

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A174/23
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Report Date: February 16, 2024

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A174/23

CITY WARD #:	1
APPLICANT:	Roman Shimonov
AGENT:	Schillerco Ltd.
PROPERTY:	11 Fiddler's Circle, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Countryside" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Countryside" by Schedule 13 – Land Use
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.231 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix "EN" as show on Schedule A, the following requirements shall apply: 1. The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m, but in no case shall the maximum building height requirement less than 8.5 m. The maximum permitted Building height for the RE zone is 9.5m. [Section 4.5.1 and Table 7-3]	To permit a maximum height of 10.78 metres.
2	For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 metres in height, the minimum interior side yard shall be the greater of the existing yard, being 18.05 m. [Section 4.5.2.b]	To permit a minimum interior side yard setback of 11.74 metres. (south lot line)

HEARING INFORMATION

DATE OF MEETING: Thursday, February 22, 2024

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	February 8, 2024
Date Applicant Confirmed Posting of Sign:	February 5, 2024
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Relief from the Zoning By-law is being requested to permit a proposed dwelling.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
Applicant to submit required Adjournment Fee to accommodate rescheduling of application from the February 22, 2024, Committee of Adjustment hearing, if required.	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed dwelling in the subject property is 805.41 m², the Owner/ Applicant needs to obtain a 'Lot Grading Permit' from the Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a 'Grading Permit'. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached) The Owner/Applicant shall apply for a 'Pool Grading Permit' with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The Owner/Applicant shall apply and obtain the necessary 'Curb Cut/Reinstating Permit' through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: Service Connections City of Vaughan for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: Service Connections City of Vaughan for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$120.00 payable to the Toronto and Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION

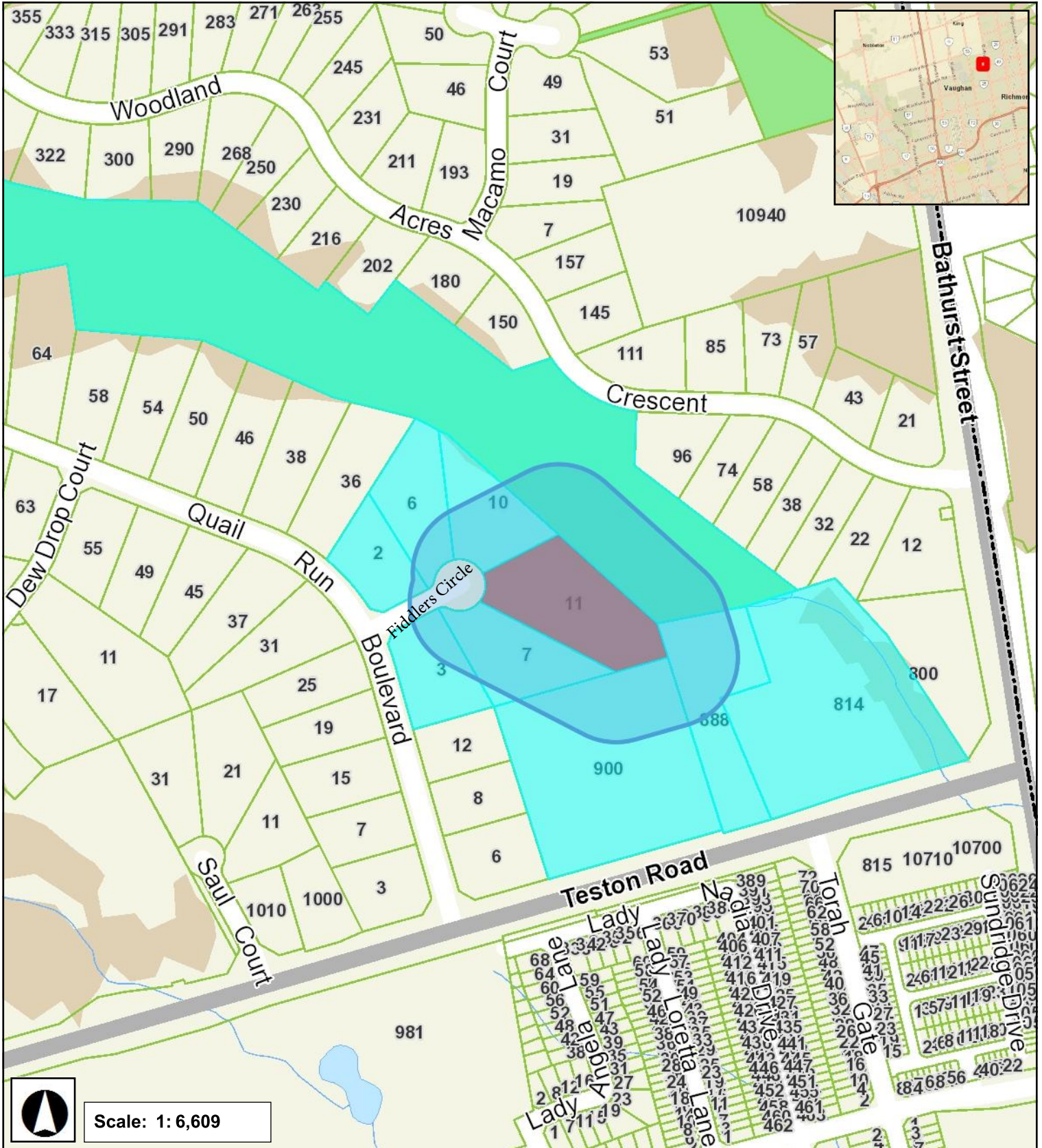
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



SCOPE OF WORK

PROPOSED CONSTRUCTION OF A NEW SINGLE FAMILY DETACHED 2 STOREY WOOD FRAME RESIDENTIAL DWELLING WITH ATTACHED @ GRADE 3 CAR GARAGE, ATTACHED 1 CAR GARAGE & BELOW GRADE GARAGE FOR 7 VEHICLES, COVERED FRONT & REAR PORCHES, WALKOUT BASEMENT, & SWIMMING POOL. THE CABANA IS NOT PART OF THE CURRENT APPLICATION. THE EXISTING HOUSE, GARAGE and ALUMINUM SHED WILL BE DEMOLISHED.

SITE STATISTICS

MUNICIPAL HOUSE ADDRESS	11 FIDDLER'S CIRCLE, MAPLE, VAUGHAN L6A 1E9			
LOT No.	LOT 33 REGISTERED PLAN 65M-2353 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK			
	VAUGHAN ZONING BYLAW # 1-88	VAUGHAN ZONING BYLAW # 001-2021	EXISTING <small>(to be demolished)</small>	PROPOSED
ZONING	RR	RE 231 Greenbelt - ORM		
LOT FRONTAGE	MINIMUM = 45.0m (147.64 ft.)	MINIMUM = 45.0m (147.64 ft.)		NO CHANGE 37.10m (121.725') (measured on a line at right angles to the lot center line at a pt 6.4m back from front lot line)
LOT AREA	MINIMUM = 4000sm (43,055.6sf)	MINIMUM = 4000sm (43,055.6sf)		NO CHANGE 11,557.41 sm (124,403 sf) (2.855 acres)
NORTH SIDE YARD SETBACK	MINIMUM = 4.5 m (14.76 ft.)	MINIMUM = 4.5 m (14.76 ft.)		33.54m (110.05 ft.)
SOUTH SIDE YARD SETBACK	MINIMUM = 4.5 m (14.76 ft.)	MINIMUM = 4.5 m (14.76 ft.)		11.74m (38.51 ft.)
WEST FRONT YARD SETBACK	MINIMUM = 15.0m (49.21 ft.)	MINIMUM = 15.0m (49.21 ft.)		55.80m (183.06 ft.)
EAST REAR YARD SETBACK	MINIMUM = 15.0m (49.21 ft.)	MINIMUM = 15.0m (49.21 ft.)		19.46m (63.83 ft.)
BUILDING HEIGHT	MAXIMUM = 9.5 m (31.16 ft.) above established grade Established Grade = average level of finished grade at front of a bldg	MAXIMUM = 9.5 m (31.16 ft.) above established grade Established Grade = average level of ground at the front of a bldg		10.26m to Mid Point of Hipped Roof Refer to Flat Roof Area Calc on Roof Plan
LOT COVERAGE	MAXIMUM = 10% = .1 x 124,403 sf = 12,440.3 sf (1155.74 sm)	NO MAXIMUM		Footprint Area of house (incl attached above-grade garages) + front & rear porches + porte cochere = 8669.4 sf (805.41 sm) Proposed Lot Coverage = 8669.4sf/124,403sf = 6.97%

