

# **57 NAPIER STREET, VAUGHAN HERITAGE IMPACT ASSESSMENT**

**FINAL**  
**DECEMBER 11, 2023**



PREPARED FOR  
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# 57 NAPIER STREET, VAUGHAN - HIA

## FINAL

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## EXECUTIVE SUMMARY

The subject property at 57 Napier Street is located in the Kleinburg-Nashville Heritage Conservation District (HCD). The proposed development is to demolish the existing two-storey dwelling and construct a new, two-storey residential building inspired by the Victorian Gothic Revival style.

The subject property's current architectural style is classified as 'Suburban Victorian Inspired' by the HCD Plan, which is a non-historic and non-contributing style. The plan identifies properties having contributing styles on both neighbouring lots, at 67 and 51 Napier Street. 67 Napier Street contains remnants of the former Kleinburg school in a Georgian / Neo-Classical style building. 51 Napier Street however is currently a vacant lot, with no built heritage attributes identified.

As such, the City of Vaughan requires a Cultural Heritage Impact Assessment (CHIA) to evaluate the project in the context of the surrounding heritage resources and assess the project's conformity to the design guidelines outlined in the District Plan. This report has been prepared in accordance with the City of Vaughan, *Guidelines for Preparing Cultural Heritage Impact Assessments* (2022).

Based on historical research, document review, identification of impacts, and compliance review against the HCD Plan, this CHIA finds that the proposed development will not have adverse impacts to heritage values of the HCD, or adjacent properties, and that the proposed development is compliant with the HCD Plan's relevant policies and guidelines. As such this CHIA recommends that the proposed development can occur.



## 1.0 INTRODUCTION

### 1.1 CHIA REQUIREMENTS

In August 2023 Common Bond Collective<sup>1</sup> was engaged by Fausto Cortese Architects (FCA) to complete a Cultural Heritage Impact Assessment (CHIA) for a proposed alteration to the subject property municipally known as 57 Napier Street in Vaughan.

A CHIA is required because the subject property is located within the Kleinburg-Nashville Heritage Conservation District (HCD). It has been prepared in accordance with the City of Vaughan *Guidelines for Preparing a Cultural Heritage Impact Assessment* terms of reference (TOR), dated 2022.

### 1.2 METHODOLOGY

The project commenced with review of relevant heritage planning documents including the Kleinburg-Nashville Heritage Conservation District Study and Plan (2003) and the Kleinburg-Nashville Heritage Conservation District Study and Plan (September 2021). Additionally, land registry research was conducted online to determine the chain of ownership for the subject property.

A site review was conducted by David Deo and Ellen Kowalchuk, both of Common Bond Collective on August 11, 2023. They were accompanied by Fausto Cortese and Soheil Hadian-Dehkordi of FCA. The interior and exterior of the subject property was documented in photographs as was the context of Napier Street.

### 1.3 CONTACT INFORMATION

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<sup>1</sup> See Appendix I for consultant qualifications.

## 2.0 POLICY CONTEXT

### 2.1 PROVINCIAL POLICY CONTEXT

#### 2.1.1 ONTARIO HERITAGE ACT

The *Ontario Heritage Act* (OHA) is the key piece of legislation for the conservation of cultural heritage resources in the province. Among other things, it regulates how municipal councils can identify and protect heritage resources including archaeological sites within their boundaries.

The OHA permits municipal clerks to maintain a register of properties that are of cultural heritage value of interest. The City of London's Heritage Register includes: individual properties that have been designated under Part IV, subsection 29(1) of the OHA; properties in a heritage conservation district designated under Part V, subsection 41(1) of the OHA; and properties that have not been designated, but that City Council believes to be of cultural heritage value or interest under Part IV, subsection 27(3) of the OHA.

Subsection 27(9) requires a property owner to provide at least 60 days notice in writing of the owner's intention to demolish or remove a building or structure on a property that is included on a heritage register, but not designated.

The OHA includes nine criteria that are used for determining cultural heritage value or interest (O. Reg. 0/9):

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of architect, artist, builder, designer or theorist who is significant to a community.

7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically lint surroundings.
9. The property has contextual value because it is a landmark.

Based on changes to the OHA (effective 1 January 2023), a property may be included on a heritage register under Part IV, subsection 27(3) if it meets one or more of these criteria. In order to be designated under Part IV, subsection 29(1) of the OHA, a property must meet two or more criteria.

## 2.2 MUNICIPAL POLICY CONTEXT

### 2.2.1 KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT STUDY AND PLAN (2003)

The Kleinburg-Nashville Heritage Conservation District (KNHCD) Study and Plan was prepared in 2003. The designating By-laws (183-2003 and 194-2003 ) were passed on June 23, 2003. On August 25, 2003, By-law 268-2003 added an additional 6 properties on Windrush Road that were inadvertently left out of the boundary.

The Study and Plan provided high-level guidance on protecting the heritage values and character of the villages. Due to regulatory and policy changes by the Province of Ontario, the City of Vaughan commenced a comprehensive update to the Kleinburg-Nashville HCD Study and Plan in October 2019.

### 2.2.2 KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT STUDY (SEPTEMBER 2021)

The purpose of the KNHCD Study and Plan update was to respond to a changing legislative environment and identify planning tools that can strengthen heritage conservation of the HCD, identify potential CHLs and contributing heritage resources in the HCD, and integrate the community's long-term vision.

The key objectives of updating the HCD Study was to:

- Evaluate the 2003 KNHCD Plan's Strengths, Weaknesses, Opportunities and Threats (SWOT), and integrate new background context for the study, including existing policy frameworks and plans;
- Engage the key stakeholders and community in an open, transparent and meaningful way, incorporating feedback into the SWOT analysis;
- Develop a dataset of all properties in the HCD and identify contributing and non-contributing values;

- Develop maps of existing and proposed cultural heritage resources in the HCD;
- Develop a Statement of Significance and a list of contributing heritage attributes; and
- Assess if a change in the KNHCD boundary is warranted.

The KNHCD Study Update developed four categories of architectural styles:

1. Existing Historic and Contributing Styles (56 properties; 22 percent)
2. Existing Non-historic and Contributing Styles (23 properties; 9 percent)
3. Existing Non-historic and Non-contributing Styles (148 properties; 58 percent)
4. Miscellaneous (Existing Non-historic and Historic and Contributing Styles or Non-contributing Styles) (28 properties; 11 percent)

Based on these styles, the 255 properties in the HCD were identified as ‘contributing’ or ‘non-contributing.’ Essentially, properties that were included in Categories 1, 2 and 3 were identified as ‘contributing’ and those in Category 4 as ‘non-contributing.’ The updated study also mapped these properties, developed a Statement of Significance identifying heritage values and attributes (see Section 6.0 of this CHIA), and proposed changes to the HCD boundary.

### 2.2.3 KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT PLAN (SEPTEMBER 2021)

The purpose of the KNHCD Plan (2021) is to take the findings from the KNHCD Study and provide clear and concise objectives, policies and guidelines to better protect and conserve the heritage values and attributes of the KNHCD. The Plan came into effect on February 22, 2023.

The updated plan builds upon the 2003 KNHCD Plan by addressing the changing legislative environment, provincial and municipal policy frameworks. The updated plan identifies planning tools that can strengthen heritage conservation of the HCD, contributing heritage resources in the HCD as well as potential Cultural Heritage Landscapes.

Major work in the HCD requires submission of a heritage permit. Major work include: demolition or removal of any building or structure; and all exterior construction activity, including new buildings or structures, additions. The objectives, policies, and design guidelines of the HCD will be used to review heritage permit applications. A list of applicable policies and guidelines as well as compliance with the HCD Plan is provided in Section 8.0.

## 3.0 DESCRIPTION OF SUBJECT PROPERTY

### 3.1 DESCRIPTION OF SUBJECT PROPERTY

The subject property is located at 57 Napier Street in Vaughan, within the community of Kleinburg (Figures 1 & 2). It is a trapezoidal parcel of land containing the main dwelling and detached garage in front of a pool and cabana. The lot has a frontage of roughly 15m and a depth of around 50m. For ease of description, the dwelling's primary elevation is being identified as the south elevation, with all other directions described relative to this orientation.

The garage is located near the front of the property, with the main dwelling set back much further in line with its rear wall. The garage is a one-storey gabled structure, with double width door on its west elevation and one-over-one vinyl sash windows throughout (Figure 3). It is clad with grey board and batten siding, as well as light grey asphalt roof shingles.

The main dwelling is a long, two-storey building with an irregular plan and massing. Its primary (south) elevation presents a broad, slightly offset gabled form to Napier Street, with a covered porch and prominent oriel window above (Figure 4). The rear of the dwelling extends deeply into the lot, with the plan projecting increasingly to the east (Figure 5). The massing similarly becomes more complex toward the rear of the dwelling, incorporating gabled dormers on the east side, various roof pitches, and culminating in a gabled loft on the north elevation, set above the second storey which cantilevers over the ground floor (Figure 6).

The dwelling is clad with grey board and batten siding and asphalt roof shingles, matching the garage. An eclectic mixture of window shapes and types are used, all of contemporary construction. Casement, sash and fixed pane windows are used with faux muntin bars, and in varying configurations of singles, pairs, and triples (Figure 7). Traditional details such as a prominent oriel window in the front gable contrast with a variety of geometrically shaped windows on the rear part of the building (see Figure 6). Toward the rear of the house many large windows run nearly from floor to ceiling (Figure 8). Overall the windows lack strong relationships to each other or common underlying proportions. Windows are surrounded by black wooden surrounds, with historically derived mouldings and some featuring a slight pediment shape (Figure 9). The front door is a contemporary panel style door with a single sidelight (see Figure 4). On the dwelling's side and rear there are contemporary glazed doors with faux muntin bars.

The dwelling boasts an unusual interior, highlighted by open spaces and the timber-frame structure, which is exposed throughout most of the dwelling (Figures 10, 11 & 12). The timber-framing has been painted white throughout. The structure relies on robust timber throughout - posts and beams are roughly 8" x 8", with 6" x 4" floor joists and window posts, and 4" x 4" rafters, collar beams and girts.



The interior experience culminates in the north end living space, with timbers exposed for the full height of the structure (Figures 13 & 14). A standalone brick fireplace is located in the main living space, with a chimney rising through to the roof ridge (Figure 15). The loft above the second storey at the dwelling's rear has roof framing with conventional lumber (Figure 16). The dwelling features bedrooms throughout the second storey, on both sides of the main living area. The master bedroom is located at grade, along with washroom, kitchen, dining and living spaces. Most of the dwelling rests on a concrete block foundation with an unfinished basement (Figure 17). At the rear an addition has been made to the basement, which rests directly on grade (Figure 18).

### 3.2 DESCRIPTION OF CONTEXT

The subject property is located on the east side of Napier Street, a short north-south road running between John Street and Stegman's Mill Road. It is one street west of Islington Avenue which is Kleinburg's main street. Currently, Napier Street is an entirely residential street with just over 20 properties. The former Kleinburg United Church Parsonage is located at 31 Napier Street (listed). Built c. 1880, it is a 1½ storey Ontario Gothic Cottage with dichromatic brickwork and a full-width front verandah. At the corner of Napier Street and Stegman's Mill Road (9 Napier Street) 1½ storey, pitched-roof, clapboard, Victorian-Gothic house built c. 1870. The former Village School is located at 67 Napier Street. It is directly adjacent to the north of the subject property.

The remaining residences on Napier Street contain residences constructed between the 1950s to present day. Those constructed in the years immediately following the Second World War include 34, 60, 85, 90 and 99 Napier (Figure 19). Napier Street is increasingly characterized by recent construction of two-storey, brick houses that replicate historic styles such as Georgian and Victorian Gothic Revival. These include 6, 17, 78 and 91 Napier Street (Figure 20).

### 3.3 ADJACENT CONTRIBUTING RESOURCES

The KNHCD Plan identifies the properties immediately east (51 Napier Street) and west (67 Napier Street) of the subject property as having styles that are considered historic and contributing styles.

#### 3.3.1 51 NAPIER STREET

51 Napier Street is located immediately east of the subject property. It contained an Ontario Gothic Cottage style dwelling, which was dated ca. 1870 but moved to 51 Napier Street in 1922 as per the inventory sheet in the HCD Plan.<sup>2</sup> The HCD Plan inventory sheet describes the dwelling as a, "Two-storey, pitched-roof, clapboard house with steep central dormer over elegant front door entablature, and with similar, but later,

<sup>2</sup> Kleinburg-Nashville Heritage Conservation District Plan Update. Part 3 - The Inventory, p. 91.

large addition to rear (c. 1870).” However at the time of writing the lot is vacant (Figure 21). Despite being classified as having a historic and contributing style by the HCD Plan, the dwelling that represented that style, and its related cultural heritage value or interest, are no longer extant. As such there are no remaining heritage attributes related to the property’s Ontario Gothic Cottage style. The property does retain a number of mature trees however, which are identified as heritage attributes of the HCD.

### 3.3.2 67 NAPIER STREET<sup>3</sup>

67 Napier Street is located immediately west of the subject property. The wide property contains a two-storey structure with a U-shaped plan, which includes remnants of the historic Kleinburg schoolhouse along with various additions and alterations. The structure comprises the original gabled brick school building on the west, a two-storey wooden portion to the north, and a one-storey brick garage on the east. The brick gabled portion is the site’s former school structure (Figure 22). The wooden portion to the north may also be historic, but could be entirely recent construction. The site was converted to residential use around 1957, and the garage was built in 1970. No landscape features associated with the former school site were observed on site, nor are any referenced in the property’s HCD Plan inventory sheet. The HCD Plan classifies the former school building as ‘Georgian / Neo-Classical’ style, which is considered historic and contributing for the district.

The historic portions of the property’s structure are understood to contribute to its cultural heritage values, for their associations with the former Kleinburg school, as well as design elements. The property contains a number of mature trees, demonstrates a variety of setbacks, and demonstrates low-density scale and massing of structures, all of which are identified as heritage attributes of the HCD.

<sup>3</sup> The KNHCD Plan’s inventory sheet for 67 Napier Street is included in Appendix H.

## 4.0 HISTORICAL/ASSOCIATIVE SUMMARY

### 4.1 HISTORICAL SUMMARY

#### 4.1.1 CITY OF VAUGHAN

Located in the Territory and Treaty 13 lands of the Mississaugas of the Credit First Nation, the City of Vaughan rests upon the traditional territory of the Huron-Wendat and the Haudenosaunee people.

Etienne Brulé was the first European to make his way through present-day Vaughan, crossing the Humber Trail in 1615. This path came to be used by French traders who engaged in fur trading with the Huron-Wendat, the Haudenosaunee and the Mississaugas of the Credit. Colonial settlement, however, occurred many years later. In 1763, France and Britain signed the Treaty of Paris to formally end the Seven Years' War. France gave control of Ile Royale (Cape Breton), Canada (Quebec), the Great Lakes Basin and the east bank of the Mississippi to Britain.

In 1787, as the British began to prepare for an influx of colonists into the area following the American Revolution, the British Crown negotiated the Toronto Purchase with the Mississaugas of the Credit First Nation to obtain title to the land. The flawed and poorly documented agreement was invalidated, and Treaty 13 was negotiated in 1805. While the Mississaugas and Wendat did not traditionally regard land as a commodity to be sold or owned exclusively by individuals, the British government quickly set out to survey the land into lots which were either sold or granted into private ownership of settlers.<sup>4</sup>

Settler life was difficult and the first people to arrive were mainly Germans from Pennsylvania. In 1800, there were a mere 54 people in all of Vaughan Township. After the War of 1812, a wave of British migrants flooded the area. By 1840, the population stood at 4,300 and all the arable land occupied.

#### 4.1.2 COMMUNITY OF KLEINBURG

Like many Ontario villages, Kleinburg developed around saw and grist mills powered by rivers and streams. In 1848, John Nicholas Kline bought 33 hectares (83 acres) of Lot 24 in Concession 8 west of Islington Avenue on which he built both a saw and grist mill.

By 1860, the community had grown to include a boot and shoemaker, carriage maker, tanner, tailor, and doctor. Buildings included a church, school, and hotel. By 1870, a butcher, cabinet maker, chemist and insurance agent had joined the community. Kleinburg also became a popular resting stop for farmers and merchants traveling to and from Toronto along King Road - present-day Islington Street.

<sup>4</sup> In 2010, the Government of Canada settled the Toronto Purchase Claim with the Mississaugas of the Credit after agreeing that the Mississaugas were originally unfairly compensated.

In 1871, the Toronto, Grey and Bruce Railway line from Toronto through Woodbridge, Orangeville to Mount Forest was opened. The Kleinburg station was located to the west of the village and the hamlet became known as Nashville. The mills, railway and innkeeping made Kleinburg a prosperous village.

The introduction of electrification to Kleinburg put its water-powered mills at a competitive disadvantage. In addition, the advent of the automobile which allowed greater distances to be traveled, eliminated Kleinburg's role as a stopping place. Highway 27 was constructed in 1927 as a redundancy to Yonge Street. It initially ran between Barrie and Penetanguishene and extended south to Schomberg in 1934 and then to Toronto in the late 1930s. However, the highway bypassed Kleinburg, furthering its decline. By the end of the Second World War, Kleinburg had lost more than two-thirds of its population. After the Second World War, improved road systems meant that people could live in Kleinburg and commute to the city. Additionally, returning soldiers needing affordable housing saw Kleinburg as a good place to start a family.

In 1954, Robert and Signe McMichael, moved into a squared-log house in the valley southeast of the village. They began collecting paintings by the Group of Seven and their contemporaries and in the early 1960s opened their home and gallery to the public. In 1965, the couple donated their home, property and art collection to the Province of Ontario. Since then, the McMichael Canadian Art Collection has expanded in both its physical extent and its holdings, attracting 125,000 visitors a year.

In 2007, the village and its surrounding communities had a population of 4,595 while the village itself had 282 dwellings, with a population of 952.<sup>5</sup>

## 4.2 HISTORICAL SUMMARY OF THE SUBJECT PROPERTY

### *The Establishment and Subdivision of Kleinburg*

The subject property known as 57 Napier Street is located in Vaughan Township, York County. Surveys of the township began in the late 18th century, after which the subject property became part of a farm lot known as Lot 24 Concession 8 Vaughan Township. This 200 acre lot was patented in July 1847 to Andrew Mitchell.<sup>6</sup>

The following year, the subject property was part of a large area owned and subdivided by Andrew Mitchell and John Kline into village building lots (Figure 23). The subject property was located on a reserved portion of the plan, named Lot A and totalling 11.8 acres.

In April 1855 a subdivision plan was created for the lands reserved as Lot A (Figure 24). The plan extended Napier Street to the north and created John Street, while adding 28 new building lots. The subject property's general boundaries were established at

5 "Kleinburg," Industry Canada: Community Demographics. Accessed at [http://broadband.gc.ca/demographic\\_servlet/community\\_demographics/2194](http://broadband.gc.ca/demographic_servlet/community_demographics/2194)

6 York Region Land Registry Office #65, "Vaughan, Book 219 Concession 8 Lot 24 to 35," p. 3.

this time, becoming known as Lot 45 of the plan. It was one of nine variously size lots between Napier Street and the Humber River valley to the north. Lot 45 was 0.19 acres in size, measuring 0.89 chains (~17.9m) by 2.28 chains (~45.9m). While it was surveyed in 1855, this subdivision plan was not registered until June 1865 when it was filed by John Gartshore, becoming Plan 275 in Vaughan Township.

### *Kleinburg Public School, S. S. No. 17*

Kleinburg's first school was a log structure built in 1845 on what is now the parking lot of the current Pierre Burton Heritage Centre on Islington Avenue south of Stegman's Mill Road. A new school was needed by the mid-1850s, with several lots purchased on the north side of Napier street for the building.<sup>7</sup>

The new school building consisted of a large one-room brick structure (extant; 67 Napier Street), with a smaller perpendicular wooden building extending from its rear (status unknown). The brick and wood structures were known as the big room and little room respectively, and straddled Lots 46 & 47 per later aerial imagery. The school grounds were expanded in 1918 with the purchase of additional lots<sup>8</sup> west of the school building. The school and its expanded grounds were purchased in 1957 following construction of the third Kleinburg school, and the school converted to residential use. The properties to the west were subsequently sold and developed.<sup>9</sup>

The historic school is located at 67 Napier Street, and aerial imagery shows its L-shaped plan in 1954, prior to being sold (see Appendix F). By 1970 a number of dormers had been added to the brick portion, indicating its conversion to domestic use. The east garage is seen to be under construction in 1970. The original brick structure remains at the west end of the current dwelling, identified by its flemish bond brickwork, gabled form, and full height window openings which are variously panelled over (Figure 25). It is unclear whether the current north wood section of the dwelling is the historic wood wing or subsequent reconstruction.

57 Napier Street is located on Lot 45 Plan 275, one of three lots associated with the school site on Napier as of 1866. However the school building is located on Lots 46 & 47, and there is no other evidence of Lot 45 having significant historic or ongoing relationship to the school in terms of built features, landscapes, people or associations.

### *Ownership of Lot 45 Plan 275*

Historic ownership of the property at 57 Napier Street is challenging to confirm, since portions of Lot 45 appear to have been parcelled with adjacent lots (particularly Lot

<sup>7</sup> G. Elmore Reaman infers the lots were acquired circa 1855, however land registry records list the date of sale for Lots 45, 46 & 47 on Napier Street as 1866. Construction of the new school may well have predated these transactions.

<sup>8</sup> Land registry records indicate that this purchase involved as much 5 additional lots (Lots 48-52) - see instrument no. 11931.

<sup>9</sup> G. Elmore Reaman, *A History of Vaughan Township* (Toronto: University of Toronto Press, 1971), p. 175.



44, and potentially Lots 46 & 47). This creates parallel chains of ownership through the abstract books, which are difficult to uncouple due to illegible descriptions.

All, or a portion of Lot 45 appears to have been sold from John Gartshore and his wife to the school trustees in 1866, along with Lots 46 & 57, or portions thereof. It is unclear whether this involved the entirety or a portion of Lot 45, since it was also included among a collection of lots along the north side of Napier Street traded as a group between 1903 and 1943. The group included Lots 44-45, and 48-52. Abstract books describe this collection of lots as “N E cor in al E of Naper St. (ex P. S. lot) See Plan 275”.<sup>10</sup> Two lots containing the school building, 46 & 47, are omitted from this group, indicating that not all of Lot 45 was tied to the school.

Per abstract books, transactions involving the lands subdivided as Plan 275 commenced soon after the initial subdivision in 1855.<sup>11</sup> Thomas White consolidated a number of lots between 1856 and 1863, including at least ten along Napier Street and between John Street and King Road (Islington Avenue). The subject property was likely acquired by White during this period, possibly with other properties north of Napier Street on October 30, 1863.<sup>12</sup>

As described above, Lots 44-45, and 48-52 were traded together as a group in the first half of the 20th century. The first such transaction was from the executors of White’s will, Joseph and Thomas H. Robinson, to William Mullins on June 29, 1903 for \$140. This was followed by five transfers involving the same lands:<sup>13</sup>

- November 30, 1916 from William and Margaret Mullins to Hadwen Richards for \$275
- November 29, 1924 from Hadwen and Elizabeth Richards to Hubert Rushworth for \$300
- October 12, 1925 from Hubert and Olive Rushworth to Donald McLean for \$1000
- June 10, 1937 from Donald McLean to Daniel McLean for \$1200
- March 29, 1938 from Daniel and Lottie McLean to John C. Train (*no compensation listed*)

Then on October 23, 1943, a transaction from Clara D. Train “personally adminix to John C. Train consent treas. of Ont.” to Margaret Head appears to separate 57 Napier Street from the larger grouping.<sup>14</sup> This is followed by five transfers for this same parcel,

10 York Region Land Registry Office #65, “Vaughan, Book 219 Concession 8 Lot 24 to 35,” p. 4, see instrument 10862.

11 Ibid, pp. 3-5.

12 On this date instrument 86727 refers to a purchase by White from Gartshore et ux for Lots 38-43 & F on the south side of Napier Street, as well as an irregular part on the other side of the street, excluding three lots occupied by the public school. It is unclear which part of Lot 45 was associated with the public school.

13 York Region Land Registry Office #65, “Vaughan, Book 469 Plan 275,” see Lot 45 p. 1.

14 See instrument no. 19824.

bringing it to the current owners:<sup>15</sup>

- March 16, 1982 from the Estate of Margaret Hands to Marie A. Defrancesca
- March 2, 1984 from Marie A. Defrancesca to Doug Phillips and Margaret Anne Baker
- January 16, 1998 from Margaret Anne and Doug Phillips to Margaret Anne Phillips
- November 2, 2018 from Margaret Anne Phillips to Luca Corrente and Michelle Ursini
- May 5, 2022 from Luca Corrente and Michelle Ursini to Lisa and Adrian Valentini

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<sup>15</sup> York Region Land Registry Office #65, “Vaughan, Book 469 Plan 275,” see Lot 45 p. 1-4. See also parcel register, 57 Napier Street.

## 5.0 DESIGN/PHYSICAL SUMMARY

### 5.1 DEVELOPMENT HISTORY

The subject property's development history is informed by research and other archival sources, some of which are discussed in Section 4.2 above. The subject property formed a part of the 200 acre Lot 24, Concession 8 in Vaughan Township following the township surveys. The land was patented in 1847, with a subdivision plan intended to stimulate growth at Kleinburg created the following year. The subject property formed part of an 11.8 acre reserved area on that subdivision plan, north of the smaller village lots.

