

<b>ITEM: 6.4</b>	<b>REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A186/23</b>
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Report Date: February 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

<b>PUBLIC &amp; APPLICANT CORRESPONDENCE (SEE SCHEDULE C)</b>				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant				Application Cover Letter

<b>BACKGROUND (SCHEDULE D, IF REQUIRED)</b>	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

<b>ADJOURNMENT HISTORY</b>	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

<b>SCHEDULES</b>	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Comments from Agencies, Building Standards & Development Planning
<b>Schedule C</b> (if required)	Public & Applicant Correspondence
<b>Schedule D</b> (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A186/23

<b>CITY WARD #:</b>	2
<b>APPLICANT:</b>	Francesco & Irina Le Coche
<b>AGENT:</b>	Lifestyle Sunrooms Inc. (2306096 Ontario Ltd.)
<b>PROPERTY:</b>	23 Umbria Crescent, Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit an unheated sunroom to be constructed at the rear of the existing dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

**The subject lands are zoned R5(EN) – Fifth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.650 under Zoning By-law 001-2021.**

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 7.5 m is required from the rear lot line to the unheated sunroom addition for a dwelling. [Table 7-5]	To permit a minimum setback of 6.74 m from the rear lot line to the unheated sunroom addition for a dwelling.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, February 22, 2024

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

## INTRODUCTION

That the general intent and purpose of the by-law will be maintained.  
That the general intent and purpose of the official plan will be maintained.  
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT

<b>Date Public Notice Mailed:</b>	February 8, 2024
<b>Date Applicant Confirmed Posting of Sign:</b>	February 9, 2024
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit an unheated sunroom to be constructed at the rear of the existing dwelling.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING)

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering Department does not object to the Minor Variance application A186/23.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

## PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None

## DEVELOPMENT FINANCE

No comment no concerns.	
<b>Development Finance Recommended Conditions of Approval:</b>	None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

### BUILDING INSPECTION (SEPTIC)

No comments received to date.

**Building Inspection Recommended Conditions of Approval:**

None

### FIRE DEPARTMENT

No comments received to date.

**Fire Department Recommended Conditions of Approval:**

None

### IMPORTANT INFORMATION

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

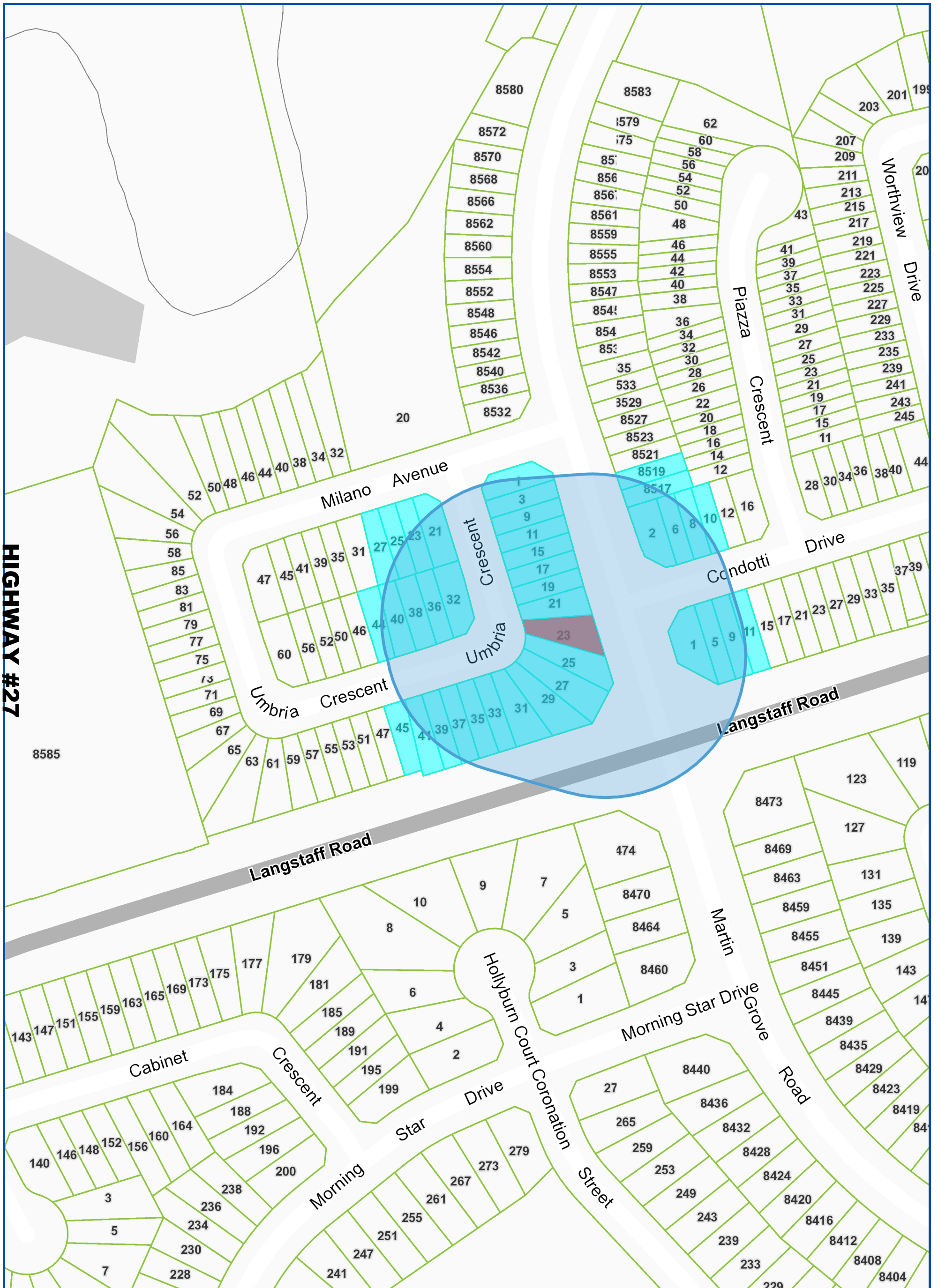
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

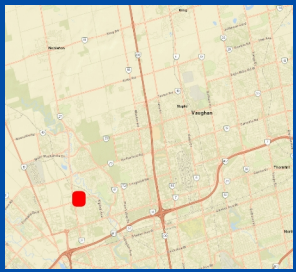
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

## SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

**23 UMBRIA CRESCENT, WOODBRIDGE**

**NOTIFICATION MAP - A186/23**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:

Infrastructure Delivery  
Department

November 17, 2023 11:12 AM

Projection:

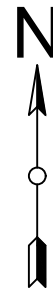
NAD 83  
UTM Zone  
17N

REAR YARD AREA		162.84 m <sup>2</sup>	1752.85 ft <sup>2</sup>	LOT AREA	433.49 m <sup>2</sup>	4666.19 ft <sup>2</sup>
REAR YARD HARD LANDSCAPING AREA	6.03 %	9.82 m <sup>2</sup>	105.66 ft <sup>2</sup>	TOTAL EXISTING FLOOR AREA	118.51 m <sup>2</sup>	1275.67 ft <sup>2</sup>
REAR YARD SOFT LANDSCAPING AREA	93.97 %	153.02 m <sup>2</sup>	1647.19 ft <sup>2</sup>	PROPOSED SUNROOM AREA	9.96 m <sup>2</sup>	107.21 ft <sup>2</sup>
				PROPOSED DECK+ LANDING +STAIR AREA	4.27 m <sup>2</sup>	46 ft <sup>2</sup>
				TOTAL EXISTING AND PROPOSED FLOOR AREA	132.74 m <sup>2</sup>	1428.8 ft <sup>2</sup>
				TOTAL LOT COVERAGE	~30.62 %	