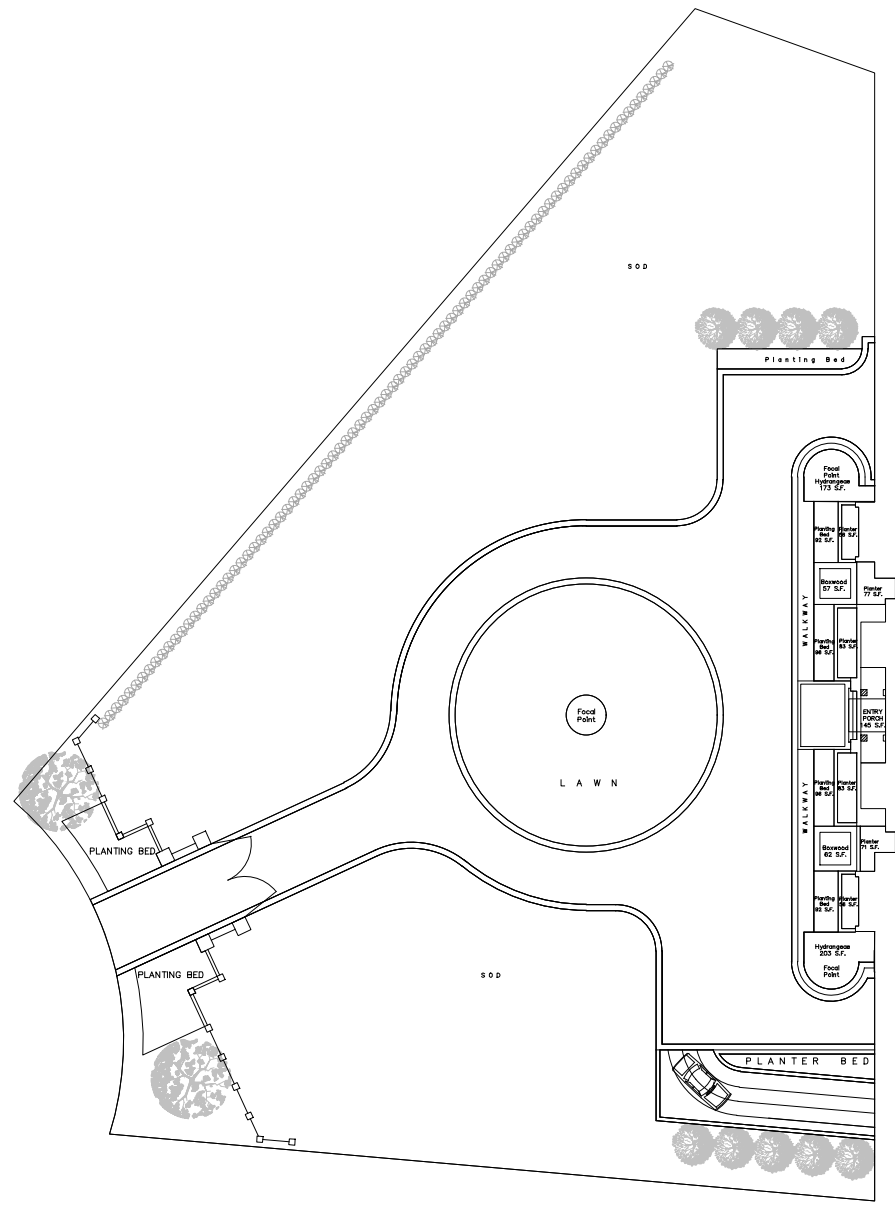
FLOOR AREA CALCULATIONS

MAIN FLOOR	529.64 sm	(5701 sf)	
2nd FLOOR	641.03 sm	(6900 sf)	
TOTAL GROSS FLOOR AREA <small>(measured to out side wall excluding BASEMENT, GARAGES, BALCONIES, PORCHES, PORTE COCHERE)</small>	1170.67 sm	(12,601 sf)	
FOOTPRINT AREA OF MAIN HOUSE, FRONT & REAR PORCHES, ABOVE GRADE GARAGES, PORTE COCHERE	805.41 sm	(8669.4 sf)	
BUILDING AREA - BLDG 1 (Main House incl Garage2, excl Garage 1)	599.41 sm	(6452 sf)	
BUILDING AREA - BLDG 2 (Garage 1)	75.27 sm	(810.2 sf)	

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By RECEIVED at 10:00 am, Nov 22, 2023

A174/23

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By RECEIVED at 10:00 am, Nov 22, 2023



WEST YARD LANDSCAPE AREA

	METRIC	IMPERIAL
FRONT YARD AREA	3949.26 S.M.	
DRIVEWAY AREA	1137.41 S.M.	
UNDERGROUND PARKING AREA	70.42 S.M.	
ENTRY PORCH	13.47 S.M.	
WALKWAY AREA/STEP AREA	90.21 S.M.	
LAWN AREA*	308.25 S.M.	
FOCAL POINT AREA*	42.27 S.M.	
PLANTER AREA*	39.58 S.M.	
PLANTING BED AREA*	34.93 S.M.	
BOXWOOD AREA*	11.05 S.M.	
RETAINING WALL AREA	22.39 S.M.	
CURB AREA	113.44 S.M.	
SOD AREA*	2065.84 S.M.	
TOTAL LANDSCAPE AREA	3949.26 S.M.	
TOTAL SOFTSCAPE AREA*	2501.92 S.M.	

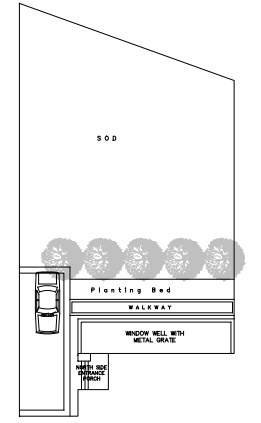
RESIDENTIAL LANDSCAPING REQUIREMENTS

4.19.1.1
ANY PORTION OF A YARD IN EXCESS OF 135.0 M2 SHALL BE COMPRISED OF A MINIMUM 60% SOFT LANDSCAPE.

3949.26 - 135 = **3814.26 S.M. - EXCESS AREA**
3814.26 X 60% = **2288.56 S.M.**

4.19.2.b
WHERE LOT FRONTAGE IS 12.0 M OR GREATER, THE MINIMUM LANDSCAPE REQUIREMENT SHALL BE 50%, OF WHICH 60% SHALL BE SOFT LANDSCAPING

3949.26 S.M. / 2 = **1974.63 S.M. - LANDSCAPE AREA**
1974.63 X 60% = **1184.78 S.M. - SOFTSCAPE AREA**



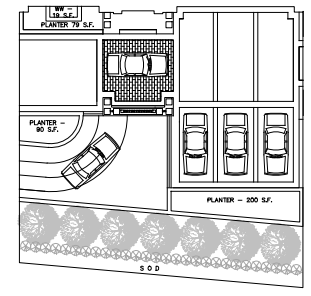
NORTH YARD LANDSCAPE AREA

	METRIC
SIDE YARD AREA	410.17 S.M.
DRIVEWAY AREA	43.01 S.M.
WALKWAY / STEP AREA	24.53 S.M.
RETAINING WALL AREA	4.74 S.M.
PLANTING BED AREA*	18.95 S.M.
WINDOW WELL AREA	26.85 S.M.
SIDE ENTRY AREA	4.09 S.M.
SOD AREA*	288.00 S.M.
TOTAL LANDSCAPE AREA	410.17 S.M.
TOTAL SOFTSCAPE AREA*	306.95 S.M.