In 1855 a subdivision plan imposed village lots on that formerly reserved area, defining the subject property's general boundaries as Lot 45. Both the 1860 and 1878 York County maps show the subdivided area as part of Kleinburg, but neither show any buildings on the site (Figures 26 & 27).

The subject property (Lot 45) was likely part of an area consolidated by Thomas White in the 1850s and 1860s. Part of Lot 45 was associated with the school built on Lots 46 and 47 to the west, though no evidence of material relationships has been identified. A portion of Lot 45 was also part of a group of Lots transacted together between 1903 and 1938, before an area appearing to correspond to the current property was sold separately in 1943. This parcel was re-sold five more times, the most recent sale being to the current owners. This suggests the subject property may have been undeveloped until 1943, or shortly thereafter.

This conclusion is uncertain given the state of the property seen in the 1954 aerial photograph (see Appendix F for all aerial photographs referenced). This image shows what appears to be a cleared property, distinguished from both neighbours, with a modest dwelling set back from the street and a smaller outbuilding behind. These features are more clearly observed on the 1970 aerial photograph, which also shows a garden or pen near the property's rear.

The dwelling is presumed to be one-storey in height based on shadows, with a side-gabled form and centred rear tail. The very modest size and traditional form are suggestive of 19th century construction. While modest side-gabled dwellings were increasingly built during the and after the years of the Second World War, the rear tail was not common to such buildings. Ultimately this dwelling likely dates from the 19th century, but its history is unclear. It is clearly seen again on the 1978 aerial photograph.

The 1988 aerial photograph shows major changes to the property, with a substantial new building in the middle of the property, and a pool behind. The new building has a gabled form, and appears to be the first evidence of the current structure. Its appearance follows the purchase of the property by the Bakers in 1984. Two mortgages for \$95,000 and \$200,000 were registered against the property in 1986 and 1988

respectively, suggesting the new structure had recently been completed. The 1988 photograph also shows a structure in the historic dwelling's location.

The 1999 aerial photograph shows several changes. A small addition to the north rear elevation of the new building is evident. The structure in front (south) of the house has also changed, having an L-plan and a closer location to the new building. It is unclear whether this structure was entirely new, or incorporated elements of the historic dwelling. It is likely the former, since the inventory sheet for 57 Napier Street does not allude to any historic structure, and neither does the corresponding photograph provide any such evidence (Figure 28).

In 2005, modifications to the east elevation are evident, extending the building below the northern gable. The L-plan structure at the south of the property is last seen in 2009, and by 2011 has been replaced by the current gabled garage. In the unlikely event that any historic fabric from the earlier side-gabled dwelling had been incorporated into the L-plan structure, it would have been removed from the property at this time. Between 2013 and 2014 a substantial alteration was made, extending the northern part of the east wall and creating the current roof profile. A cabana was built circa 2016.

## 5.2 ARCHITECTURAL STYLE

### 5.2.1 SUBURBAN VICTORIAN INSPIRED

The KNHCD Plan classifies the subject property as “Suburban Victorian Inspired”, which is a non-contributing and non-historic style. The style is given the following description:

*Although suburban, the Suburban Victorian inspired style is distinct as it represents a reimagined contemporary building with a specific style within the Victorian era (i.e., Italianate and Gothic Revivals and Queen Anne). Elements typical of the style include the use of front gables, projecting bay windows, vergeboard and ornamentation such as dichromatic brickwork to create quoining, voussoirs and decorative patterns.<sup>16</sup>*

This style is expressed by a number of features on the subject property, including its front gable, upper oriel window, and use of board and batten cladding. The specific imagined Victorian style is conveyed as something more utilitarian or vernacular in nature, rather than a high style such as Italianate or Queen Anne. This is conveyed by the form, massing and materials of the main dwelling.

As a non-contributing style, the property does not contribute to the design or physical, historical or associative, or contextual value of the HCD.

<sup>16</sup> KNHCD Study, p. 91.

### 5.2.2 TIMBER-FRAME STRUCTURE

As described in Section 3.2, the main dwelling employs a timber-frame structure, based on a conventional concrete block foundation. The structure utilizes robust timbers throughout - posts and beams are roughly 8" x 8", with 6" x 4" floor joists and window posts, and 4" x 4" rafters, collar beams and girts.

Despite reflecting a traditional structural system, the timber-framing displays many contemporary characteristics. There is little evidence of hand tool use, which is normally a hallmark of this construction method. The structural members have been cut by saw or milled (Figures 29 & 30), while the pegs appear to be round dowels and not manually shaped by draw knife (Figures 31 & 32). This can be contrasted with the nearby McMichael Canadian Art Collection buildings, which make regular use of hand hewn beams. A general lack of exposed pins suggests non-traditional concealed means of connection have been used (Figure 33). Many of the joints are not of particularly high quality, displaying large gaps with spacers in certain instances (Figures 34 & 35, see Figure 33). While a striking feature of the dwelling's interior, the timber frame system is limited in its use of traditional techniques, and does not display noteworthy workmanship or quality in its execution.

## 5.3 CONDITION ASSESSMENT

The dwelling at 57 Napier Street is in good condition overall. Most of the building and its systems likely date from the mid-1980s, and it has been well-maintained through the present. No obvious deficiencies or adverse conditions were observed on the interior or exterior of the above-grade structure.

The major area of concern for the current dwelling is a portion of the basement at the rear of the house. The area was a subsequent addition to the structure, and built directly on grade with no concrete floor. As a result the area has suffered from moisture problems, and all the space has been stripped back to framing and subflooring (Figure 36; see Figures 17 & 18).



## 6.0 SUMMARY OF CULTURAL HERITAGE VALUE

### 6.1 KNHCD STATEMENT OF SIGNIFICANCE

#### 6.1.1 HCD STATEMENT OF CULTURAL HERITAGE VALUE OR STATEMENT OF SIGNIFICANCE

The Statement of Significance for the HCD is contained in the Study (Section 6.3, p. 163), and included for reference as Appendix E of this CHIA. It identifies the following values:

- Design/physical value as a “representative example of a pair of organically evolved historic village communities dating from the mid-19th century. The HCD reflects a variety of architectural styles that contribute to a varied streetscape and indicate the organic growth of the villages over time.”
- Historical/Associative Value for its “association with key figures, companies and organizations related to the development of both villages including John Kline, the Howland Brothers, the McMichael’s and Pierre Berton.”
- Contextual value due to it being “historically and functionally linked to its surroundings.”

The heritage attributes identified in the Statement of Significance include:

- A list of Landmark properties
- A list of Cultural Heritage Landscapes
- A list of views to/from heritage attributes
- Collection of structures dating from the mid-19th to early-20th century representing different architectural styles and materials expressed in rural Ontario villages during this era
- Variety of setbacks in the residential areas

The KNHCD Plan Update contains the following, additional heritage attributes:

#### 1.9.1 Heritage Character Areas

The Kleinburg-Nashville HCD is comprised of the following character areas, as illustrated in Figure 2.

Kleinburg Village, which is set on the narrow ridge between the valleys of the two branches of the Humber River and centred on what is now Islington Avenue. The village was founded in 1848 around the existence of several mills.

Nashville Village, which was established by the railway station built in 1870 that

served the Kleinburg mills and industries, as well as the farms of surrounding communities.

Humber River and its associated tributaries and valleys which are historically linked to both Kleinburg and Nashville and which influenced their development and form.

Road Links, which are shaped by topography and the ridge between the two valleys; Nashville Road and Islington Avenue.

## 6.2 CULTURAL HERITAGE VALUE OF 57 NAPIER STREET

### 6.2.1 CONTRIBUTING STATUS IN HCD

Appendix B of the updated HCD Study contains the Architectural Style Inventory/List of Contributing and Non-contributing Properties. It also provides the following definitions:

#### **Contributing**

These buildings contribute to the cultural heritage value or interest of the HCD. They support the identified cultural heritage values (see Section 6.3 - Statement of Significance). They are predominantly historic buildings from the villages of Kleinburg and Nashville. Non-historic buildings also contribute to the character of the district through their landmark architectural style or through their modest architecture that is sympathetic to the historic buildings.

#### **Non-Contributing**

These buildings do not contribute to the design or physical, historical or associative, or contextual value of the HCD.

In Appendix B of the updated HCD Study, the subject property is categorized as a 'Non-historic and Non-Contributing Style' with a 'Suburban Victorian Inspired' style, making it a non-contributing property.<sup>17</sup> Other examples of this style are found at 6, 17, 78 and 91 Napier Street. According to the Study, "these buildings do not possess any significant architectural integrity that contributes to the character of the KNHCD because they are 'faux' styles that are improperly rendered."<sup>18</sup>

### 6.2.2 FEATURES OF INTEREST

No features of interest were identified for 57 Napier Street as it is a non-contributing property in the HCD. Despite the description of the building as an 'extraordinary structure' in the KNHCD Study and Plan (2003), the in-force KNHCD Plan (2021) identifies its style as Suburban Victorian Inspired which is a faux style without significant architectural integrity that does not contribute to the character of the HCD.

<sup>17</sup> KNHCD Study, Appendix B, p. 27.

<sup>18</sup> KNHCD Study, p. 90.

## 6.2.3 O. REG. 9/06 EVALUATION

| Criteria  | Evaluation   |
|---|--|
| 1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.                             | <p><b>No</b> - The subject property contains a 1980s dwelling with a non-historic style.</p> <p>The dwelling's timber-frame structure is limited in its use of traditional details and methods (see Section 5.2.2), and is not considered a significant example of the construction method.</p>  |
| 2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.  | <p><b>No</b> - The subject property's timber-frame structure is limited in its use of traditional details and methods. Hand tool fabrication is not evident in the beams or pegs, and the joinery itself contains large gaps sometimes requiring filler or spacers. As such the property does not display a high degree of craftsmanship.</p>  |
| 3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.  | <p><b>No</b> - As a residential dwelling, no instances of technical or scientific achievement were identified for the subject property.</p>  |
| 4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. | <p><b>No</b> - No evidence was identified materially relating the subject property to the school located directly west.</p> <p>While the historic dwelling observed on the 1954 aerial may have had connections to the public school, it has been demolished and any associations have been lost.</p> <p>The subject property does not have direct associations to a theme, event, belief, person, activity, organization or institution that is significant to the community.</p> |

| Criteria  | Evaluation   |
|---|--|
| 5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.                   | <b>No</b> - No significant sources of information were identified linking the property to the potential understanding of a community or culture. |
| 6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community. | <b>No</b> - No architect, artist, builder, designer or theorist was identified for the subject property.   |
| 7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.   | <b>No</b> - The subject property is not important in defining, maintaining or supporting the character of the area.                              |
| 8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.   | <b>No</b> - The subject property is not physically, functionally, visually or historically linked to its surroundings.                           |
| 9. The property has contextual value because it is a landmark.  | <b>No</b> - The subject property is not considered a landmark.   |

## 7.0 SUMMARY OF PROPOSED DEVELOPMENT

The proposed development for the subject property involves demolition of the existing one-and-a-half storey dwelling and separate garage building, followed by construction of a new two-storey residential building (see Appendices A, B, C & D). The existing pool and cabana structure are to remain. The new dwelling has a proposed building height of 9.5m, and minimum front setback of 7.07m. The side yard setbacks are both 1.5m, consistent with those of the existing house and garage structures.

The design of the new dwelling is based on historic forms and materials found within the district, particularly the Victorian Gothic Revival style. The main (south) elevation is defined by a main side-gable form, intersected on its east side by a full-height cross-gable. It features an off-centre door, beneath a porch covered by a bell-cast metal roof extending the width of the side-gable. The cross-gable features a prominent bay window at grade with bell-cast roof matching that over the porch. The elevation employs symmetry in its composition, in keeping with tendencies of domestic Victorian Gothic design. A smaller cross-gable is centred above the paired garage doors, with symmetrical windows in between at the second storey. Within the cross-gable all windows are likewise centred. The side elevations are characterized by individual window and door openings, whereas the rear elevation features more contemporary arrangements of doors and windows.

Materials include red clay brick, and stone cladding for portions of the raised foundation. Raised brick detailing includes quoining and band courses in the pediment bases. Main roofs are clad with black asphalt shingles, with black soffit/fascia and trim. Windows are set within rectangular openings, beneath splayed brick jack arches. Second storey windows are flanked by shutters reflecting functional proportions and fixed-louvre type. Windows are casement type, but designed to convey a two-over-two traditional sash appearance. The upper window in the east cross-gable is false. The front door is a wood panel type with sidelights, and garage doors are wooden with glazing.



## 8.0 IMPACT ANALYSIS AND HCD PLAN COMPLIANCE

This section provides a summary of the potential impacts of the proposed development, followed by an assessment of its compliance with the relevant objectives, policies and guidelines from the KNHCD Plan.

### 8.1 IMPACT ASSESSMENT

These impacts provided by the Vaughan CHIA Terms of Reference are presented in the table below, along with a corresponding assessment of the degree of impact and a rationale. A description is included for the subject property at 57 Napier Street, as well as neighbouring contributing properties at 51 and 67 Napier Street.

| Impact Type  | Assessment  |
|--|---|
| Destruction of any, or part of any, significant heritage attributes or features; | <p><b>No impacts</b> - 57 Napier Street is considered non-contributing within the HCD due to its classification as Suburban Victorian Inspired style. As such its demolition does not represent the destruction of significant heritage attributes. The design of the proposed redevelopment has been carefully considered to not negatively impact other heritage attributes.</p> <p>The proposed development will not result in any damage to significant heritage attributes on adjacent contributing properties at 51 and 67 Napier Street.</p> |
| Removal of natural heritage features, including trees;                           | <p><b>No impacts</b> - 57 Napier Street contains 29 mature trees. The arborist report determined that one of 29 trees suitable for preservation will need to be removed. This loss is considered minimal given the overall concentration of mature trees on the property. Nonetheless it is being mitigated by replacement with two additional trees, both located near the same western property line, with one very close to the removed tree's location (see Appendices C &amp; G). Mature</p>   |

| Impact Type   | Assessment  |
|---|---|
| Removal of natural heritage features, including trees; ( <i>continued</i> )   | <p>trees will remain a prominent feature of the property's landscape following the proposed redevelopment, resulting in a negligible overall impact to the HCD's mature trees attribute.</p> <p>Removal of trees on adjacent contributing properties at 51 and 67 Napier Street is not anticipated.</p>   |
| Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;  | <p><b>No impacts</b> - the proposed development is being designed to reflect one of the HCD's heritage architectural styles (Victorian Gothic Revival), and is compliant with the KNHCD Plan's (2021) Design Guidelines for New Development (see Section 8.2).</p> <p>As per section 8.2, the proposed development is considered sympathetic and compatible with the historic fabric and appearance of the district, and no impacts are identified for adjacent contributing properties at 51 and 67 Napier Street.</p> |
| Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden; | <p><b>No impacts</b> - there are no heritage attributes that would be in any way impacted by shadows related to the proposed new development.</p> <p>No heritage attributes were identified on adjacent contributing properties at 51 and 67 Napier Street that would be negatively impacted by the proposed development.</p>   |
| Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;  | <p><b>No impacts</b> - no relationships between heritage attributes and their surrounding contexts have been identified that would be impacted by the proposed new development.</p> <p>No relationships have been identified between adjacent contributing properties at 51 and 67 Napier Street and 57 Napier Street that would be impacted by the proposed development.</p>   |

| Impact Type  | Assessment   |
|--|--|
| Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;                        | <b>No impacts</b> - no significant views or vistas related to 57 Napier Street are identified in the KNHCD Plan (2021).<br><br>No significant views to adjacent contributing properties at 51 and 67 Napier Street are identified in the KNHCD Plan. |
| A change in land use where the change in use negates the subject property's cultural heritage value, and                             | <b>No impacts</b> - the proposed new development will not result in a change in land use.  |
| Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources. | <b>No impacts</b> - no cultural heritage resources have been identified that would be affected by any potential land disturbances related to the proposed new development, including adjacent contributing properties at 51 and 67 Napier Street.    |

## 8.2 HCD COMPLIANCE

The following objectives, policies and guidelines apply to the proposal at the subject property.

### 8.2.1 HCD OBJECTIVES

The KNHCD Plan (2021) outlines five objectives.<sup>19</sup> The specific objectives relevant to this CHIA, and their assessed compliance are listed below.

| Objective   | Compliance   |
|---|--|
| 1. Preserve, protect, maintain and restore the unique character of the villages of Kleinburg and Nashville; (HCD Plan p.19) | <b>Compliant</b> - The proposed development at 57 Napier Street adheres to the KNHCD Plan's relevant policies and guidelines to ensure the unique character of Kleinburg is preserved. See Sections 8.2.2 & 8.2.3. |
| 3. Manage designs for new development to ensure appropriate contribution to the heritage character; (HCD Plan p.20)         | <b>Compliant</b> - The proposed development at 57 Napier Street adheres to the KNHCD Plan's policies and guidelines for new development as well as urban design guidelines. See Sections 8.2.2 & 8.2.3.            |

<sup>19</sup> See Section 2.1, KNHCD Plan (2021).

## 8.2.2 POLICIES AND GUIDELINES FOR NEW DEVELOPMENT

The KNHCD Plan (2021) provides specific policies and guidelines for new development within the HCD.<sup>20</sup> The specific policies relevant to this CHIA, and their assessed compliance are listed below. Note that where compliance with policies is achieved through compliance with related guidelines, the policies are not listed in the table.

| Policy / Guideline   | Compliance   |
|--|--|
| 4.4.2 Residential Area - Site Planning Guidelines (HCD Plan p.136) | <p><b>Compliant</b> - Proposed development's front elevation setbacks (7.07m to 12.08m) adheres to the overall setback pattern in the vicinity, representing a transition between 67 Napier Street and the former setback of 51 Napier Street.</p> <p>The garage is necessarily located on the front elevation. The lot's shape is narrowest at its street frontage, preventing the ability to locate a garage with driveway in a rear-lot located ancillary building. The visual impact of the garage has been reduced by locating it on the offset portion of the main elevation, and through the use of appropriate materials consistent with the rest of the main elevation (see 4.4.2 Architectural Styles &amp; 4.4.2 Garages and Outbuildings below). The neighbouring property at 67 Napier Street also presents a front-facing garage.</p> <p>The integrated garage represents an improvement over the current condition, where a separate garage structure is located in front of the dwelling and serves as the most prominent feature visible from the street.</p> |
| 4.4.2 Residential Area - Scale and Massing (HCD Plan p.139)        | <p><b>Compliant</b> - The proposed development has a height of 9.5m, which is similar in scale to several nearby houses on Napier Street, including 54 Napier Street (9.06m), 70 Napier Street (9.45m), and 72 Napier Street (9.50m). While this height is taller than the neighbouring structure at 67 Napier Street, a number of strategies have been employed to reduce the perceived massing of the proposed development relative to 67 Napier Street. These combine to ensure that the new construction will not predominate over the adjacent building in terms of scale, and as such the design is considered compliant with scale and massing guidelines.</p>  |

<sup>20</sup> See Sections 2.5 & 4.4, KNHCD Plan (2021).

| Policy / Guideline  | Compliance   |
|---|--|
| <p>4.4.2 Residential Area - Scale and Massing (HCD Plan p.139) <i>(continued)</i></p> | <p>The proposed development is adjacent to the historic school building to the west at 67 Napier Street, which has a U-shaped plan with the original brick school structure located along the far west side of 67 Napier Street. It does not lend to a one- or two-storey description being a former schoolhouse building, but can be described as a tall gabled structure. The north wood-clad section may also be historic, and has a similar height and form. Both structures have upper stories, as evident from various dormers added through the residential conversion process. The one-storey garage portion immediately adjacent to the new development is not historic and built c.1970 (see Figure 25). This overall configuration results in spatial separation between the historic portions of the building and the proposed development, buffering perceived differences in scale between the new dwelling and heritage attributes. This also results in a very wide building as viewed from the public realm, increasing its perceived scale.</p> <p>In terms of design, perceived differences in scale have been mitigated through the use of historically compatible forms and considered massing. First, the massing has been broken up along the historic forms of the style, which are the side-gabled form and intersection cross-gable. The main side-gabled form is set back 5m from the front of the elevation (cross-gable). This relieves the massing immediately adjacent to 67 Napier Street on the west part of the subject property. Second, the portion of this massing located closest to 67 Napier Street has been reduced to a one-storey height, providing a similar scale at the two structures' closest points (Figure 37). There will be a 4.2m distance between the two buildings at this point, whereas the shortest distance between 67 Napier Street and the proposed two-storey massing will be 5.8m. Additionally, the original proposed height has been reduced through design revisions to the current level, in another effort to minimize perceived differences.</p> <p>51 Napier Street is currently vacant, and there is no dwelling to consider scale and massing against.</p> |

| Policy / Guideline  | Compliance  |
|---|---|
| <p>4.4.2 Residential Area - Scale and Massing (HCD Plan p.139) <i>(continued)</i></p> | <p>The subject property will retain grassed, planted and landscaped sideyards following the new development. The sideyards will be partially reduced on the east side due to an increased building footprint, however the west side yard will be increased due to the new building being parallel to the street rather than the side property line.</p> <p>An increase in building frontage is required to integrate the garage into the main elevation. Previously the garage was a separate structure, and its integration into the main building results in an overall improvement to the landscape and streetscape.</p>   |
| <p>4.4.2 Residential Area - Architectural Styles (HCD Plan p.140)</p>                 | <p><b>Compliant</b> - The proposed new development has been designed to reflect the Victorian Gothic Revival style, which is classified a historic and contributing style with the HCD and is appropriate for the residential area.</p> <p>Style is found in the massing, materials, and composition of the building, which uses a consistent approach to design details based on the description of the style in the KNHCD Plan (2021) and other examples of the style within the HCD.</p> <p>The style is expressed by the massing and plan, which present as a main side-gabled form intersected on one side by a full-height cross-gable. This common massing for Victorian Gothic Revival houses is complemented by other compositional features associated with the style, including a bay window within the cross-gable and the presence of an offset covered porch across the main side-gabled form.</p> <p>The design features steep gables, adding to the characteristic upward emphasis associated with Gothic aesthetics. Also important to the style is use of symmetry. The side-gabled form has a symmetrical composition arranged about the two garage doors (because the garage door bays are wider than that of the front door, these three features together do not provide a balanced basis for symmetry). This is anchored by a centred second storey double window, with cross-gable above. The double window is symmetrically flanked by single windows.</p> |



| Policy / Guideline  | Compliance  |
|---|---|
| <p>4.4.2 Residential Area<br/>- Architectural Styles<br/>(HCD Plan p.140)<br/>(continued)</p> | <p>Additionally all windows and bay structure are centrally located within the cross-gable (Figure 38).</p> <p>The walls are clad with brick with stone foundations, which are both appropriate to the style. Walls feature raised brick quoins and band courses of soldier bricks. An appropriate bell-cast roof shape with standing seam metal cladding is used at the bay window and covered porch on the main elevation. Windows with a double hung sash appearance are appropriate to the style as well as the broader HCD, as are the shutters.</p> <p>The design is not a direct replica of a Victorian Gothic Revival dwelling however, as it features a number of contemporary features and cues that distinguish it from historic buildings. Brickwork is monochromatic, rather than a combination of red and buff brick. However the playful accents of the style are still conveyed but in a more subtle fashion by raised quoins and soldier band courses. The rear and side elevations (not visible from the HCD's public realm) incorporate more obvious contemporary features in the design and size of large windows and glazed sliding doors.</p> |
| <p>4.4.2 Residential Area<br/>- Roof Form, Materials and Features (HCD Plan p.141)</p>        | <p><b>Compliant</b> - The roof design is based on a primary side-gable with several cross-gables, and is compatible with the Victorian Gothic Revival Style, and the broader HCD. The main roof cladding is also acceptable, being an asphalt shingle in dual-black colour (see Appendix D). The porch and bay window roofs are bell-cast standing seam metal roofs, reflecting appropriate Victorian roof shapes and materials.</p> <p>All venting, mechanical equipment or other openings are located on the roof of the north elevation, and not visible from the public realm.</p>  |

| Policy / Guideline                                       | Compliance  |
|--|---|
| <p>4.4.2 Residential Area - Windows (HCD Plan p.142)</p> | <p><b>Compliant</b> - Windows on street facing elevations are double-hung wood sash style, set within a splayed brick jack arch opening. Second storey windows on this elevation are flanked by shutters.</p> <p>Jack arches were used to create consistency between all openings, including the front door and two garage door openings. Jack arches with splayed bricks are an appropriate window type as per the KNHCD Plan, and are found in use on the contributing Victorian Gothic Revival house at 10443 Islington Avenue.</p> <p>The windows will present a double hung appearance with a two-over-two configuration with real muntin bars, but function as a casement type. This design reflects the windows of the broader HCD and the Victorian Gothic Revival style. Windows materials will be aluminum or wood-clad are accepted materials of the HCD Plan.</p> <p>Windows visible from the public realm reflect traditional window to wall coverage ratios. The north elevation contains larger areas of glazing, as well as glazed sliding doors, but is not visible from the public realm.</p> <p>Shutters are compatible with the Victorian Gothic Revival Style, as per their use on 376 Stegman's Mill Road as recently as 2018. The shutters have a functional appearance in their mounting, and correct proportion related to the window opening. Double windows feature a shutter width indicative of folding shutters historically used for that opening. The shutter type and material is also correct to the style's period, being of fixed-louvre construction and made from wood.</p> |
| <p>4.4.2 Residential Area - Doors (HCD Plan p.144)</p>   | <p><b>Compliant</b> - The front door incorporates a traditional wood panel door, set between two sidelights. The door reflects the traditional design, materials and placement of doors within the HCD. The use of sidelights has historic precedent within the district, and is informed by traditional proportions with the glazing occupying the upper two-thirds of sidelights.</p>   |

| Policy / Guideline  | Compliance  |
|---|---|
| 4.4.2 Residential Area - Wall Materials: Brick (HCD Plan p.144) | <p><b>Compliant</b> - The proposed brick is a red clay brick, with a molded appearance.</p> <p>Brick siding is compatible with nearby historic buildings, being one of the cladding materials identified in the HCD plan's description of the Victorian Gothic Revival style. Red is acceptable as a traditional local colour.</p>  |
| 4.4.2 Residential Area - Porches and Verandahs (HCD Plan p.145) | <p><b>Compliant</b> - Porches are commonly found on Victorian Gothic Revival style properties in the district. The proposed design reflects the appropriate aesthetics for a Victorian roof in the district with regard to location (offset along side-gable), roof profile (bell-cast), standing seam metal cladding, and column material (wood).</p>  |
| 4.4.2 Residential Area - Foundations (HCD Plan p.146)           | <p><b>Compliant</b> - Structurally, the dwelling uses foundations rising 6" above finished grade in accordance with the Ontario Building Code. However the proposed design articulates a raised foundation in stone cladding to a height of appropriate historical proportion in accordance with the KNHCD Plan. The use of stone cladding gives a structural appearance.</p>   |
| 4.4.2 Residential Area - Landscape (HCD Plan p.147)             | <p><b>Compliant</b> - The existing front landscape will retain its current ratio of paved to planted surfaces. The existing driveway will not be expanded for new parking areas, instead a portion of that area will be converted to a front door walkway and the front grassed areas will remain their current size. Decorative shrubbery will be reinstated in front of the bay window and sod reinstated throughout (see Landscape Plan in Appendix C).</p> <p>The property's mature trees will be protected according to the arborist report, although a single tree near the southwest corner of the new dwelling will need to be cut. Two replacement trees will be planted, with one very close to the area of the removed tree.</p> <p>The east and west side yard setbacks will remain unchanged from the existing house and garage conditions, however the west will contain more open space due the reorientation of the building. Rear yard fences will be 1.8m tall wood fences, as per City of Vaughan by-law requirements to enclose a pool.</p> |

| Policy / Guideline   | Compliance  |
|--|---|
| 4.4.2 Residential Area - Utility Equipment (HCD Plan p.147)        | <b>Compliant</b> - All utility and service equipment will be buried underground, or located at the west side of the building and screened by fences. No utility or service equipment will be visible from the public realm.   |
| 4.4.2 Residential Area - Garages and Outbuildings (HCD Plan p.147) | <b>Compliant</b> - Garage is located on house front, but made subordinate within the elevation's composition through a setback. Garage blends in with the structure through continuous use of red brick wall cladding and jack arches as on other walls. Garage door materials are wood with multi-light glazing and are compatible with HCD character. |