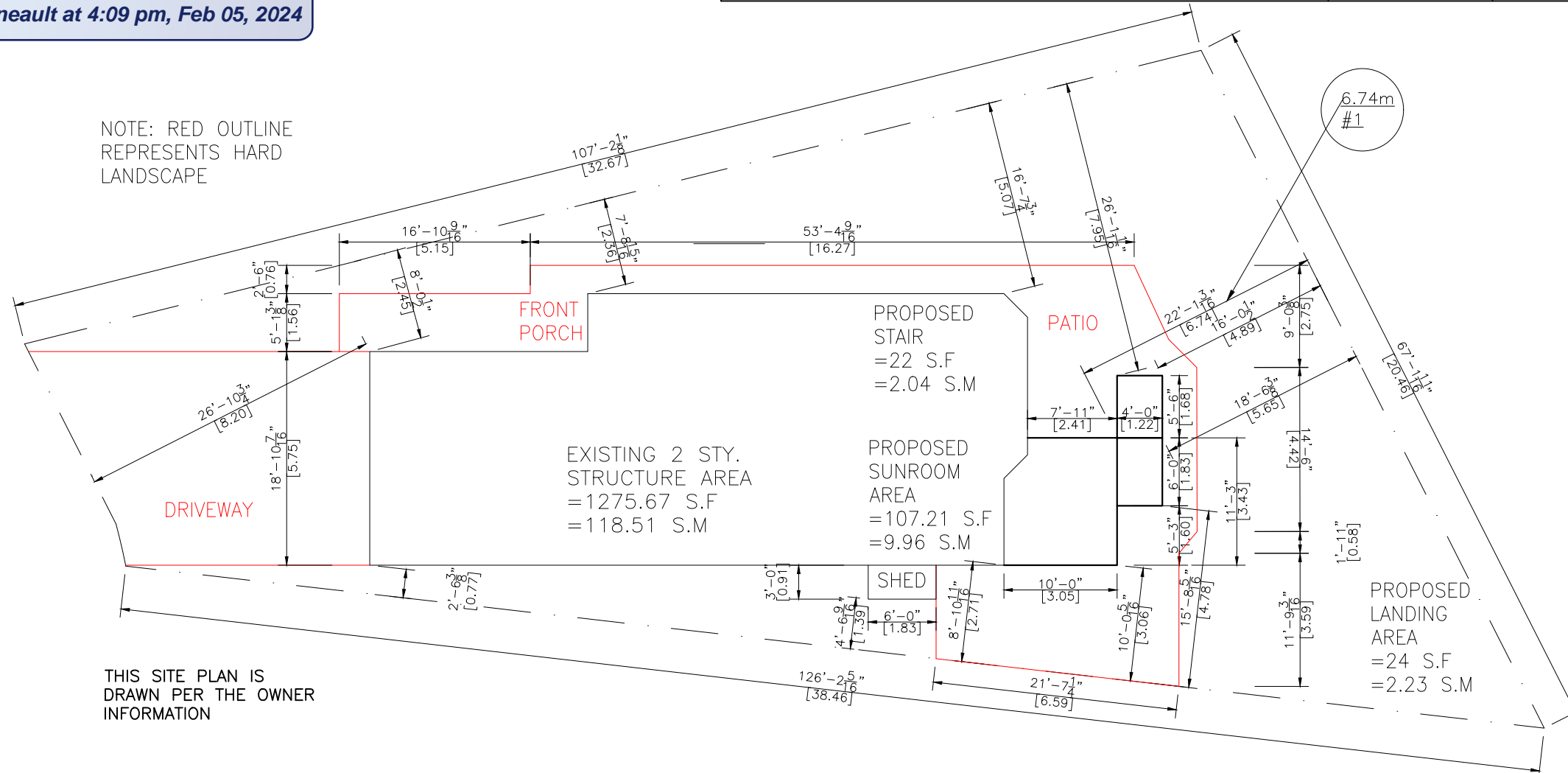


944 Crawford Dr.  
Peterborough, Ontario K9J 3X2  
www.lifestylesunrooms.com  
Tel: 800-465-0593  
Fax: 800-934-0822

**RECEIVED**  
By Christine Vigneault at 4:09 pm, Feb 05, 2024



NOTE: RED OUTLINE REPRESENTS HARD LANDSCAPE



**SITE PLAN**  
SCALE = 1:150

THIS SITE PLAN IS DRAWN PER THE OWNER INFORMATION

- NOTES:
1. THE WALLS AND ROOF STRUCTURAL PANELS OF THE SUNROOM WILL BE PREFABRICATED BY LIFESTYLE SUNROOMS INC. AND WILL BE INSTALLED BY ITS TRAINED SKILLED INSTALLERS.
  2. A PROFESSIONAL ENGINEER UNDERTAKES THE GENERAL REVIEW OF THE INSTALLATION.
  3. A FINAL PROJECT REVIEW LETTER WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER THE COMPLETION.
  4. (1). STAIRS RISER DIMENSIONS SHALL CONFIRM TO ARTICLES 9.8.4.2 AND 9.8.4.3 OF THE 2012 OBC WHICH STIPULATES THAT RISERS DESIGNED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 200 mm OR A MINIMUM RISE OF NO LESS THAN 125 mm AND A MAXIMUM RUN OF NO MORE THAN 355 mm OR A MINIMUM RUN OF NO MORE THAN 210 mm AND A MAXIMUM TREAD DEPTH OF 355 mm OR A MINIMUM TREAD DEPTH OF NO LESS THAN 235 mm.
  4. (2). REQUIRED EXIT STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900 mm AS PER ARTICLE 9.8.2.1 OF THE 2012 OBC.
  5. THE WIDTH OF THE LANDING IF REQUIRED SHALL BE NOT LESS THAN THE GREATER REQUIRED STAIR WIDTH WHERE ONE OR MORE OF THE STAIR WIDTHS DO NOT EXCEED THEIR RESPECTIVE REQUIRED WIDTHS, OR NOT LESS THAN THE LESSER ACTUAL STAIR WIDTH WHERE ALL OF THE WIDTHS OF THE STAIRS EXCEED THEIR RESPECTIVE REQUIRED WIDTHS AS PER ARTICLES 9.8.6.2 AND 9.8.6.3 OF THE 2012 OBC.
  6. ALL HAND RAILS AND GUARDS SHALL BE BUILT AS PER OBC 2012 AND SUPPLEMENTARY STANDARD SB-7. EXTERIOR HANDRAIL AND GUARDS TO BE AT LEAST 900 mm OR 36" MEASURED VERTICALLY ABOVE THE NOSING OF ANY TREAD AND/OR PLATFORM NOT MORE THAN 1800 mm OR 5'-11" ABOVE THE FINISHED GROUND AS PER SUBSECTIONS 9.8.7 AND 9.8.8 OF 2012 OBC; ALL PICKET AND/OR GUARD SPACING MUST BE NO MORE THAN 100 mm OR 4" APART AS PER ARTICLE 9.8.8.5 OF THE 2012 OBC; ALL BALUSTERS TO BE SPACED NO MORE THAN 1200 mm OR 48" APART.
  7. TO CARRY RAINWATER AWAY FROM THE SUNROOM, DOWNSPOUTS WILL BE INSTALLED AT THE OUTSIDE CORNERS OF ROOM IN ACCORDANCE TO ARTICLES 9.26.18.2, 7.3.3.7, AND 5.6.2.2 OF THE 2012 OBC.
  8. ALL ADDITIONAL ASPECTS OF THE PROJECT WILL BE INSTALLED ACCORDING TO TACBOC DETAILS AND COMPLY WITH THE REQUIREMENTS STIPULATED BY THE 2012 OBC, INCLUDING DOORS (TO SECTION 9.6.); WINDOWS (TO SECTION 9.7.); SKYLIGHTS (TO SUBSECTION 9.7.7.); GLASSES (TO SUBSECTION 9.7.3.); WOOD FRAME CONNECTIONS, DECK FARMING, STICK BUILT WALLS AND SUBFLOORING (TO SUBSECTION 9.23.14); BUILT-UP BEAMS (TO ARTICLE 9.23.8.3); BUILT-UP COLUMNS (TO ARTICLE 9.17.4.2); ROOFING (TO SECTION 9.26.); ROOF DRAINS AND DOWNSPOUTS (TO SUBSECTION 9.26.18.); FLASHING (TO SUBSECTIONS 9.20.13 & 9.26.3 & 9.26.4); CLADDING (TO SECTION 9.27.); CAULKING (TO SUBSECTION 9.27.4.); INTERIOR FINISHING (TO SUBSECTION 9.29.); FLOORING (TO SECTION 9.30.); STAIRS, RAMPS, HANDRAILS AND GUARDS (TO SECTION 9.8.); LIGHTING OUTLETS (TO SECTION 9.34.).

**PROJECT**  
**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**SITE PLAN**

**DRAWING NUMBER**

01

**REVISION PROJECT# DESIGN#**

PRJ92498

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

JAN 26, 2024

**DRAWN BY: CHECKED BY:**

L.W. J.P.

**LIFESTYLE ENGINEERING**



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L4H 2E1

**DRAWING TITLE**

**SITE PLAN**

**DRAWING NUMBER**

01

**REVISION PROJECT# DESIGN#**

PRJ92498

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

JAN 26, 2024

**DRAWN BY: CHECKED BY:**

L.W. J.P.