RESIDENTIAL LANDSCAPING REQUIREMENTS

4.19.1.1
ANY PORTION OF A YARD IN EXCESS OF 135.0 M2 SHALL BE COMPRISED OF A MINIMUM 60% SOFT LANDSCAPE.

410.17 - 135 = **275.17 S.M. - EXCESS AREA**
175.17 X 60% = **165.10 S.M.**



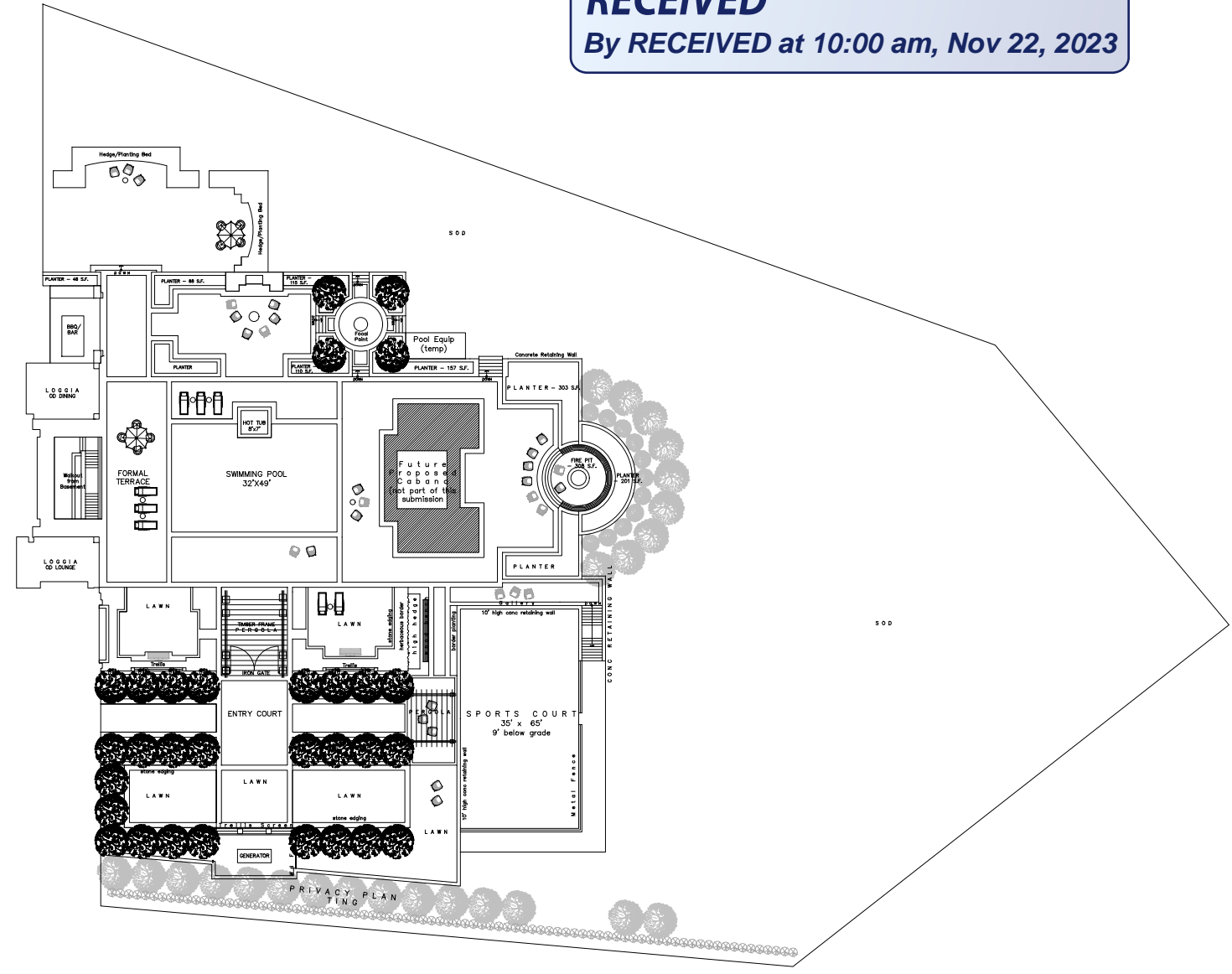
SOUTH YARD LANDSCAPE AREA

	METRIC
SIDE YARD AREA	432.84 S.M.
DRIVEWAY AREA	207.36 S.M.
UNDERGROUND PARKING AREA	64.29 S.M.
SIDE ENTRY AREA	8.83 S.M.
WINDOW WELL AREA	1.77 S.M.
PLANTER AREA*	34.28 S.M.
RETAINING WALL AREA	13.75 S.M.
SOD AREA*	162.59 S.M.
TOTAL LANDSCAPE AREA	432.84 S.M.
TOTAL SOFTSCAPE AREA*	196.78 S.M.

RESIDENTIAL LANDSCAPING REQUIREMENTS

4.19.1.1
ANY PORTION OF A YARD IN EXCESS OF 135.0 M2 SHALL BE COMPRISED OF A MINIMUM 60% SOFT LANDSCAPE.

432.84 - 135 = **297.84 S.M. - EXCESS AREA**
297.84 X 60% = **178.70 S.M.**



EAST YARD LANDSCAPE AREA

	METRIC
REAR YARD AREA	6031.17 S.M.
WALKWAY/STEP RETAINING WALL AREA	1504.29 S.M.
PLANTER AREA*	110.06 S.M.
SPORTS COURT	211.36 S.M.
BASEMENT WALKOUT	31.68 S.M.
LOGGIA/OD LOUNGE	31.68 S.M.
LOGGIA/OD DINING	32.98 S.M.
BBQ/BAR AREA	31.49 S.M.
FIRE PIT AREA	28.71 S.M.
LAWN AREA*	348.94 S.M.
POOL AREA	141.96 S.M.
HOT TUB AREA	8.36 S.M.
POOL EQUIPMENT AREA	12.64 S.M.
SOD AREA*	3527.76 S.M.
TOTAL LANDSCAPE AREA	6031.17 S.M.
TOTAL SOFTSCAPE AREA*	3986.76 S.M.

