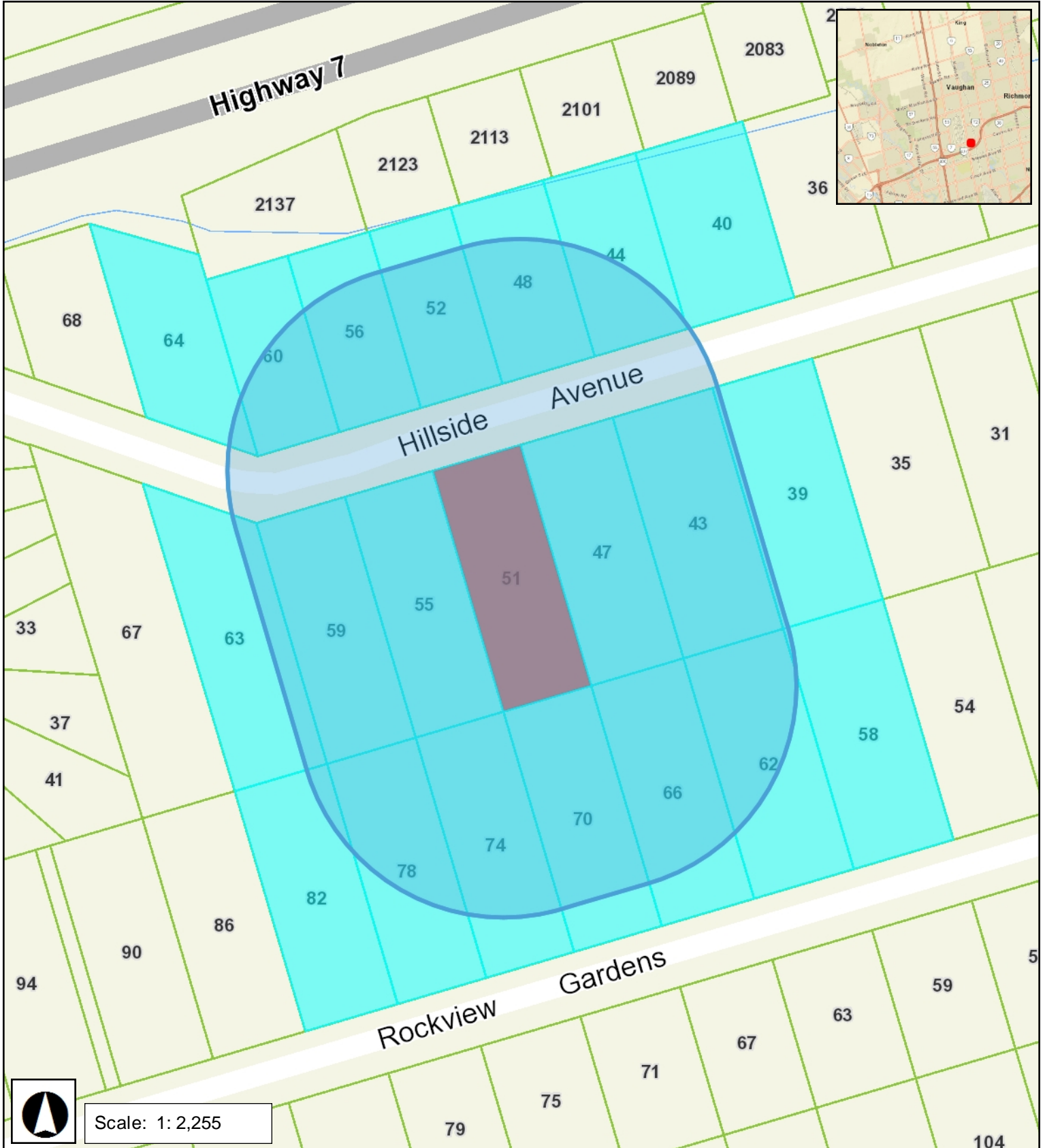
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



51 Hillside Avenue, Concord





RECEIVED  
By Prabhdeep Kaur at 11:27 am, Dec 22, 2023

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5.1.]	To permit a maximum height of 9.04 metres.

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED.  
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.  
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.  
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE

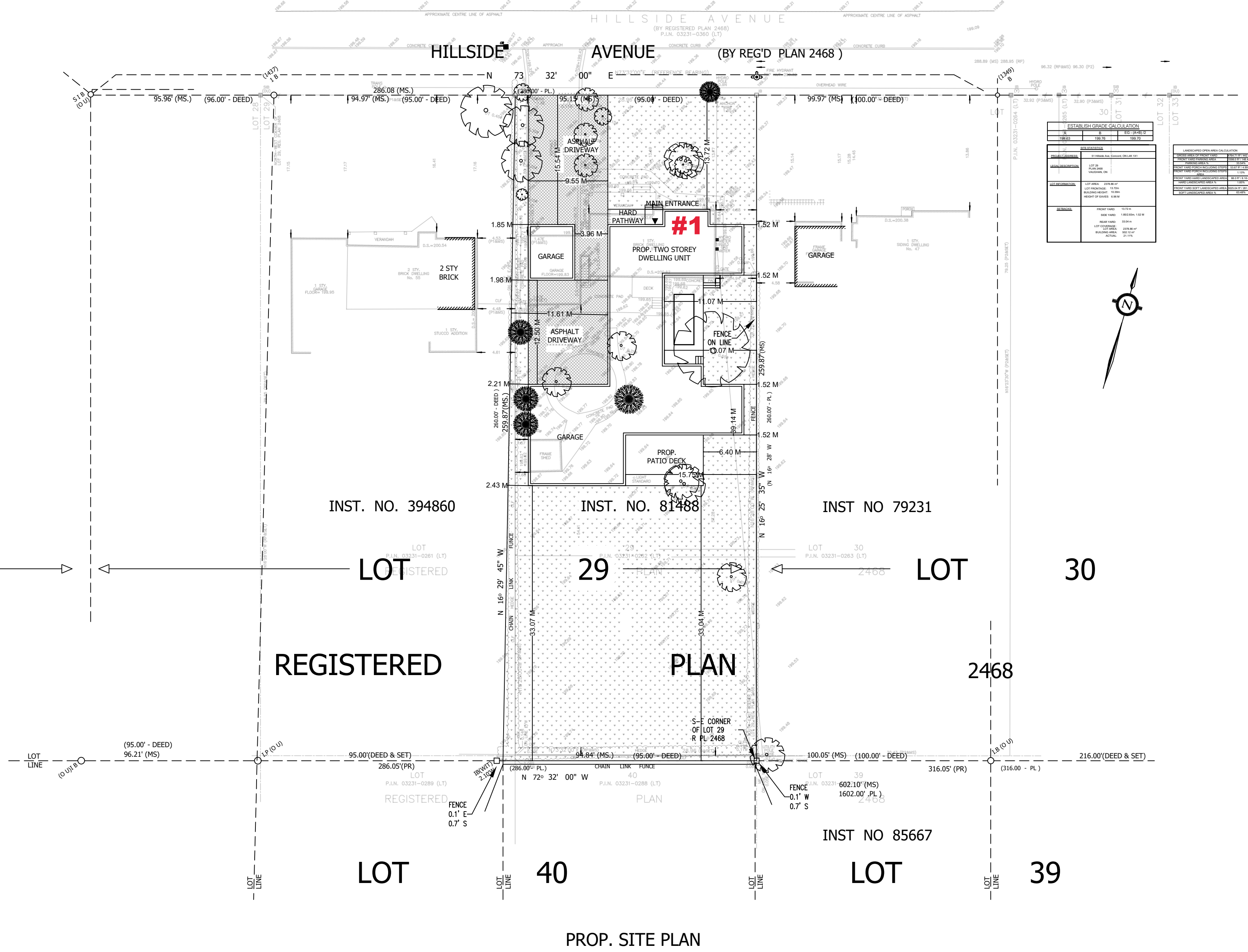
**ENGINEER:**  
**Mechways Inc.**  
 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5  
 TEL : 416-627-4100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

**PROJECT:**  
 NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

**SHEET TITLE:**  
 PROP. SITE PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: NTS  
 DATE: JUNE 15, 2023

**DRAWING:**  
 A1.1



**RECEIVED**

By providel at 5:18 pm, Jan 10, 2024

**PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT**

**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023

ENGINEER:



ADDRESS : 2751 THAMESGATE DRIVE  
MISSISSAUGA, ON. L4T 1G5  
TEL. : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

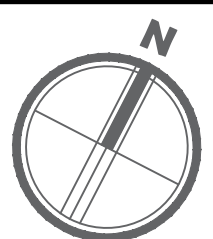
NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

**FRONT ELEVATION**

CHECKED: SS  
DRAWN: MA  
SCALE: 3/8" = 1'  
DATE: JUNE 15, 2023

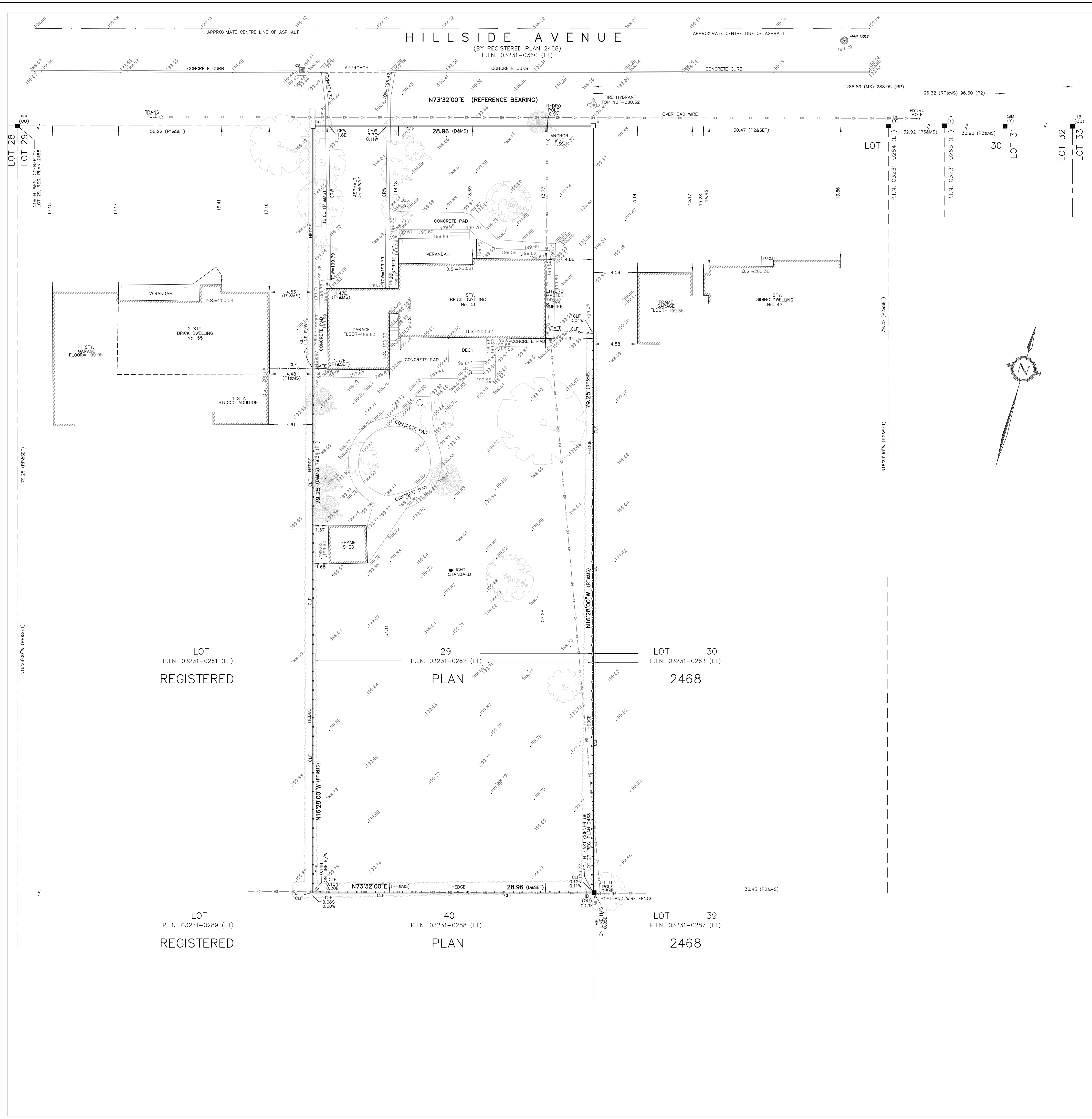
DRAWING:



**A3.1**



**1 PROP. FRONT ELEVATION**



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**PLAN OF SURVEY OF**  
**PART OF LOT 29**  
**REGISTERED PLAN 2468**  
**IN THE**  
**CITY OF VAUGHAN**  
**(REGIONAL MUNICIPALITY OF YORK)**

**SCALE & NOTES**  
 Scale 1:200  
**ALTIMAP LAND SURVEYORS INC.**  
 © COPYRIGHT 2023

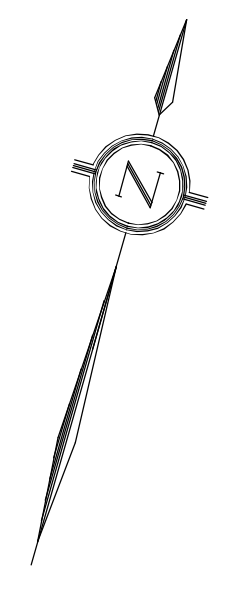
**METRIC**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**  
 ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928/1978) AND ARE DERIVED FROM CITY OF VAUGHAN BENCHMARK No. 105070037, HAVING A PUBLISHED ELEVATION OF 201.556 METERS.

**BEARING NOTE**  
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF HILLSIDE AVENUE AS SHOWN ON REGISTERED PLAN 2468 HAVING A BEARING OF N73°32'00"E.

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
▣	DENOTES	IRON BAR
▤	DENOTES	STANDARD IRON BAR
○	DENOTES	ORIGIN UNKNOWN
WIT	DENOTES	WITNESS
MH	DENOTES	MANHOLE
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
LS	DENOTES	LIGHT STANDARD
INV	DENOTES	INVERT ELEVATION
HYD	DENOTES	FIRE HYDRANT
CRW	DENOTES	CONCRETE RETAINING WALL
TOW	DENOTES	TOP OF WALL ELEVATION
NTS	DENOTES	NOT TO SCALE
MS	DENOTES	MEASURED
FN	DENOTES	FOUNDATION
BR	DENOTES	BRICK
ST	DENOTES	STUCCO
SI	DENOTES	SIDING
STY	DENOTES	STOREY
CLF	DENOTES	CHAIN LINK FENCE
D.S.	DENOTES	DOOR SILL ELEVATION
MF	DENOTES	METAL FENCE
FFE	DENOTES	FINISHED FLOOR ELEVATION
GFE	DENOTES	GARAGE FLOOR ELEVATION
RP	DENOTES	REGISTERED PLAN 2468
P1	DENOTES	PLAN BY PAUL JAYSON O.L.S. DATED MARCH 25, 1986
P2	DENOTES	PLAN BY ANTON KIKAS LTD., O.L.S. DATED MAY 28, 1978
P3	DENOTES	PLAN BY MANDARIN SURVEYORS LTD., O.L.S. DATED JULY 23, 2020
Y	DENOTES	YATES AND YATES O.L.S.
D	DENOTES	INSTRUMENT No. VA81488

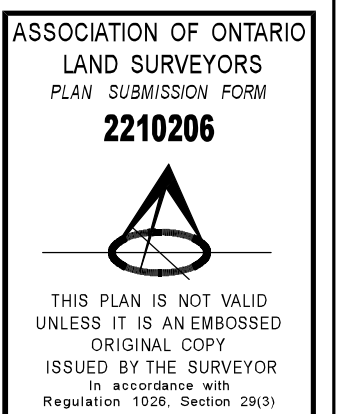


LOT 29  
 P.I.N. 03231-0262 (LT)  
**PLAN 2468**

LOT 40  
 P.I.N. 03231-0288 (LT)  
**PLAN 2468**

**PART 2**  
**REGISTERED EASEMENTS/RIGHTS-OF-WAY - NONE FOUND ON TITLE**  
**ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN. BUILDING TIES ARE TO BRICK/CONCRETE UNLESS OTHERWISE NOTED**  
 THIS PLAN WAS PREPARED FOR LAND AND BUILDING EXPERTS AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