**LIFESTYLE ENGINEERING**

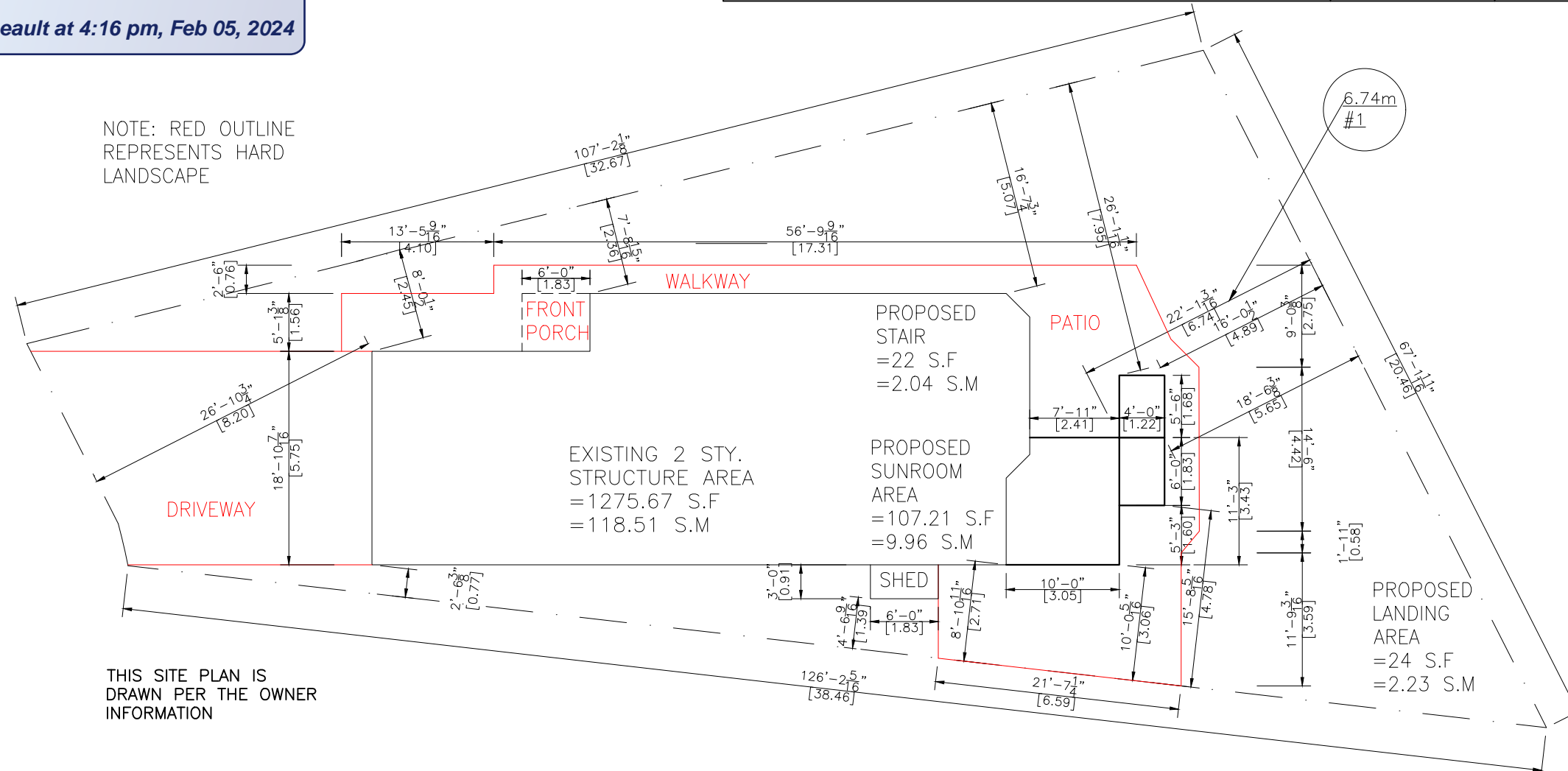


**RECEIVED**

By Christine Vigneault at 4:16 pm, Feb 05, 2024



NOTE: RED OUTLINE REPRESENTS HARD LANDSCAPE



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**PROJECT**

**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**DECK & ROOF PLAN**

**DRAWING NUMBER**

02

**REVISION PROJECT# DESIGN#**

PRJ92498

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

JAN 26, 2024

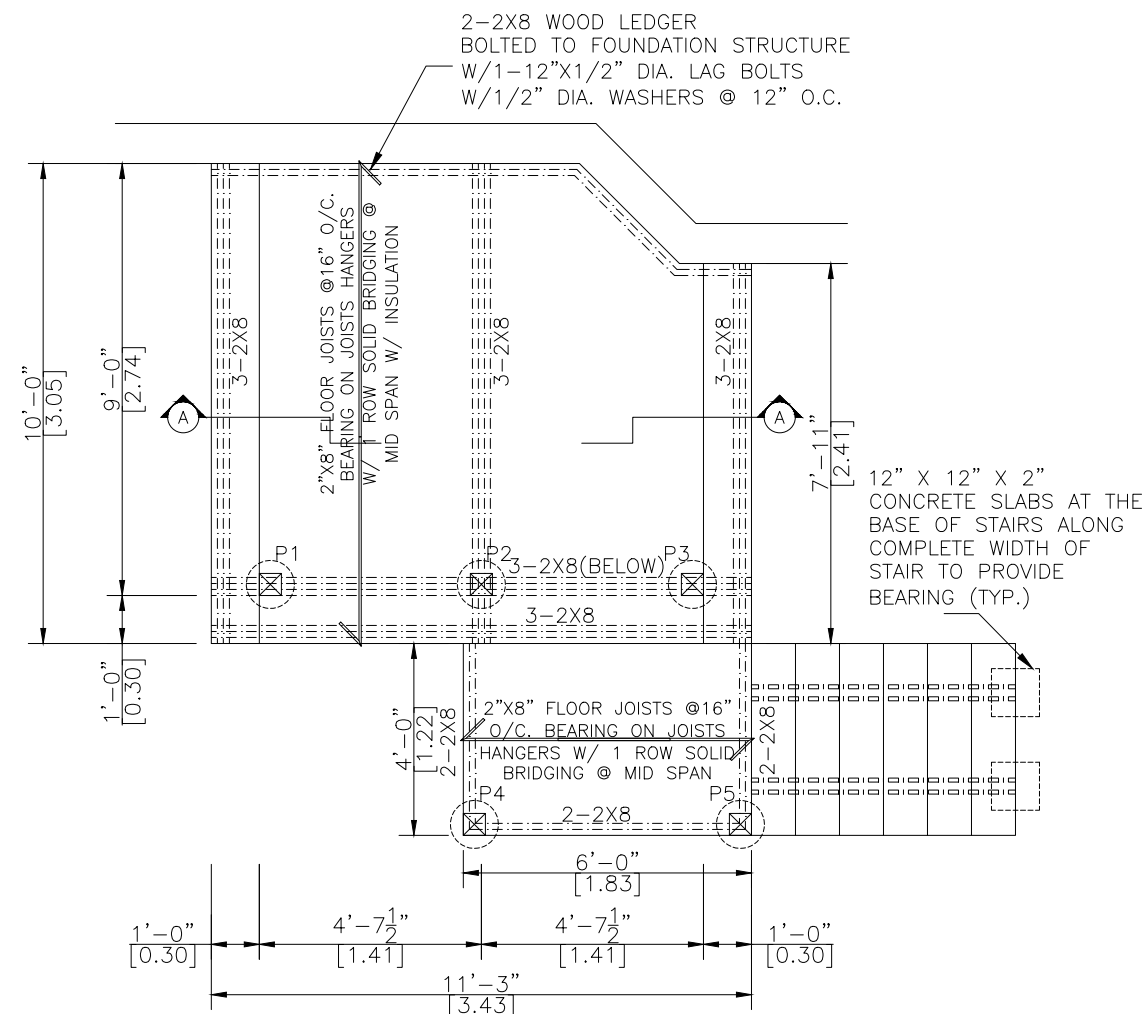
**DRAWN BY: CHECKED BY:**

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**LIFESTYLE ENGINEERING**

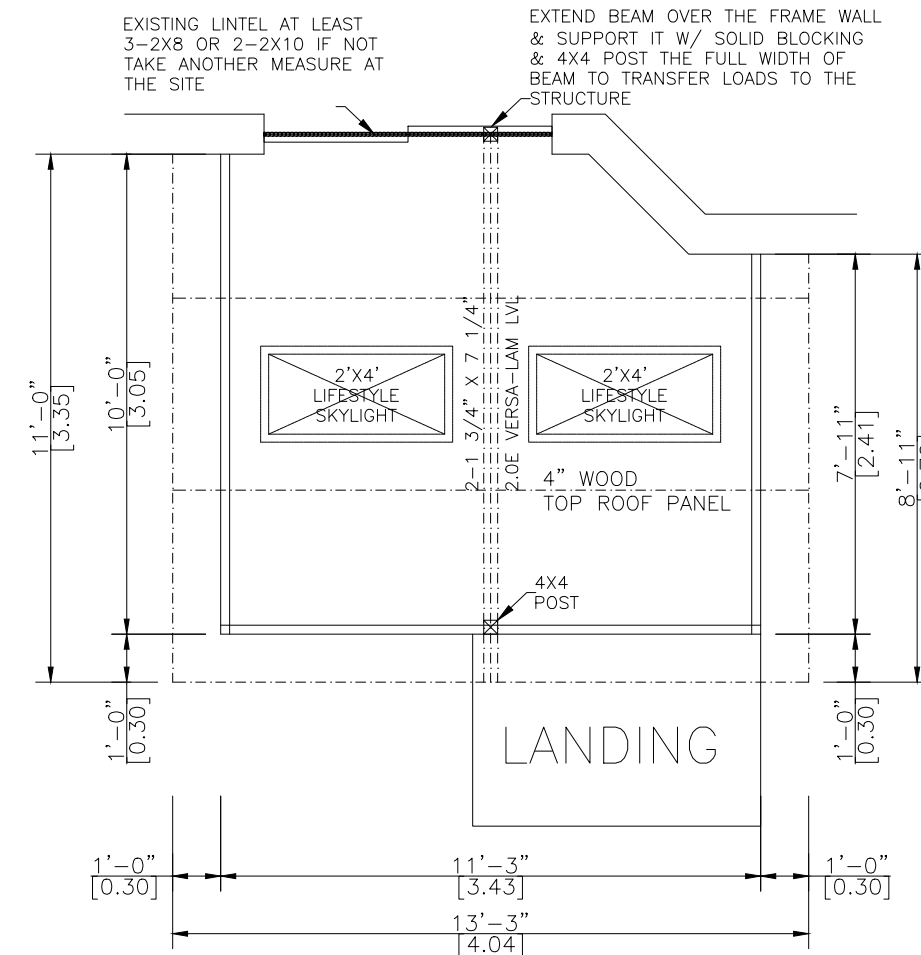


**\* NOTES:**  
-HELICAL PILES ARE PER CCMC 13059-R AND THE ENCLOSED CALCULATIONS  
-THE STRUCTURAL PANELS ARE ACCORDING TO BMEC#03-08-287 AND THE ENCLOSED CALCULATIONS



**PIERS & DECK PLAN**

SCALE 1/4"=1'-0"



**WALLS & ROOF PLAN**

SCALE 1/4"=1'-0"

P1	Compressive Load = 11.63 KN = 2615 Lbs
	Use helical post per structural calculation
P2	Compressive Load = 24.29 KN = 5462 Lbs
	Use helical post per structural calculation
P3	Compressive Load = 13.17 KN = 2961 Lbs
	Use helical post per structural calculation
P4,P5	Compressive Load = 2.1 KN = 473 Lbs
	Use helical post per structural calculation

**PROJECT**

**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**ELEVATIONS**

**DRAWING NUMBER**

**03**

**REVISION PROJECT# DESIGN#**

**PRJ92498**

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

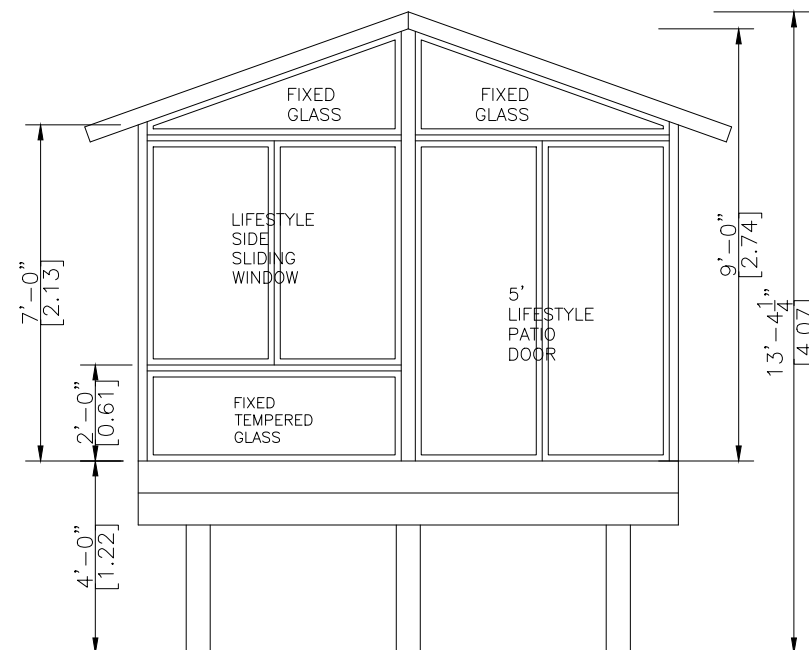
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**DRAWN BY: CHECKED BY:**

L.W.

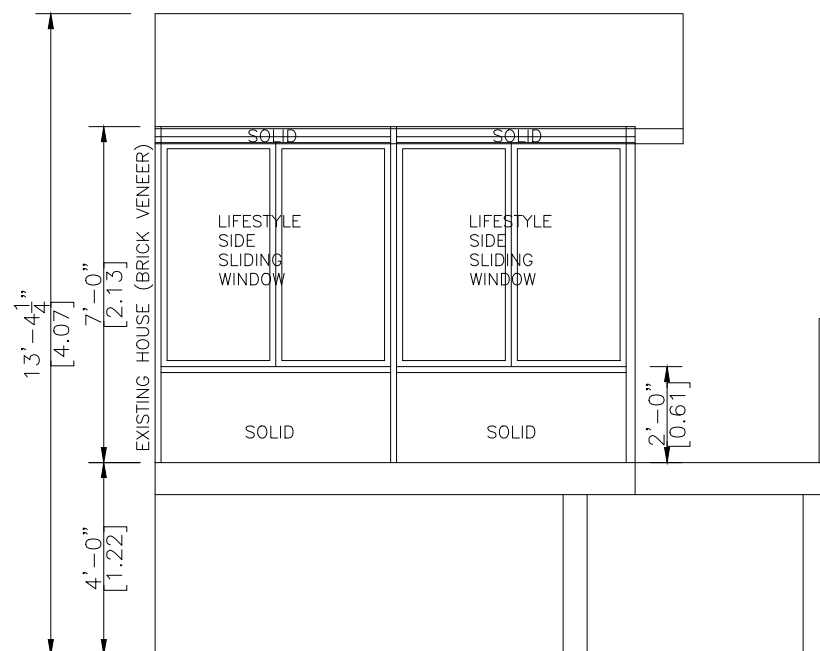
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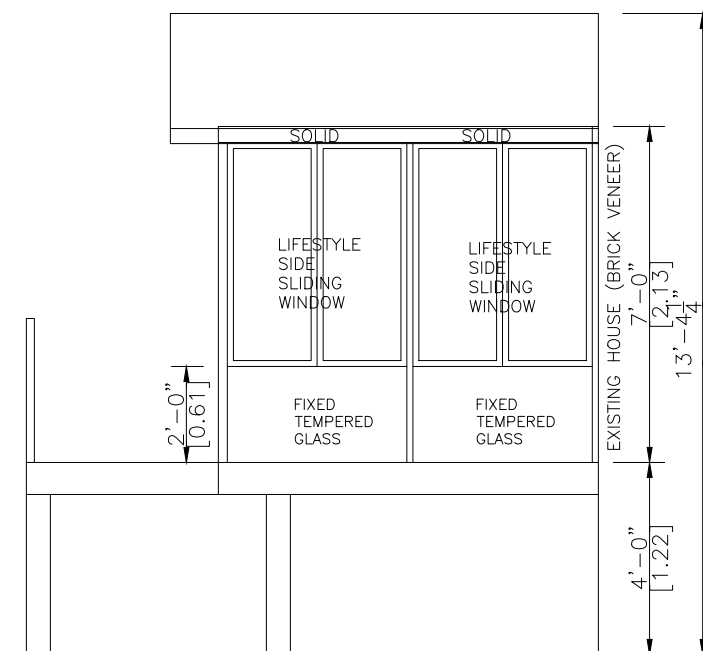
**FRONT ELEVATION**

SCALE 1/4"=1'-0"



**LEFT ELEVATION**

SCALE 1/4"=1'-0"



**RIGHT ELEVATION**

SCALE 1/4"=1'-0"

NOTE:

- THE M3500 WAS TESTED AND CERTIFIED BY INTERTEK CANADA. WITH A MAXIMUM PAYLOAD OF 96,440 LBS, WITH A 4/1 SAFETY RATIO, GIVING THE M3500 A SAFETY LOAD FACTOR OF APPROX. 24,100 LBS PER BRACKET.
- 6" SLEEVE ANCHORS TO ATTACH THE M3500 TO THE FOUNDATION OF THE HOUSE.
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- ALL CONCRETE PIER DESIGNS BASED ON SOIL BEARING CAPACITY OF 1500 P.s.f. (REFER TO STRUCTURAL CALCULATIONS)



944 Crawford Dr.  
 Peterborough, Ontario K9J 3X2  
**www.lifestylesunrooms.com**  
 Tel: 800-465-0593  
 Fax: 800-934-0822

PROJECT

LIFESTYLE SUNROOM ADDITION

PROJECT ADDRESS

23 UMBRIA CRES  
 VAUGHAN, ON  
 L4H 2E1

DRAWING TITLE

A-A SECTION & SNOW ACCUMULATION

DRAWING NUMBER

04

REVISION	PROJECT#	DESIGN#
	PRJ92498	

MODEL TYPE

225 A-FRAME (4" WOOD TOP)

CLIENT

FRANCESCO & IRINA LECOCHÉ

DATE	SCALE
JAN 26, 2024	

JAN 26, 2024

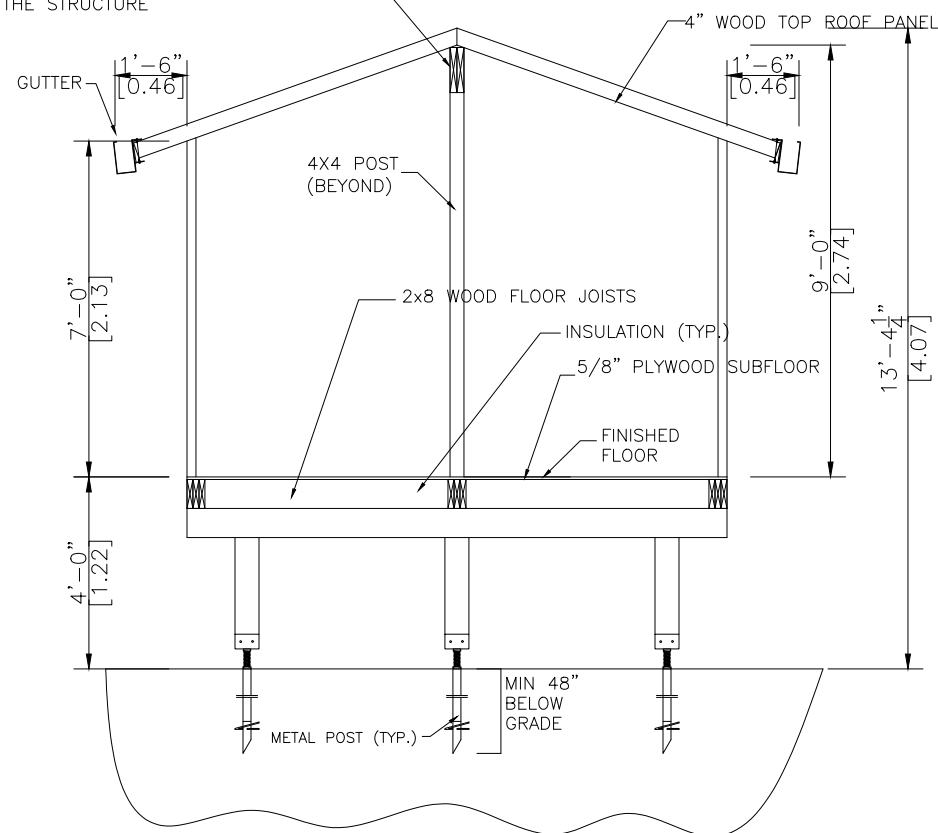
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L.W.	J.P.

L.W. J.P.

LIFESTYLE ENGINEERING

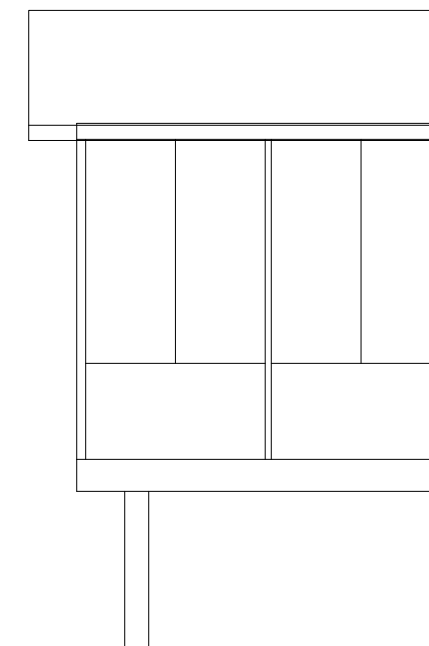
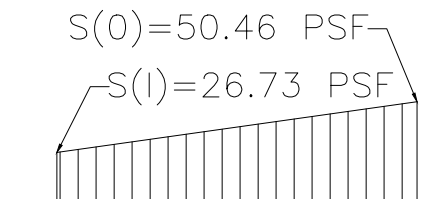


RIDGE BEAM 2-1 3/4" X 7 1/4" 2.0E  
 VERSA-LAM LVL  
 EXTEND BEAM OVER THE FRAME WALL &  
 SUPPORT IT W/ SOLID BLOCKING & 4X4 POST  
 THE FULL WIDTH OF BEAM TO TRANSFER  
 LOADS TO THE STRUCTURE



A-A SECTION

SCALE= 1/4"=1'-0"



SNOW ACCUMULATION

REFER TO ATTACHED CALCULATION

**PROJECT**

**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**DECK & ROOF PLAN**

**DRAWING NUMBER**

02

**REVISION PROJECT# DESIGN#**

PRJ92498

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

JAN 26, 2024

**DRAWN BY: CHECKED BY:**

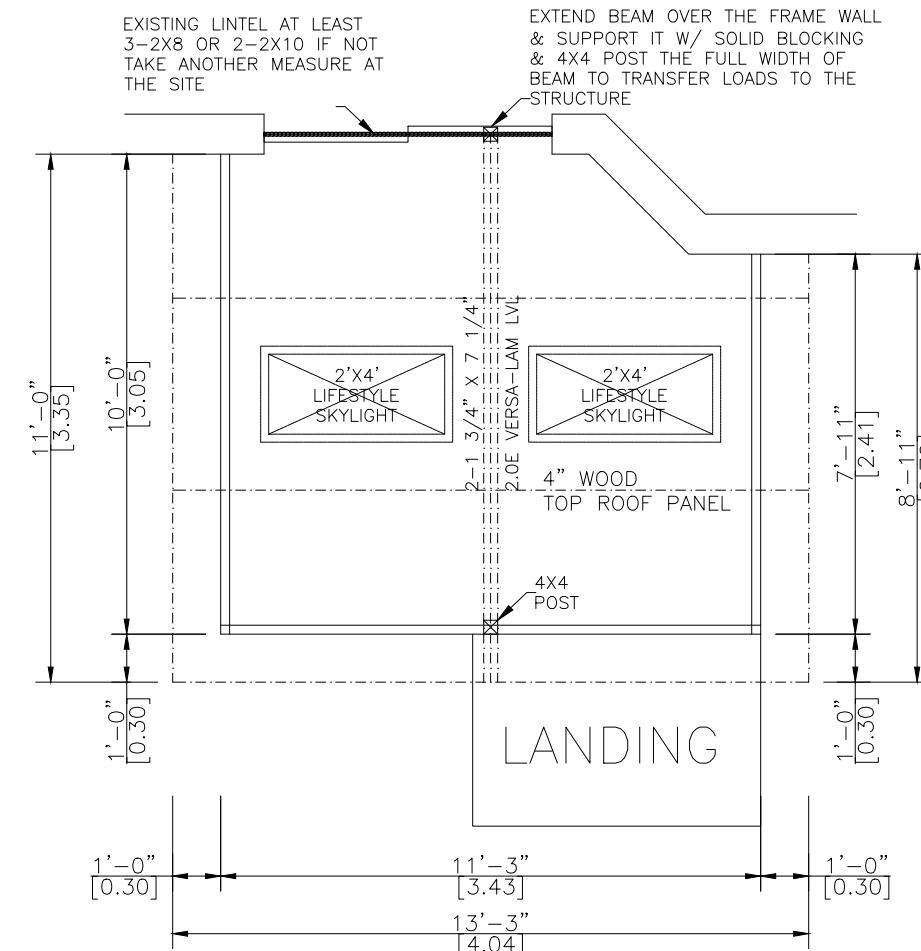
L.W.

J.P.

**LIFESTYLE ENGINEERING**

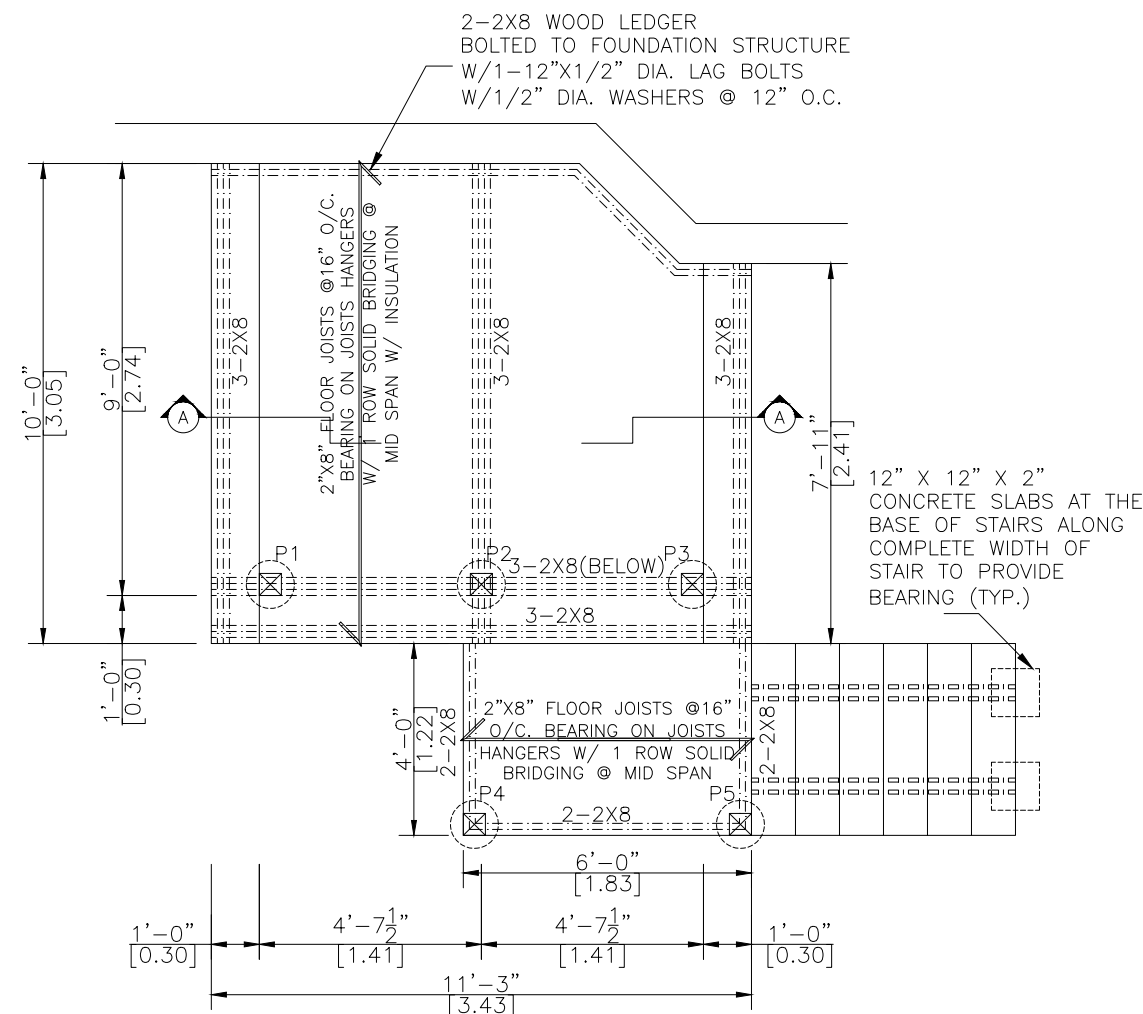


**\* NOTES:**  
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-THE STRUCTURAL PANELS ARE ACCORDING TO BMEC#03-08-287 AND THE ENCLOSED CALCULATIONS