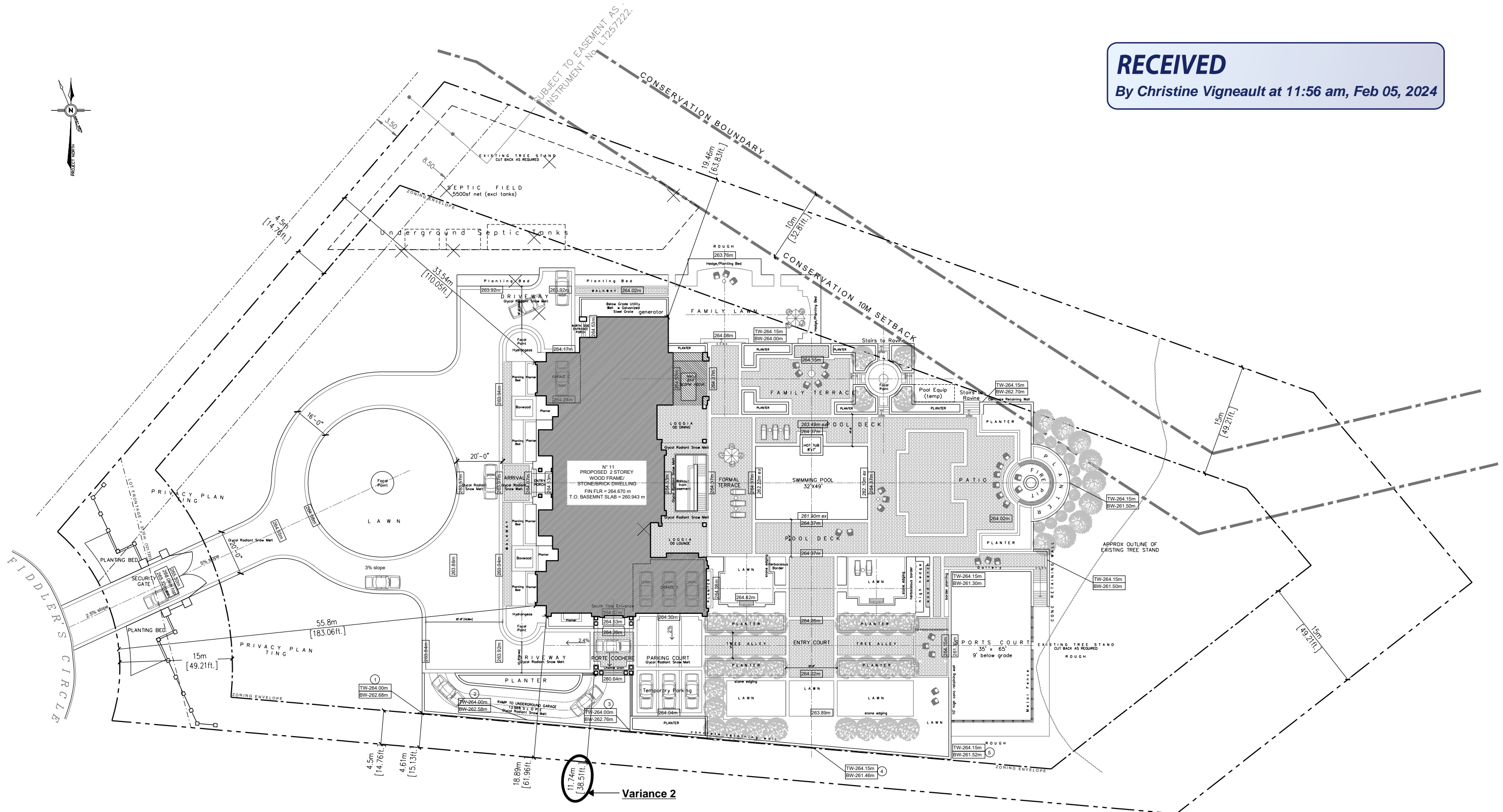
RESIDENTIAL LANDSCAPING REQUIREMENTS

4.19.1.1
ANY PORTION OF A YARD IN EXCESS OF 135.0 M2 SHALL BE COMPRISED OF A MINIMUM 60% SOFT LANDSCAPE.

6031.17 - 135 = **5896.17 S.M. - EXCESS AREA**
5896.17 X 60% = **3537.70 S.M.**

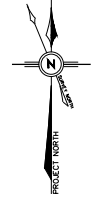


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 By Christine Vigneault at 11:56 am, Feb 05, 2024

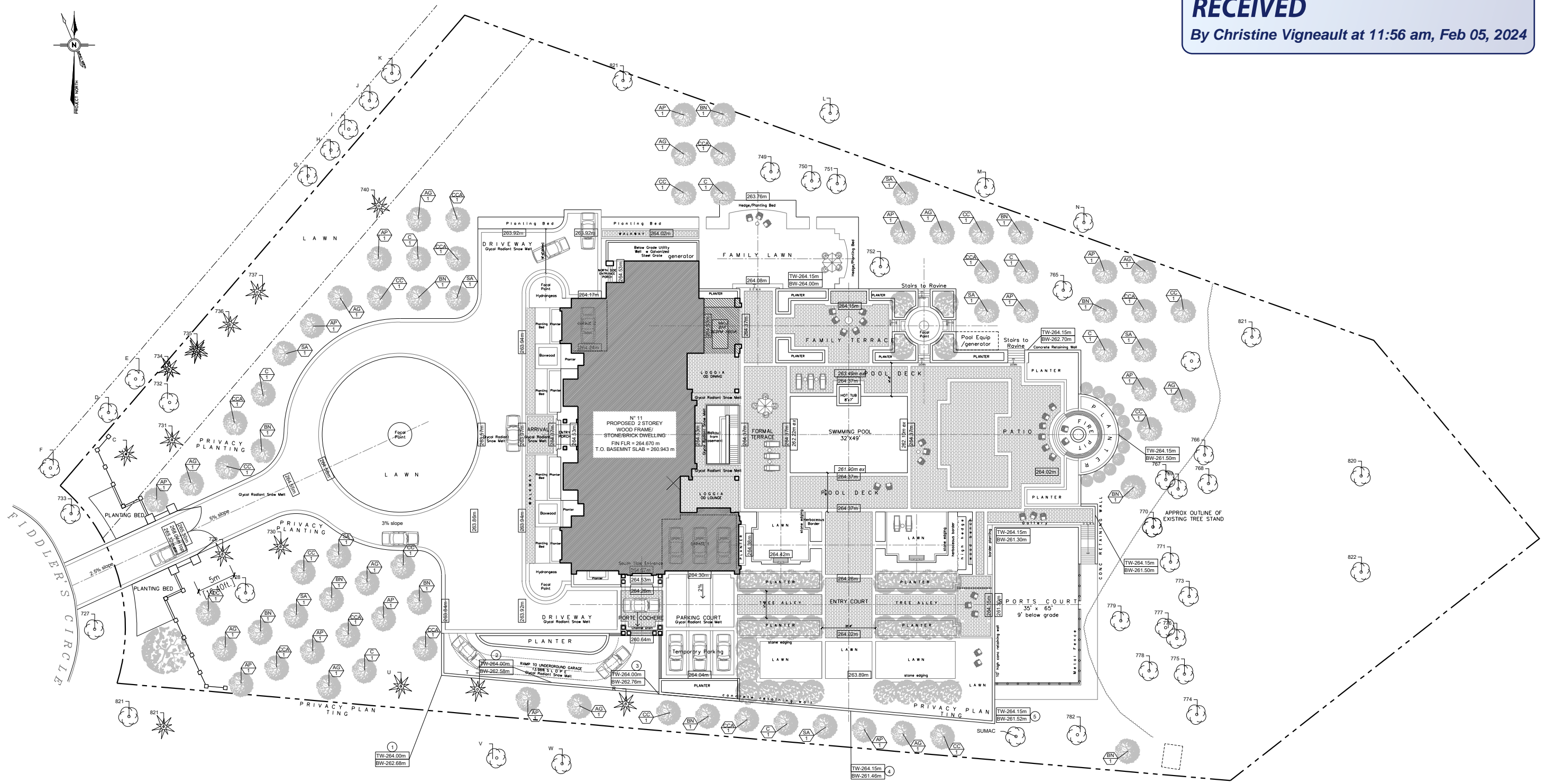


11 FIDDLER'S CIRCLE

CONCEPT SITE PLAN
 SCALE: 1: 500
 FEBRUARY 5, 2024



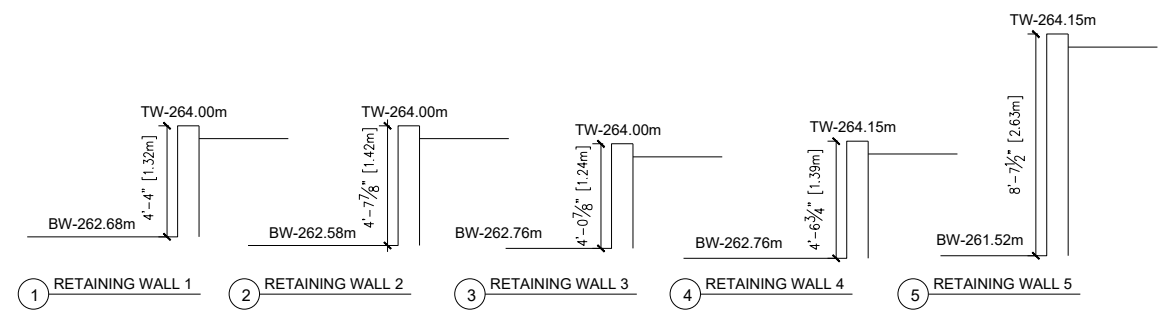
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By Christine Vigneault at 11:56 am, Feb 05, 2024