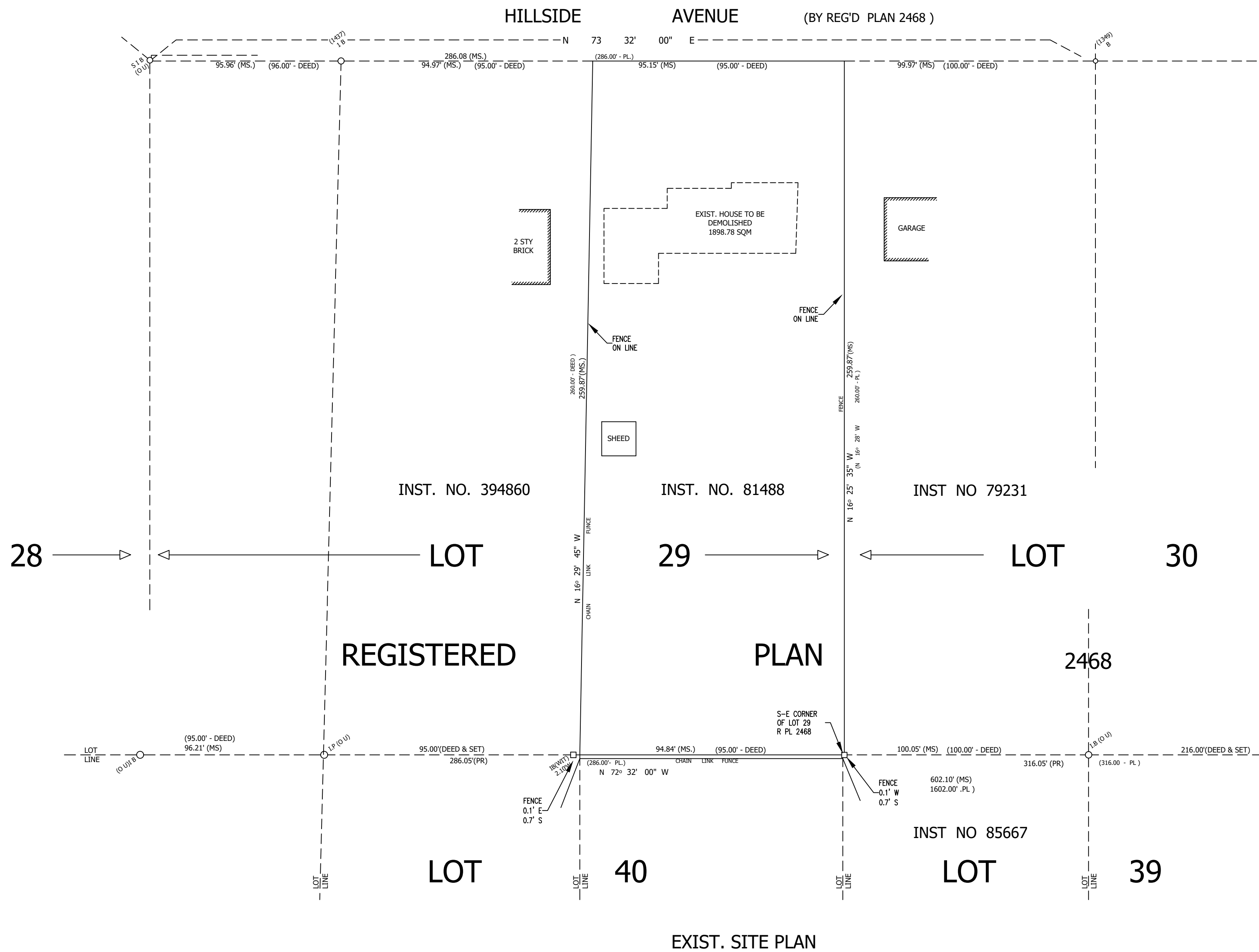
**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON MAY 30, 2023.  
 JUNE 05, 2023  
 GUIDO V. CONSOLI  
 ONTARIO LAND SURVEYOR



**ALTIMAP LAND SURVEYORS INC.**  
 222 FINCH AVE W, UNIT 212, TORONTO, ON M2R 1M6  
 TEL 416 990 3001 INFO@ALTIMAPCA

DWN BY: EJ  
 CHK BY: GVC  
 JOB No. : 23-2859





**GENERAL NOTES:**

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023

ENGINEER:



ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G5  
 TEL : 416-627-4100  
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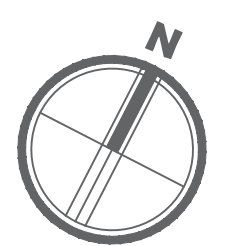
PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

DEMOLITION PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1:200  
 DATE: JUNE 15, 2023



DRAWING:  
A1.0

**GENERAL NOTES:**

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5  
 TEL. : 416-627-4100  
 EMAIL : INFO@MECHWAYS.COM  
 WEBSITE : WWW.MECHWAYS.COM

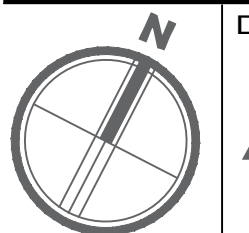
PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

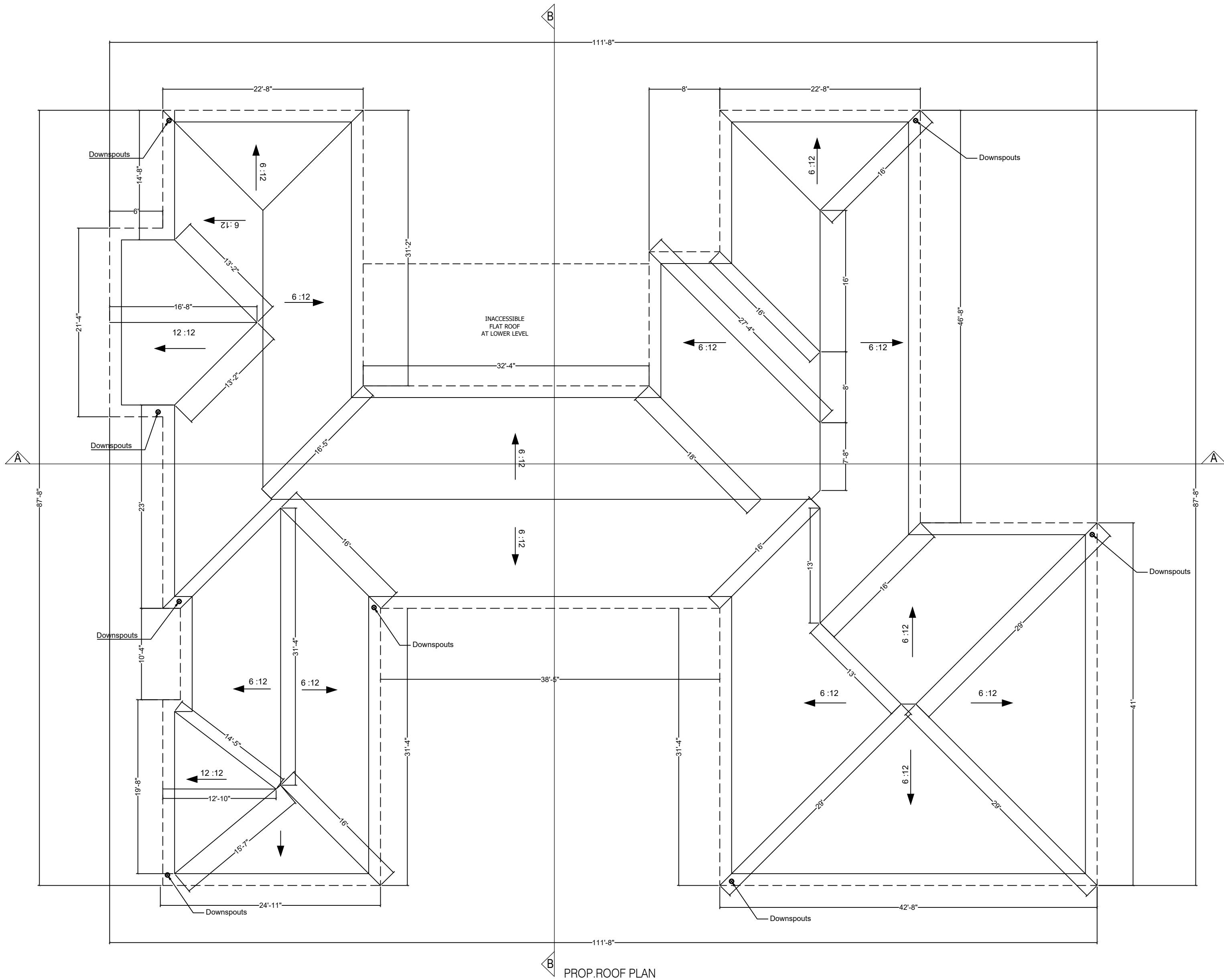
ROOF PLAN

CHECKED: SS  
 DRAWN: MA  
 SCALE: 1:150  
 DATE: JUNE 15, 2023



DRAWING:

A2.4



**GENERAL NOTES:**

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SEAL:



1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

**Mechways Inc.**

ADDRESS : 2751 THAMESGATE DRIVE  
MISSISSAUGA, ON. L4T 1G5  
TEL : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

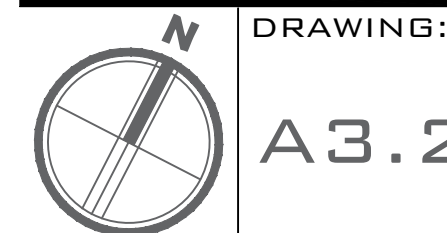
PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

REAR ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 3/8" = 1'  
DATE: JUNE 15, 2023



**1** PROP. REAR SIDE ELEVATION



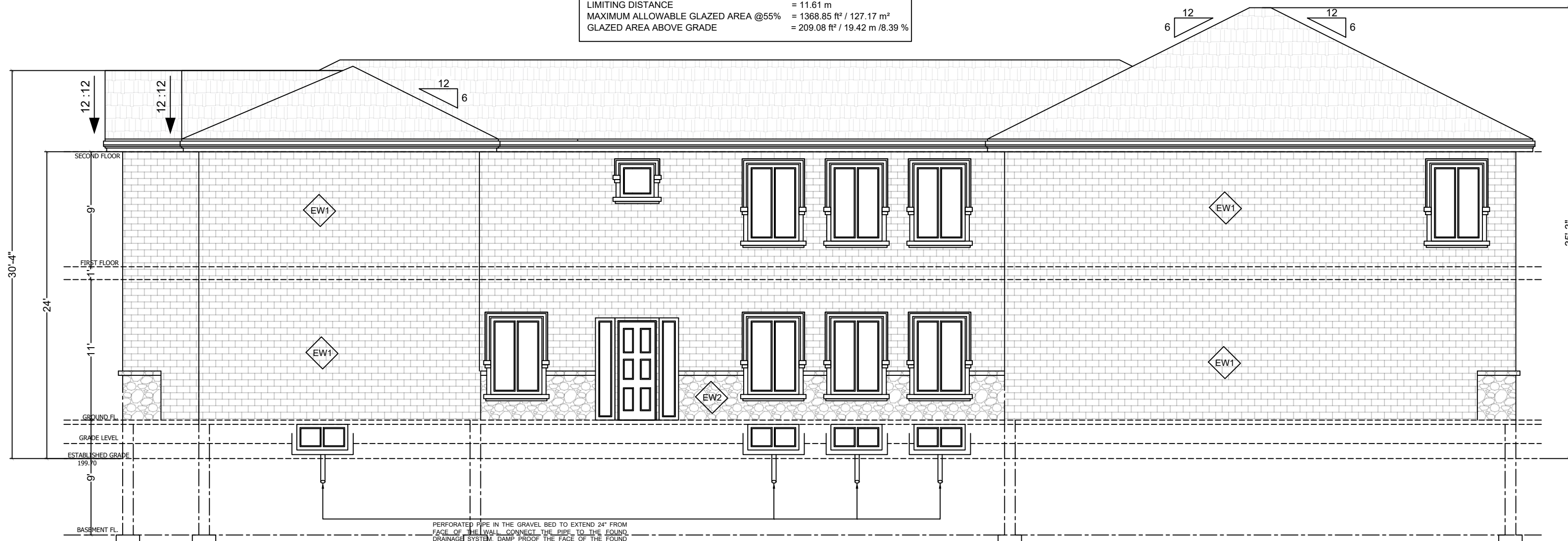
**GENERAL NOTES:**

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SEAL:



SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 2488.83 ft <sup>2</sup> / 231.21 m <sup>2</sup>
LIMITING DISTANCE	= 11.61 m
MAXIMUM ALLOWABLE GLAZED AREA @55%	= 1368.85 ft <sup>2</sup> / 127.17 m <sup>2</sup>
GLAZED AREA ABOVE GRADE	= 209.08 ft <sup>2</sup> / 19.42 m / 8.39 %



1 PROP. RIGHT SIDE ELEVATION

PERFORATED PIPE IN THE GRAVEL BED TO EXTEND 24" FROM FACE OF THE WALL. CONNECT THE PIPE TO THE FOUNDATION DRAINAGE SYSTEM. DAMP PROOF THE FACE OF THE FOUNDATION WALL NEXT TO WINDOW WELL AND TO THE TOP OF THE GRAVEL BED. THE WELL SHALL BE 6" ABOVE SURROUNDING GRADE.

NO.	DESCRIPTION	DATE
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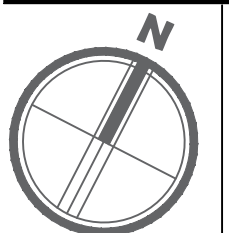
PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

RIGHT SIDE ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 3/8" = 1'  
DATE: JUNE 15, 2023



DRAWING:

A3.3

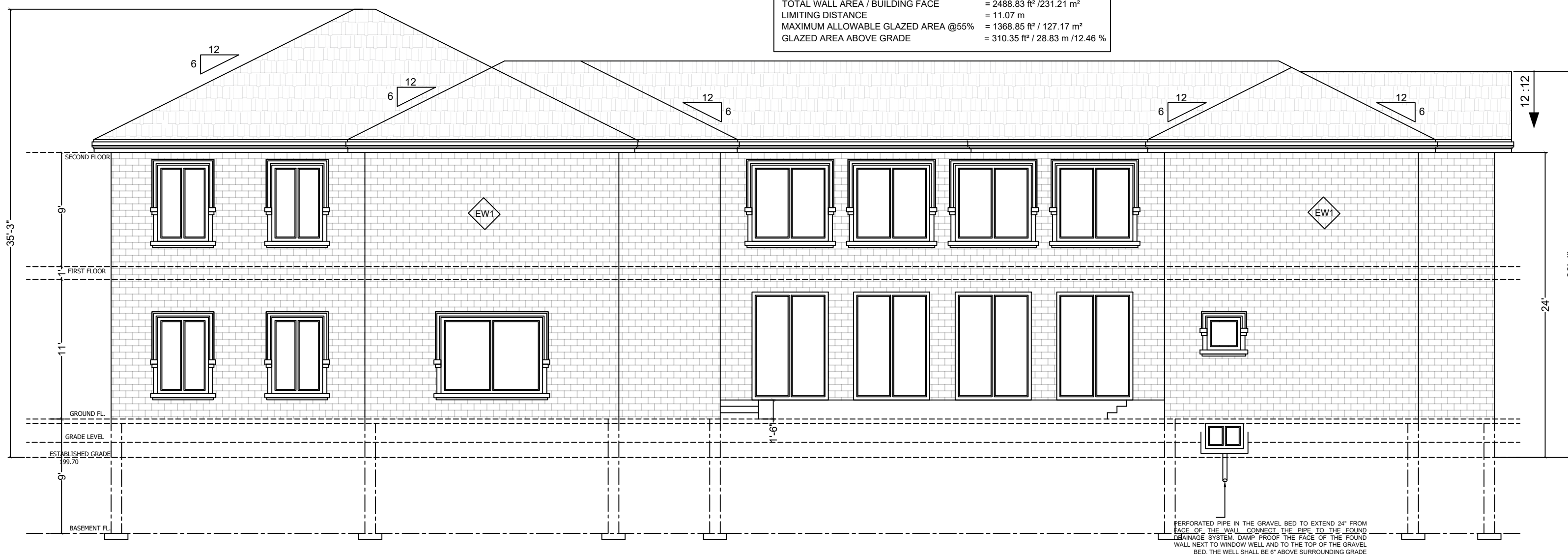
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SEAL:



SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 2488.83 ft <sup>2</sup> / 231.21 m <sup>2</sup>
LIMITING DISTANCE	= 11.07 m
MAXIMUM ALLOWABLE GLAZED AREA @55%	= 1368.85 ft <sup>2</sup> / 127.17 m <sup>2</sup>
GLAZED AREA ABOVE GRADE	= 310.35 ft <sup>2</sup> / 28.83 m / 12.46 %



1 PROP. LEFT SIDE ELEVATION

NO.	DESCRIPTION	DATE
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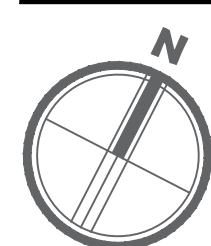
PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

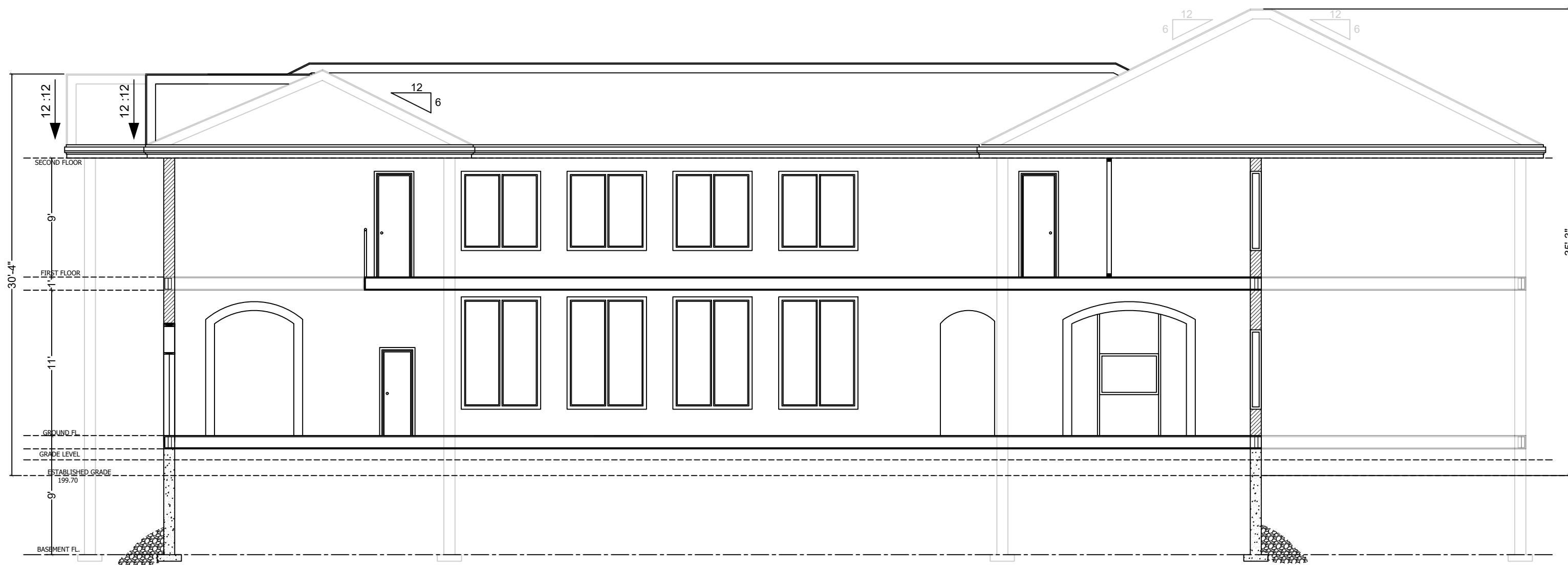
LEFT SIDE ELEVATION

CHECKED: SS  
DRAWN: MA  
SCALE: 3/8" = 1'  
DATE: JUNE 15, 2023



DRAWING:

A3.4



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NO.	DESCRIPTION	DATE

ENGINEER:



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MISSISSAUGA, ON. L4T 1G5  
TEL. : 416-627-4100  
EMAIL : INFO@MECHWAYS.COM  
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY  
SINGLE FAMILY  
DWELLING  
AT 51 HILLSIDE AVE,  
CONCORD, ON

SHEET TITLE:

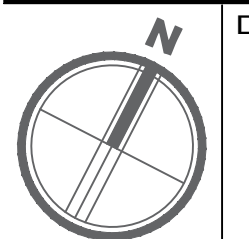
SECTION A-A

CHECKED: SS

DRAWN: MA

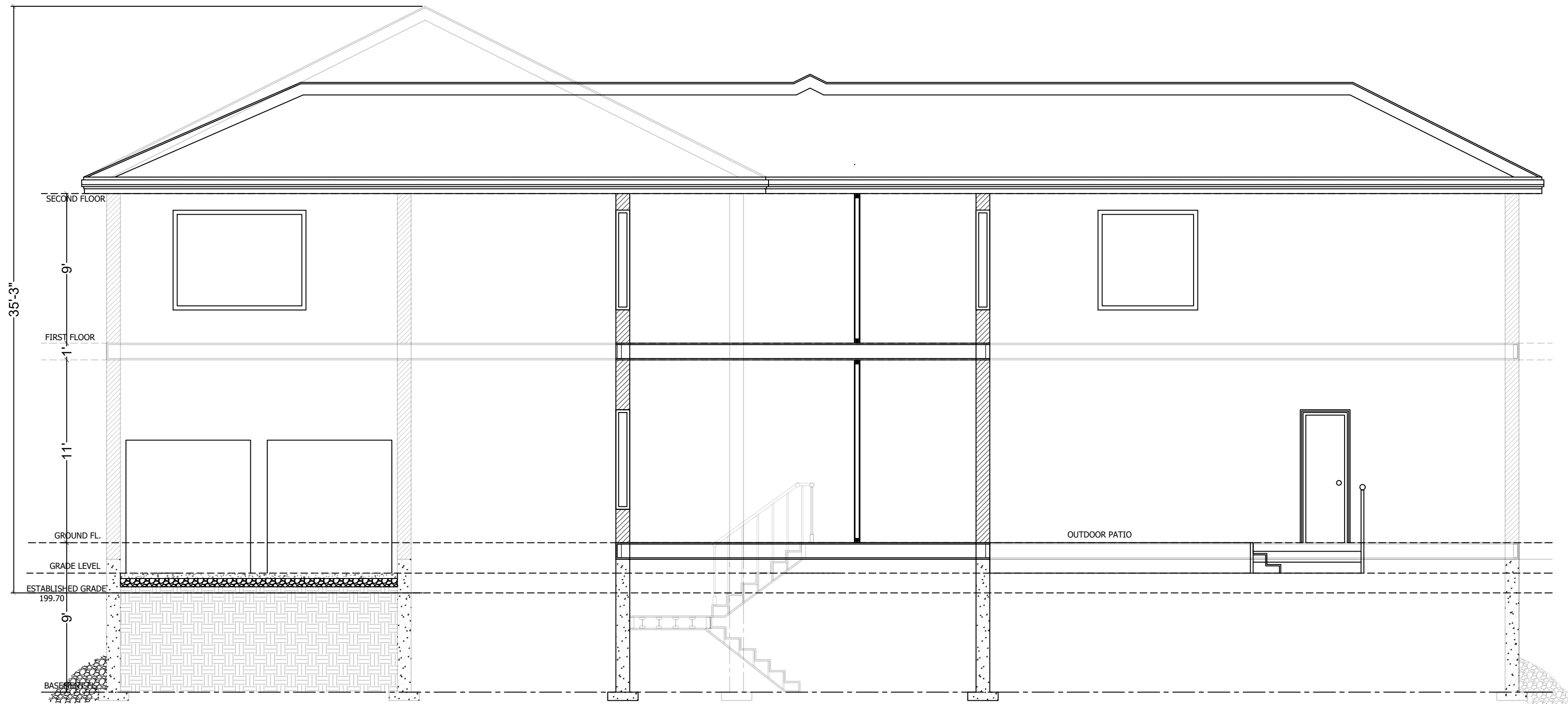
SCALE: 3/8" = 1'