### 8.2.3 URBAN DESIGN GUIDELINES

The KNHCD Plan (2021) provides specific urban design guidelines within the HCD.<sup>21</sup> The specific policies relevant to this CHIA, and their assessed compliance are listed below:

| Policy / Guideline   | Compliance  |
|--|---|
| 4.5.3.2 Street Wall - Residential Streets (HCD Plan p.174)                             | <b>Compliant</b> - Proposed new development is generally in line with the setbacks of adjacent properties, with some variety provided by broken up massing of front elevation. See 4.4.2 Residential Area - Site Planning Guidelines in Section 8.2.2 above.  |
| 4.5.3.3 Street Wall Height and Scale - Residential Village (HCD Plan p.176)            | <b>Compliant</b> - see 4.4.2 Residential Area - Scale and Massing in Section 8.2.2 above.   |
| 4.5.4.1 Transition of New Buildings in Relation to Heritage Resources (HCD Plan p.177) | <p><b>Compliant</b> - The new development is sympathetic to the character of adjacent buildings, adhering to the KNHCD Plan's policies and guidelines for new development, and employing a style and design that complements the district.</p> <p>The new development is sensitive to adjacent contributing properties in terms of massing, scale and setbacks. Its massing references historic forms found within the district, and setbacks are sympathetic to surrounding properties. The perceived building scale has been reduced through a broken up massing, with the larger part of the</p> |

<sup>21</sup> See Section 4.5, KNHCD Plan (2021).

| Policy / Guideline  | Compliance  |
|---|---|
| <p>4.5.4.1 Transition of New Buildings in Relation to Heritage Resources (HCD Plan p.177)<br/>(continued)</p> | <p>building recessed 5m back from the front of the elevation. Single-storey heights have been used immediately adjacent to 67 Napier Street.</p> <p>The broken up front massing of 57 Napier Street provides some relief to the elevation, particularly when looking west to the historic school building at 67 Napier Street. Additionally, the portion of 67 Napier Street immediately adjacent to the new development is not historic, but the c.1970 garage addition to the former school building. As a result, any obstructed views to 67 Napier Street, which only occur at an extreme eastern vantage, will be limited to the non-historic garage portion. Views to the historic school portions will not be materially affected.</p> <p>The distance between the new development and the c.1970 garage building at 67 Napier Street is 4.2m at the closest one-storey portion, and 5.8m at the two-storey massing. The height of this adjacent portion of 67 Napier Street is unknown, but is less than 8.4m, which is the height above which 4.2m would be an insufficient setback distance per the KNHCD Plan. Taking into consideration the 5.8m setback, the maximum height would be much higher, in excess of 11m.</p> <p>51 Napier Street is currently a vacant lot, without built heritage resources to consider for transitions.</p> |
| <p>4.5.6.1 Private Realm Design Guidelines - Private Trees (HCD Plan p.183)</p>                               | <p><b>Compliant</b> - A landscape plan has been prepared for the new development, reflecting planting and sod reinstatements. All mature trees to be retained and adequately protected, with the exception of one that must be removed to facilitate construction. Two replacement trees are indicated as required, including serviceberry and beech species, both of which are recommended in Section 4.6 of the KNHCD Plan containing Landscape Design Guidelines. Landscape plan reflects the recommendations and requirements outlined in the arborist report (see Appendices C &amp; G).</p>   |

### **8.3 SUMMARY**

The impact analysis finds that there are no impacts from the proposed development on the cultural heritage value of the property, adjacent properties, or HCD. The proposed development is also found to be compliant with the objectives, policies and guidelines provided by the KNHCD Plan.

As such the proposed development is found to have no impacts to cultural heritage value, and be compliant with the KNHCD Plan.



## **9.0 MITIGATION, ALTERNATIVES & CONSERVATION METHODS**

### **9.1 MITIGATION**

Since the proposed development is found to have no impacts to cultural heritage value and be compliant with the KNHCD Plan, mitigation measures are not required.

### **9.2 ALTERNATIVES**

Since the proposed development is found to have no impacts to cultural heritage value and be compliant with the KNHCD Plan, alternatives are not recommended.

### **9.3 CONSERVATION METHODS**

Due to a lack of significant heritage features on the subject property, conservation methods are not recommended as part of this CHIA. Conservation of the HCD's heritage values is supported through adherence to the objectives, policies and guidelines provided in the KNHCD Plan (see Section 8.2 above).

## 10.0 FIGURES



Figure 1 Satellite image showing the context of 57 Napier Street outlined in red (Google; CBCollective 2023).



Figure 2 Satellite image outlining the 57 Napier Street property in 2022 (YorkMaps; CBCollective).





Figure 3: Looking northeast at the garage building near the front of the property (CBCollective, 2023).



Figure 4: View of the main (south) elevation on the main dwelling (CBCollective, 2023).





Figure 5: Looking southwest at the dwelling from the cabana (CBCollective, 2023).



Figure 6: View of the rear (north) elevation of the dwelling (CBCollective, 2023).





Figure 7: Various windows on the east elevation of the dwelling (CBCollective, 2023).



Figure 8: Larger windows observed near the rear portion of the east elevation (CBCollective, 2023).





Figure 9: View of the dwelling's west elevation, with window casing's evident (CBCollective, 2023).



Figure 10: View of the interior kitchen area at grade (CBCollective, 2023).



Figure 11: Looking north from the kitchen area toward the rear of the dwelling (CBCollective, 2023).



Figure 12: View of exposed timber framing in the master bedroom (CBCollective, 2023).





Figure 13: Exposed timbers in the north end living room (CBCollective, 2023).



Figure 14: Loft detail above the north end living room (CBCollective, 2023).



Figure 15: Standalone fireplace with chimney in the north end living room (CBCollective, 2023).



Figure 16: Different exposed roofing construction observed in the loft off the north elevation (CBCollective, 2023).





Figure 17: Modern framing and concrete block foundations in the basement (CBCollective, 2023).



Figure 18: The rear addition in the basement, with plywood subfloor resting directly on grade (CBCollective, 2023).





Figure 19: Detached dwelling west of the subject property at 85 Napier Street (CBCollective, 2023).



Figure 20: Detached recently completed dwelling at 66 Napier Street (CBCollective, 2023).





Figure 21: The vacant site at 51 Napier Street, immediately east of the subject property (CBCollective, 2023).



Figure 22: Looking north at 67 Napier Street. The brick building is c.1856 schoolhouse (note Flemish bond), and the half-timbered structure behind may also be historic. The c.1970 garage addition is out of frame to the right (CBCollective, 2023).







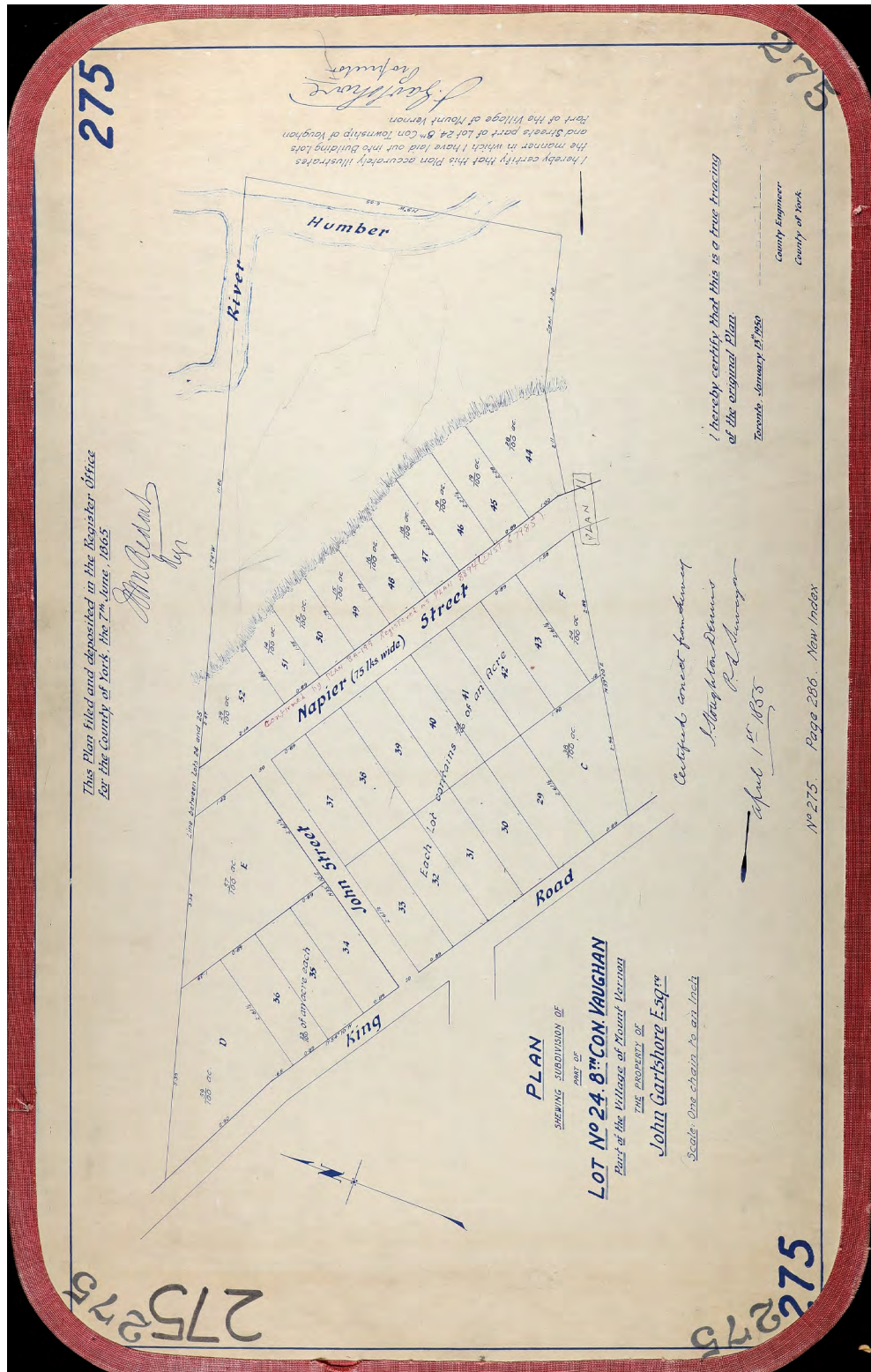


Figure 24: Plan 275, showing the area reserved as "Lot A" on the 1848 Plan 9 subdivided into building lots and roads. The plan was surveyed in 1855 and registered in 1865. 57 Napier Street corresponds to Lot 45 on this plan (OnLand - York Region).





Figure 25: c.2003 photograph of 67 Napier Street from the HCD Plan Inventory sheet, showing the brick schoolhouse (left), wooden section (centre), and c.1970 garage (right) (KNHCD Plan September 2021: Part 3 - The Inventory).



Figure 26: Detail from Tremaine's 1860 Map of York County centred on the Village of Kleinburg. Napier Street is shown, but the map does not show individual buildings (University of Toronto).



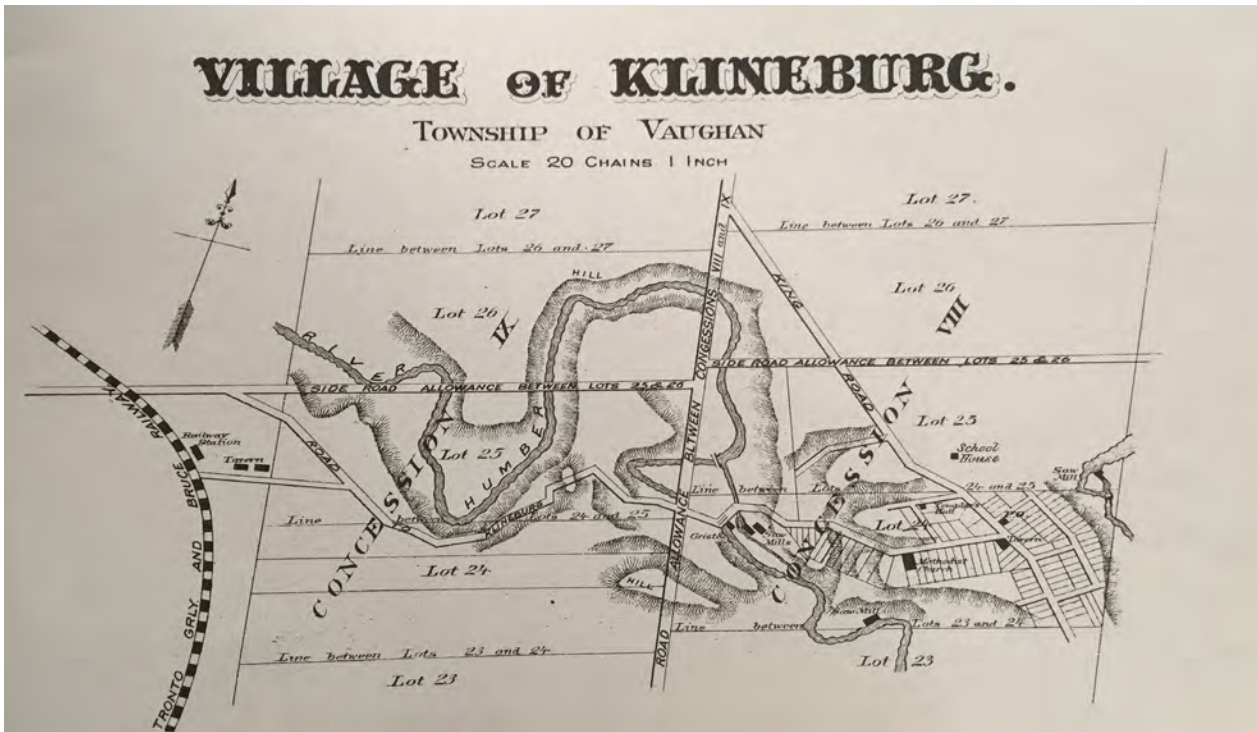


Figure 27: Map of the Village of Kleinburg from the 1878 York County Atlas. Napier Street and surrounding building lots are shown, but individual residential buildings are not rendered. The school is incorrectly shown in Lot 25, northwest of its actual historic location (*Historical Atlas of York County*).



Figure 28: c.2003 photograph of 57 Napier Street, showing the earlier garage structure that was replaced by the current garage around 2011 (*KNHCD Plan September 2021: Part 3 - The Inventory*).



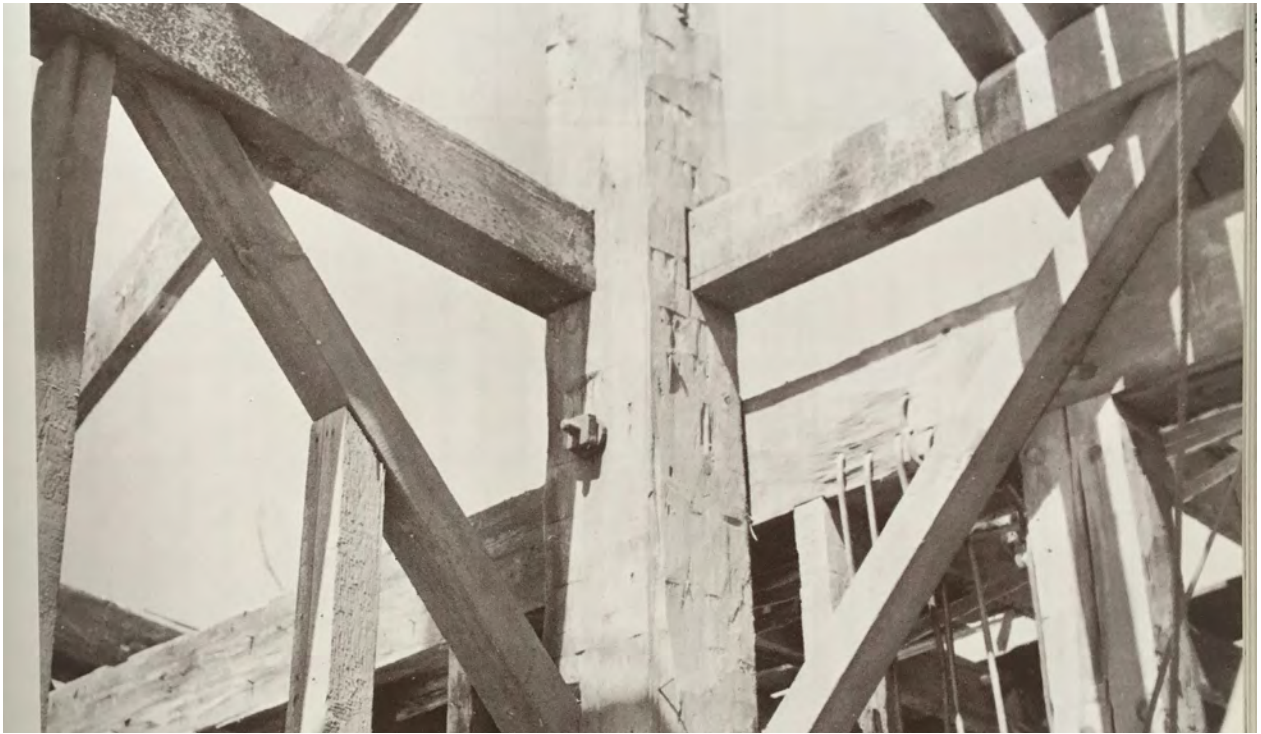


Figure 29: Photograph of Grace Church, Markham (demolished) showing typical markings and finish texture when timbers are hewn by hand (*Rempel, Building with Wood, p.129*).



Figure 30: Timbers at 57 Napier Street do not show evidence of hand-tool finishing (*CBCollective, 2023*).



Figure 31: Perfectly round pegs are suggestive that dowels were used, and pegs were not created by hand tools (*CBCollective, 2023*).

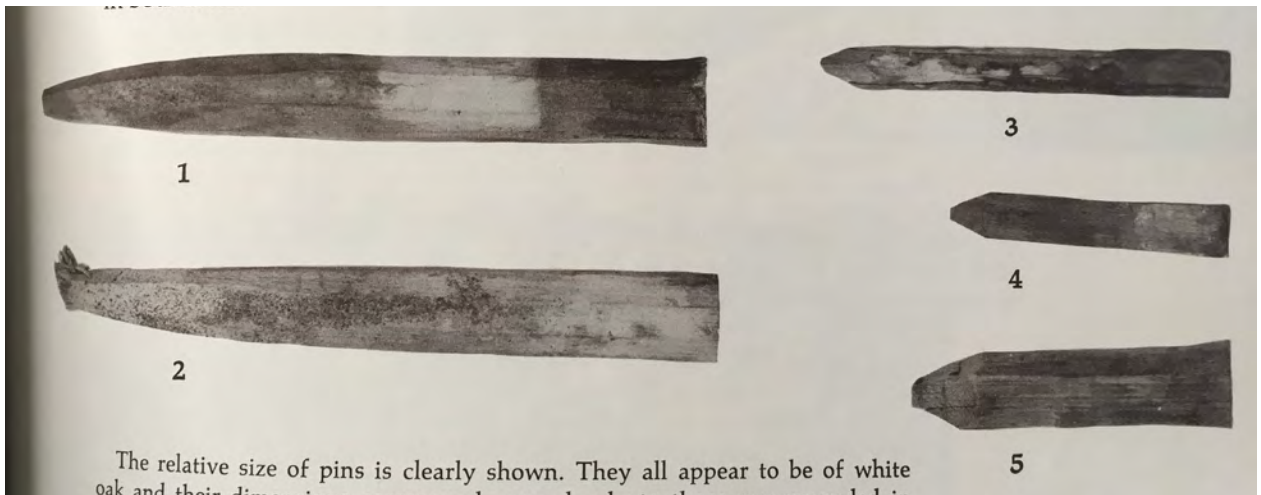


Figure 32: Examples of peg shapes, textures and resulting profiles that result from the use of a draw knife to create them manually (*CBCollective, 2023*).



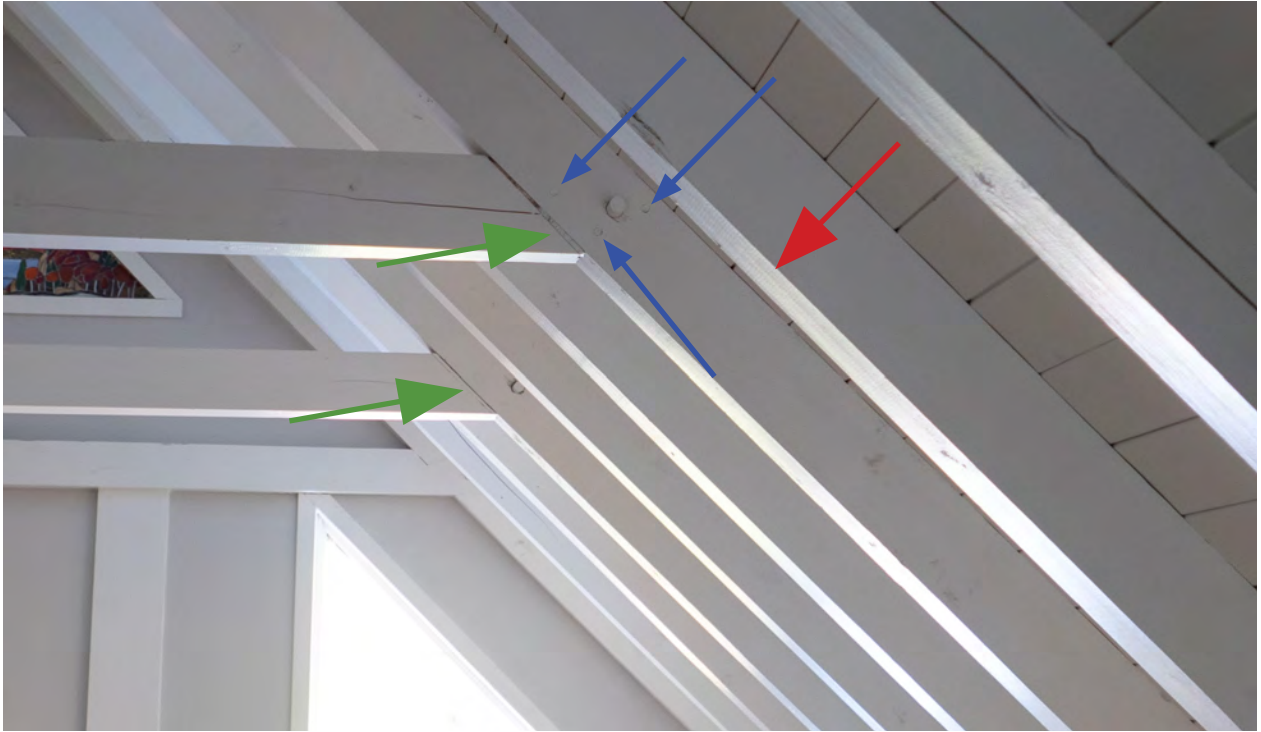


Figure 33: Filled holes around the peg suggest additional fasteners may have been used to assemble the frame (blue). Band saw texture marks are visible on the underside of rafters (red), and tie-beams have very loose joints that require spacers to fill the gaps (green) (CBCollective, 2023).