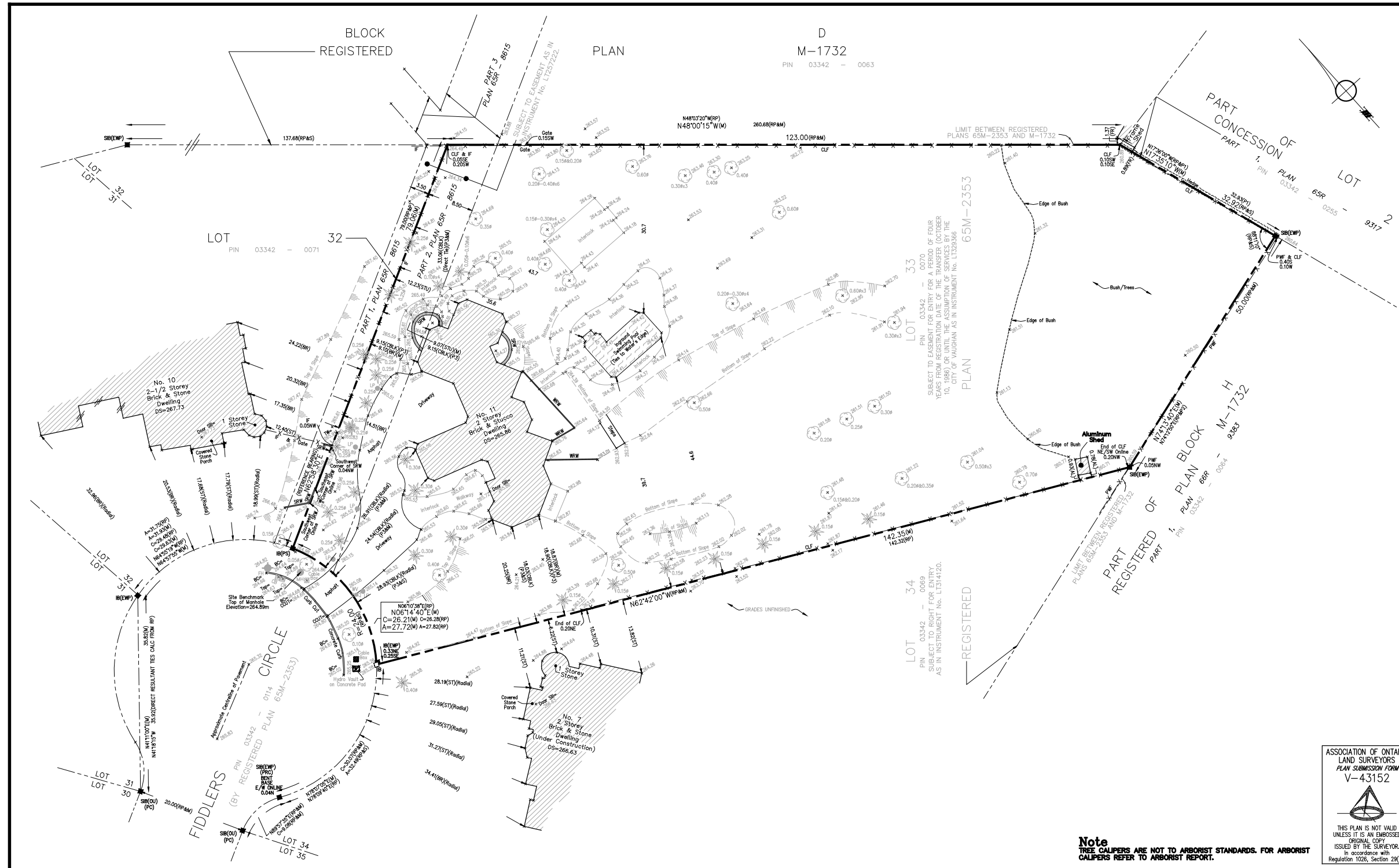


PLANTING SCHEDULE					
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	LABEL	MATURE TREE HT.
13	ACER PENSYLVANICUM	STRIPED MAPLE	50MM CALIPER	AP	20'-40" IN HEIGHT
12	AESULUS GLABRA	OHIO BUCKEYE	50MM CALIPER	AG	20'-40" IN HEIGHT
11	CRATAGUS CRUSGALLI	THORNLESS COCKSPUR	50MM CALIPER	CC	20'-40" IN HEIGHT
11	BETULA NIGRA	RIVER BIRCH	50MM CALIPER	BN	20'-40" IN HEIGHT
10	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	50MM CALIPER	CCA	20'-40" IN HEIGHT
7	CERIDIPHYLLUM	KATSURA	50MM CALIPER	C	20'-40" IN HEIGHT
8	SORBUS AMERICANA	ROWAN	50MM CALIPER	SA	20'-40" IN HEIGHT

11 FIDDLER'S CIRCLE

LANDSCAPE PLAN





SURVEYOR'S REAL PROPERTY REPORT—PART 1
PLAN OF SURVEY OF
LOT 33
REGISTERED PLAN 65M-2353
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
 SCALE 1:500

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 Ontario Land Surveyors

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Part 2
 DESCRIPTION OF LAND: LOT 33, REGISTERED PLAN 65M-2353, CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK.
 REGISTERED EASEMENTS AND/OR RIGHTS OF WAY:
 1. SUBJECT TO EASEMENT FOR ENTRY FOR A PERIOD OF FOUR YEARS FROM REGISTRATION DATE OF THE TRANSFER (OCTOBER 10, 1986) OR UNTIL THE ASSUMPTION OF SERVICES BY THE CITY OF VAUGHAN AS IN INSTRUMENT No. LT329366
 2. SUBJECT TO EASEMENT OVER PARTS 1 AND 2 ON PLAN 65R-8615 AS IN INSTRUMENT No. LT257222.

BOUNDARY FEATURES: NOTE FENCES, LAMP POSTS, INTERLOCK, DRIVEWAY, WALKWAY, SWIMMING POOL, SHED AND RETAINING WALLS ARE SHOWN IN RELATION TO THE BOUNDARY.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS: THIS PLAN DOES NOT CERTIFY ZONING COMPLIANCE OR IDENTIFY WHAT ZONING RESTRICTIONS ARE INVOLVED.

THIS REPORT WAS PREPARED FOR ROMAN SHIMONOV AND THE UNDERSIGNED ACCEPTS. NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

ADDITIONAL REMARKS: NOTE THE LAMP POSTS, ASPHALT AREA AND RETAINING WALL LOCATE WITHIN THE SAID EASEMENT.

Bearing Note
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF LOT 33 SHOWN ON REGISTERED PLAN 65M-2353 AS HAVING A BEARING OF N62°58'30"E.

Benchmark
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO A CITY OF VAUGHAN BENCHMARK.
 BENCHMARK: #105980119 ELEVATION=278.956m.

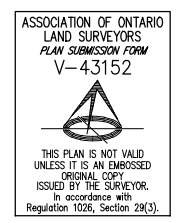
Legend

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
OU	DENOTES	ORIGIN UNKNOWN
WT	DENOTES	WITNESS
S	DENOTES	SET
M	DENOTES	MEASURED
PC	DENOTES	POINT OF CURVATURE
PRC	DENOTES	POINT OF REVERSE CURVATURE
N/S/E/W	DENOTES	NORTH/SOUTH/EAST/WEST
RP	DENOTES	REGISTERED PLAN 65M-2353
P	DENOTES	PLAN 65R-8615
P1	DENOTES	PLAN 65R-9317
P2	DENOTES	PLAN 65R-9383
P3	DENOTES	BUILDING LOCATION SURVEY BY P. SALNA COMPANY LTD., O.L.S., DATED AUGUST 20, 1987. E.W. FEITZOLD LIMITED, O.L.S. P. SALNA COMPANY LTD., O.L.S.
EWP	DENOTES	TIES TO STUCCO
PS	DENOTES	TIES TO ALUMINUM
STU	DENOTES	TIES TO BRICK
AL	DENOTES	TIES TO FRAME
BR	DENOTES	TIES TO STONE
FR	DENOTES	TIES TO CONCRETE BLOCK
ST	DENOTES	DOUBLE BOARD FENCE
CSLK	DENOTES	CHAIN LINK FENCE
DBF	DENOTES	POST AND WIRE FENCE
CLF	DENOTES	STONE RETAINING WALL
PWF	DENOTES	POST AND WIRE FENCE
SRW	DENOTES	STONE RETAINING WALL
TW	DENOTES	TOP OF WALL ELEVATION
MH	DENOTES	MANHOLE
CB	DENOTES	CATCH BASIN
WV	DENOTES	WATER VALVE
LP	DENOTES	LAMP POST
BC	DENOTES	BOTTOM OF CURB ELEVATION
OCUT	DENOTES	CURB CUT ELEVATION
Ø	DENOTES	DIAMETER (ROUND)
DS	DENOTES	DOOR SILL ELEVATION
D	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
☼	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

Surveyor's Certificate
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 9TH DAY OF JUNE, 2023.