**WALLS & ROOF PLAN**

SCALE 1/4"=1'-0"



**PIERS & DECK PLAN**

SCALE 1/4"=1'-0"

P1	Compressive Load = 11.63 KN = 2615 Lbs
	Use helical post per structural calculation
P2	Compressive Load = 24.29 KN = 5462 Lbs
	Use helical post per structural calculation
P3	Compressive Load = 13.17 KN = 2961 Lbs
	Use helical post per structural calculation
P4,P5	Compressive Load = 2.1 KN = 473 Lbs
	Use helical post per structural calculation

**PROJECT**

**LIFESTYLE SUNROOM  
ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**ELEVATIONS**

**DRAWING NUMBER**

**03**

**REVISION PROJECT# DESIGN#**

**PRJ92498**

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

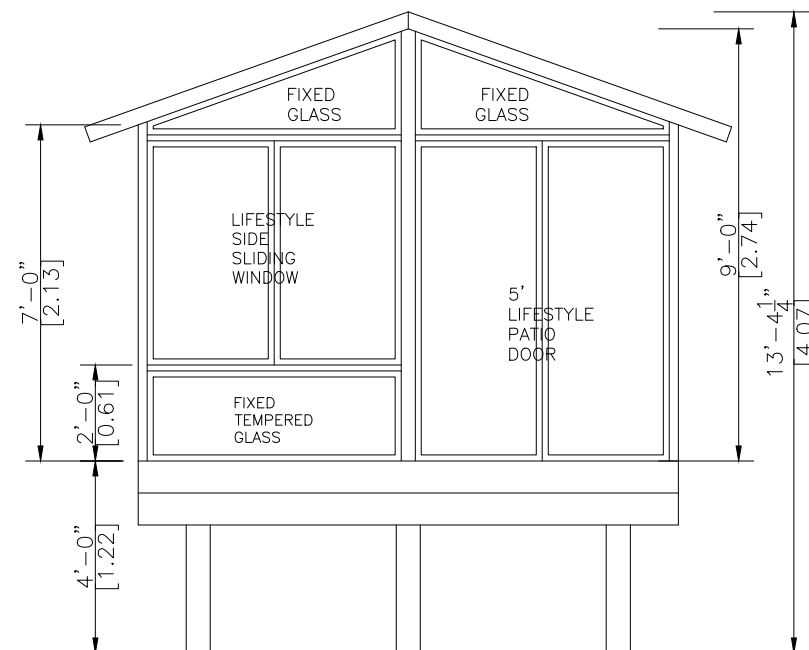
JAN 26, 2024

**DRAWN BY: CHECKED BY:**

L.W.

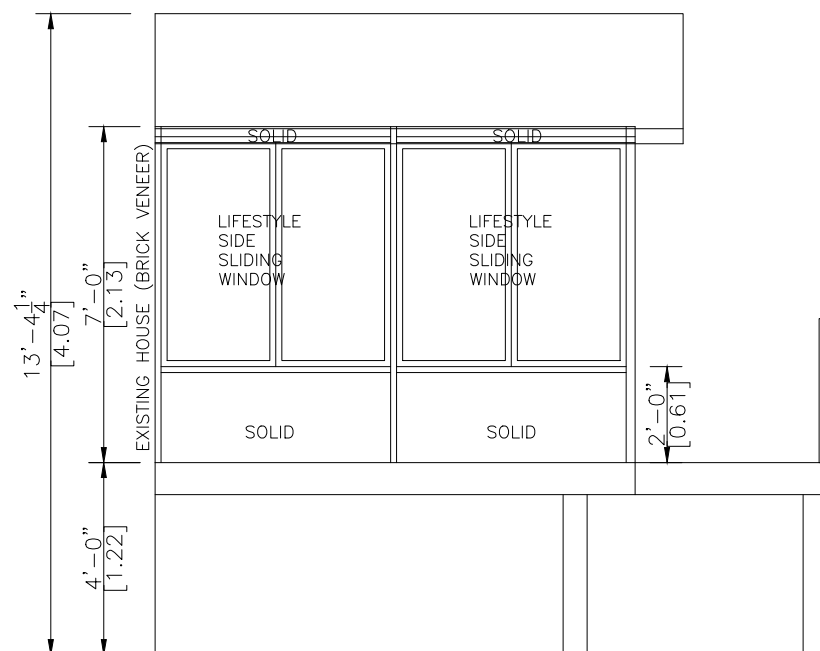
J.P.

**LIFESTYLE ENGINEERING**



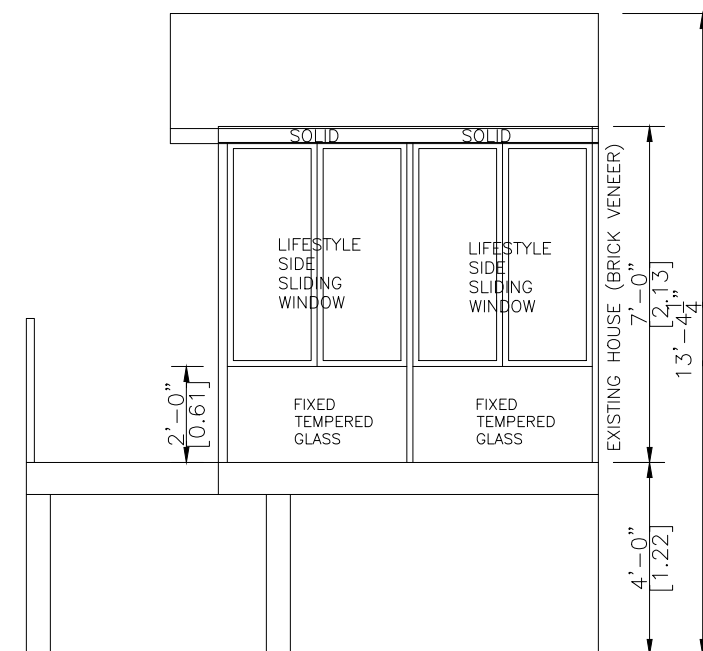
**FRONT ELEVATION**

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**LEFT ELEVATION**

SCALE 1/4"=1'-0"



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**PROJECT**  
**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**  
 23 UMBRIA CRES  
 VAUGHAN, ON  
 L4H 2E1

**DRAWING TITLE**  
 A-A SECTION & SNOW ACCUMULATION

**DRAWING NUMBER**  
 04

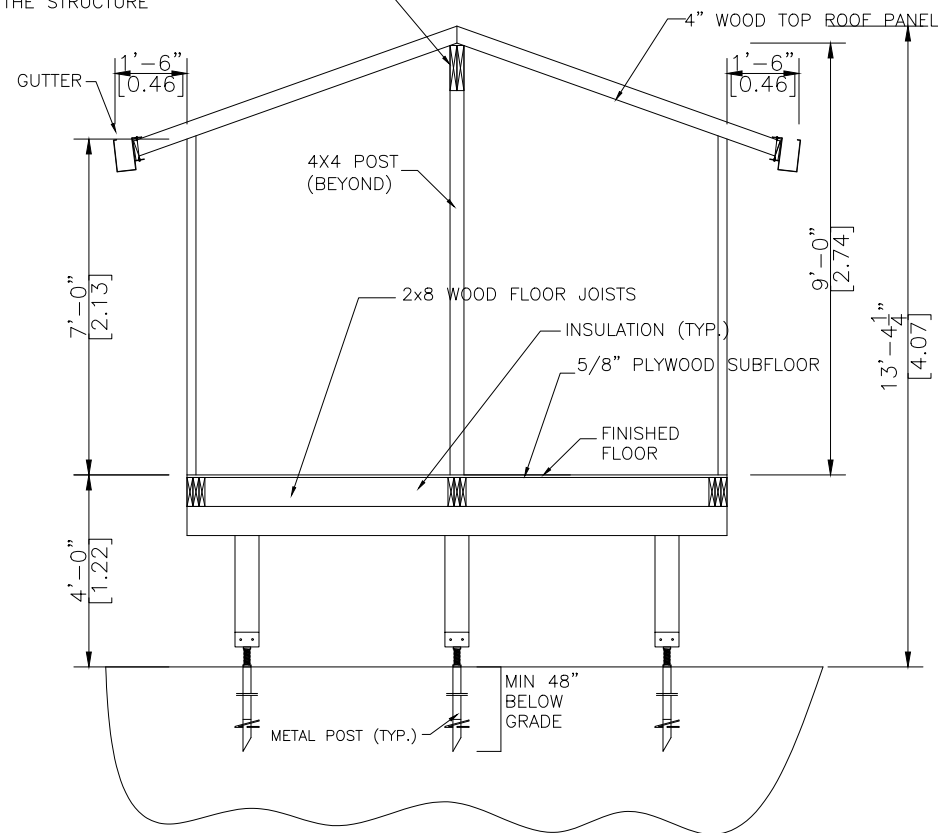
REVISION	PROJECT#	DESIGN#
	PRJ92498	
MODEL TYPE		
225 A-FRAME (4" WOOD TOP)		

CLIENT	
FRANCESCO & IRINA LECOCHÉ	
DATE	SCALE
JAN 26, 2024	
DRAWN BY:	CHECKED BY:
L.W.	J.P.