DATE: JUNE 15, 2023



DRAWING:

A4.1



1 SECTION B-B

**GENERAL NOTES:**

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ENGINEER:

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TEL : 416-627-4100  
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WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

SECTION B-B

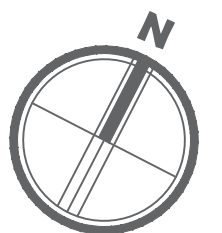
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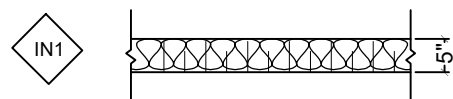
SCALE: 3/8" = 1'

DATE: JUNE 15, 2023

DRAWING:

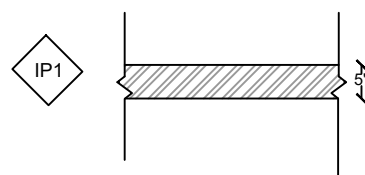


A4.2



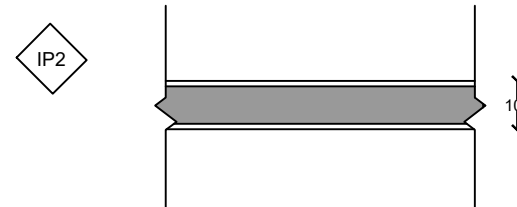
**2" X 4" INTERIOR PARTITION**

- 13MM (1/2") GYPSUM WALL BOARD
- 38MM X 89MM (2" X 4") @ 400 MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM X 89MM (2" X 4") @ 400 MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300 MM (1'-0") O.C. FOR 3 STOREYS
- 13MM (1/2") GYPSUM WALL BOARD
- R20 Ci



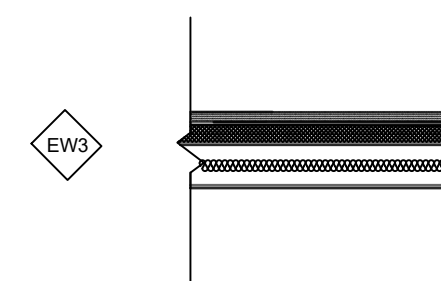
**2" X 4" INTERIOR PARTITION**

- 13MM (1/2") GYPSUM WALL BOARD
- 38MM X 89MM (2" X 4") @ 400 MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM X 89MM (2" X 4") @ 400 MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300 MM (1'-0") O.C. FOR 3 STOREYS
- 13MM (1/2") GYPSUM WALL BOARD



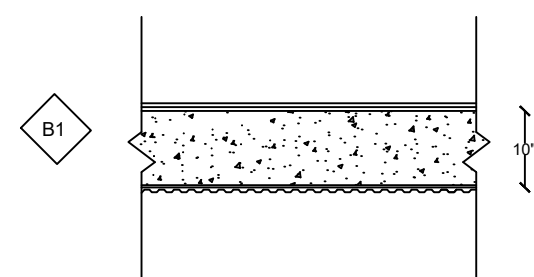
**GARAGE WALL**

- 13MM (1/2") GYPSUM WALL BOARD
- 38MM X 150MM (2" X 6") @ 400 MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM X 120MM (2" X 4") @ 400 MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300 MM (1'-0") O.C. FOR 3 STOREYS
- 13MM (1/2") GYPSUM WALL BOARD



**EW- 3 - EXTERIOR WALL W/ STUCCO**

- 7/8" MIN THICK THREE COAT CEMENT PLASTER
- 2" DEEP "Z" CLIP @16 O.C HORIZONTALLY
- 3.4 LBS SELF-FURRING METAL LATH ATTACHED TO "Z" CLIP
- 2 LAYER OF GRADE "D" BUILDING PAPER OR 1 LAYER OF DUPONT TYVEK STUCCO WRAP UNDER CEMENT PLASTER TYP.
- 1" THICK POLY-ISO RIGID INSULATION AND 1" THICK EPS SHEATHING, TYPICAL
- PLYWOOD SHEATHING ON EXTERIOR SIDE
- 2ND LAYER OF PLYWOOD SHEATHING WHERE OCCURS
- WOOD STUD FRAMING PER STRUCTURAL WITH R22 INSULATION
- 5/8" TYPE "X" GYPSUM BOARD FINISH FACE TEXTURED & PAINTED AS SCHEDULED



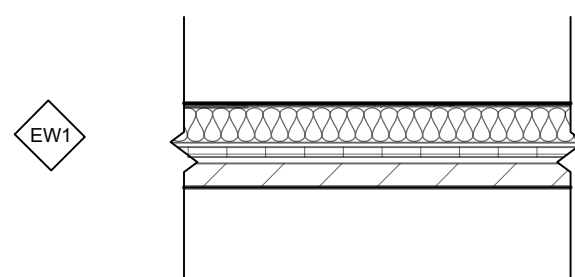
**10" FOUNDATION WALL**

250 MM (10") POURED CONCRETE FOUNDATION WALL (20 MPa) OR 250MM (10") CONCRETE MASONRY UNITS BITUMINIOUS DAMPROOFING DRAINAGE MAT

15M @ 16" O.C. VERTICAL REINFORCEMENT  
15M @18" O.C. HORIZONTAL REINFORCEMENT  
15M @ 16" O.C. DOWEL (MATCH TO VERTICAL)

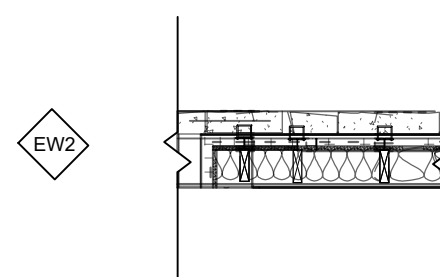
ENSURE MIN. 1 1/2" CONC. COVER WITH R20 Ci INSULATION

SEE DETAILS FOR REFERENCE IF REQUIRED



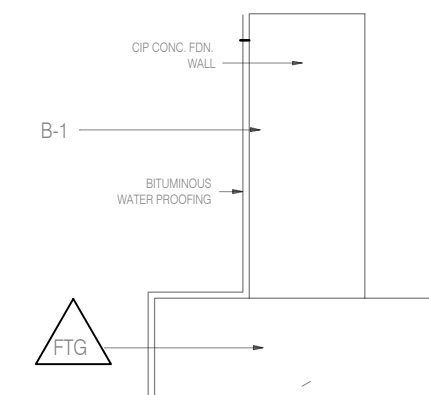
**EW-1 - EXTERIOR STUD WALL - MASONRY VENEER**

- 90mm BRICK VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- AIR VAPOUR BARRIER
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22)FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



**EW- 2 - EXTERIOR STUD WALL - STONE VENEER**

- 76 - 92mm STONE VENEER
- 25mm AIR SPACE
- 38mm EPS RIGID INSUL. (R5/INCH MIN)
- SHEET TYPE AVB
- 17mm OSB/PLYWOOD SHEATHING
- 38x140mm WOOD STUDS @ 406mm O.C. C/W 140mm OF RSI 3.87 (R22)FIBREGLASS CAVITY BATT INSULATION.
- 6 MIL POLY VAPOUR BARRIER (WARM SIDE)
- 13m PAINTED INT. GYP. BD.



CAST IN PLACE STRIP CONCRETE FOOTING TO REST ON UNDISTURBED SOIL, CAPABLE OF SUSTAINING 75 kPa (1500psf) SERVICE OR ROCK. SPACING A/P STRUCTURAL DRAWINGS MINIMUM OF 1200mm BELOW GRADE TYP PROVIDE BITUMINIOUS DAMP PROOFING AS SHOWN IN TYPICAL DETAIL. PROVIDE DRAINAGE AS SHOWN IN TYP. DETAIL.