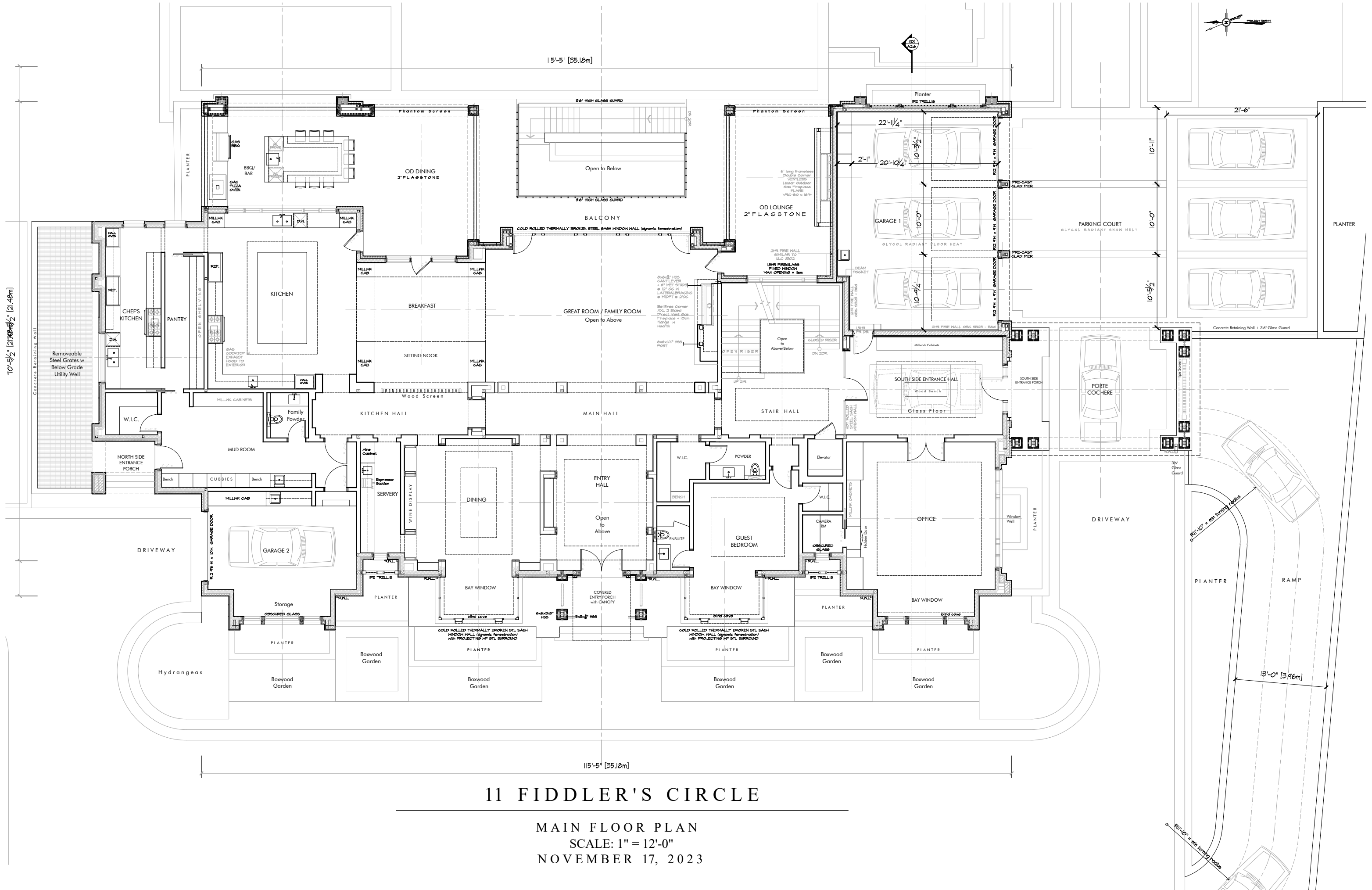
June 09, 2023
 Date
 Jason Chun-Ho Ma
 Ontario Land Surveyor

10211 KEELE STREET, UNIT #116, MAPLE
 ONTARIO, L6A 4P7
 O.: (289) 553-5453
 E.: michelepearson@pearsonandpearson.ca



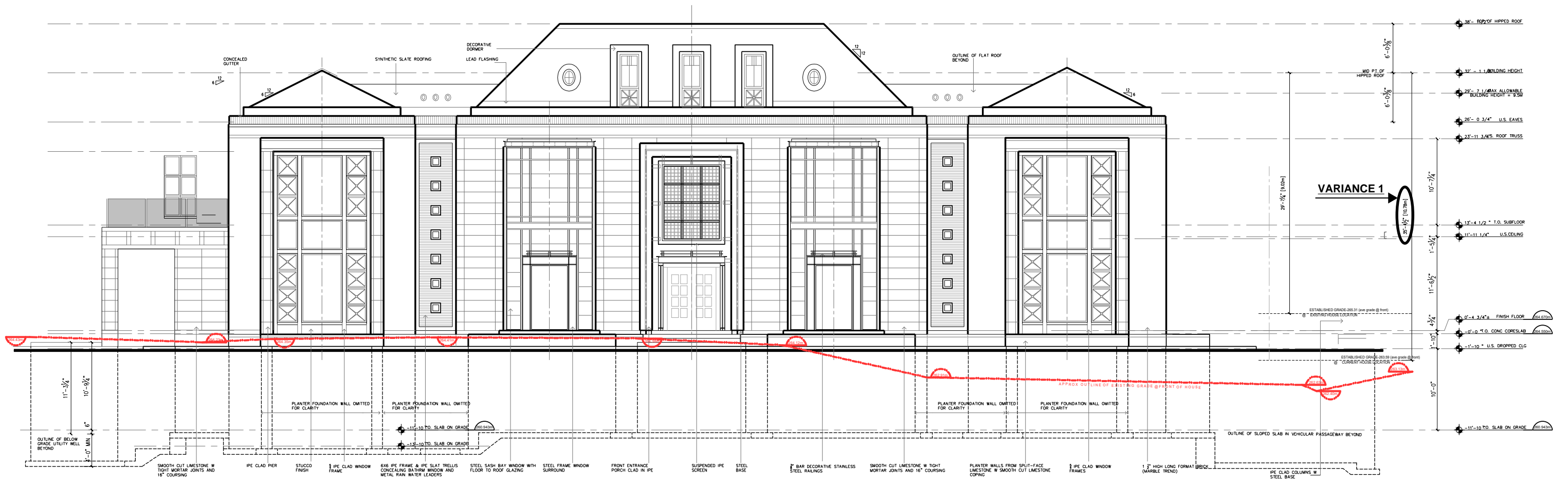
Note
 TREE CALIPERS ARE NOT TO ARBORIST STANDARDS. FOR ARBORIST CALIPERS REFER TO ARBORIST REPORT.

DRAWING: 2681-FiddlersCircle11-SRPR.DWG PROJECT: 2681
 CALC. BY JM DRAWN BY JC/JM CHECKED BY MP/JM



11 FIDDLER'S CIRCLE

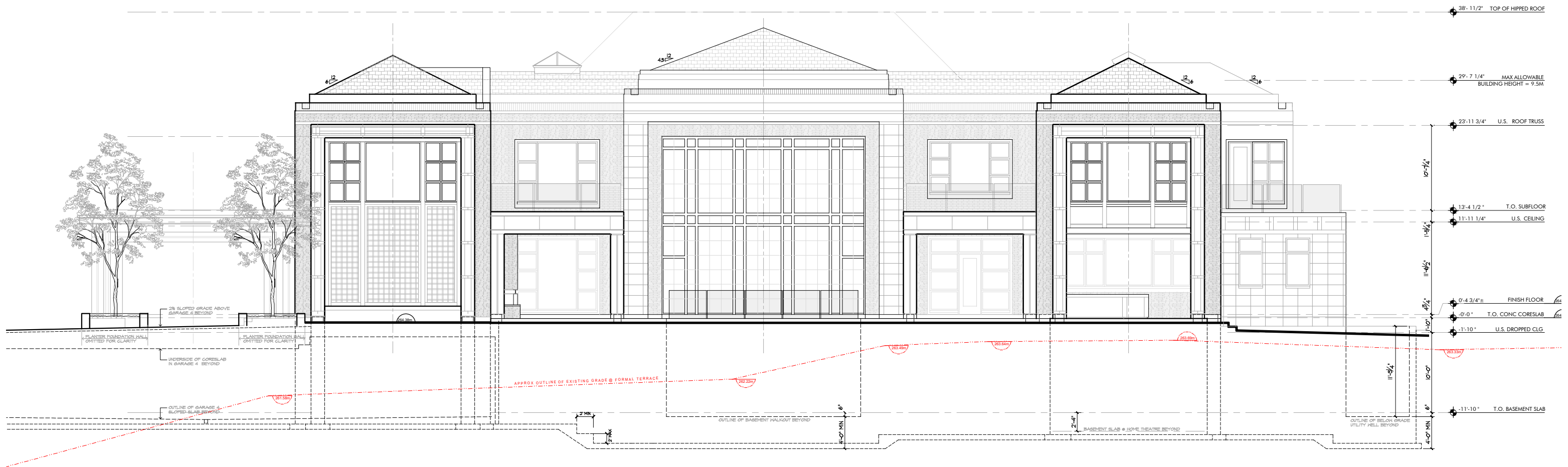
MAIN FLOOR PLAN
 SCALE: 1" = 12'-0"
 NOVEMBER 17, 2023