Figure 34: Joints are not particularly tight above the living room loft (CBCollective, 2023).



Figure 35: Use of filler shows lack of precision in joint (*CBCollective, 2023*).



Figure 36: Moisture problems in the basement have resulted in the removal of previous finishes (*CBCollective, 2023*).



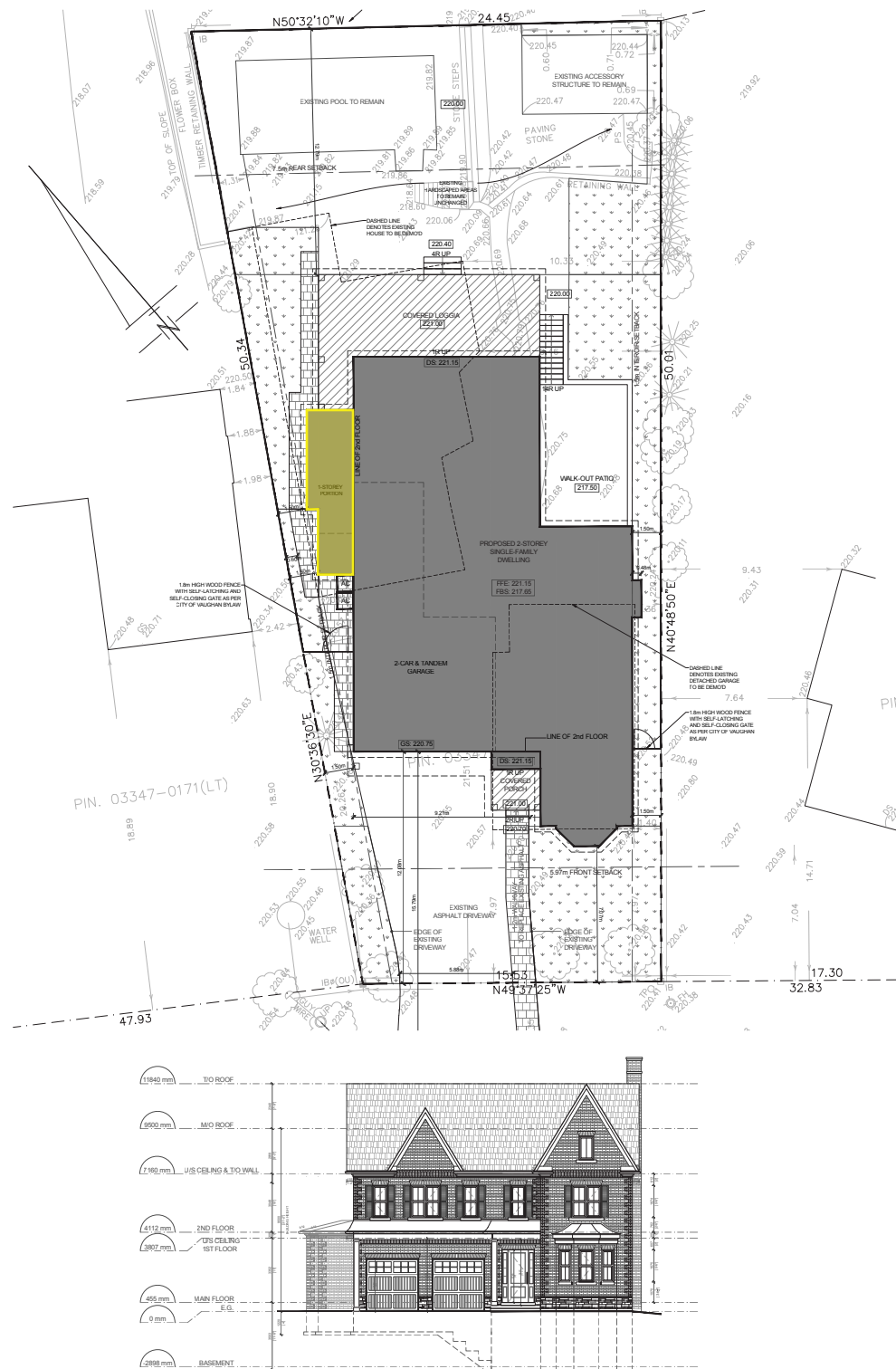


Figure 37: Site plan and elevation drawing showing the portion of 57 Napier Street that has been reduced to a single storey to transition the scale (Fausto Cortese Architects).





Figure 38: Diagram showing the different axes of symmetry used on the composition of the main (south) elevation of the proposed development (Fausto Cortese Architects).

## 11.0 SOURCES

*1878 Illustrated Historical Atlas of York County Ontario*. Belleville: Mike Silk Screening Limited, 1972.

Carter, Philip H. *Kleinburg-Nashville Heritage Conservation District Study and Plan*, 2003.

City of Vaughan, *Kleinburg-Nashville Heritage Conservation District Study and Plan*, 2021.

Reaman, G. Elmore. *A History of Vaughan Township*. Toronto: University of Toronto Press, 1971.

Rempel, John I. *Building with Wood and Other Aspects of nineteenth-century building in Ontario*. Toronto: University of Toronto Press, 1967.

*Tremaine's Map of the County of York Canada West, Compiled and Drawn by Geo. R. Tremaine from Actual Surveys Toronto Published by Geo. C. Tremaine, 1860.*

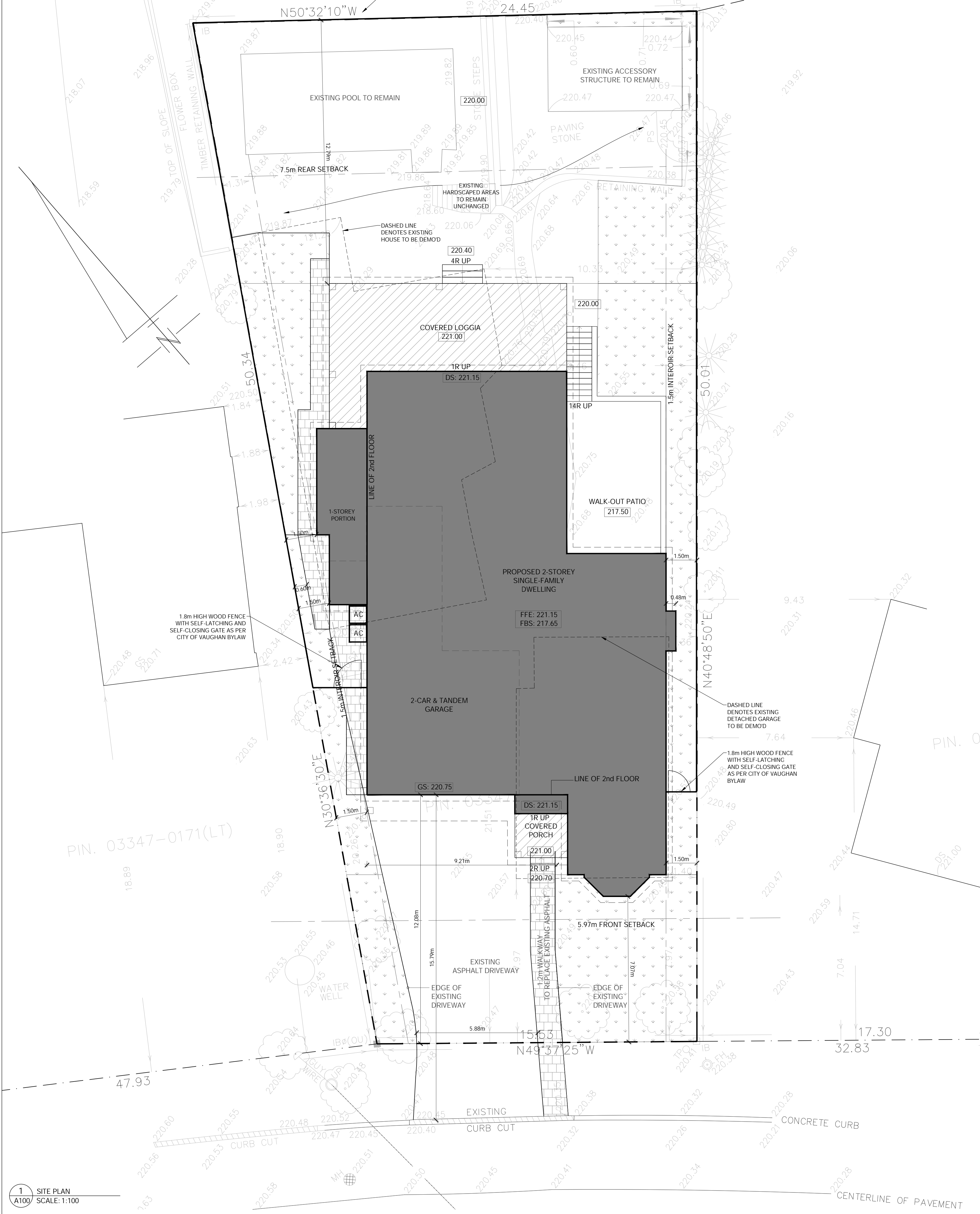
York Region Land Registry Office (65). York Region (65), Vaughan, Book 219, "Concession 8; Lot 24 To 35".

York Region Land Registry Office (65). York Region (65), Vaughan, Book 469, "Plan 275".

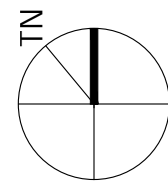
York Region. YorkMaps: General Map. <https://maps.york.ca/Html5ViewerPublic/Index.html?viewer=GeneralInteractiveMap.YorkMaps>

## **APPENDIX A: SITE PLAN & DRAWINGS**

**FAUSTO CORTESE ARCHITECTS - DECEMBER 5, 2023**



KEY PLAN



SITE DEVELOPMENT

| ZONE                           | ZONE R1 (BY-LAW 1-88)      | ZONE R1A(EN)- 236 (BY-LAW 01-2021)   | PROVIDED                    |
|--------------------------------|----------------------------|--|-----------------------------|
|                                |                            |  | m2                          |
| TOTAL LOT AREA                 | 700 m2                     | 540 m2   | 996 m2                      |
| LOT COVERAGE                   | BY-LAW 1-88                | BY-LAW 01-2021   | PROVIDED                    |
| LOT FRONTAGE                   | 18 m                       | 18 m   | 15.53 m (EXISTING)          |
| COVERAGE                       |                            |  | BY-LAW 1-88 & BYLAW 01-2021 |
| PROPOSED HOUSE                 | -                          | -  | 29.98%                      |
|                                |                            |  | AREA 298.65 m2              |
| REAR LOGGIA                    | -                          | -  | 5.44%                       |
|                                |                            |  | AREA 54.21 m2               |
| FRONT PORCH                    | -                          | -  | 0.55%                       |
|                                |                            |  | AREA 5.46 m2                |
| ACCESSORY STRUCTURE (EXISTING) | -                          | -  | 2.68%                       |
|                                |                            |  | AREA 26.73 m2               |
| TOTAL COVERAGE                 | 30%                        | 40%  | 38.65 %                     |
|                                |                            |  | AREA 385.05 m2              |
| MAX. HEIGHT                    | 9.50 m                     | 9.50 m<br>[The least (more restrictive) of 9.50 m (as per RA1) or as per ("EN" suffix) existing BH + 3m (6.50 m + 3m = 9.50 m), MIN. 8.50 m] | 9.50 m                      |
| FRONT SETBACK                  | 7.50 m                     | 7.50 m<br>[The lesser (less restrictive) of 7.50 m (as per RA1) or as per ("EN" suffix) existing FY - 2m (7.97m - 2m = 5.97m) or MIN. 4.5m]  | 7.07 m                      |
| REAR SETBACK                   | 10 m                       | 10 m (EXC. 236)  | 12.79 m                     |
| INTERIOR RIGHT SIDEYARD        | 1.50 m                     | 1.50 m   | 1.50 m                      |
| INTERIOR LEFT SIDEYARD         | 1.50 m                     | 1.50 m   | 1.50 m                      |
| REAR YARD SOFT LANDSCAPING     | 99.6m2 (301m2 - 135m2)*60% | 99.6m2 (301m2 - 135m2)*60%   | 43.50m2 (26.2%)             |

|     |                                |            |
|-----|--------------------------------|------------|
| 6   | ISSUED FOR CLIENT REVIEW & HIA | 2023-12-05 |
| 5   | ISSUED FOR HIA                 | 2023-11-08 |
| 4   | ISSUED FOR HERITAGE COORD.     | 2023-10-25 |
| 3   | ISSUED FOR CLIENT REVIEW       | 2023-10-24 |
| 2   | ISSUED FOR CLIENT REVIEW       | 2023-10-05 |
| 1   | ISSUED FOR CLIENT REVIEW       | 2023-06-24 |
| No. | DESCRIPTION                    | DATE       |

|                               |
|-------------------------------|
| ISSUED FOR CONSTRUCTION       |
| ISSUED FOR BID                |
| ISSUED FOR BUILDING PERMIT    |
| ISSUED FOR SITE PLAN APPROVAL |
| SUBMITTALS                    |

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND SIGNED BY THE DESIGNER.  
DO NOT SCALE DRAWINGS.

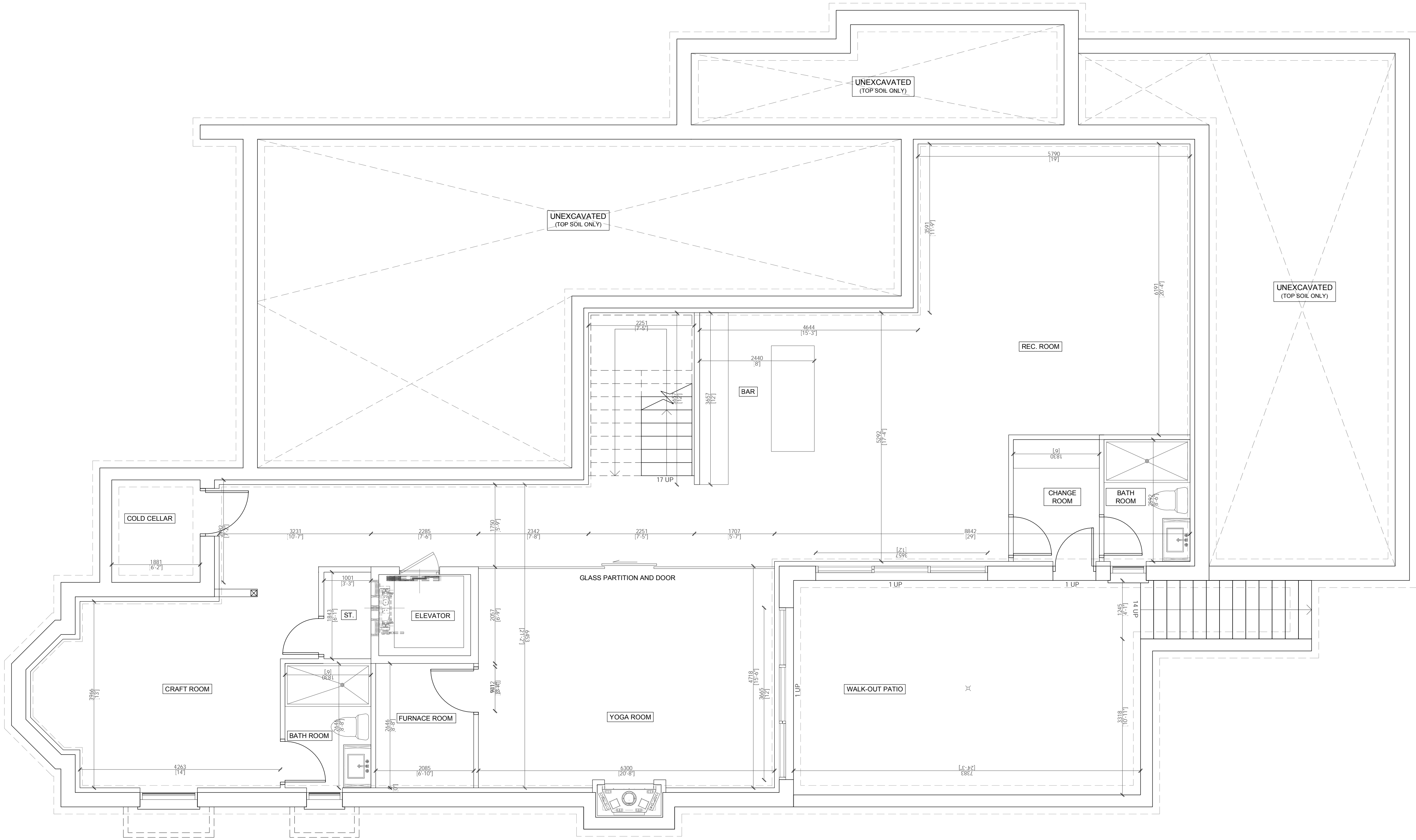
**FCA**

**FAUSTO CORTESE**  
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
905-303-7416  
FCORTESE@FCAARCHITECTS.CA

NEW 2-STOREY DWELLING  
OPTION 3  
57 NAPIER STREET  
VAUGHAN, ON  
K9L 6B9  
CITY OF VAUGHAN

|              |            |
|--------------|------------|
| DRAWING:     | SITE PLAN  |
| OPTION:      | 3          |
| PLOTTED:     | N/A        |
| DATE:        | 02/06/2023 |
| SCALE:       | AS NOTED   |
| DRAWN BY:    | L.C.       |
| REVIEWED BY: | F.C.       |
| PROJECT NO:  | 2023-11    |
| DRAWING NO:  | A100       |



KEY PLAN

| 6   | ISSUED FOR CLIENT REVIEW & HIA | 2023-12-05 |
|-----|--------------------------------|------------|
| 5   | ISSUED FOR HIA                 | 2023-11-08 |
| 4   | ISSUED FOR HERITAGE COORD.     | 2023-10-25 |
| 3   | ISSUED FOR CLIENT REVIEW       | 2023-10-24 |
| 2   | ISSUED FOR CLIENT REVIEW       | 2023-10-05 |
| 1   | ISSUED FOR CLIENT REVIEW       | 2023-06-24 |
| No. | DESCRIPTION                    | DATE       |

REVISIONS

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

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**FCA**

**FAUSTO CORTESE**  
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NEW 2-STORY DWELLING  
57 NAPIER STREET  
VAUGHAN, ON  
K1M 1N1  
CITY OF VAUGHAN

BASEMENT FLOOR

—

PLOTTED: N/A

DATE: 02/06/2023

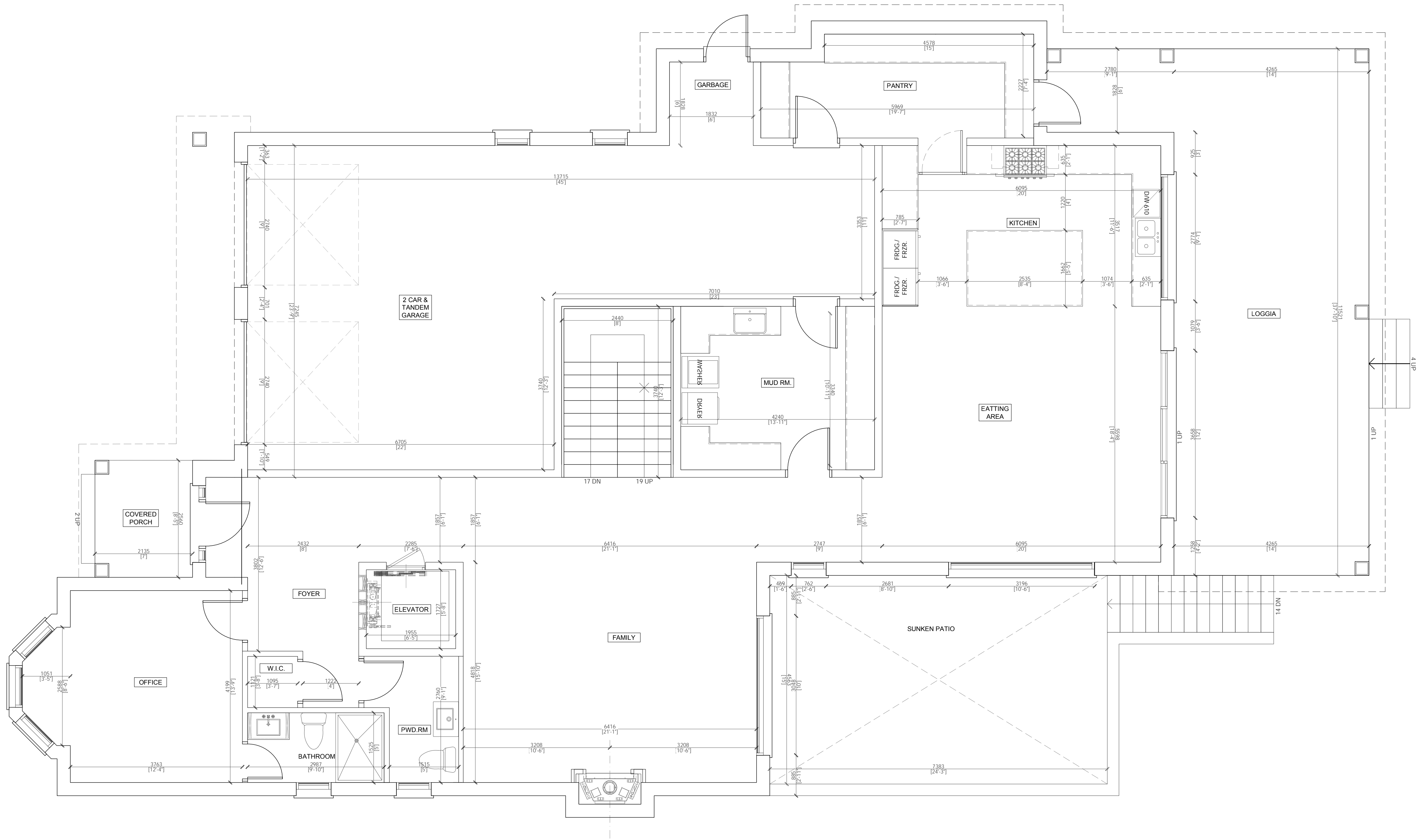
SCALE: AS NOTED

DRAWN BY: L.C.

REVIEWED BY: F.C.

PROJECT NO: 2023-11

DRAWING NO: A200



| AREA SCHEDULE             |           |            |
|---------------------------|-----------|------------|
| MAIN FLOOR (excl. garage) | 217.27 m2 | 2339 sq/ft |
| 2ND FLOOR                 | 274.16 m2 | 2951 sq/ft |
| G.F.A.                    | 491.43 m2 | 5290 sq/ft |

|     |                                |            |
|-----|--------------------------------|------------|
| 6   | ISSUED FOR CLIENT REVIEW & HIA | 2023-12-05 |
| 5   | ISSUED FOR HIA                 | 2023-11-08 |
| 4   | ISSUED FOR HERITAGE COORD.     | 2023-10-25 |
| 3   | ISSUED FOR CLIENT REVIEW       | 2023-10-24 |
| 2   | ISSUED FOR CLIENT REVIEW       | 2023-10-05 |
| 1   | ISSUED FOR CLIENT REVIEW       | 2023-06-24 |
| No. | DESCRIPTION                    | DATE       |

|                               |
|-------------------------------|
| ISSUED FOR CONSTRUCTION       |
| ISSUED FOR BID                |
| ISSUED FOR BUILDING PERMIT    |
| ISSUED FOR SITE PLAN APPROVAL |
| SUBMITTALS                    |

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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DO NOT SCALE DRAWINGS.