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SEAL:



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023

ENGINEER:

**Mechways Inc.**

ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5  
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PROJECT:

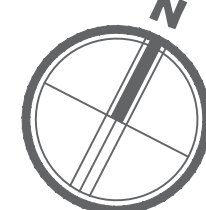
NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

**ASSEMBLY SCHEDULE**

CHECKED: SS  
DRAWN: MA  
SCALE: NTS  
DATE: JUNE 15, 2023

DRAWING:



**A5.1**

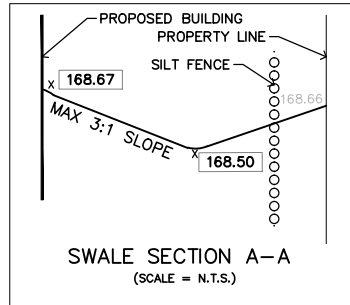


**NOTES**

- MATERIALS SPECIFICATIONS & CONSTRUCTION**  
SHALL BE (WHEREVER NOT SPECIFIED) IN ACCORDANCE WITH THE APPLICABLE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS), LATEST AMENDMENTS.
- OCCUPATIONAL HEALTH AND SAFETY**
  - SAFETY ACT**  
THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY AND FOR COMPLIANCE WITH THE RULES, REGULATIONS AND PRACTICES REQUIRED BY THE APPLICABLE FEDERAL AND PROVINCIAL CONSTRUCTION SAFETY LEGISLATION.
  - LOCAL REQUIREMENTS**  
ALL SERVICES AND UTILITIES TO BE SUPPORTED AS PER THE REQUIREMENTS OF THE REGION OF PEEL, CITY OF MISSISSAUGA AND THE CORRESPONDING UTILITY COMPANIES.
- ROADWORKS**
  - EXISTING PAVEMENT**  
ANY SECTION OF PAVEMENT DISTURBED WITHIN THE EXISTING RIGHT-OF-WAY (R.O.W.) SHALL BE RESTORED AS PER THE ORIGINAL PAVEMENT DESIGN AND AS PER THE REQUIREMENTS OF THE CITY AND THE REGION.
  - PARKING AREA RESTORATION**  
SHALL BE RESTORED TO ORIGINAL CONDITION (HL3 - 40mm(min.), HL8 - 60mm(min.))
  - CONCRETE SIDEWALK**  
SHALL BE AS PER STD. DWGS. 2240.010, 2240.020, 2240.030 & 2240.040 OF THE CITY.
  - CONCRETE CURB**  
SHALL BE AS PER OPSD 600.040, 600.070 & 600.110.
  - CONCRETE WALKWAY**  
SHALL BE AS PER STD. DWG. 2240.050 OF THE CITY.
  - CONFORMANCE**  
ALL WORKS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY AND THE REGION.
- DIMENSIONS**  
ALL DIMENSIONS AND ELEVATIONS ARE IN METRES UNLESS NOTED OTHERWISE. ALL PIPE SIZES ARE IN MILLIMETRES.
- BENCH MARK**  
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 441 HAVING AN ELEVATION OF 168.922m.

- GENERAL**
  - WHENEVER PIPES ARE PASSING THROUGH UNCOMPACTED FILL AREA, THE BEDDING TRENCH SHALL BE EXCAVATED TO THE UNDISTURBED GROUND LEVEL AND BACKFILLED WITH GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
  - FOR DIMENSIONS AND DETAILS NOT SHOWN ON THE PLAN, REFER TO THE STD. DWGS.
  - ALL AREAS OUTSIDE OF THE DEVELOPMENT PLAN LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITIONS TO THE SATISFACTION OF THE CITY OF MISSISSAUGA AND THE REGION OF PEEL.
  - ALL TRAFFIC CONTROLS AND SIGNING DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MTO, THE REGION, AND THE CITY.
  - BEFORE ANY DIGGING, ALL UTILITIES MUST BE CONTACTED BY THE CONTRACTOR FOR EXACT LOCATION OF THEIR PLANTS, THE CONTRACTOR MUST PROTECT THE EXISTING PLANTS AS PER THE REQUIREMENTS OF THE CORRESPONDING UTILITY COMPANIES.
  - EXISTING ELEVATIONS HAVE BEEN OBTAINED BY ALTIMAP LAND SURVEYORS INC.
  - ALL SURFACE DRAINAGE SHALL CONTINUE TO DRAIN AS PER EXISTING SYSTEM.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS (LIKE - DEMOLITION OF STRUCTURES, REMOVAL OF TREES, FOUNDATION INSTALLATION, ROAD ENCROACHMENT, WORK WITHIN FLOOD PLAIN AREA ETC.) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - EXISTING GRADING WITHIN THE DEVELOPMENT SITE, SHALL BE MAINTAINED.
  - ALL RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY FOLLOWED AND ANY DISCREPANCY BETWEEN THESE PLANS AND THE SOILS REPORT SHALL BE REPORTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO THE TENDERING OF THE PRICES FOR THIS PROJECT.
  - THE BUILDINGS AND THE SITE BOUNDARIES HAVE BEEN LOCATED BASED ON INFORMATION OBTAINED FROM ALTIMAP LAND SURVEYORS INC.
  - ALL FIRE ACCESS ROUTES ARE STATED TO BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT, CONCRETE OR LOCKSTONE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11383 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 (8%) OVER MINIMUM DISTANCE OF 15M, AS PER RECORDS AND SHALL BE MAINTAINED.
  - FIRE ROUTES SHALL CONTINUE TO BE DESIGNATED AS PER THE CITY OF MISSISSAUGA AND THE REGION OF PEEL REQUIREMENTS.

- EROSION AND SEDIMENT CONTROL**
  - ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION
  - MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION IN GOOD ORDER
  - MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
  - PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION.
  - KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
  - PREVENT WIND BLOWN DUST BY WATERING, SEEDING DISTURBED AREAS AS REQUIRED.
  - SILT CONTROL AS PER STD. DWGS. 2940.010, 2930.020, 2930.030 & 2930.040 OF THE CITY SHALL BE USED IN LOCALIZED AREAS IF REQUIRED AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
- CAUTION AGAINST EXISTING UNDERGROUND SERVICES**
  - THE CONTRACTOR SHALL RECOGNIZE THAT OUR DRAWING HAS BEEN PREPARED BASED ON INFORMATION FROM RECORDS AND THE ACTUAL INSTALLATION OF THESE SERVICES MAY HAVE DEVIATED SUBSTANTIALLY FROM THESE RECORDS.
  - THE CONTRACTOR SHALL THEREFORE, TAKE ALL REASONABLE PRECAUTIONS TO PROTECT THESE UNIDENTIFIABLE EXISTING SERVICES.
  - THE COST FOR REPAIRING DAMAGED UN-IDENTIFIED UNDERGROUND SERVICES, SHALL BE ESTABLISHED BETWEEN THE CONTRACTOR AND THE OWNER AS ADDITIONAL SERVICES.