264.43+264.23+264.35+264.41+264.38+264.12+262.91+262.63+262.40+262.13=2635.99/10=263.59

11 FIDDLER'S CIRCLE

FRONT WEST ELEVATION
 SCALE: 1" = 12'-0"
 NOVEMBER 17, 2023



11 FIDDLER'S CIRCLE

EAST REAR ELEVATION

SCALE: 1" = 12'-0"

NOVEMBER 17, 2023



11 FIDDLER'S CIRCLE

NORTH SIDE ELEVATION

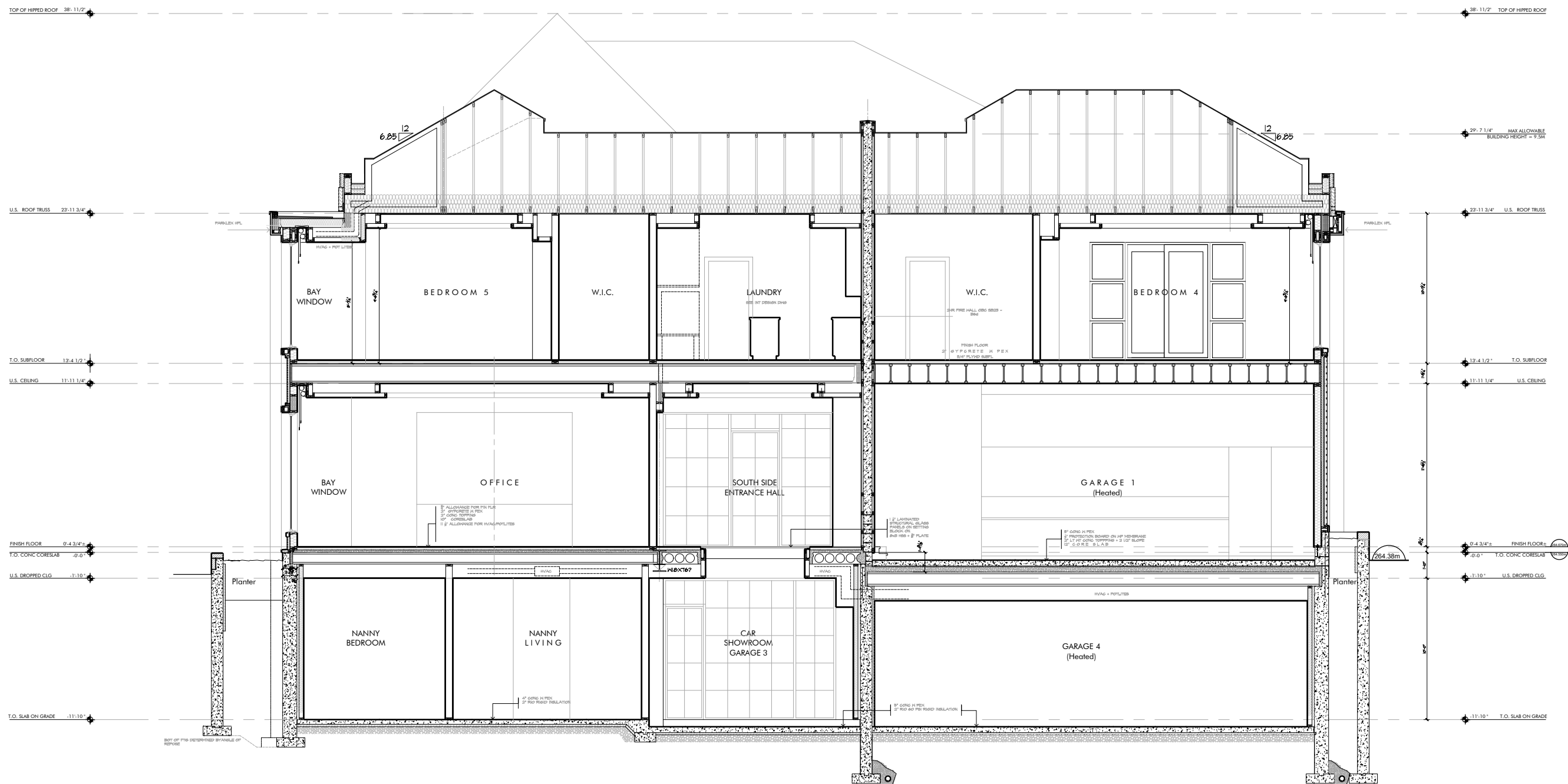
SCALE: 1" = 12'-0"

NOVEMBER 17, 2023



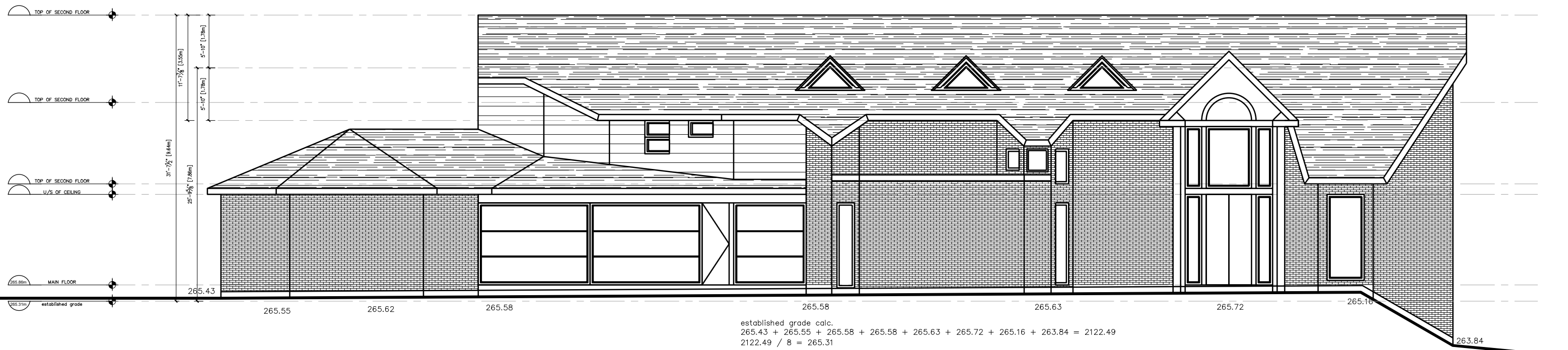
11 FIDDLER'S CIRCLE

SOUTH SIDE ELEVATION
 SCALE: 1" = 12'-0"
 NOVEMBER 17, 2023



11 FIDDLER'S CIRCLE

SECTION THRU GARAGE 1
 SCALE: 1/8" = 1'-0"
 NOVEMBER 17, 2023



11 FIDDLER'S CIRCLE

EXISTING FRONT WEST ELEVATION

SCALE: 1" = 12'-0"

NOVEMBER 21, 2023

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: January 25th 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A174-23**

Related Files:

Applicant Schiller Engineering Ltd.