**FCA**

**FAUSTO CORTESE**  
ARCHITECTS

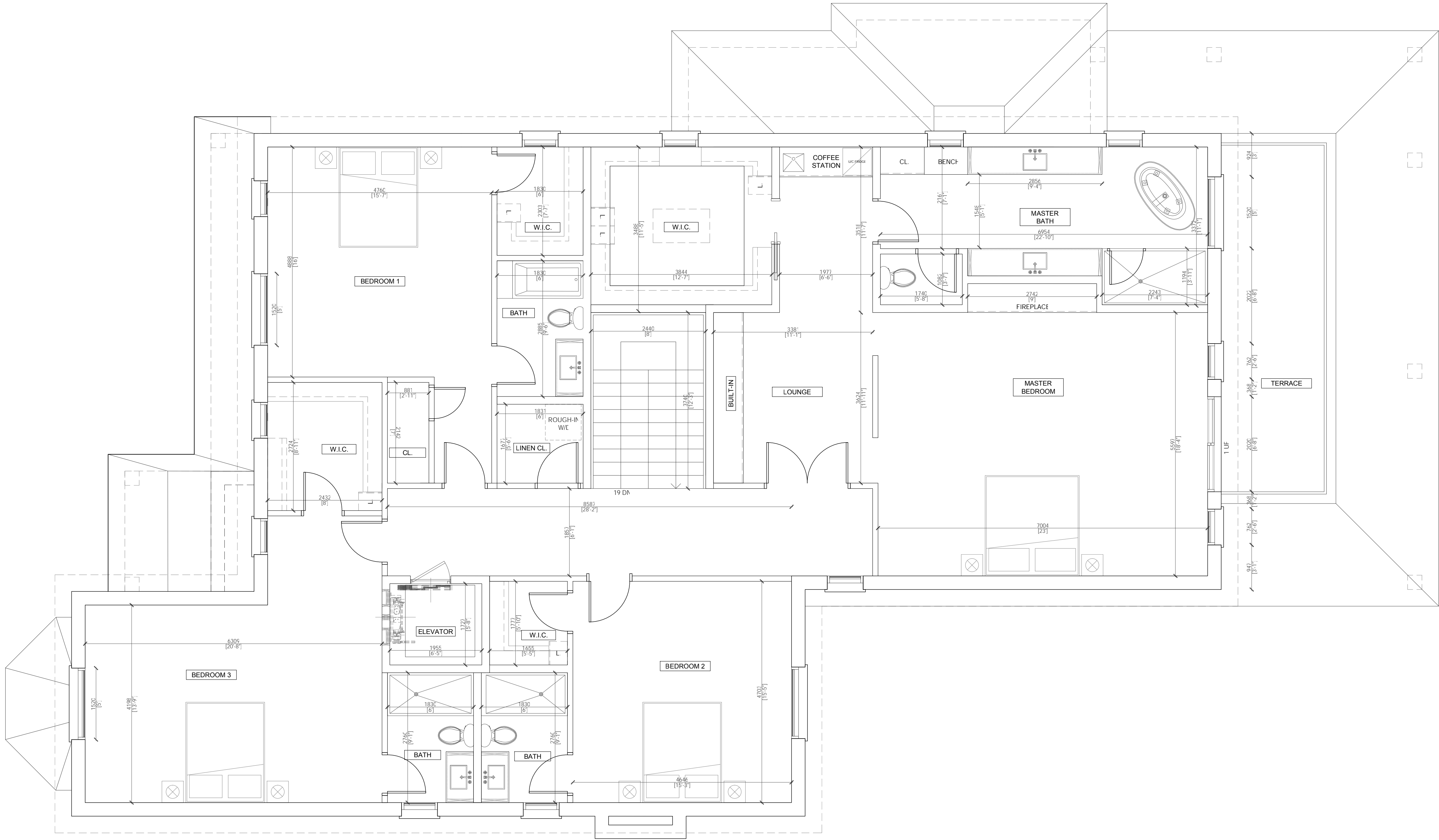
3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
905-303-7416  
FCORTESE@FCAARCHITECTS.CA

DRAWING:  
NEW 2-STORY DWELLING  
57 NAPIER STREET  
VAUGHAN, ON  
K9E 1B9  
CITY OF VAUGHAN

DRAWING:  
MAIN FLOOR

PLOTTED: N/A  
DATE: 02/06/2023  
PROJECT No: 2023-11

SCALE: AS NOTED  
DRAWN BY: L.C.  
REVIEWED BY: F.C.  
DRAWING No: A201  
POST SCALE: 1"



| AREA SCHEDULE             |           |            |
|---------------------------|-----------|------------|
| MAIN FLOOR (excl. garage) | 217.27 m2 | 2339 sq/ft |
| 2ND FLOOR                 | 274.16 m2 | 2951 sq/ft |
| G.F.A.                    | 491.43 m2 | 5290 sq/ft |

|     |                               |            |
|-----|-------------------------------|------------|
| 6   | ISSUED FOR CLIENT REVIEW & HW | 2023-12-05 |
| 5   | ISSUED FOR HW                 | 2023-11-04 |
| 4   | ISSUED FOR HERITAGE COORD     | 2023-10-25 |
| 3   | ISSUED FOR CLIENT REVIEW      | 2023-10-24 |
| 2   | ISSUED FOR CLIENT REVIEW      | 2023-10-05 |
| 1   | ISSUED FOR CLIENT REVIEW      | 2023-06-24 |
| No. | DESCRIPTION                   | DATE       |

| REVISIONS                     | DATE |
|-------------------------------|------|
| ISSUED FOR CONSTRUCTION       |      |
| ISSUED FOR BIC                |      |
| ISSUED FOR BUILDING PERMIT    |      |
| ISSUED FOR SITE PLAN APPROVAL |      |
| SUBMITTALS                    |      |

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**FCA**

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905-303-7416  
FCORTESE@FCAARCHITECTS.CA

|                |   |
|----------------|---|
| DRAWING:       | NEW 2-STORY DWELLING<br>57 NAPIER STREET<br>VAUGHAN, ON<br>K4E6R6C<br>CITY OF VAUGHAN |
| DRAWING:       | 2nd FLOOR   |
| DATE:          | 02/06/2023  |
| PROJECT No:    | 2023-11   |
| SCALE:         | AS NOTED  |
| DRAWN BY:      | L.C.  |
| REVIEWED BY:   | F.C.  |
| PROJECT SCALE: | A202  |





| FINISHES LEGEND |   |
|-----------------|---|
| M1              | RED BRICK - PATTERN AS PER ELEVATION DRAWINGS |
| M2              | STONE   |
| M3              | PRECAST MOLDING OR TRIM - BLACK               |
| M4              | ASPHALT SHINGLES - DOUBLE BLACK               |
| M5              | METAL ROOF                                    |

| LIMITING DISTANCE CALCULATIONS |                   |                            |                                    |                          |                                   |
|--------------------------------|-------------------|----------------------------|------------------------------------|--------------------------|-----------------------------------|
|                                | LIMITING DISTANCE | EXPOSED BUILDING FACE AREA | ALLOWABLE % OF UNPROTECTED OPENING | UNPROTECTED OPENING AREA | % OF UNPROTECTED (GLAZED) OPENING |
| NORTH ELEVATION (REAR)         | 1.50 m            | 122.42 m2                  | 100%                               | 38.32 m2                 | 31.30%                            |
| SOUTH ELEVATION (FRONT)        | 14.22 m           | 113.92 m2                  | 100%                               | 10.18 m2                 | 8.94%                             |
| WEST ELEVATION                 | 1.50 m            | 179.32 m2                  | 7%                                 | 8.20 m2                  | 4.57%                             |
| EAST ELEVATION                 | 1.50 m            | 184.95 m2                  | 7%                                 | 12.54 m2                 | 6.78%                             |

|     |                                |            |
|-----|--------------------------------|------------|
| 6   | ISSUED FOR CLIENT REVIEW & HIA | 2023-12-05 |
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| No. | DESCRIPTION                    | DATE       |

| REVISIONS                     |
|-------------------------------|
| ISSUED FOR CONSTRUCTION       |
| ISSUED FOR BID                |
| ISSUED FOR BUILDING PERMIT    |
| ISSUED FOR SITE PLAN APPROVAL |
| SUBMITTALS                    |

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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DO NOT SCALE DRAWINGS.

**FCA**

**FAUSTO CORTESE**  
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
905-303-7416  
FCORTESE22@FCAHCHITECTS.CA

DRAWING:  
NEW 2-STORY DWELLING  
57 NAPIER STREET  
VAUGHAN, ON  
K1M 1N1  
CITY OF VAUGHAN

FRONT ELEVATION (SOUTH)

PLOTTED: N/A

DATE: 02/06/2023 PROJECT NO: 2023-11

SCALE: AS NOTED DRAWING NO: A300

DRAWN BY: L.C. REVIEWED BY: F.C.



| FINISHES LEGEND |   |
|-----------------|---|
| M1              | RED BRICK - PATTERN AS PER ELEVATION DRAWINGS |
| M2              | STONE   |
| M3              | PRECAST MOLDING OR TRIM - BLACK               |
| M4              | ASPHALT SHINGLES - DOUBLE BLACK               |
| M5              | METAL ROOF                                    |

| LIMITING DISTANCE CALCULATIONS |                   |                            |                                    |                          |                                   |
|--------------------------------|-------------------|----------------------------|------------------------------------|--------------------------|-----------------------------------|
|                                | LIMITING DISTANCE | EXPOSED BUILDING FACE AREA | ALLOWABLE % OF UNPROTECTED OPENING | UNPROTECTED OPENING AREA | % OF UNPROTECTED (GLAZED) OPENING |
| NORTH ELEVATION (REAR)         | 1.50 m            | 122.42 m2                  | 100%                               | 38.32 m2                 | 31.30%                            |
| SOUTH ELEVATION (FRONT)        | 14.22 m           | 113.92 m2                  | 100%                               | 10.18 m2                 | 8.94%                             |
| WEST ELEVATION                 | 1.50 m            | 179.32 m2                  | 7%                                 | 8.20 m2                  | 4.57%                             |
| EAST ELEVATION                 | 1.50 m            | 184.95 m2                  | 7%                                 | 12.54 m2                 | 6.78%                             |

|     |                                |            |
|-----|--------------------------------|------------|
| 6   | ISSUED FOR CLIENT REVIEW & HIA | 2023-12-05 |
| 5   | ISSUED FOR HIA                 | 2023-11-08 |
| 4   | ISSUED FOR HERITAGE COORD.     | 2023-10-25 |
| 3   | ISSUED FOR CLIENT REVIEW       | 2023-10-24 |
| 2   | ISSUED FOR CLIENT REVIEW       | 2023-10-05 |
| 1   | ISSUED FOR CLIENT REVIEW       | 2023-06-24 |
| No. | DESCRIPTION                    | DATE       |

| REVISIONS                     |  |
|-------------------------------|--|
| ISSUED FOR CONSTRUCTION       |  |
| ISSUED FOR BID                |  |
| ISSUED FOR BUILDING PERMIT    |  |
| ISSUED FOR SITE PLAN APPROVAL |  |
| SUBMITTALS                    |  |

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DO NOT SCALE DRAWINGS.

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905-303-7416  
FCORTESE@FCAARCHITECTS.CA

DRAWING: NEW 2-STORY DWELLING  
57 NAPIER STREET  
VAUGHAN, ON  
K9L 6K9  
CITY OF VAUGHAN

REAR ELEVATION (NORTH)

DATE: 02/06/2023 PROJECT NO: 2023-11  
SCALE: AS NOTED DRAWING NO: A301  
DRAWN BY: L.C. REVIEWED BY: F.C.



|           |                               |            |
|-----------|-------------------------------|------------|
| 6         | ISSUED FOR CLIENT REVIEW & HM | 2023-12-05 |
| 5         | ISSUED FOR HM                 | 2023-11-06 |
| 4         | ISSUED FOR HERITAGE COORD     | 2023-10-25 |
| 3         | ISSUED FOR CLIENT REVIEW      | 2023-10-24 |
| 2         | ISSUED FOR CLIENT REVIEW      | 2023-10-05 |
| 1         | ISSUED FOR CLIENT REVIEW      | 2023-06-26 |
| No.       | DESCRIPTION                   | DATE       |
| REVISIONS |                               |            |

|  |
|--|
| ISSUED FOR CONSTRUCTION  |
| ISSUED FOR BIC   |
| ISSUED FOR BUILDING PERMIT   |
| ISSUED FOR SITE PLAN APPROVAL  |
| <b>SUBMITTALS</b>  |
| CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS<br>AND CONDITIONS ON THE PROJECT AND MUST REPORT<br>ANY DISCREPANCIES TO THE DESIGNER BEFORE<br>PROCEEDING WITH CONSTRUCTION. |
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| DO NOT SCALE DRAWINGS.   |



| FINISHES LEGEND |   |
|-----------------|---|
| M1              | RED BRICK - PATTERN AS PER ELEVATION DRAWINGS |
| M2              | STONE   |
| M3              | PRECAST MOLDING OR TRIM - BLACK               |
| M4              | ASPHALT SHINGLES - DOUBLE BLACK               |
| M5              | METAL ROOF                                    |

| LIMITING DISTANCE CALCULATIONS |                   |                               |  |                             |                                      |
|--------------------------------|-------------------|-------------------------------|--|-----------------------------|--------------------------------------|
|                                | LIMITING DISTANCE | EXPOSED BUILDING<br>FACE AREA | ALLOWABLE % OF<br>UNPROTECTED<br>OPENING | UNPROTECTED<br>OPENING AREA | % OF UNPROTECTED<br>(GLAZED) OPENING |
| NORTH ELEVATION (REAR)         | 1.50 m            | 122.42 m2                     | 100%                                     | 38.32 m2                    | 31.30%                               |
| SOUTH ELEVATION (FRONT)        | 14.22 m           | 113.92 m2                     | 100%                                     | 10.18 m2                    | 8.94%                                |
| WEST ELEVATION                 | 1.50 m            | 179.32 m2                     | 7%                                       | 8.20 m2                     | 4.57%                                |
| EAST ELEVATION                 | 1.50 m            | 184.95 m2                     | 7%                                       | 12.54 m2                    | 6.78%                                |



|     |                            |              |
|-----|----------------------------|--------------|
| 5   | ISSUED FOR HIA             | 2023- 11- 08 |
| 4   | ISSUED FOR HERITAGE COORD. | 2023- 10- 25 |
| 3   | ISSUED FOR CLIENT REVIEW   | 2023- 10- 24 |
| 2   | ISSUED FOR CLIENT REVIEW   | 2023- 10- 05 |
| 1   | ISSUED FOR CLIENT REVIEW   | 2023- 06- 26 |
| No. | DESCRIPTION                | DATE         |
|     | REVISIONS                  |              |

|                               |
|-------------------------------|
| ISSUED FOR CONSTRUCTION       |
| ISSUED FOR BID                |
| ISSUED FOR BUILDING PERMIT    |
| ISSUED FOR SITE PLAN APPROVAL |
| SUBMITTALS                    |

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AND CONDITIONS ON THE PROJECT AND MUST REPORT  
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PROCEEDING WITH CONSTRUCTION.

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PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.



|  |                        |
|--|------------------------|
| NEW 2-STOREY DWELLING<br>(ON)<br>57 NAPIER STREET<br>VAUGHAN, ON<br>KILBURN<br>CITY OF VAUGHAN |                        |
| DRAWING:<br>SIDE ELEVATION (WEST)  |                        |
| PLOTTED: N/A   | —                      |
| DATE:<br>02/06/2023  | PROJECT No:<br>2023-11 |
| SCALE:<br>AS NOTED   | DRAWING No:<br>A303    |
| DRAWN BY:<br>L.C.  | REVIEWED BY:<br>F.C.   |

| FINISHES LEGEND |   |
|-----------------|---|
| M1              | RED BRICK - PATTERN AS PER ELEVATION DRAWINGS |
| M2              | STONE   |
| M3              | PRECAST MOLDING OR TRIM - BLACK               |
| M4              | ASPHALT SHINGLES - DOUBLE BLACK               |
| M5              | METAL ROOF                                    |

| LIMITING DISTANCE CALCULATIONS |                   |                               |  |                             |                                      |
|--------------------------------|-------------------|-------------------------------|--|-----------------------------|--------------------------------------|
|                                | LIMITING DISTANCE | EXPOSED BUILDING<br>FACE AREA | ALLOWABLE % OF<br>UNPROTECTED<br>OPENING | UNPROTECTED<br>OPENING AREA | % OF UNPROTECTED<br>(GLAZED) OPENING |
| NORTH ELEVATION (REAR)         | 1.50 m            | 122.42 m2                     | 100%                                     | 38.32 m2                    | 31.30%                               |
| SOUTH ELEVATION (FRONT)        | 14.22 m           | 113.92 m2                     | 100%                                     | 10.18 m2                    | 8.94%                                |
| WEST ELEVATION                 | 1.50 m            | 179.32 m2                     | 7%                                       | 8.20 m2                     | 4.57%                                |
| EAST ELEVATION                 | 1.50 m            | 184.95 m2                     | 7%                                       | 12.54 m2                    | 6.78%                                |

## **APPENDIX B: STREETSCAPE RENDERING**

**FAUSTO CORTESE ARCHITECTS - DECEMBER 7, 2023**





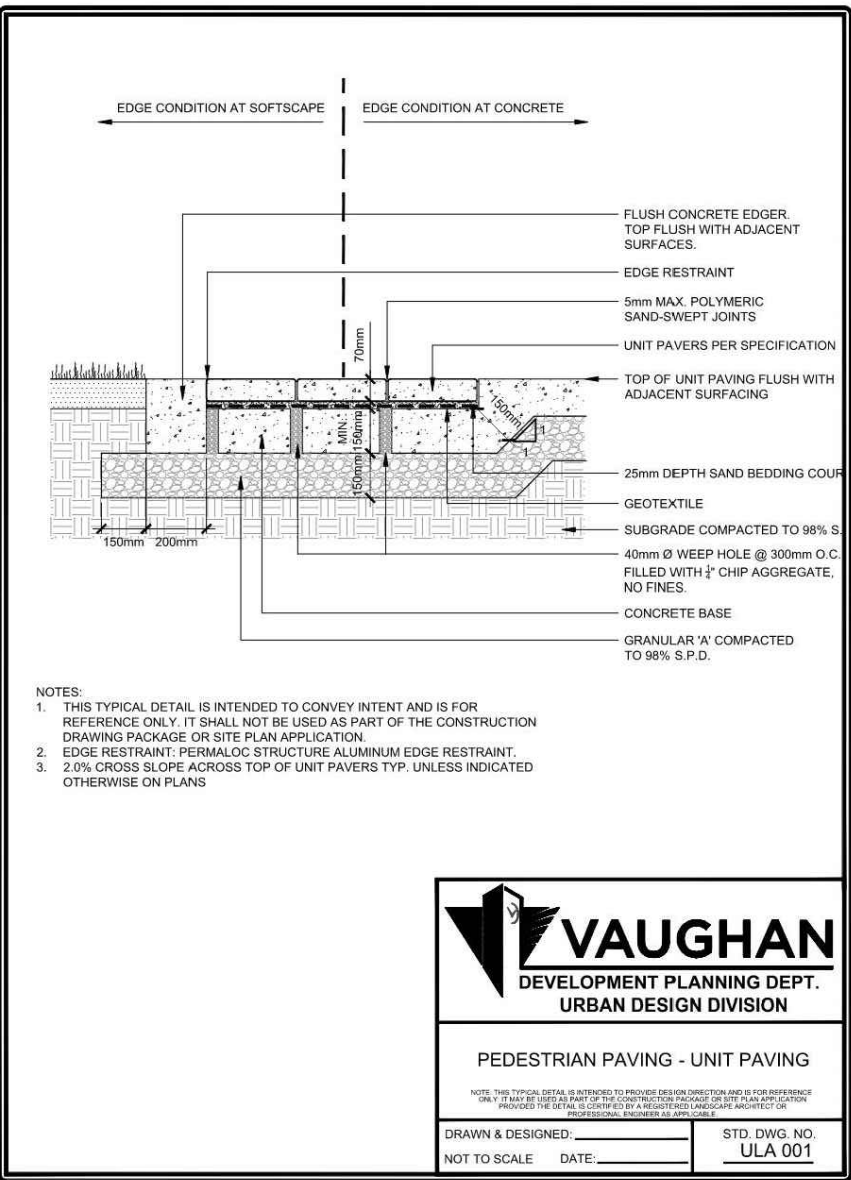
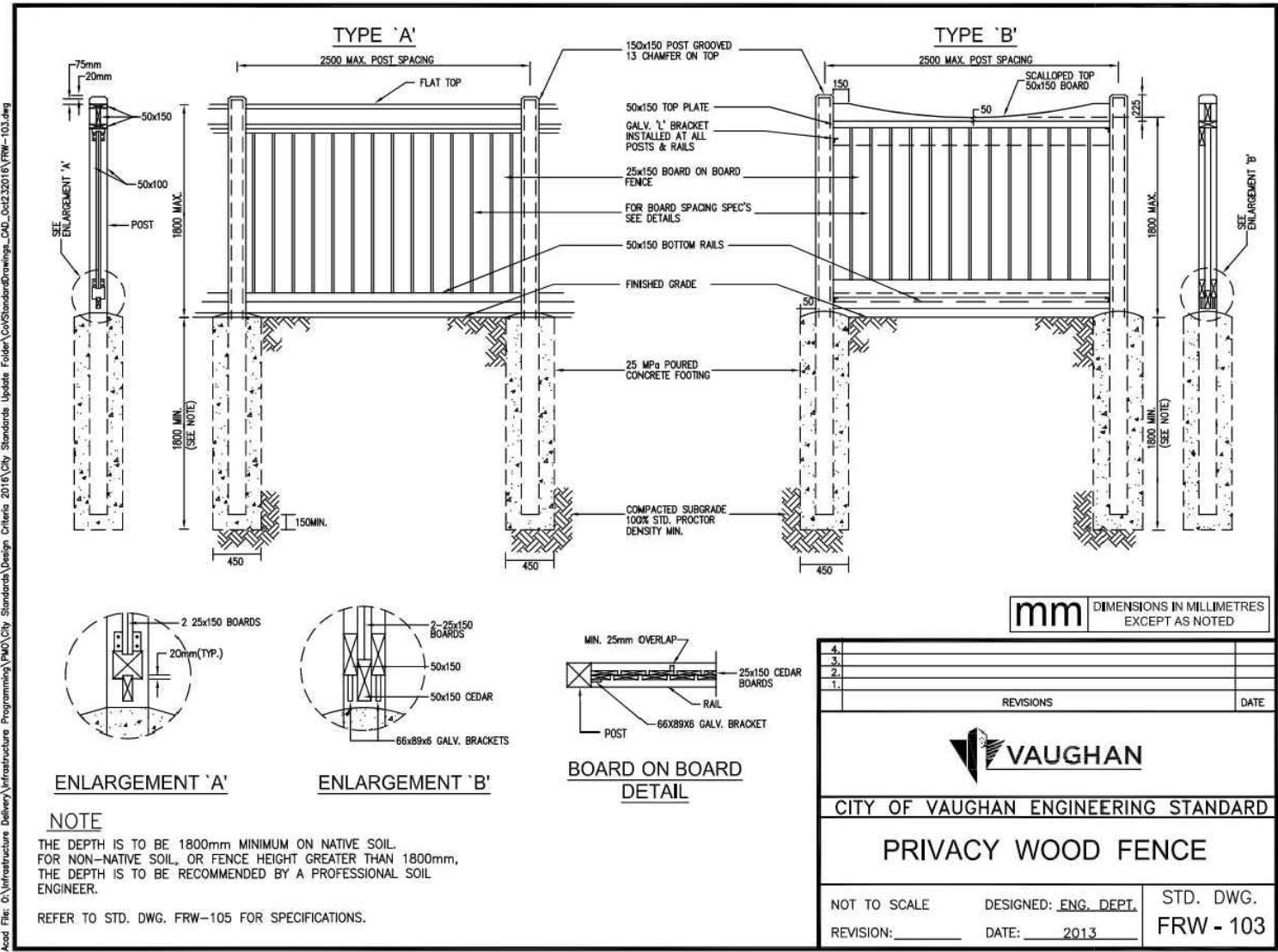
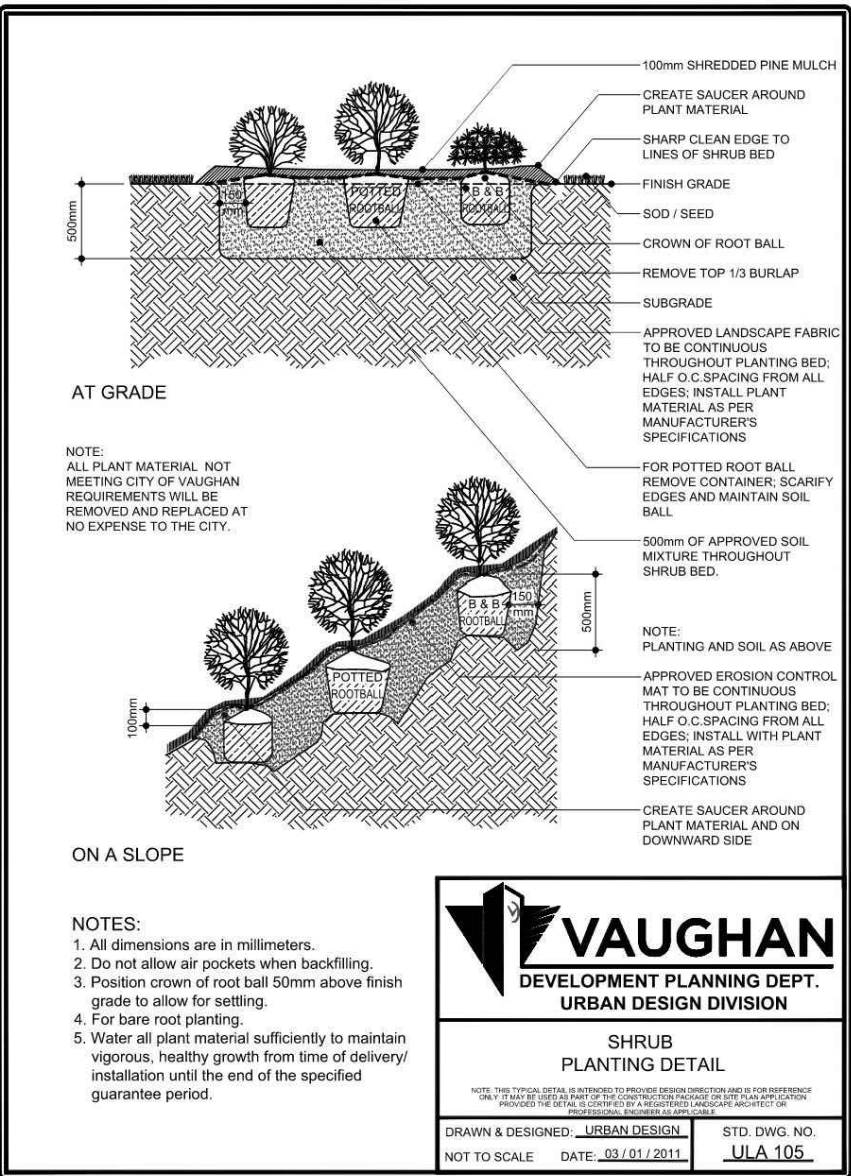
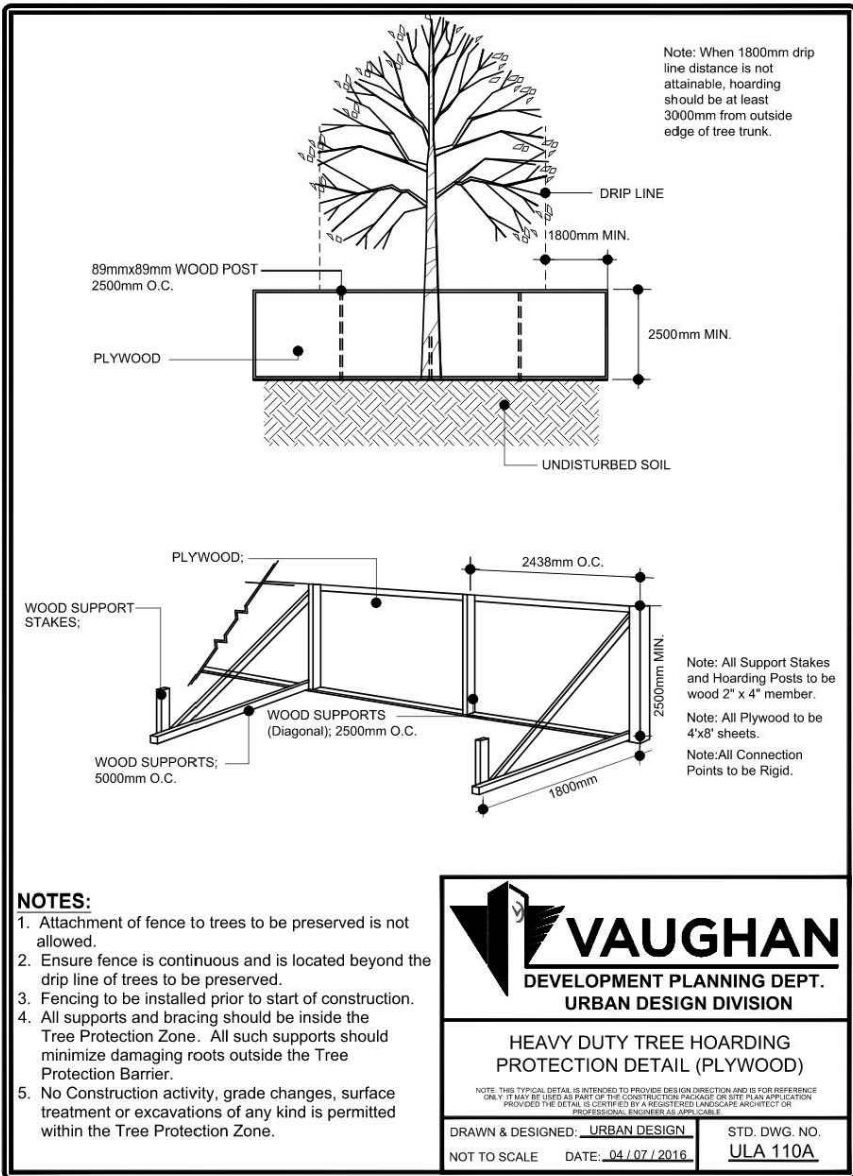
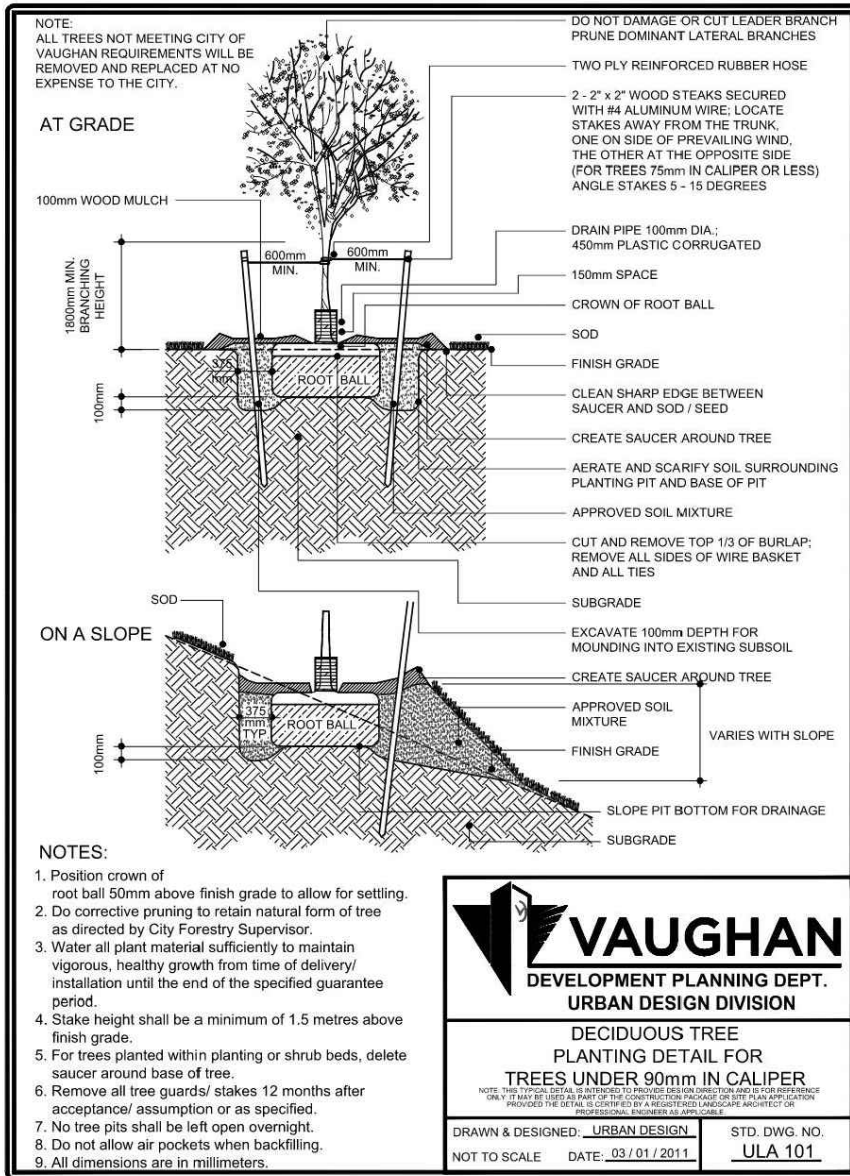
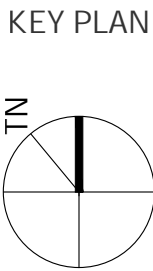
## **APPENDIX C: LANDSCAPE PLAN**