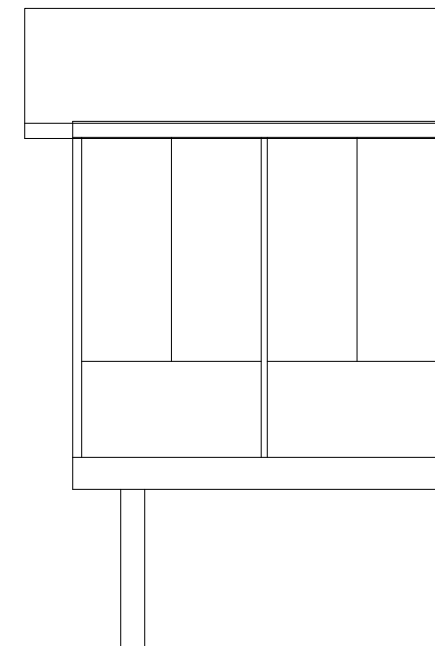
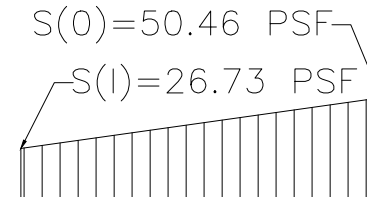
**LIFESTYLE ENGINEERING**



RIDGE BEAM 2-1 3/4" X 7 1/4" 2.0E  
 VERSA-LAM LVL  
 EXTEND BEAM OVER THE FRAME WALL &  
 SUPPORT IT W/ SOLID BLOCKING & 4X4 POST  
 THE FULL WIDTH OF BEAM TO TRANSFER  
 LOADS TO THE STRUCTURE



**A-A SECTION**  
 SCALE= 1/4"=1'-0"



**SNOW ACCUMULATION**  
 REFER TO ATTACHED CALCULATION

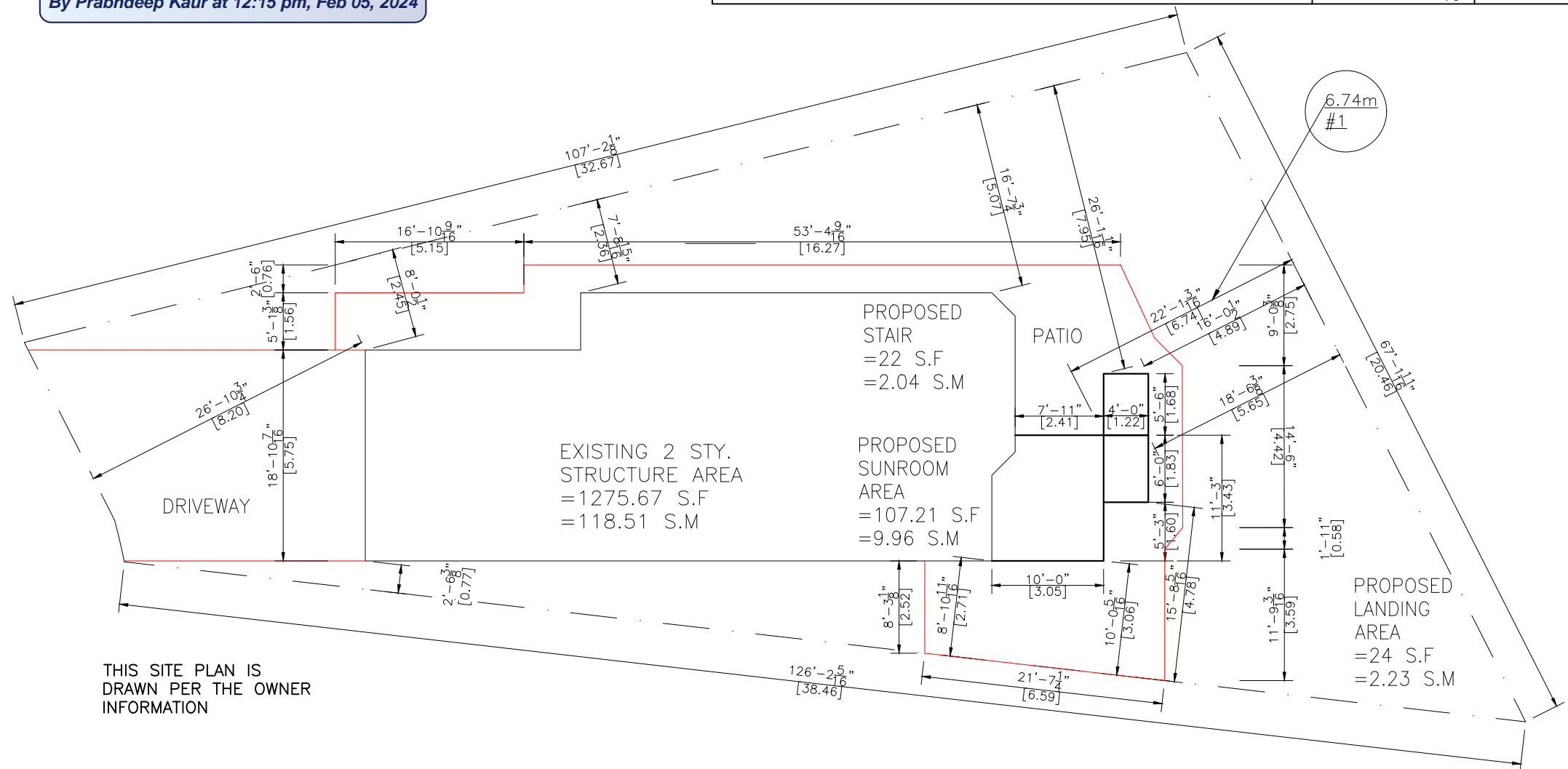
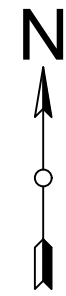
REAR YARD AREA		162.84 m <sup>2</sup>	1752.85 ft <sup>2</sup>	LOT AREA	433.49 m <sup>2</sup>	4666.19 ft <sup>2</sup>
REAR YARD HARD LANDSCAPING AREA	6.03 %	9.82 m <sup>2</sup>	105.66 ft <sup>2</sup>	TOTAL EXISTING FLOOR AREA	118.51 m <sup>2</sup>	1275.67 ft <sup>2</sup>
REAR YARD SOFT LANDSCAPING AREA	93.97 %	153.02 m <sup>2</sup>	1647.19 ft <sup>2</sup>	PROPOSED SUNROOM AREA	9.96 m <sup>2</sup>	107.21 ft <sup>2</sup>
				PROPOSED DECK+ LANDING +STAIR AREA	4.27 m <sup>2</sup>	46 ft <sup>2</sup>
				TOTAL EXISTING AND PROPOSED FLOOR AREA	132.74 m <sup>2</sup>	1428.8 ft <sup>2</sup>
				TOTAL LOT COVERAGE	~30.62 %	

**RECEIVED**  
By Prabhdeep Kaur at 12:15 pm, Feb 05, 2024



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Peterborough, Ontario K9J 3X2  
www.lifestylesunrooms.com  
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Fax: 800-934-0822

R2



**SITE PLAN**  
SCALE = 1:150

THIS SITE PLAN IS DRAWN PER THE OWNER INFORMATION

**PROJECT**  
LIFESTYLE SUNROOM ADDITION

**PROJECT ADDRESS**  
23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**  
SITE PLAN

**DRAWING NUMBER**  
01

REVISION	PROJECT#	DESIGN#
	PRJ92498	

**MODEL TYPE**  
225 A-FRAME (4" WOOD TOP)

**CLIENT**  
FRANCESCO & IRINA LECOCHÉ

DATE	SCALE
JAN 26, 2024	

DRAWN BY:	CHECKED BY:
L.W.	J.P.

LIFESTYLE ENGINEERING

- NOTES:**
1. THE WALLS AND ROOF STRUCTURAL PANELS OF THE SUNROOM WILL BE PREFABRICATED BY LIFESTYLE SUNROOMS INC. AND WILL BE INSTALLED BY ITS TRAINED SKILLED INSTALLERS.
  2. A PROFESSIONAL ENGINEER UNDERTAKES THE GENERAL REVIEW OF THE INSTALLATION.
  3. A FINAL PROJECT REVIEW LETTER WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER THE COMPLETION.
  4. (1). STAIRS RISER DIMENSIONS SHALL CONFIRM TO ARTICLES 9.8.4.2 AND 9.8.4.3 OF THE 2012 OBC WHICH STIPULATES THAT RISERS DESIGNED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 200 mm OR A MINIMUM RISE OF NO LESS THAN 125 mm AND A MAXIMUM RUN OF NO MORE THAN 355 mm OR A MINIMUM RUN OF NO MORE THAN 210 mm AND A MAXIMUM TREAD DEPTH OF 355 mm OR A MINIMUM TREAD DEPTH OF NO LESS THAN 235 mm.
  4. (2). REQUIRED EXIT STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900 mm AS PER ARTICLE 9.8.2.1 OF THE 2012 OBC.
  5. THE WIDTH OF THE LANDING IF REQUIRED SHALL BE NOT LESS THAN THE GREATER REQUIRED STAIR WIDTH WHERE ONE OR MORE OF THE STAIR WIDTHS DO NOT EXCEED THEIR RESPECTIVE REQUIRED WIDTHS, OR NOT LESS THAN THE LESSER ACTUAL STAIR WIDTH WHERE ALL OF THE WIDTHS OF THE STAIRS EXCEED THEIR RESPECTIVE REQUIRED WIDTHS AS PER ARTICLES 9.8.6.2 AND 9.8.6.3 OF THE 2012 OBC.
  6. ALL HAND RAILS AND GUARDS SHALL BE BUILT AS PER OBC 2012 AND SUPPLEMENTARY STANDARD SB-7. EXTERIOR HANDRAIL AND GUARDS TO BE AT LEAST 900 mm OR 36" MEASURED VERTICALLY ABOVE THE NOSING OF ANY TREAD AND/OR PLATFORM NOT MORE THAN 1800 mm OR 5'-11" ABOVE THE FINISHED GROUND AS PER SUBSECTIONS 9.8.7 AND 9.8.8 OF 2012 OBC; ALL PICKET AND/OR GUARD SPACING MUST BE NO MORE THAN 100 mm OR 4" APART AS PER ARTICLE 9.8.8.5 OF THE 2012 OBC; ALL BALUSTERS TO BE SPACED NO MORE THAN 1200 mm OR 48" APART.
  7. TO CARRY RAINWATER AWAY FROM THE SUNROOM, DOWNSPOUTS WILL BE INSTALLED AT THE OUTSIDE CORNERS OF ROOM IN ACCORDANCE TO ARTICLES 9.26.18.2, 7.3.3.7, AND 5.6.2.2 OF THE 2012 OBC.
  8. ALL ADDITIONAL ASPECTS OF THE PROJECT WILL BE INSTALLED ACCORDING TO TACBOC DETAILS AND COMPLY WITH THE REQUIREMENTS STIPULATED BY THE 2012 OBC, INCLUDING DOORS (TO SECTION 9.6.); WINDOWS (TO SECTION 9.7.); SKYLIGHTS (TO SUBSECTION 9.7.7.); GLASSES (TO SUBSECTION 9.7.3.); WOOD FRAME CONNECTIONS, DECK FARMING, STICK BUILT WALLS AND SUBFLOORING (TO SUBSECTION 9.23.14); BUILT-UP BEAMS (TO ARTICLE 9.23.8.3); BUILT-UP COLUMNS (TO ARTICLE 9.17.4.2); ROOFING (TO SECTION 9.26.); ROOF DRAINS AND DOWNSPOUTS (TO SUBSECTION 9.26.18.); FLASHING (TO SUBSECTIONS 9.20.13 & 9.26.3 & 9.26.4); CLADDING (TO SECTION 9.27.); CAULKING (TO SUBSECTION 9.27.4.); INTERIOR FINISHING (TO SUBSECTION 9.29.); FLOORING (TO SECTION 9.30.); STAIRS, RAMPS, HANDRAILS AND GUARDS (TO SECTION 9.8.); LIGHTING OUTLETS (TO SECTION 9.34.).