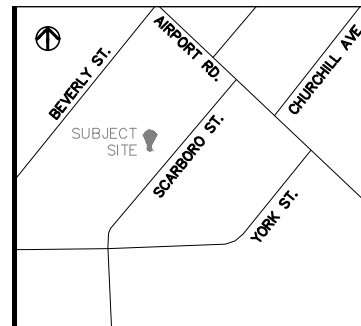
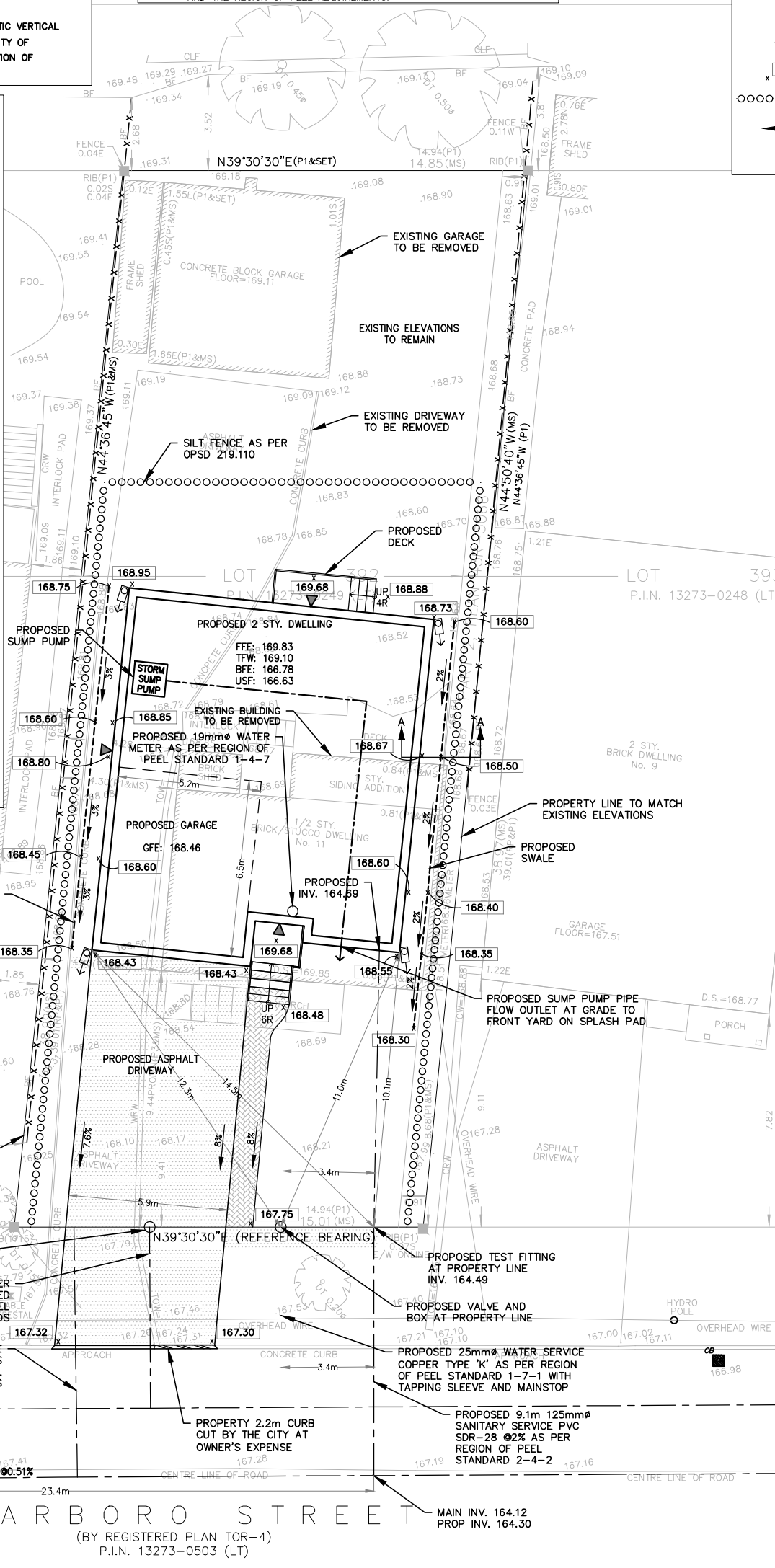
**LEGEND**

- 168.66 EXISTING ELEVATION
- x 167.75 PROPOSED ELEVATION
- OOOOOOOOO SILT FENCE
- 2% DRAINAGE DIRECTION AND SLOPE
- ▶ ENTRANCE/EXIT

**REGION OF PEEL CONSTRUCTION STANDARDS**

- ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- WATERMAIN AND/OR WATER SERVICE MATERIALS 100mm(4") AND LARGER MUST BE DR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C900-16 COMPETE WITH TRACER WIRE. SIZE 50mm (2") AND SMALLER MUST BE TYPE 'K' SOFT COPPER PIPE PER A.S.T.M. B88-49 SPECIFICATION.
- WATERMAIN AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m(5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2m(4') FROM THEMSELVES AND ALL OTHER UTILITIES.
- PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50mm(2") OUTLET ON 100mm(4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100mm(4") DIAMETER MINIMUM ON A HYDRANT.
- ALL CURB STOP TO BE 3.0m(10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
- HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7m(2') AND 0.9m(3') AND TO HAVE PUMPER NOZZLE.
- WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
- WATERMANS MUST HAVE A MINIMUM VERTICAL CLEARANCE OF 0.3m(12") OVER 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
- ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.
- ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
- LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
- THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION. WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
- ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DECREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

- ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT  
 - ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE  
 - PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.  
 - SHOULD ANY WORKS BE REQUIRED WITHIN THE MUNICIPAL RIGHT OF WAY, A ROAD OCCUPANCY PERMIT WILL BE REQUIRED. P.U.C. APPROVAL WILL BE REQUIRED. FOR FURTHER INFORMATION, PLEASE CONTACT THE P.U.C./PERMIT TECHNOLOGIST, LOCATED AT 3185 MAVIS ROAD.  
 IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF GRAVITY CONNECTION CANNOT BE ACHIEVED FROM THE PROPOSED BASEMENT FLOOR ELEVATION, A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER O.B.C. AND MUNICIPAL REQUIREMENTS.  
 CONTRACTOR SHALL LOCATE THE EXISTING SERVICES AND CONFIRM SIZE OF THE EXISTING SERVICES PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



**KEY PLAN** N.T.S.

**DO NOT SCALE DRAWINGS.**

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

2	CLIENT REVIEW	OCT/28/21
1	BUILDING PERMIT	AUG/24/21
NO.	ISSUED FOR	DATE

ALL MEASUREMENTS ARE IN mm UNLESS OTHERWISE NOTED.  
 UNAUTHORIZED USE OR REUSE OF THIS DRAWING IS NOT PERMITTED.

STAMP:

PREPARED BY:

570 Alden Rd., Unit 6, Markham, ON, L3R 8N5  
 (647) 340-8649 landbuillex@gmail.com

PROJECT INFO:

**11 SCARBORO ST,  
 MISSISSAUGA, ON L4T 1E3**

PROJECT NAME:

**PROPOSED TWO STOREY  
 DWELLING**

DRAWING TITLE:

**SITE GRADING AND  
 SERVICING PLAN**

SCALE: 1:200  
 DRAWN BY: J.G.  
 CHECKED BY: E.L.  
 PROJECT NO.: SCARBORO 11-21-01

DWG. NO. **SS-1**



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** February 5, 2024  
**Name of Owners:** Rasneet Bharj and Amaninder Bharj  
**Location:** 51 Hillside Avenue  
**File No.(s):** A203/23

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum height of 9.04 metres.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum height permitted is 8.5 metres.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to construct a two-storey single-detached dwelling with the above-noted variance.

The Subject Lands are within a Large Lot Neighbourhood - 30 m+ ('LLN') by Schedule 1B of VOP 2010 and zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021. LLNs are identified for their distinctive characteristics. Policy 9.1.2.3 identifies these characteristics, including height, to ensure proposed development is compatible with the existing character of the LLN. The (EN) zone suffix applies to some established residential areas where the existing built form exceeds the minimum residential zone requirements for front yard and exterior and interior side yard setback and is less than the maximum height requirement. A function of the (EN) suffix is to ensure that when development occurs, the footprint and height of the new built form is sympathetic to the neighbourhood's established character, in this case the LLN's character. The neighbourhood contains a mix of 1-2 storey dwellings, and a 2-storey dwelling is proposed. The Development Planning Department has no objection to the above-noted variance as the proposed maximum building height of 9.04 m achieves a built form that is in keeping with the overall mass and scale of existing dwellings in the area and therefore maintains the character of the neighbourhood.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following conditions:

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Michelle Perrone, Planner 1  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** December 22, 2023  
**Applicant:** MECHWAYS INC  
**Location:** 51 Hillside Avenue  
 PLAN RP2468 Part of Lot 29  
**File No.(s):** A203/23

**Zoning Classification:**

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5 1.]	To permit a maximum height of 9.04 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

Building Permit No. 23-131749 for Single Detached Dwelling - Residential Demolition, Issue Date: Nov 29, 2023.  
 Building Permit No. 23-122638 for Single Detached Dwelling - New (Infill Housing) L of C Included , Issue Date: (Not Yet Issued).

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**Date:** January 9<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A203-23**

**Related Files:**

**Applicant** Mechways Inc.

**Location** 51 Hillside Avenue



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### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

**From:** [Kristen Regier](#)  
**To:** [Christine Vigneault](#)  
**Subject:** [External] RE: A203/23 (51 Hillside Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, January 8, 2024 3:52:06 PM  
**Attachments:** [image001.png](#)

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Hello,

The subject property at 51 Hillside Avenue, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services  
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | [trca.ca](http://trca.ca)





**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A203/23 (51 Hillside Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, January 22, 2024 6:16:58 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A203/23 (51 Hillside Avenue) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None