**FAUSTO CORTESE ARCHITECTS - DECEMBER 5, 2023**





| PLANT LIST        |     |                           |                   |         |        |
|-------------------|-----|---------------------------|-------------------|---------|--------|
| DECIDUOUS TREES   |     |                           |                   |         |        |
| COUNT             | KEY | BOTANICAL NAME            | COMMON NAME       | CALIPER | HEIGHT |
| 1                 | FRM | FAGUS SULVATICA           | TRICOLOR BEECH    | 50mm    | -      |
| 1                 | AME | AMELANCHIER CANADENSIS    | SERVICEBERRY      | 50mm    | -      |
| DECIDUOUS SHRUBS  |     |                           |                   |         |        |
| COUNT             | KEY | BOTANICAL NAME            | COMMON NAME       | CALIPER | HEIGHT |
| 20                | HMM | HYDRANGEA MACROPHYLLA     | MASJA HYDRANGEA   | -       | -      |
| CONIFEROUS SHRUBS |     |                           |                   |         |        |
| COUNT             | KEY | BOTANICAL NAME            | COMMON NAME       | CALIPER | HEIGHT |
| 26                | BUG | BUXUS MIC. VAR. INSULARIS | GREEN GEM BOXWOOD | -       | -      |



LANDSCAPE PLAN LEGEND

- STRUCTURE
- CONCRETE
- ASPHALT
- SOD RESTORATION
- PLANT BED
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED DECIDUOUS TREE
- DECIDUOUS SHRUBS
- CONIFEROUS SHRUBS
- TREE PROTECTION FENCE
- WOOD FENCE AND GATE

| No.   | DESCRIPTION    | DATE       |
|---|----------------|------------|
| 2   | ISSUED FOR HIA | 2023-12-09 |
| 1   | ISSUED FOR HIA | 2023-11-10 |
| REVISIONS   |                |            |
| ISSUED FOR CONSTRUCTION   |                |            |
| ISSUED FOR BID  |                |            |
| ISSUED FOR BUILDING PERMIT  |                |            |
| ISSUED FOR SITE PLAN APPROVAL   |                |            |
| SUBMITTALS  |                |            |
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| DO NOT SCALE DRAWINGS.  |                |            |

FCA

FAUSTO CORTESE ARCHITECTS

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VAUGHAN, ONTARIO, L4H 3T8  
905-303-7416  
FCORTESE@FCAARCHITECTS.CA

NEW 2-STORY DWELLING

57 NAPIER STREET

VAUGHAN, ON

KLEINBURG

CITY OF VAUGHAN

LANDSCAPE PLAN

—

DATE: 02/06/2023

PROJECT NO: 2023-11

SCALE: AS NOTED

DRAWING NO: L100

DRAWN BY: L.C.

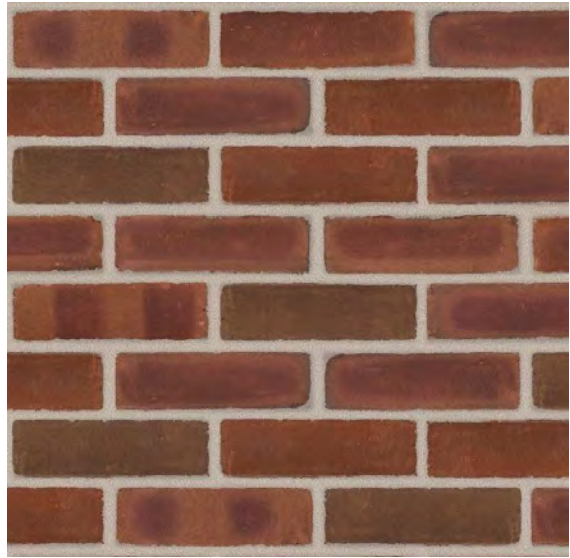
REVIEWED BY: F.C.



## **APPENDIX D: MATERIAL SAMPLE BOARD**

**FAUSTO CORTESE ARCHITECTS - DECEMBER 8, 2023**





**BRICK VENEER**

MANUFACTURER: **GLEN-GERY**  
STYLE: **MOLDED**  
NAME: **SHENANADOAH**  
**CAMBRIDGE BLEND**  
COLOUR: **BURGUNDY**



**STONE**

MANUFACTURER: **KING**  
**MASONRY**  
STYLE: **NATURAL STONE**  
NAME: **THREE QUARRY**  
**BLEND**



**WINDOW SILL**

MANUFACTURER:  
**BRAMPTON BRICK**  
STYLE: **FINESSE ACESSORY**  
COLOUR: **STANDARD WHITE**



**SHINGLES**

MANUFACTURER:  
**CAMBRIDGE SHINGLES**  
STYLE: **ASPHALT SHINGLES**  
COLOUR: **DUAL BLACK**



**METAL ROOFING**

STYLE: **STANDING SEAM**  
**METAL ROOF**  
COLOUR: **BLACK**



**GARAGE DOOR**

MANUFACTURER: **MAPLE GARAGE**  
**DOOR**  
MATERIAL: **WOOD**  
COLOUR: **BLACK**



**FRONT DOOR**

MANUFACTURER:  
**DORPLEX**  
MATERIAL: **WOOD**  
COLOUR: **BLACK**



**WINDOWS**

FRAME MATERIAL: **ALUMINUM**  
**OR WOOD-CLAD**  
COLOUR: **BLACK**  
STYLE: **CASEMENT WITH**  
**DOUBLE-HUNG APPEARANCE**



**SOFFIT & FASCIA & WALL MOLDING**

FRAME MATERIAL:  
**ALUMINUM VENTED**  
**SOFFIT AND FASCIA**  
COLOUR: **BLACK**



**SHUTTERS**

NAME: **LOUVERED**  
**SHUTTERS**  
MATERIAL: **WOOD**  
COLOUR: **BLACK**

## **APPENDIX E: KLEINBURG-NASHVILLE HCD STATEMENT OF SIGNIFICANCE**

### **KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT PLAN UPDATE PART 1 - THE STUDY SEPTEMBER 2021.**



### 6.3 STATEMENT OF SIGNIFICANCE

#### 6.3.1 Description of Property

The Kleinburg-Nashville Heritage Conservation District contains the historic villages of Kleinburg and Nashville, portions of the Humber River valley and historic road linkages. The HCD boundary is generally centred around the Kleinburg's historic core at the intersections of Islington Avenue, Nashville Road and County Road 27. It extends westerly along Nashville Road to encompass the Hamlet of Nashville, also known as Kleinburg Station, which is historically connected to the Village of Kleinburg. It includes the Humber River Valley which was the reason for development of mills at this location, thus the functional tie between the river and the villages has been preserved.

#### 6.3.2 Cultural Heritage Value or Interest

---

##### 6.3.2.1 DESIGN/PHYSICAL VALUE

**The Kleinburg-Nashville Heritage Conservation District has design/physical value as a representative example of a pair of organically evolved historic village communities dating from the mid-19<sup>th</sup> century. The HCD reflects a variety of architectural styles that contribute to a varied streetscape and indicate the organic growth of the villages over time.** In 1848, John Kline bought 83 acres of Lot 24 in Concession 8, west of Islington Avenue. He built both a sawmill and a gristmill, and according to plans from 1848, he subdivided his land into quarter-acre lots, anticipating the village that would grow up around his mills. In 1851, Kline sold his property to James Mitchell, who sold it the following year to the Howland brothers. By 1860, the village around the mills had grown to include a tanner, a tailor, a bootmaker, a carriage maker, a doctor, a saddler and harness maker, an undertaker, two hotels, a church and a school. By 1870 a chemist (druggist), a cabinet maker, an insurance agent, a butcher, a milliner and a tinsmith had been added to the local business roster. The mills that John N. Kline had built and that Howland Brothers developed were the largest between Toronto and Barrie. Kleinburg became a popular stopping place for travelling farmers and businessmen on their way to and from Toronto along Islington Street. The Kleinburg Commercial Core has the character of a substantial village, originating as a clutch of business enterprises and hotels growing up around an important intersection, interspersed with residential buildings. It is pedestrian oriented with narrow setbacks from the street, and building entrances that face the street. In 1868 the Toronto, Grey and Bruce Railway was organized. The line from Toronto, through Woodbridge and Orangeville to Mount Forest was opened in 1871 and is now part of the CP main line to North Bay. It is said that the politically powerful Howlands arranged for the rail line to swing east so as to be closer to their mill. The Kleinburg



## DISTRICT BOUNDARY

Station (original built in 1870) was located west of the village; known first as Kleinburg Station, the hamlet later became known as Nashville. The economic and cultural development of Kleinburg and Nashville are reflected in the extant and evolving nature of the land uses as well as the variety of architectural forms, which are primarily Victorian era typologies, but also include Georgian/Neoclassical, Ontario Gothic Revival, Edwardian and vernacular expressions. Individually, many of structures are representative examples of their architectural styles; collectively, they create robust and varied streetscapes of commercial and residential buildings. The evolution of the village into a complete community following the turn of the 20th century is demonstrated through the presence of institutional land uses such as churches and cultural/recreational uses such as the McMichael Gallery, and its modern importance is demonstrated through its collection of modernist buildings.

---

### 6.3.2.2 HISTORICAL/ASSOCIATIVE VALUE

**The Kleinburg-Nashville Heritage Conservation District is associated with key figures, companies and organizations related to the development of both villages including John Kline, the Howland Brothers, the McMichael's and Pierre Berton.**

John Nicholas Kline is credited with the establishment of Kleinburg. Kline had lived in the area for a while after immigrating from Alsace-Lorraine. In 1837 he acquired a contract for the construction of sawmill on the Humber River on Lot 10, Concession 8, the area known as Vaughan Mills. He served on the Home District (predecessor of Vaughan Township) Council in the 1840s. In 1848, John Kline bought 83 acres of Lot 24 in Concession 8, west of Islington Avenue. He built both a sawmill and a gristmill, and according to plans from 1848, he subdivided his land into quarter-acre lots, anticipating the village that would grow up around his mills. By 1851 he had sold his mills.

The Howland brothers purchased Kline's mills and spurred the economic activity in the valley that results in the development of the village. The Howland brothers were successful millers with operations in Lambton, Waterdown, and St. Catharines. The Howlands, William Pearce, Fred and Henry Stark Howland, went on to great success in business and politics in the world beyond the Humber River valleys. The Howlands developed the mills in Kleinburg to be the largest between Toronto and Barrie.

The Kleinburg-Nashville HCD is associated with Pierre Berton. The Windrush Co-operative was established in Kleinburg on lands adjacent to the Humber River in the late 1940s as a collaborative 'arts colony' by a group of people seeking respite from city living. They included Pierre Berton and Lister Sinclair, both writers and broadcasters with CBC. In writing about Sinclair in 1950 the editor of Maclean's magazine described



## DISTRICT BOUNDARY

the community as ‘rambling, ultra-modern structures being built by writers, artists and movie people’. The early community comprised approximately 10 houses. Many of the original houses are quite faithful to the example of Frank Lloyd Wright’s “Usonian” houses, with flat roofs jutting over one another, large areas of glass, wood siding, and massive stone chimneys. The Sinclair house and other houses are said to have been designed by William McCrow, architect and later production designer at CBC, and founding member of Windrush. McCrow graduated from Ontario College of Art and studied architecture at the University of Toronto. Throughout his career he designed homes and subdivisions throughout Ontario including in: Brantford, Kleinburg, St. George, and Simcoe, and at least one home, Crowick House, in the UK. The Pierre Berton house is located at 30 Stegman’s Mill Road. Although the subdivision has become more urbanized in recent years, Stegman’s Mill Road in particular, the area still retains the contextual natural setting of the Humber River valley that made it appealing to the early founders of Windrush.

**The Kleinburg-Nashville Heritage Conservation District has historical/associative value due to its direct association with the Indigenous land-use of the area.** The presence of the Humber River supported early Indigenous travel and settlement and encouraged the establishment of the Toronto Carrying Place Trail. This historically significant overland portage extended from Lake Ontario to Lake Simcoe with one path crossing the East Humber in the vicinity of Kleinburg.

---

### 6.3.2.3 CONTEXTUAL VALUE

**The Kleinburg-Nashville Heritage Conservation District is historically and functionally linked to its surroundings.** The hilly terrain and the natural setting of the HCD derived from the valleys of the Humber River and East Humber River are the backbone of the history and layout of the communities. The presence of this once mighty river supported early Indigenous travel and settlement and encouraged the establishment of the Toronto Carrying Place Trail. The Humber River’s meandering form later influenced and constrained the road network and settlement patterns of Kleinburg while giving rise to the mills and other related industries that shaped their economies. Nashville Road which runs through the valley (formerly Kline’s Mills Road) is the main spine of Nashville connecting to Kleinburg Village just north of the McMichael Gallery and forging a connection between the two villages. The Humber River continues to inspire and attract visitors with its modern day system of conservation lands, recreation areas and trails. As a result of its outstanding cultural and recreational values the Humber River was designated to the Canadian Heritage Rivers System in 1999.

The visual link is also established by the natural setting. In addition to the Humber River and its forested valleys, there are mature trees beside and behind, as well as in front of buildings – a highly characteristic village planting scheme, not seen on urban main



## DISTRICT BOUNDARY

streets. The trees are a significant aspect of the streetscape and contribute to the green backdrop of the village setting.

**The Kleinburg-Nashville Heritage Conservation District has cultural heritage value or interest because it is recognized as a landmark.** Aside from individual landmark buildings within the HCD, the Village of Kleinburg itself is a landmark. The commercial core that maintains its village charm has become a shopping destination and the McMichael Gallery attracts a large number of visitors. The natural setting provides recreational activities for the local community and visitors.

### 6.3.3 Heritage Attributes

- Landmark properties:
  - Pierre Berton Heritage Centre, 10418 Islington Avenue, (Former Kleinburg United Church Building)
  - McMichael Art Gallery, 10365 Islington Avenue
  - Railway Station, 10415 Islington Avenue (By-law 144-78)
  - 10535 Islington Avenue (By-law 30-85)
  - 10483 Islington Avenue (By-law 32-85)
  - Arthur McNeil House, 10499 Islington Avenue (By-law 39-88)
  - Doctor's House, 21 Nashville Road (By-law 48-79)
  - Kline House, 8 Nashville Road (By-law 73-83)
- Cultural Heritage Landscapes including:
  - Humber River and Valleys
  - McMichael Canadian Collection Property (10365 Islington Avenue)
  - Historic Village Core of Kleinburg
  - Historic Village Core of Nashville
  - Windrush Co-operative (properties on Valley Road, Windrush Road, and No. 30 Stegman's Mill Road)
  - Kleinburg Cemetery (59 Nashville Road)
- Mature trees in front, side and rear yards of residential and commercial properties;
- Collection of structures dating from the mid-19<sup>th</sup> to early-20<sup>th</sup> century representing different architectural styles and materials expressed in rural Ontario villages during this era;
- Collection of modernist architecture;
- Commercial core of Kleinburg that is pedestrian oriented with narrow setbacks from the street, and the building entrances that face the street;
- Variety of setbacks in the residential areas;
- Islington Avenue as a remnant of the Carrying Place Trail;
- Nashville Road as an historic link between Kleinburg and Nashville;
- Rural curbless cross-section, with drainage ditches on both sides of the roadway of Islington Avenue from Major Mackenzie to Pennon Road, and Nashville Road intermittently from Lester B. Pearson Street to Highway 27, and west of the bridge along Nashville Road to Huntington Road;



## DISTRICT BOUNDARY

- Low-density scale and massing of structures ranging from one to two-and-a-half storeys in building heights; and
- Views to/from heritage attributes including:
  - Classic village views exist along Islington Avenue within the business district of Kleinburg generally extending between Redcroft House (west side) and the McMichael Canadian Art Collection (east side) to the intersection with Nashville Road. In particular the views looking north in the vicinity of Stegman's Road and south from Nashville Road.
  - Between Howland Road and Klein's Ridge Road, Nashville Road curves northward and crosses the Humber River affording views up and down the valley, particularly to the north. Driving eastward through this area gives long range views to the hilly terrain that surrounds Kleinburg.
  - View directly south from the Nashville Road along the railway to the relic of the grain elevator that portrays the early industrial history of Nashville.
  - Highway 27, at the crossing of the Humber River, views of the river and valley, particularly to the west.

## 6.4 NEXT STEPS

The comprehensive review of the 2003 KNHCD Study and Plan, current policy frameworks, historical resources, community engagement feedback, digital mapping, heritage district analysis and evaluation of the HCD boundary has presented the critical updates for discussion with City of Vaughan staff, Heritage Vaughan and the community, before proceeding with the KNHCD Plan update in the next phase of work.

The following key directions will be carried forward in updating the KNHCD plan:

- Strengthening heritage protection through 2005 OHA updates;
- Bill 108, The More Homes, More Choices Act (2019) implications for listing, permit application and review process and amendments to the HCD By-law;
- Recommendations for City of Vaughan's consideration during the current comprehensive review and update of the Official Plan and Zoning By-law 1-88 to ensure compatibility with the KNHCD objectives;
- Recommendations for additional by-laws, plans and studies to support the conservation of the KNHCD, such as heritage tree by-law, parking study, district-specific urban design guidelines;
- Adopting and integrating terms 'contributing' and 'non-contributing' to distinguish between properties within the KNHCD, and developing guidelines for each;
- Updating guidelines for building materials and exterior components reflecting KNHCD historic architectural styles;
- Including tree protection guidelines to support the natural heritage values of the HCD;

## **APPENDIX F: 57 NAPIER STREET AERIAL PHOTOGRAPHS**





1954 Aerial Photograph (YorkMaps)



1970 Aerial Photograph (YorkMaps)



1978 Aerial Photograph (YorkMaps)



1988 Aerial Photograph (YorkMaps)



1999 Aerial Photograph (YorkMaps)



2005 Aerial Photograph (YorkMaps)



2009 Aerial Photograph (YorkMaps)



2011 Aerial Photograph (YorkMaps)



2013 Aerial Photograph (YorkMaps)



2014 Aerial Photograph (YorkMaps)



2016 Aerial Photograph (YorkMaps)

**57 Napier Street, Vaughan -  
Aerial Photograph Compilation**



## APPENDIX G: ARBORIST REPORT

# **Tree Inventory & Protection Plan**

**Prepared for:**

Fausto Cortese Architects

**Subject Site:**

57 Napier St, Vaughan, ON L4H 3N5

**Prepared By:**

**The Urban Arborist Inc.**

**PO BOX #74525 Humbertown Centre,  
Etobicoke Ontario M9A 3A8**

**Tel: 416.833.6467**

**info@theurbanarborist.ca**



---

**ISA Certified Arborist----Robert Rafal Lis----Cert. #ON-1374A**

**November 29, 2023**

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## **1.0 Introduction**

### **1.1 Purpose of Assignment**

The Urban Arborist Inc was retained by Fausto Cortese Architects to prepare a Tree Inventory & Protection Plan for a residential project. The purpose of the project is to build a new home.