**PROJECT**

**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**DECK & ROOF PLAN**

**DRAWING NUMBER**

**02**

**REVISION PROJECT# DESIGN#**

PRJ92498

**MODEL TYPE**

225 A-FRAME (4" WOOD TOP)

**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

JUL 20, 2023

**DRAWN BY: CHECKED BY:**

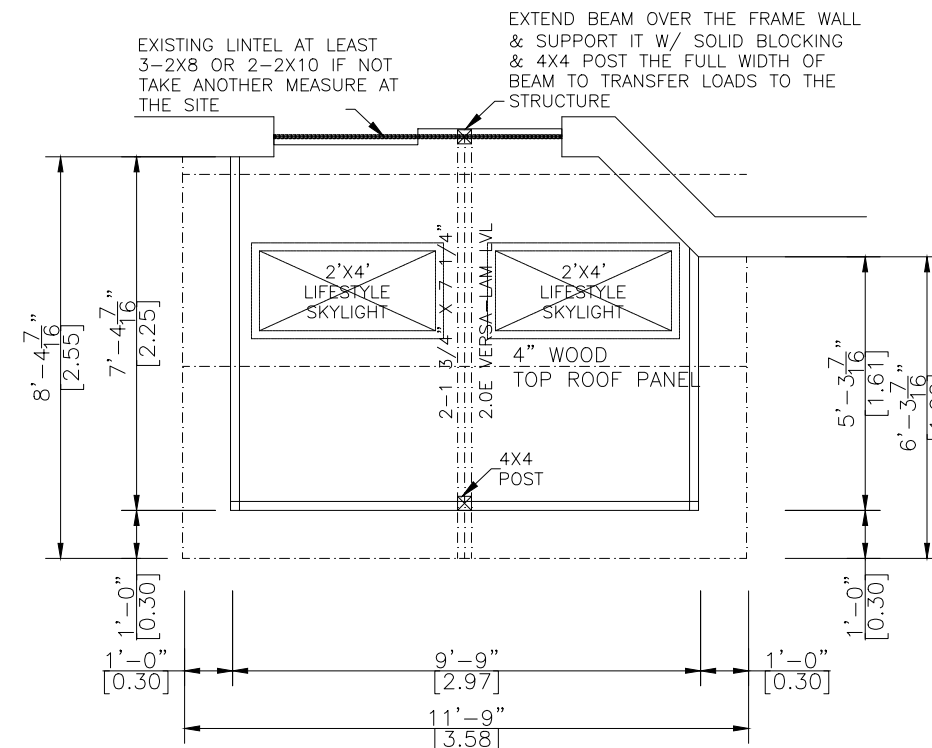
L.W. J.P.

**LIFESTYLE ENGINEERING**



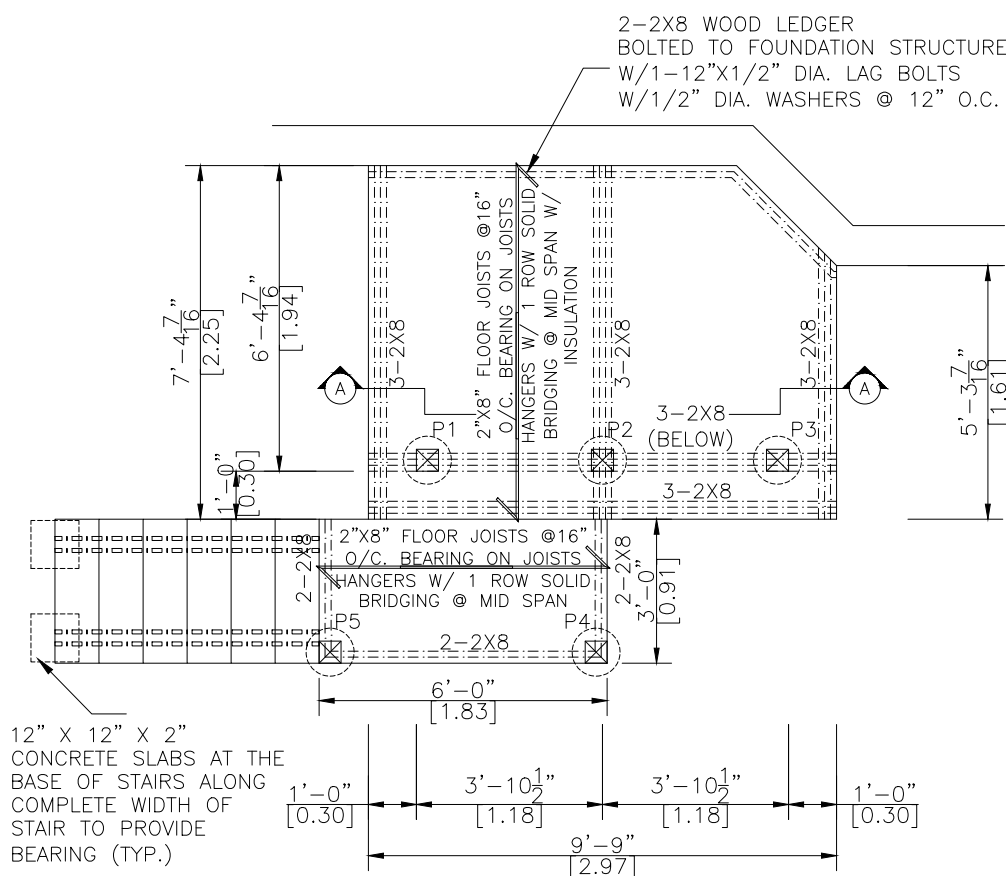
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**WALLS & ROOF PLAN**

SCALE 1/4"=1'-0"



**PIERS & DECK PLAN**

SCALE 1/4"=1'-0"

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	Use helical post per structural calculation
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**PROJECT**

**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**

23 UMBRIA CRES  
VAUGHAN, ON  
L4H 2E1

**DRAWING TITLE**

**ELEVATIONS**

**DRAWING NUMBER**

**03**

**REVISION PROJECT# DESIGN#**

**PRJ92498**

**MODEL TYPE**

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**CLIENT**

FRANCESCO & IRINA LECOCHÉ

**DATE SCALE**

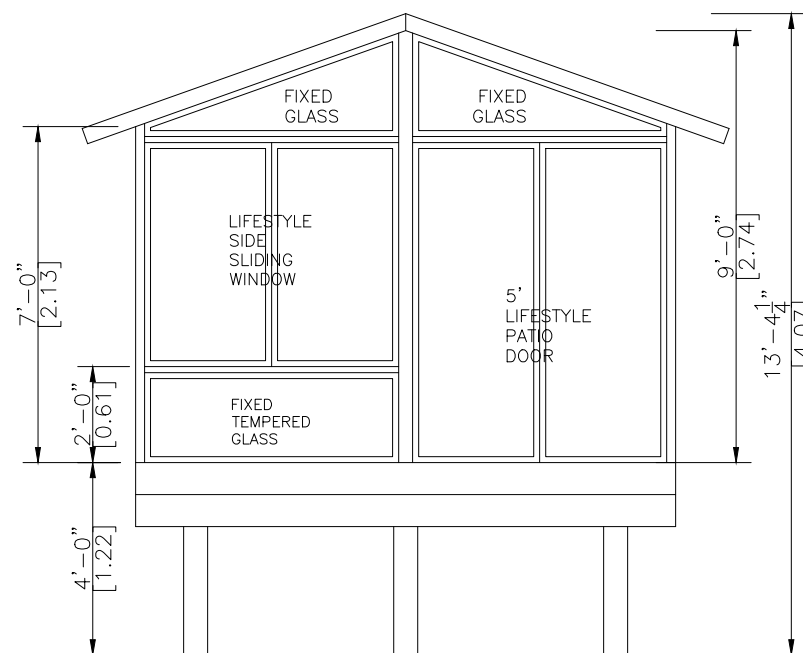
JUL 20, 2023

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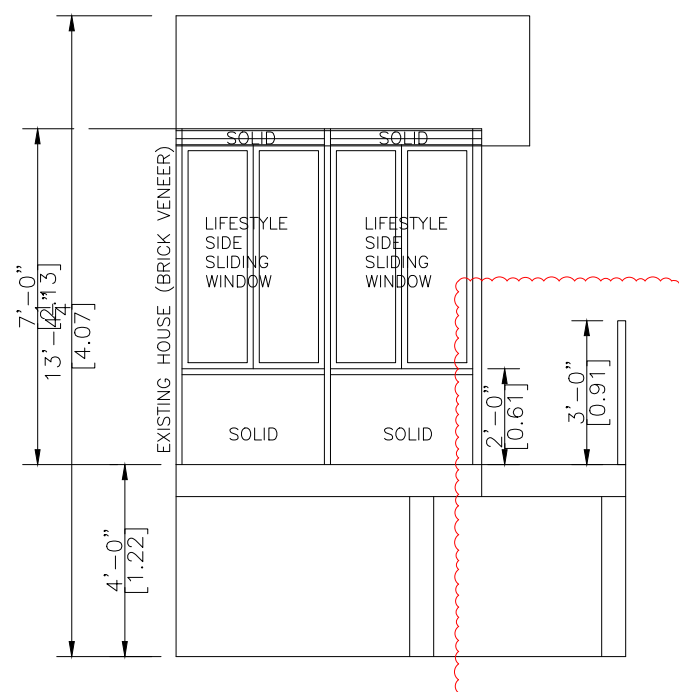
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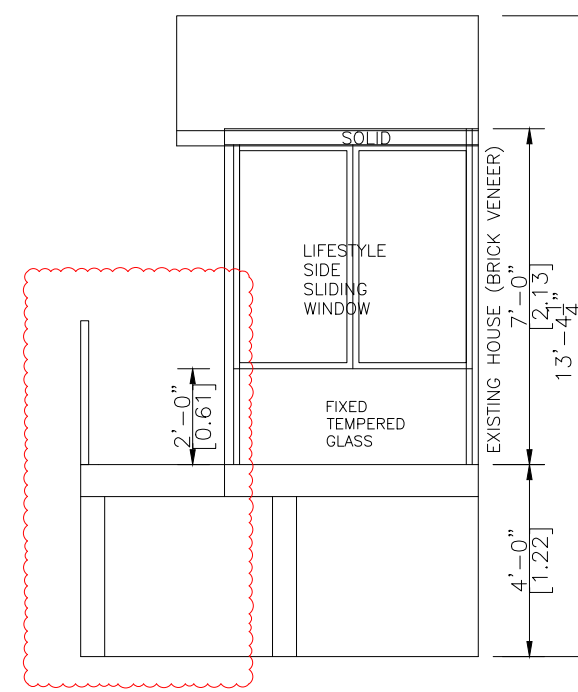
**FRONT ELEVATION**

SCALE 1/4"=1'-0"