Location 6 Weller Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

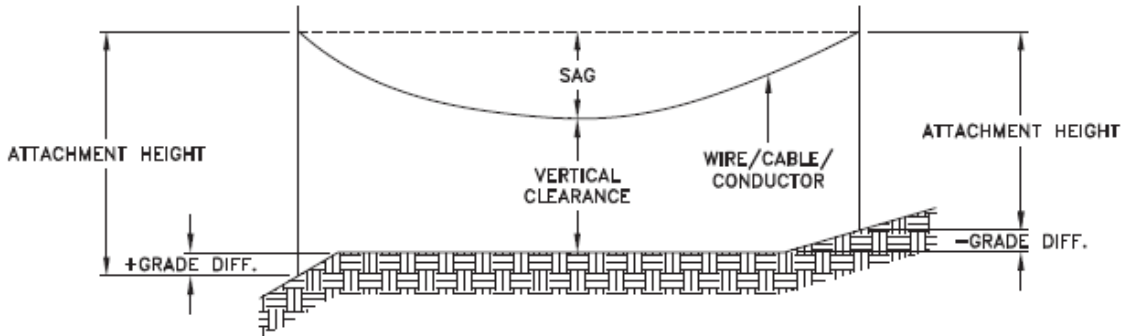
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

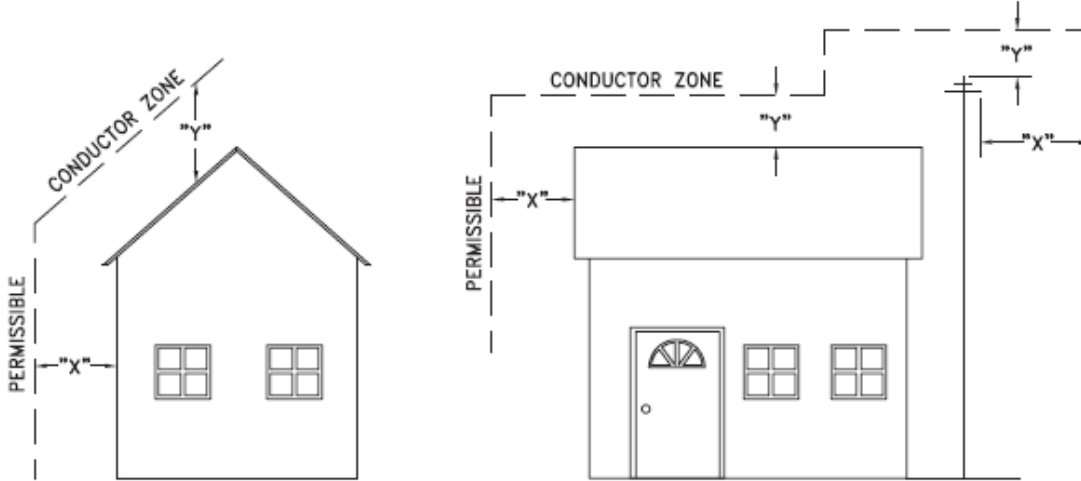
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3,3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Gregory Seganfredo, Building Standards Department
Date: February 05, 2024
Applicant: Schillerco Ltd.
Location: 11 Fiddler's Circle
 PLAN 65M2353 Lot 33
File No.(s): A174/23

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.231 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	Where a lot in a Residential Zone is subject to the zone suffix “EN” as show on Schedule A, the following requirements shall apply: 1. The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m, but in no case shall the maximum building height requirement less than 8.5 m. The maximum permitted Building height for the RE zone is 9.5m. [Section 4.5.1 and Table 7-3]	To permit a maximum height of 10.78 metres.
2	For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 metres in height, the minimum interior side yard shall be the greater of the existing yard, being 18.05 m. [Section 4.5.2.b]	To permit a minimum interior side yard setback of 11.74 metres. (south lot line)

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

Other Comments:

Zoning By-law 01-2021	
1	None.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

3	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.
4	The applicant shall check with By-law and Compliance, Licensing and Permit Services Department regarding fence requirements for the fence in the front yard.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 12, 2024
Name of Owner: Roman Shimonov - 2861408 Ontario Inc.
Location: 11 Fiddlers Circle
File No.(s): A174/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 10.78 metres.
2. To permit a minimum interior side yard setback (south lot line) of 11.74 metres.

By-Law Requirement(s) (By-law 001-2021):

1. Where a lot in a Residential Zone is subject to the zone suffix "EN" as shown on Schedule A, the following requirements shall apply: 1. The maximum building height shall be the least (more restrictive) of: a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m, but in no case shall the maximum building height requirement less than 8.5 m. The maximum permitted building height for the RE Zone is 9.5 m.
2. For any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 metres in height, the minimum interior side yard shall be the greater of the existing yard, being 18.05 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Oak Ridges Moraine Countryside" and "Oak Ridges Moraine Natural Linkage" by Schedule 4 – Oak Ridges Moraine Conservation Plan & Greenbelt Plan Areas and "Countryside" and "Natural Linkage Area" by Schedule 13 – Land Use.

Comments:

The Owner is requesting relief to permit the construction of a new two-storey detached residential dwelling at 11 Fiddlers Circle with the above noted variances. The subject lands are a pie-shaped lot at the end of a court. The lot's pie shape is elongated to the southeast, providing a deeper and more sizeable rear yard.

The Development Planning Department has no objection to Variance 1 to permit a maximum height of 10.78 metres. The proposed maximum height for the detached dwelling is measured to the top of the roof and remains compatible with other newly built 2-storey dwellings in the area. The roof is proposed above the second floor, resulting in exposed 2-storey walls, which will crease mass. However, the dwelling is also being set further back into the lot, behind the existing dwelling to be demolished, mitigating any height impacts when viewed from the street. The maximum extent of the height relief is requested for the central portion of the dwelling; the east and west sides have shorter roofs. As such, the height is appropriate for the size of the lot and is not anticipated to have negative massing impacts to the neighbourhood or the existing streetscape.

The Development Planning Department has no objection to Variance 2 as the 6.31 metre interior side yard reduction solely applies to the proposed single storey porte cochere, which spans less than one-third of the dwelling's southwest wall. The dwelling's southwest wall the porte cochere is attached to maintains a setback of at least 18.89 metres at its closest point (northwest corner). Therefore, the dwelling's wall facing the west lot line will exceed the Zoning By-law's minimum interior side yard requirement. Sufficient space remains to plant vegetative buffering, if desired, within the west interior side yard as it will be 11.74 metres at its narrowest point. Existing trees along the west lot line are proposed to be retained and additional trees planted to enhance screening. No adverse impacts on the existing streetscape or neighbouring property to the west are anticipated from the proposed reduction in the minimum required interior side yard.

In support of the application, the Owner submitted an Arborist Report dated November 30, 2023, and Tree Protection Plan prepared by Kuntz Forestry Consulting Inc., revised February 5, 2024. The report inventoried a total of 91 trees and 5 polygons on or within 6 metres of the subject lands and confirms that 54 of the surrounding trees and plantings located both on the client's and neighbour's properties will be preserved through construction, while 37 trees are proposed to be removed through the submission of a permit application. The report states that a total of 83 replacement trees will be required to compensate for the removals.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Nicholas Del Prete, Planner I
David Harding, Senior Planner

February 1, 2024

CFN 70450.03

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A174/23
Plan 65M2353 Block 33
11 Fiddlers Circle
City of Vaughan, Region of York
Applicant: Schiller Engineering Ltd.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 24, 2024. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 01-2021:

By-Law 01-2021:

- To permit a maximum building height of 10.26 metres, whereas the maximum building height shall be the least (more restrictive) of : a. The requirement of the applicable zone; or b. The existing building height plus 3.0 m, but in no case shall the maximum building height requirement less than 8.5 m.
- To permit a minimum interior side yard of 11.74 metres (south lot line), whereas for any proposed or new replacement dwelling that exceeds the existing height and is greater than 9.5 metres in height, the minimum interior side yard shall be the greater of the existing yard, being 18.05 metres.

The noted variances are being requested to facilitate the construction of a two-storey replacement dwelling with underground parking, a swimming pool, and associated landscaping.

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Don River that is located to the rear (east) of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, a portion of the subject property is regulated by TRCA due to the presence of a valley corridor. Based on a review of TRCA mapping, the proposed works are outside of the Regulated Area.

Based on a review of the materials submitted with this minor variance application, TRCA staff are satisfied that the proposed works are appropriately set back from the adjacent valley corridor. As such TRCA staff have no objections to the requested variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$120.00 (Screening Letter) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A174.23 subject to the following condition:

1. That the applicant provides the required fee amount of \$120.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,



Kristen Regier
Planner I
Development Planning and Permits

KR/sb

Pravina Attwala

Subject: FW: [External] RE: A174/23 - 11 Fiddler's Circle - REQUEST FOR COMMENTS, CITY OF VAUGHAN

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: Monday, January 29, 2024 10:55 AM

To: Lenore Providence <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A174/23 - 11 Fiddler's Circle - REQUEST FOR COMMENTS, CITY OF VAUGHAN

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Thank you

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Planning and Economic Development Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None