Figure 1. Front of subject site at 57 Napier St, Vaughan, ON L4H 3N5

### **1.2 Existing Site Characteristics**

The grade on the property from the back of the home slopes down to the eastern fence line. There are two adjacent lots. The neighbouring lot at 51 Napier Street is currently under construction.

## 2.0 *Methodology and Guidance*

All data used in this report is empirical in nature, unless stated otherwise. All measurements in this report utilize the metric system of measurement.

### 2.1 *Field Study*

Site inspection and data collection was initiated November 16 2023. All trees 20cm in diameter measured at base and greater within 6m of the subject site as well as all city owned trees adjacent to the property have been included in this report.

### 2.2 *Tree Locations*

The locations of all significant trees were surveyed and plotted on the Tree Inventory Protection Plan and shown on Tree Inventory Plan drawing TP-1 in appendix 2.

### 2.3 *Tree Conditions*

During field study a generalized assessment system was used to give each significant tree a rating based on structural condition and health condition.

The following 5 level assessment for health is listed below.

- Very Poor - Tree displays severe dieback of branches, canopy is extremely sparse. May exhibit extreme pathogen infestation or infection. Or tree is dead.
- Poor - Tree displays some dieback. Branches or canopy is sparse with little or no signs of new growth or vigour. Possible pathogen infestation or infection. Foliar canopy is sparse.
- Fair - Tree is developing in a manner typical to others in the area. Canopy is full.
- Good - New growth is vigorous as evidenced by stem elongation and colour. Canopy is dense.
- Very Good - In addition to the attributes of a good rating, tree is displaying extremely vigorous growth and trunk displays a pattern of vigour cracks or lines.

The following 5 level assessment for structural condition was as follows:

- Very Poor - Trunk has large pockets of decay, is bifurcated or has a severe lean. Limbs or branches are poorly attached or dead. Possible hazard.
- Poor - Limbs or branches are poorly attached or developed. Canopy is not symmetrical. Trunk has a lean.
- Fair - Trunk, limb and branch development though flawed is typical of this species.
- Good - Trunk is well developed with well attached limbs and branches; some flaws but are hardly visible.
- Very Good - In addition to attributes of a good rating, the tree exhibits a well developed root flare and a balanced canopy.

Factors Assessed were as follows:

| <b>Roots</b>  | <b>Trunk</b>  | <b>Foliage/Buds</b>  | <b>Scaffold Branches</b>  | <b>Small Branches/Twigs</b>   |
|---|---|--|---|---|
| <ul style="list-style-type: none"> <li>· Collar/flare</li> <li>· Mechanical injury</li> <li>· Girdling roots</li> <li>· Insects/disease</li> <li>· Decay/fungi</li> </ul> | <ul style="list-style-type: none"> <li>· Cavities</li> <li>· Mechanical injury</li> <li>· Cracks</li> <li>· Swollen/sunken areas</li> <li>· Insects/disease</li> <li>· Fungi</li> </ul> | <ul style="list-style-type: none"> <li>· Size of foliage/buds</li> <li>· Foliage colour</li> <li>· Foliage injury</li> <li>· Dieback of buds/foilage</li> <li>· Insects/disease</li> </ul> | <ul style="list-style-type: none"> <li>· Attachments/included bark</li> <li>· Taper</li> <li>· Distribution</li> <li>· Decay/cavities</li> <li>· Deadwood</li> <li>· Insects/disease</li> </ul> | <ul style="list-style-type: none"> <li>· Vigour/growth rates</li> <li>· Distribution</li> <li>· Appearance</li> <li>· Insects/disease</li> <li>· Dieback</li> </ul> |

### **3.0 Tree Inventory**

A total of 30 trees were inventoried. (See Tree Inventory Spreadsheet in appendix 1).

#### ***3.1 Trees to Preserve***

The trees in this section have been evaluated suitable for preservation and fall under the Tree Preservation, Protection and Management guidelines in this report. Different approaches of Tree Preservation can be carried out following tree health and structure evaluation. The following describes the differences in approaches to Tree Preservation.



### 1. Preserve, Protect & Maintain

Includes protection with tree preservation hoarding, as well as pre and post-construction arboricultural works.

### 2. Preserve & Protect

Includes the installation of tree protection hoarding; no maintenance will be required unless specified in the recommendations in Appendix 1

### 3. Retain

No protection or maintenance measures are required. Installation of tree protection barriers is optional.

|   |                 |
|---|-----------------|
| # of Trees evaluated as suitable for Preservation | 29              |
| # of Trees to use Method 1                        | n/a             |
| # of Trees to use Method 2                        | All except #224 |
| # of Trees to use Method 3                        | n/a             |

In the case of 57 Napier Street, all but 1 tree in this report can be preserved and protected. All trees will require tree protection barriers in the form of vertical or horizontal protection.

### 3.2 Trees to Remove

All trees scheduled for removal shall be removed prior to any construction, earthworks or installation of tree protection hoarding. Due to site or development, tree condition or location, retention is not warranted. A total of 1 tree is to be removed requiring a permit.

|   |     |
|---|-----|
| Total of number of Trees to Remove requiring a permit | 1   |
| Trees Proposed to be Removed                          | 224 |

### 3.3 *Trees to Injure*

There are 5 trees that are to be injured due to encroachment of the minimum tree protection zone. 3 out of the 5 trees are next to existing asphalt pavement being used as the driveway. The impact to the trees next to the driveway will be minimal. See below for details:

**Tree #219** - Next to existing asphalt pavement being used as the driveway. It is being proposed that an interlocking pathway to the front door will replace some of the existing driveway. A certified arborist must be present when removing pavement and installing interlocking.

**Tree #220** - Next to existing asphalt pavement being used as the driveway. No work being proposed near tree.

**Tree #223** - Next to existing asphalt pavement being used as the driveway. No work being proposed near tree.

**Tree #1483** – A walkout patio is being proposed to be installed within the minimum tree protection zone. A certified arborist must be present when excavation to install patio is to begin construction.

**Tree #1484** - A walkout patio is being proposed to be installed within the minimum tree protection zone. A certified arborist must be present when excavation to install patio is to begin construction.

### 3.4 *Trees to Replant (Replacement)*

A total of 2 trees are required to be planted back onto the site for the replacement of tree #222.

### 3.5 *Pruning*

No pruning is required based on proposed site plan.

## 4.0 *Tree Preservation, Protection and Management*

### 4.1 *Tree Protection*

All trees scheduled to be preserved must be protected with Tree Protection Barriers as shown on the Tree Inventory Protection Plan Drawing TP-1 in appendix 2.

### 4.2 *Tree Protection Barriers*

The TPZ barriers must be installed to the specifications set out in the Toronto Tree Protection Detail TP-1 unless otherwise stated by Toronto Tree Protection Plan & Review and/or designs are approved

by the Tree Preservation Technician.

The existing driveway will remain as is. Where the minimum tree protection zone extends over the driveway, the driveway will be used as horizontal tree protection.

#### 4.3 *Sensitive Root Excavation*

ROOT SENSITIVE EXCAVATION reduces root injuries to trees and involves trenching along the line of proposed excavation to the depth required for the proposed hardscaping, utility or site feature being installed, prior to mechanical excavation of the rest of the area. Location and dimensions of proposed root sensitive excavation are to be provided to Urban Forestry in advance for our review.

ROOT SENSITIVE EXCAVATION may use the following trenching methods: hand digging using shovels and bars; air spade (with vacuum preferred); low-pressure hydrovac.

All ROOT SENSITIVE EXCAVATION must be performed under the supervision of a qualified arborist. All roots exposed must be documented by the supervising arborist. Every effort should be made to preserve as many exposed roots as possible. Roots approved for pruning should be cleanly cut with a sharp, non-vibrating tool such as a handsaw, secateurs, chainsaw at face of trench such that no further disturbance of the roots are to be expected once mechanical excavation begins. All root pruning is to be performed by the arborist only, as per guidelines below.

When ROOT SENSITIVE EXCAVATION is performed, roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the Tree Protection Zone (TPZ) of bylaw trees they should be preserved and Urban Forestry must be notified to discuss the expected impacts of pruning such significant roots on the tree's health or stability. If any bylaw protected tree requires root pruning an Application to Injure the tree(s) must be submitted. If it is determined that any bylaw protected tree requires removal due to the effects of proposed root pruning, a completed Application to Destroy a Tree (including a suitable replanting plan) would be required.



## **5.0 Conclusions and Recommendations**

Based on all data collected from on-site field work and review of all site plans the following conclusions and recommendations are made and correspond with Tree Inventory in Appendix 1:

| Conclusions   | Recommendations  |
|---|--|
| 5 trees are to be injured due to encroachment of the tree protection zone.          | Submit tree permit application to injure 5 trees to the City of Vaughan. |
| 1 tree is proposed to be removed requiring a permit to remove.                      | Submit tree permit application to remove 1 tree to the City of Vaughan.  |
| All trees proposed to be preserved will require tree protection barriers installed. | Build tree protection as shown in TP-1 in appendix 2.                    |

Attachments are as follows:

- Appendix 1 Tree Inventory
- Appendix 2 Site Plan / Tree Protection Plan Drawing TP-1
- Appendix 3 City of Vaughan Tree Planting Detail
- Appendix 4 City of Vaughan Hoarding Detail ULA110A
- Appendix 5 City of Vaughan Hoarding Detail ULA110A
- Appendix 6 Photographs

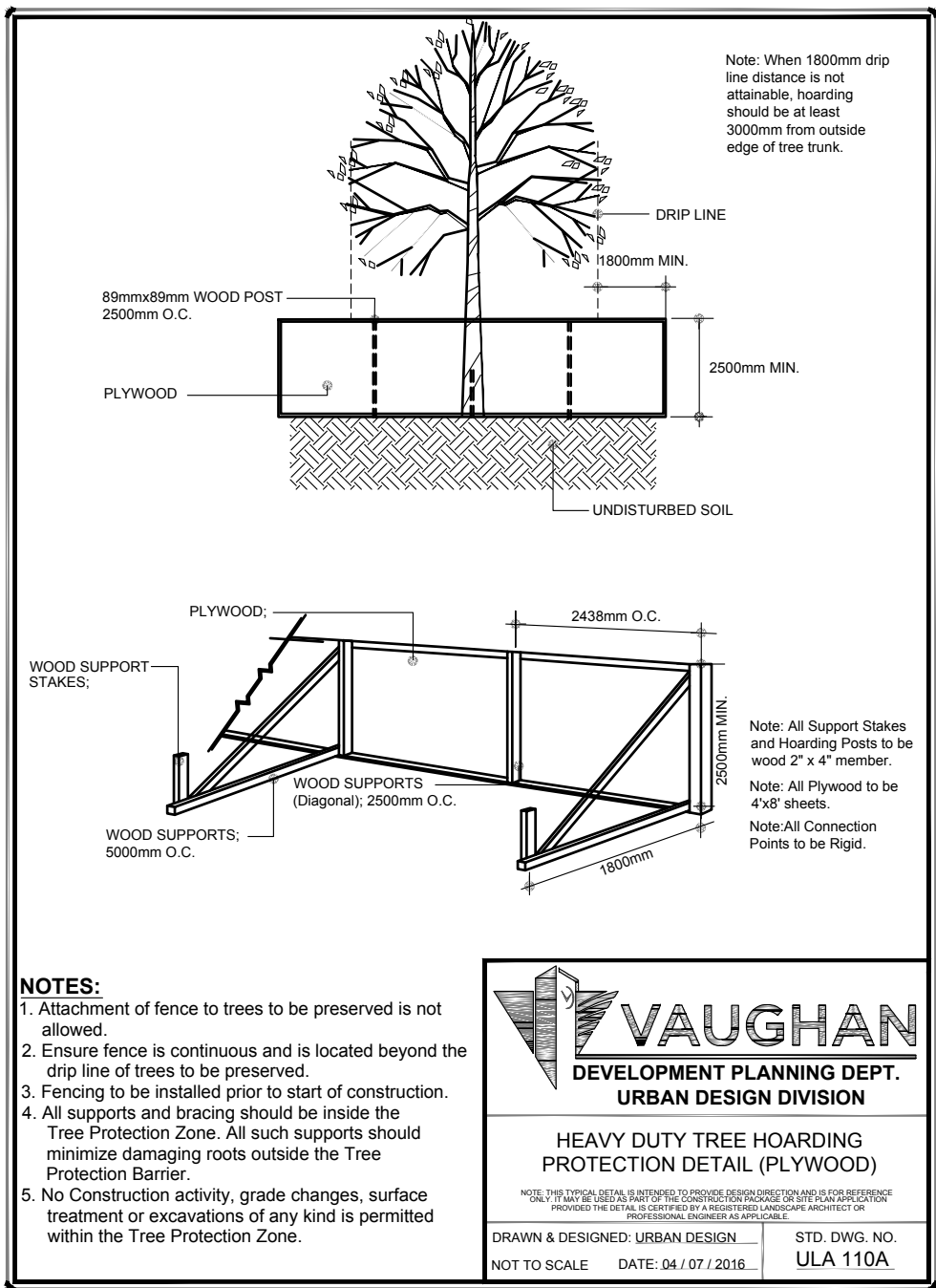
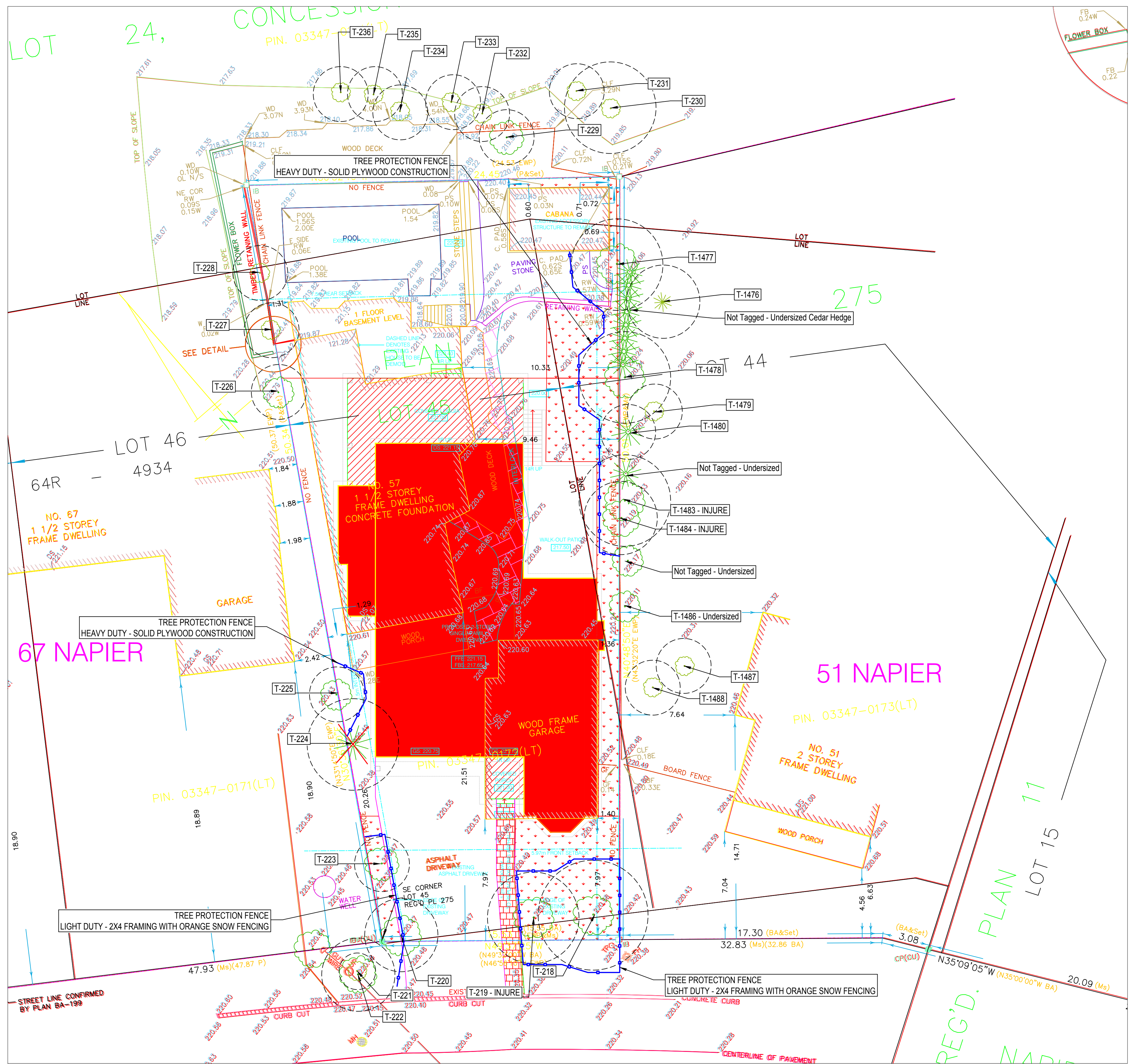
This 8 page Report was written by

**Robert Rafal Lis**  
**The Urban Arborist Inc.**  
**ISA Certified Arborist No. ON-1374A**  
**MTCU Qualified Arborist 18004025**

**57 Napier St, Vaughan, ON L4H 3N5. - Tree Inventory November 16, 2023**

| Tag # | Common Name         | Botanical Name        | Diameter @ Base (cm) | Diameter at Breast Height (cm) | Health Condition | Structural Condition | Notes   | Recommendations Based on Site Plan              | Minimum TPZ (m) | Proposed TPZ (m) | Replacement Ratio |
|-------|---------------------|-----------------------|----------------------|--------------------------------|------------------|----------------------|---|---|-----------------|------------------|-------------------|
| 218   | Norway Maple        | Acer platanoides      | 56                   | 52                             | Fair             | Poor                 | Co-dominant main union with bark inclusion and rope grown in tree.  | Preserve & Protect                              | 3.6             | 3.6              | -                 |
| 219   | Norway Maple        | Acer platanoides      | 43                   | 43                             | Fair             | Fair/Poor            | Multi-stem union with co-dominant stems.  | Preserve & Protect – INJURE                     | 3               | 1.1              | -                 |
| 220   | Norway Maple        | Acer platanoides      | 36                   | 37                             | Fair             | Very Poor            | Extremely large canker with decay at 1 meter from ground  | Preserve & Protect – INJURE                     | 2.4             | 2.4              | -                 |
| 221   | Siberian Elm        | Ulmus pumila          | 13                   | 9                              | Fair             | Fair                 | City tree   | Preserve & Protect                              | 1.2             | 1.2              | -                 |
| 222   | Common Buckthorn    | Rhamnus cathartica    | 30                   | 15 x 19 x 6                    | Fair             | Fair                 | City tree, growing under hydro and touching hydro.  | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 223   | Norway Maple        | Acer platanoides      | 25                   | 21                             | Good             | Good                 |   | Preserve & Protect – INJURE                     | 1.8             | 1.8              | -                 |
| 224   | Eastern White Cedar | Thuja occidentalis    | 70                   | 46 x 46                        | Poor             | Very Poor            | Co-dominant with crack from union all the way to the ground. Decay in union and significant deadwood. Also both stems leaning in opposite directions of each other. | Remove  | 3               | 3                | 2                 |
| 225   | Red Maple           | Acer rubrum           | 20                   | 14                             | Fair             | Fair                 | Prune with stubs remaining, irregular crown due to competing growth of adjacent tree.   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 226   | Siberian Elm        | Ulmus pumila          | 64                   | 20 x 22 x 11                   | Fair             | Fair                 | 2 stems cut at base   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 227   | Siberian Elm        | Ulmus pumila          | 20                   | 16                             | Fair             | Fair                 | Co-dominant, grown in fence   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 228   | Black Walnut        | Juglans nigra         | 29                   | 19                             | Fair             | Fair                 |   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 229   | Common Buckthorn    | Rhamnus cathartica    | 20                   | 16                             | Fair/Poor        | Fair/Poor            | Significant deadwood and decay with crack from grade to first union, approximately 1.5 meters.  | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 230   | Manitoba Maple      | Acer negundo          | 33                   | 24                             | Fair/Poor        | Poor                 | 5 meters from South East fence line and 3 meters away from top of bank.   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 231   | Manitoba Maple      | Acer negundo          | 62                   | 44 x 24                        | Fair             | Fair                 | 6 meters from South East fence line   | Preserve & Protect                              | 3               | 3                | -                 |
| 232   | Black Walnut        | Juglans nigra         | 24                   | 20                             | Good             | Good                 | 1 meter from East fence line.   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 233   | Manitoba Maple      | Acer negundo          | 25                   | 21                             | Fair             | Poor                 | Leaning heavy towards West. 2 meters from East fence line.  | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 234   | Black Walnut        | Juglans nigra         | 32                   | 28                             | Good             | Good                 | 1 meter East of retaining wall.   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 235   | Manitoba Maple      | Acer negundo          | 34                   | 26                             | Fair             | Very Poor            | Large cavity with decay 1 meter from grade. 3 meters East of retaining wall.  | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 236   | Eastern White Cedar | Thuja occidentalis    | 38                   | 30                             | Fair             | Fair/Poor            | Large scar on western trunk base. 3 meters long from grade.   | Preserve & Protect                              | 2.4             | 2.4              | -                 |
| 1476  | Colorado Spruce     | Picea pungens         | 37                   | 31                             | Poor             | Average              | top dying   | Preserve & Protect                              | 2.4             | 2.4              | -                 |
| 1477  | Black Walnut        | Juglans nigra         | 43                   | 41                             | Good             | Good                 | Neighbouring Property   | Preserve & Protect                              | 3               | 3                | -                 |
| 1478  | Silver Maple        | Acer saccharinum      | 53                   | 47                             | Average          | Average/Poor         | Cavity at base  | Preserve & Protect                              | 3               | 3                | -                 |
| 1479  | Colorado Spruce     | Picea pungens         | 27                   | 22                             | Poor             | Poor                 | very sparse foliage   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 1480  | Colorado Spruce     | Picea pungens         | 27                   | 20                             | Poor             | Poor                 | very sparse foliage   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 1483  | Silver Maple        | Acer saccharinum      | 52                   | 41                             | Average          | Poor                 | Cavity at base  | Preserve & Protect – INJURE                     | 3               | 2.1              | -                 |
| 1484  | Silver Maple        | Acer saccharinum      | 42                   | 35                             | Average          | Poor                 | Cavity at base  | Preserve & Protect – INJURE                     | 2.4             | 1.7              | -                 |
| 1486  | Honey Locust        | Gleditsia triacanthos | 18                   | 14x11                          | Average          | Average              |   | Preserve & Protect                              | -               | -                | -                 |
| 1487  | White Spruce        | Picea glauca          | 30                   | 24                             | Average          | Average              |   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
| 1488  | White Spruce        | Picea glauca          | 39                   | 29                             | Average          | Average              |   | Preserve & Protect                              | 1.8             | 1.8              | -                 |
|       |                     |                       |                      |                                |                  |                      |   | <b>Total Requirement of Replacement Trees =</b> |                 |                  | <b>2</b>          |





General Notes

- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- TREE TO REMOVE
- MINIMUM TREE PROTECTION ZONE
- TREE PROTECTION BARRIER

CERTIFIED ARBORIST

Robert R Lis  
ISA Certified Arborist  
NO. ON-1374A

| No. | Revision/Issue | Date |
|-----|----------------|------|
|     |                |      |
|     |                |      |
|     |                |      |

Firm Name and Address

The Urban Arborist Inc.  
P.O. Box 74525  
Humbertown Centre  
Etobicoke, ON  
M9A 5E2

THE URBAN ARBORIST  
FROM THE ROOTS UP

Project Name and Address

51 Napier Street  
Vaughan, ON.  
L4H 3N5

| Project                        | Sheet      |
|--------------------------------|------------|
| Tree Inventory Protection Plan | TP-1       |
| Date                           | 20-01-2023 |
| Scale                          | 1:200      |



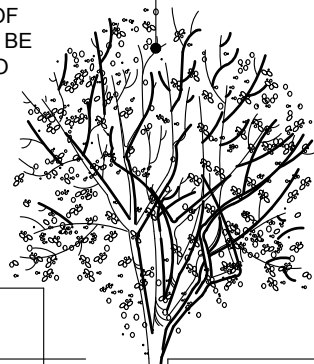
NOTE:  
ALL TREES NOT MEETING CITY OF  
VAUGHAN REQUIREMENTS WILL BE  
REMOVED AND REPLACED AT NO  
EXPENSE TO THE CITY.