**LEFT ELEVATION**

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**RIGHT ELEVATION**

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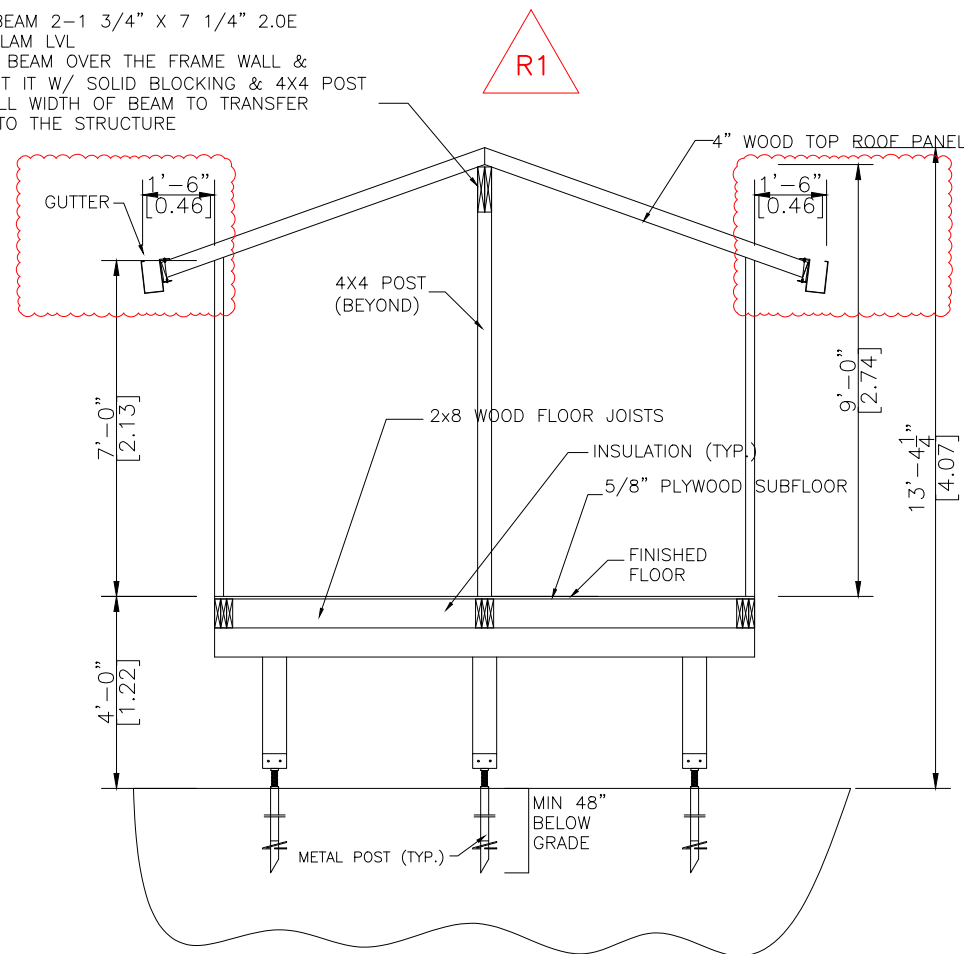
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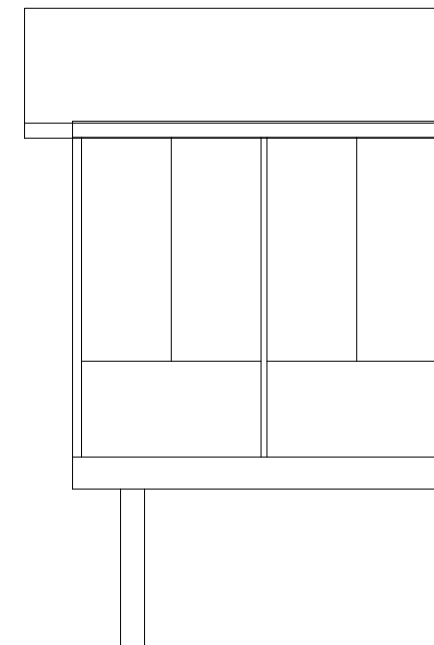
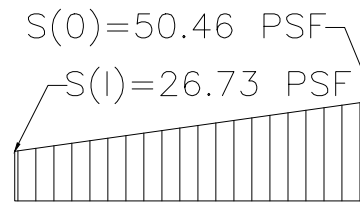
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 SCALE= 1/4"=1'-0"



**SNOW ACCUMULATION**  
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**PROJECT**  
**LIFESTYLE SUNROOM ADDITION**

**PROJECT ADDRESS**  
 23 UMBRIA CRES  
 VAUGHAN, ON  
 L4H 2E1

**DRAWING TITLE**  
 A-A SECTION & SNOW ACCUMULATION

**DRAWING NUMBER**  
 04

REVISION	PROJECT#	DESIGN#
	PRJ92498	

**MODEL TYPE**  
 225 A-FRAME (4" WOOD TOP)

**CLIENT**  
 FRANCESCO & IRINA LECOCHÉ

DATE	SCALE
JUL 20, 2023	

DRAWN BY:	CHECKED BY:
L.W.	J.P.

**LIFESTYLE ENGINEERING**



**SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** January 17<sup>th</sup> 2024

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A186-23**

**Related Files:**

**Applicant** Frank & Irina Le Coche

**Location** 23 Umbria Crescent



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

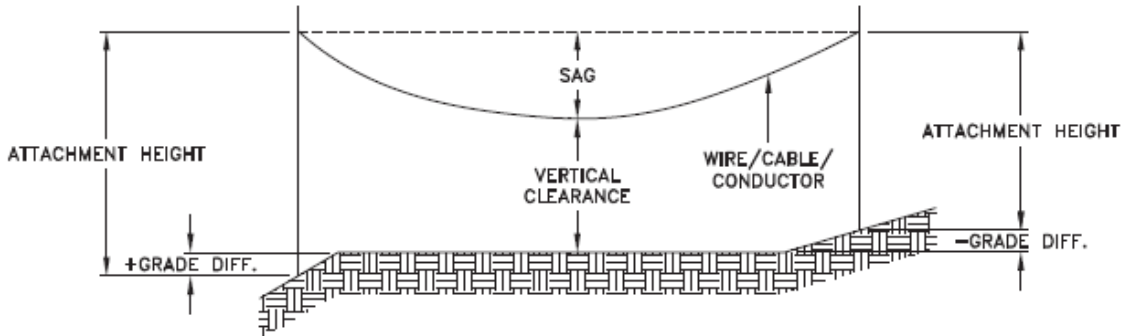
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

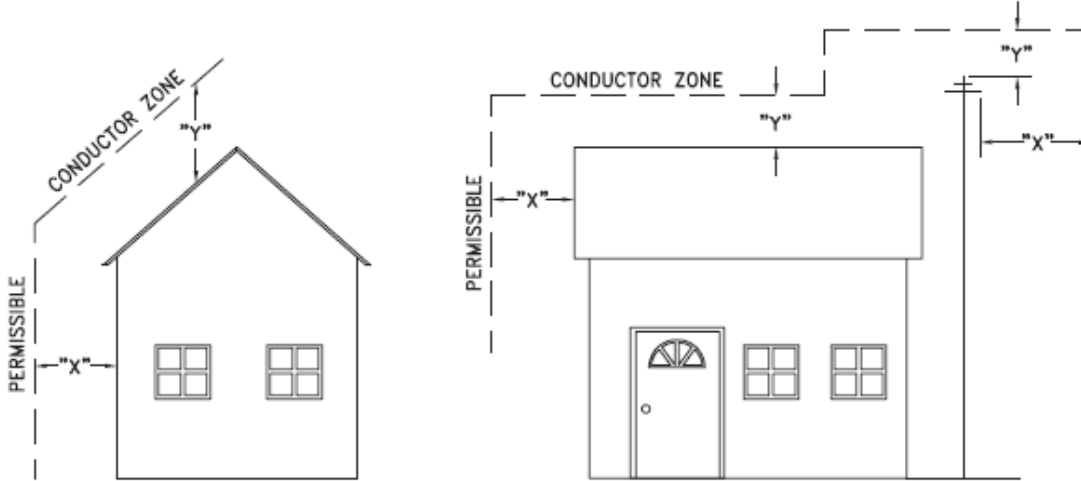
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** February 9, 2024  
**Applicant:** Frank & Irina Le Coche  
**Location:** 23 Umbria Crescent  
 PLAN 65M3375 Lot 10  
**File No.(s):** A186/23

**Zoning Classification:**

The subject lands are zoned R5(EN) – Fifth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.650 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 7.5 m is required from the rear lot line to the unheated sunroom addition for a dwelling. [Table 7-5]	To permit a minimum setback of 6.74 m from the rear lot line to the unheated sunroom addition for a dwelling.

**Staff Comments:**

**Building Permit(s) Issued:**

Building Permit Application No. 2023 130347 has been submitted for the proposed addition to the dwelling.

**Other Comments:**

General Comments	
1	The Applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** February 13, 2024  
**Name of Owner:** Frank Le Coche  
**Location:** 23 Umbria Crescent  
**File No.(s):** A186/23

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**Proposed Variance(s) (By-law 001-2021):**

1. A minimum setback of 7.5 m is required from the rear lot line to the unheated sunroom addition of a dwelling.

**By-Law Requirement(s) (By-law 001-2021):**

1. To permit a minimum setback of 6.74 m from the rear lot line to the unheated sunroom addition of a dwelling.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting relief to permit the construction of a proposed sunroom, with the above-noted variance.

The Development Planning Department has no objection to the proposed variance for the reduced rear yard setback for the sunroom. Due to the unique shape of the pie-shaped lot and rectangular footprint of the two-storey dwelling, the rear yard deepens the further south the rear lot line travels, causing the dwelling to be at an angle to the rear lot line. The near-square sunroom, with dimensions of about 3.05 m x 3.43 m, would be 6.74 m from the rear lot line at its northeast corner and 8.29 m from the rear lot line at its southeast corner. The sunroom occupies approximately half the length of the rear wall of the dwelling, leaving sufficient room for landscaped amenity space in the rear yard, particularly north and southeast of the sunroom. The sunroom will sit upon a deck, which will be reconfigured and expanded. As a result of the bend in Umbria Crescent, the sunroom will be behind the rear wall of the abutting property to the south, 25 Umbria Crescent, maintaining a stepping of built form in the rear yards facing Martin Grove Road. As an elevated single storey structure, which will be partially buffered by a privacy fence, the sunroom will not pose adverse massing impacts to Martin Grove Road.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner  
David Harding, Senior Planner

## Prabhdeep Kaur

---

**From:** Kristen Regier <Kristen.Regier@trca.ca>  
**Sent:** Wednesday, January 17, 2024 11:40 AM  
**To:** Committee of Adjustment  
**Cc:** Prabhdeep Kaur  
**Subject:** [External] RE: A186/23 (23 Umbria Cr ) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

The subject property at 23 Umbria Crescent, Vaughan is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

**Kristen Regier, MA (she / her)**

Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: [kristen.regier@trca.ca](mailto:kristen.regier@trca.ca)

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



**From:** [Development Services](#)  
**To:** [Prabhdeep Kaur](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A186/23 (23 Umbria Cr ) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, February 13, 2024 2:30:42 PM  
**Attachments:** [image002.png](#)  
[image004.png](#)

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hi Pravina,

The Regional Municipality of York has completed its review of the minor variance application – A186/23 (23 Umbria Cr.) and has no comment.

Please provide us with a digital copy of the notice of decision for our records.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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## SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter



## 23 Umbria Crescent

Thursday, November 2nd, 2023  
City of Vaughan  
2141 Major Mackenzie Dr  
Vaughan, ON  
L6A 1T1  
Planning & Development Services

Dear Sir/Madam,

Please be advised the following document outlines how each of the comments provided have been addressed.

1. Is the application minor?

**The size of the sunroom remains as proposed and presented in the drawing. Despite the reduced rear yard setback, the addition of the sunroom is not anticipated to negatively impact privacy on adjacent properties as it is a single-story addition. A public road connects to the existing building's driveway. The driveway includes approximately 2 parking spaces. Not adversely affecting the privacy or natural lighting of surrounding properties.**

2. Is the application desirable for the appropriate development of the lands in question?

**The dwelling will continue to align with the character of the surrounding neighborhood and no major concerns are anticipated to arise as a result of the variance. The sunroom does not negatively impact drainage on the adjacent properties.**

3. Does the application conform to the general intent of the Zoning Bylaw?

**Proposed rear yard setback of 6.74 m to the unheated sunroom addition does not meet the minimum requirement of 7.5 m. [Table 7-5]**

**Proposed encroachment of 2.61 m into the minimum required rear yard for access stairs, open and unenclosed, exceeds the maximum permitted encroachment of 1.8 m. [4.13] A minimum setback of 5.7m is required from the lot line to the closest point of the access stairs is required.**

4. Will any trees be affected by this project?

**No trees will be affected, harmed, or removed during the installation of the sunroom.**

Yours truly,  
Jim Pitre, P.Eng.  
Engineering Director  
Lifestyle Home Products