## AT GRADE

100mm WOOD MULCH

1800mm MIN.  
BRANCHING  
HEIGHT

100mm



DO NOT DAMAGE OR CUT LEADER BRANCH  
PRUNE DOMINANT LATERAL BRANCHES

TWO PLY REINFORCED RUBBER HOSE

2 - 2" x 2" WOOD STEAKS SECURED  
WITH #4 ALUMINUM WIRE; LOCATE  
STAKES AWAY FROM THE TRUNK,  
ONE ON SIDE OF PREVAILING WIND,  
THE OTHER AT THE OPPOSITE SIDE  
(FOR TREES 75mm IN CALIPER OR LESS)  
ANGLE STAKES 5 - 15 DEGREES

DRAIN PIPE 100mm DIA.;  
450mm PLASTIC CORRUGATED

150mm SPACE

CROWN OF ROOT BALL

SOD

FINISH GRADE

CLEAN SHARP EDGE BETWEEN  
SAUCER AND SOD / SEED

CREATE SAUCER AROUND TREE

AERATE AND SCARIFY SOIL SURROUNDING  
PLANTING PIT AND BASE OF PIT

APPROVED SOIL MIXTURE

CUT AND REMOVE TOP 1/3 OF BURLAP;  
REMOVE ALL SIDES OF WIRE BASKET  
AND ALL TIES

SUBGRADE

EXCAVATE 100mm DEPTH FOR  
MOUNDING INTO EXISTING SUBSOIL

CREATE SAUCER AROUND TREE

APPROVED SOIL  
MIXTURE

FINISH GRADE

VARIES WITH SLOPE

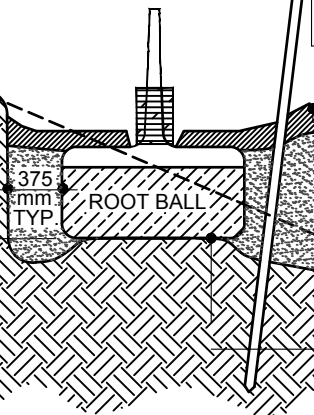
SLOPE PIT BOTTOM FOR DRAINAGE

SUBGRADE

## ON A SLOPE

SOD

100mm



## NOTES:

1. Position crown of root ball 50mm above finish grade to allow for settling.
2. Do corrective pruning to retain natural form of tree as directed by City Forestry Supervisor.
3. Water all plant material sufficiently to maintain vigorous, healthy growth from time of delivery/ installation until the end of the specified guarantee period.
4. Stake height shall be a minimum of 1.5 metres above finish grade.
5. For trees planted within planting or shrub beds, delete saucer around base of tree.
6. Remove all tree guards/ stakes 12 months after acceptance/ assumption or as specified.
7. No tree pits shall be left open overnight.
8. Do not allow air pockets when backfilling.
9. All dimensions are in millimeters.



# VAUGHAN

DEVELOPMENT PLANNING DEPT.  
URBAN DESIGN DIVISION

## DECIDUOUS TREE PLANTING DETAIL FOR TREES UNDER 90mm IN CALIPER

NOTE: THIS TYPICAL DETAIL IS INTENDED TO PROVIDE DESIGN DIRECTION AND IS FOR REFERENCE ONLY. IT MAY BE USED AS PART OF THE CONSTRUCTION PACKAGE OR SITE PLAN APPLICATION PROVIDED THE DETAIL IS CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL ENGINEER AS APPLICABLE.

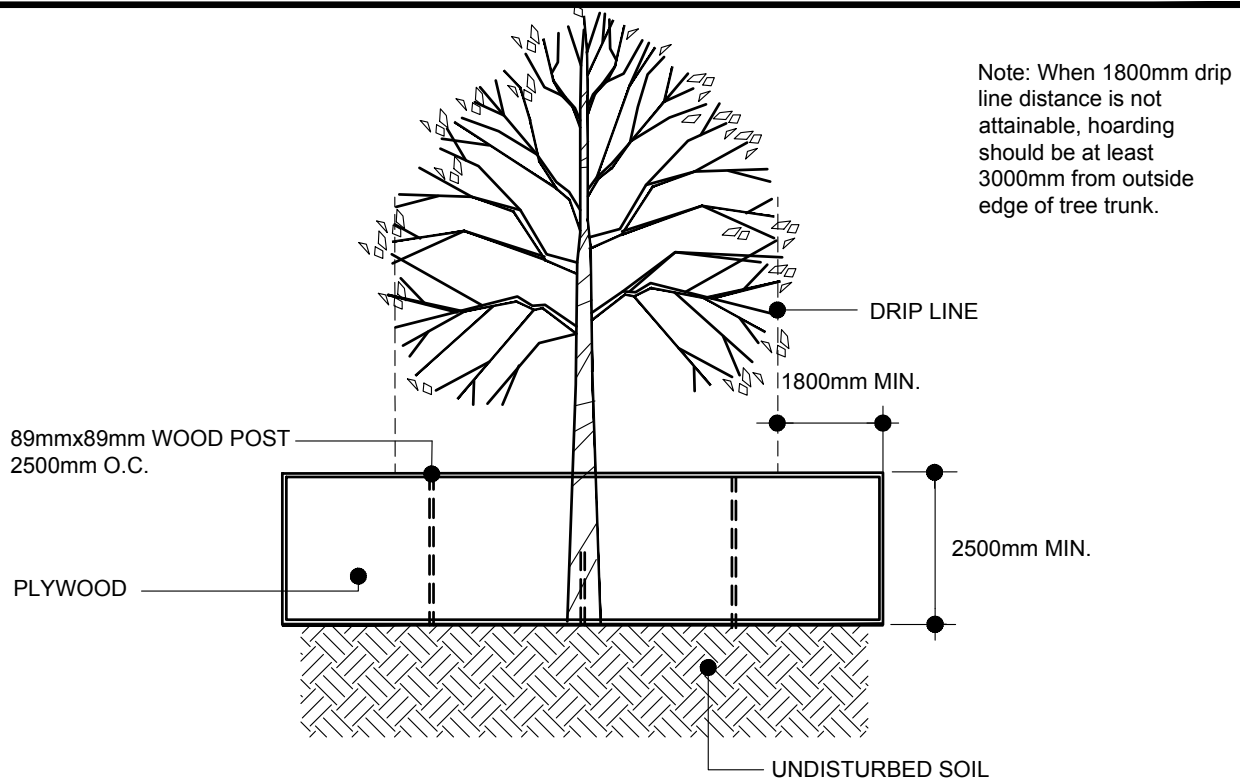
DRAWN & DESIGNED: URBAN DESIGN

STD. DWG. NO.

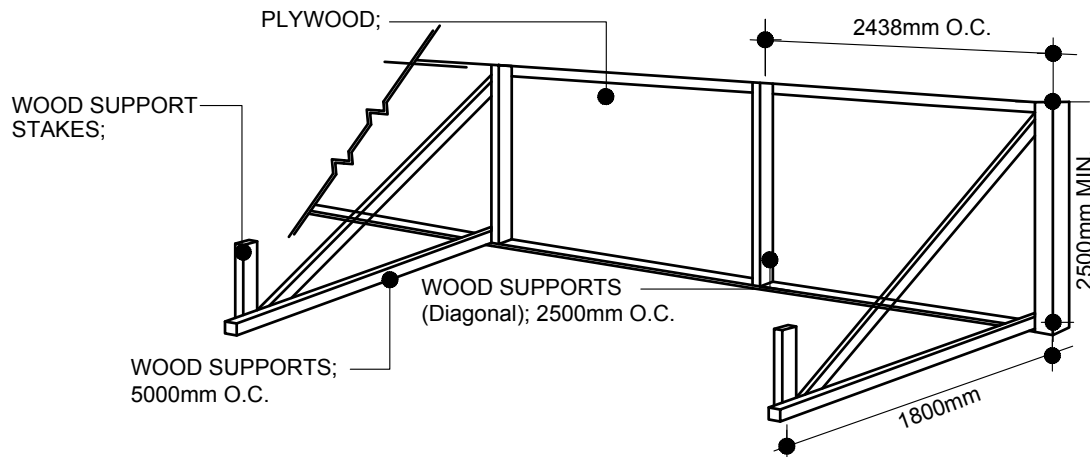
NOT TO SCALE

DATE: 03 / 01 / 2011

ULA 101



Note: When 1800mm drip line distance is not attainable, hoarding should be at least 3000mm from outside edge of tree trunk.



Note: All Support Stakes and Hoarding Posts to be wood 2" x 4" member.

Note: All Plywood to be 4'x8' sheets.

Note: All Connection Points to be Rigid.

## NOTES:

1. Attachment of fence to trees to be preserved is not allowed.
2. Ensure fence is continuous and is located beyond the drip line of trees to be preserved.
3. Fencing to be installed prior to start of construction.
4. All supports and bracing should be inside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
5. No Construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



## HEAVY DUTY TREE HOARDING PROTECTION DETAIL (PLYWOOD)

NOTE: THIS TYPICAL DETAIL IS INTENDED TO PROVIDE DESIGN DIRECTION AND IS FOR REFERENCE ONLY. IT MAY BE USED AS PART OF THE CONSTRUCTION PACKAGE OR SITE PLAN APPLICATION PROVIDED THE DETAIL IS CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL ENGINEER AS APPLICABLE.

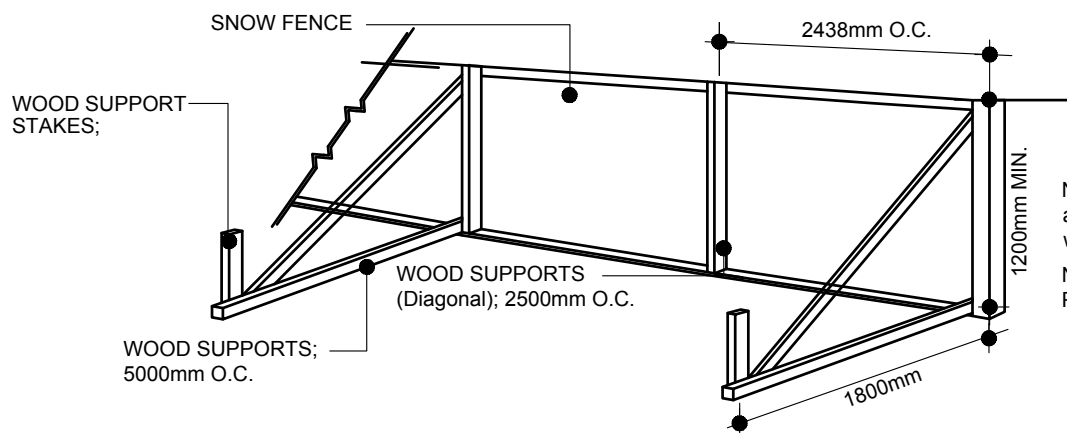
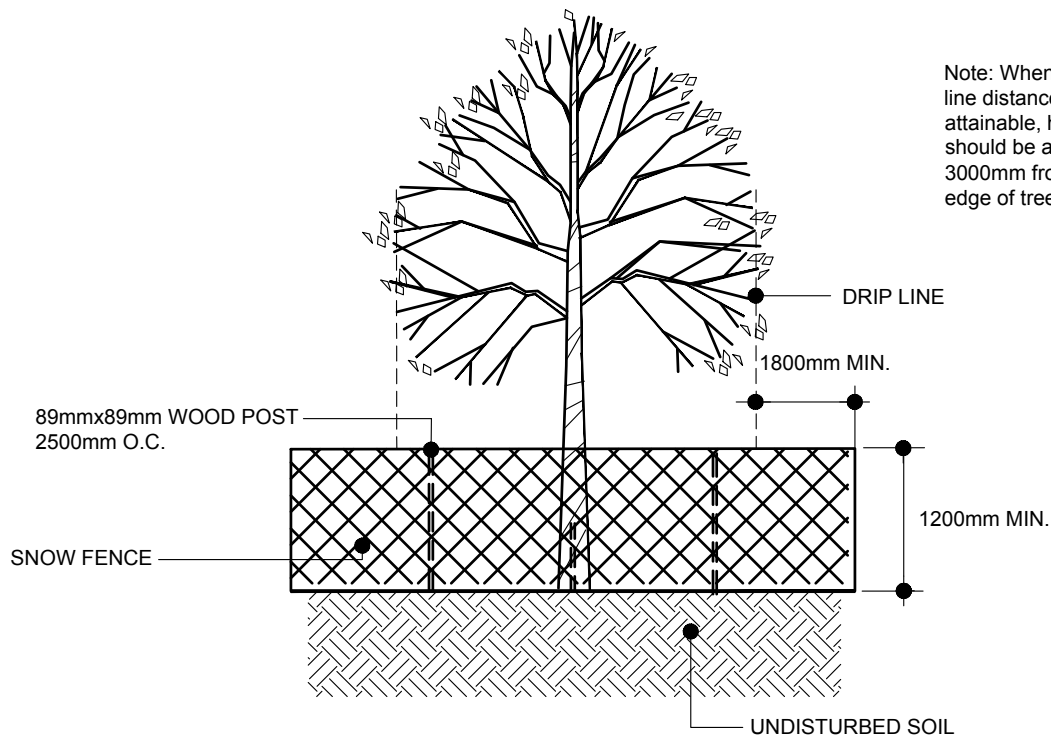
DRAWN & DESIGNED: URBAN DESIGN

NOT TO SCALE

DATE: 04 / 07 / 2016

STD. DWG. NO.

ULA 110A



Note: All Support Stakes and Hoarding Posts to be wood 2" x 4" member.

Note: All Connection Points to be Rigid.

#### NOTES:

1. Attachment of fence to trees to be preserved is not allowed.
2. Ensure fence is continuous and is located beyond the drip line of trees to be preserved.
3. Fencing to be installed prior to start of construction.
4. All supports and bracing should be inside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
5. No Construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



# VAUGHAN

DEVELOPMENT PLANNING DEPT.  
URBAN DESIGN DIVISION

## LIGHT DUTY TREE HOARDING PROTECTION DETAIL (SNOW FENCE)

NOTE: THIS TYPICAL DETAIL IS INTENDED TO PROVIDE DESIGN DIRECTION AND IS FOR REFERENCE ONLY. IT MAY BE USED AS PART OF THE CONSTRUCTION PACKAGE OR SITE PLAN APPLICATION PROVIDED THE DETAIL IS CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL ENGINEER AS APPLICABLE.

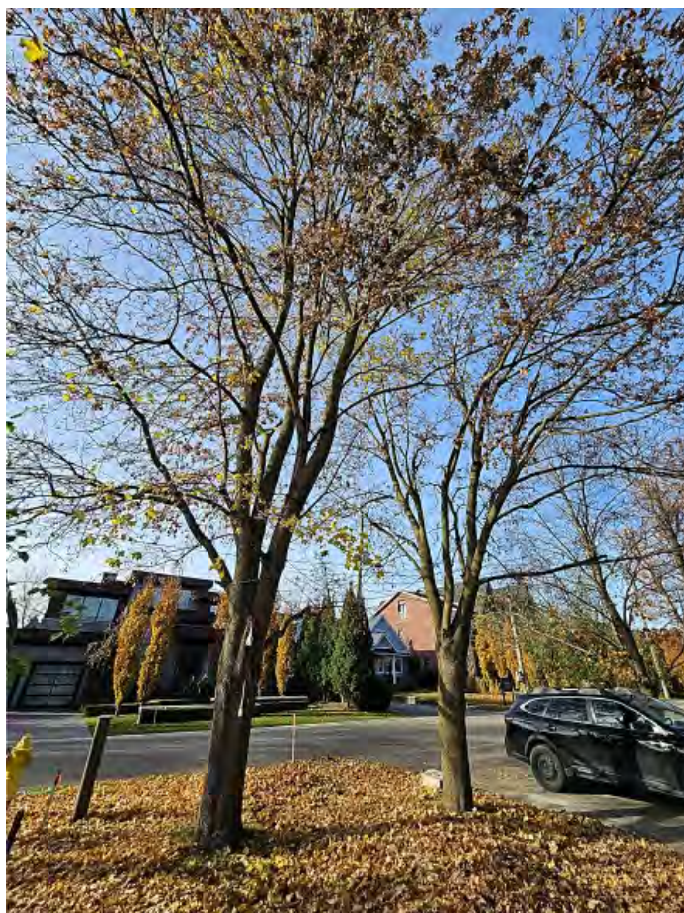
DRAWN & DESIGNED: URBAN DESIGN

NOT TO SCALE DATE: 04 / 07 / 2016

STD. DWG. NO.

ULA 110B





























## **APPENDIX H: INVENTORY SHEETS FOR 57 & 67 NAPIER STREET**

**KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT  
PLAN UPDATE PART 3 - THE INVENTORY SEPTEMBER 2021.**



## 57 NAPIER STREET – KLEINBURG

1½ storey, pitched-roof, board and batten house with raised rear roof sections, all tucked behind double-car garage (c. 1980).

### COMMENTS

Aside from the prominent garage which, given that it almost totally hides the house is unusual in itself, this is an extraordinary structure. Steeply pitched roof and general massing suggest, as mentioned, a feed mill, whether intentionally or not. Board-and-batten siding also traditional, as are wooden window casings and trim. Windows themselves are evidently modern, but with their apparent multiple panes, seem from a distance to echo possible period windows. Only the wide garage door seems out of place within the Heritage context, though in fact the entire structure is rather incongruous; but the elements listed enable it to sit discreetly in village periphery and it should be retained as is.

### DESCRIPTION

North Wing – Part of house visible from street is ordinary suburbia, with large articulated, roll-up garage door in hipped roof, one-storey, board and batten structure. Steeply gabled structure behind seems more interesting, with recent, modern, casement-type bay window at upper floor, having typical false muntins. Main building, clad entirely in band-sawn board and batten, stretches well back into depth of site, with modern windows throughout set within traditional wooden frames, with peaked heads and back-band mouldings. Some sixty feet back, raised, smaller, pitched roof section evoked feed mill, although most unlikely in the locations and this structure is, apparently, of quite recent origin. Beyond penthouse, pitched roof continues at another, higher level, to end of structure. Soffits are clad in aluminum, gutters and downpipes are conventional aluminum profiles, and roofs have asphalt shingles.





## 67 NAPIER STREET – KLEINBURG

Old, red-brick Schoolhouse, with various additions and alterations (1856 and later).

### COMMENTS

Old Schoolhouse elements are by far the most valuable within this curious building, and certainly north (brick) wing seems worthy of restoration. Archival documents, particularly school or community photos, should reveal original appearance of front porch and windows and these should, one day, be restored. Remainder of assembly to south seems more altered but is nonetheless interesting for its reputed age. This older wing, now much altered, and recent garage are sufficiently recessed from Napier Street, and sufficiently screened by trees, that these do not compromise the merit and potential of the brick Schoolhouse building. See also City of Vaughan files for further information on this historic property.

### DESCRIPTION

North Wing – Old, pitched roof schoolhouse is built of hand-made red brick laid in Flemish bond, suggesting solid masonry construction. Carefully cut closers at main (west) elevation are a noticeable feature. Pitched roof beyond front gable is assumed to be original, with very fine front fascia of unusual construction. Recessed, oval brick oculus suggests gable is in brick also, now concealed by Tudor-style vertical boards with stucco between. Window apertures are altered in similar manner, with modern casement windows, with false muntins, replacing presumed double-hung originals (probably with multiple small panes, each sash being three panes wide). As at front gable, brick arches and voussoirs are assumed to remain above later, projecting Tudor-style cladding – and indeed, original window cases may also remain. Central brick masonry shows witness of original, taller front porch with low-pitched roof. Wooden front door, with unusual, large, faceted wooden panels, is old, but probably not original to this building. Door is effectively obscured by modern, glazed screen door and peripheral trim. Modest canopy above is of recent origin, and rainwater goods are modern. South Wing – Brick structure to north is apparently more recent than south wing (see A Walking Tour of Kleinburg, no. 7), which is reworking of original, 1856, wood-frame school, now having boarded lower level and Tudor-style upper floor. Extent of historic structure and materials within should be investigated. Casement windows, with false muntins, are probably unsuitable to this construction. Large, brick garage to south completes this varied assembly.

## APPENDIX I: CONSULTANT QUALIFICATIONS

# ELLEN KOWALCHUK

M.A., CAHP (Historian)

Partner, Common Bond Collective

## EDUCATION

- Master of Arts (Canadian History, Carleton University.
- Bachelor of Arts (Hon. History), Queen's University.

## WORK EXPERIENCE

- Common Bond Collective, Partner (2017 - present)
- Taylor Hazell Architects, Associate & Manager of Heritage Planning (2012 - 2017)
- Infrastructure Ontario, Cultural Heritage Specialist (2007 - 2012)
- Contentworks Inc., Historian and Policy Specialist (2001 - 2007)
- Consulting Heritage Specialist (1994 - 2000)

## PROFESSIONAL ACTIVITIES

- Canadian Association of Heritage Professionals (CAHP) - National Director & Co-chair Awards Committee (2015-2017); Ontario Chapter Secretary (2015-2021).
- National Historic Sites Alliance For Ontario (NHSAO) Secretary (2010-2012); Conference Chair (2009-2010).

## PROFESSIONAL DEVELOPMENT

- Group Facilitation Methods (December 2015).
- Project Management Certification I (March 2013);

Ellen draws on 25 years of experience in the public and private sectors, providing expert advice to clients in the cultural heritage field. She is a founding partner of Common Bond Collective, a Toronto-based heritage planning firm. Ellen specializes in project management, stakeholder consultation, public speaking, heritage policy, evaluation, research and writing. She routinely collaborates with architects, planners, landscape architects, urban designers and engineers to identify and conserve places of local, provincial and national significance.

## PROFESSIONAL EXPERIENCE

### COMMON BOND COLLECTIVE, PARTNER (SEPTEMBER 2017-PRESENT)

Heritage Planning, Conservation and Interpretation projects:

- *361 University Avenue Courthouse Heritage Impact Assessment* (Toronto), Cumulus Architects/Infrastructure Ontario, in process.
- *Jane-Finch Cultural Heritage Resource Assessment* (Toronto), Heritage Preservation Services, City of Toronto, in process.
- *Student Centre Heritage Impact Assessment* (Waterloo), John MacDonald Architect/Wilfred Laurier University, 2023.
- *Bloor-Yorkville Cultural Heritage Resource Assessment* (Toronto), Heritage Preservation Services, City of Toronto, in process.
- *Toronto Island Park CHRA* (Toronto), DTAH/City of Toronto, in process.
- *Sir George-Étienne Cartier Park Cultural Landscape Study* (Ottawa), National Capital Commission, 2022.
- *Bloor-Sterling Cultural Heritage Resource Assessment* (Toronto), Heritage Preservation Services, City of Toronto, 2021.
- *William Baker Park Historic Research Report* (Toronto), Canada Lands Company, 2021.
- *Heritage Impact Assessment for Historic Building Relocation* (Milton), AREA Architects, 2020.
- *Heritage Research for Historic Schoolhouse Relocation* (Brampton), AREA Architects, 2020.
- *Heritage Impact Assessment for Residential Redevelopment* (Picton), SvN/Private Client, 2020.
- *Oakville Harbour Cultural Heritage Evaluation and Conservation Plan* (Oakville), Town of Oakville, 2020 \*\*CAHP Award of Merit for Heritage Planning.
- *Peer Review of HIA for former Goodyear Lands Redevelopment* (Bowmanville), SvN/Municipality of Clarington, 2020.
- *Heritage Impact Assessment for Residential Infill* (Stouffville), Private Client, 2020.
- *Cultural Heritage Evaluation for Apartment Building on Isabella Street* (Toronto), SvN/Private Client, 2020.
- *46 Centre Street Heritage Impact Assessment & Conservation Plan* (Thornhill), Phaedrus Designs, 2020.
- *Crescent School Heritage Impact Assessment* (Toronto), Perkins+Will/Crescent School, 2019.
- *Western Fair District Cultural Heritage Evaluation and Heritage Impact Assessment* (London), 2018.



# DAVID DEO

B.A., Dipl. Heritage Conservation,  
CAHP (Historian)

Partner, Common Bond Collective

## EDUCATION

- 2015 Diploma Heritage Conservation, Willowbank School for Restoration Arts
- 2012 Bachelor of Arts, (History), Concordia University

## WORK EXPERIENCE

- Common Bond Collective, Partner (October 2017 - present)
- Taylor Hazell Architects, Heritage Specialist (October 2015 - August 2017)
- Freelance Heritage Consultant, Niagara Falls (March 2015 - August 2015)
- McMichael Canadian Art Collection, Project Assistant to the CEO (October 2014 - March 2015)
- Vitreous Glassworks, Stained Glass Conservator, Assistant (February 2014 - June 2014)

## PROFESSIONAL DEVELOPMENT

- Chair, Willowbank Curriculum Advisory Committee (2019-present)

As a graduate of Willowbank, Cultural Landscape theory was the foundation of his education and remains central to his thinking as a professional. With over seven years of experience as a heritage specialist, his work involves all aspects of the heritage planning process. He is well-versed in diverse traditional architecture and building materials and has extensive experience documenting, assessing and evaluation sites. He has worked with rural and urban sites of local and international significance, in addition to numerous National Historic Sites. David has returned to Willowbank as a lecturer, teaching about approaches to cultural landscapes.

## PROFESSIONAL EXPERIENCE

### COMMON BOND COLLECTIVE, PARTNER (SEPTEMBER 2017-PRESENT)

Heritage Planning, Conservation and Interpretation projects:

- *361 University Avenue Courthouse Heritage Impact Assessment* (Toronto), Cumulus Architects/Infrastructure Ontario, in process.
- *Student Centre Heritage Impact Assessment* (Waterloo), John MacDonald Architect/Wilfred Laurier University, 2023.
- *Gothic Cottage Conservation Plan* (Thornhill), Private Client, in process.
- *Toronto Island Park CHRA* (Toronto), DTAH/City of Toronto, in process.
- *Sir George-Étienne Cartier Park Cultural Landscape Study* (Ottawa), National Capital Commission, 2022.
- *Cultural Landscapes Update Report* (Ottawa), National Capital Commission, 2022
- *Mount Dennis Historic Context Statement and Heritage Screening* (Toronto), Perkins+Will/City of Toronto, 2021.
- *William Baker Park Historic Research Report* (Toronto), Canada Lands Company, 2021.
- *Heritage Impact Assessment for Historic Building Relocation* (Milton), AREA Architects, 2020.
- *Heritage Impact Assessment for Residential Redevelopment* (Picton), SvN/Private Client, 2020.
- *Peer Review of HIA for former Goodyear Lands Redevelopment* (Bowmanville), SvN/Municipality of Clarington, 2020.
- *Heritage Impact Assessment for Residential Infill* (Stouffville), Private Client, 2020.
- *46 Centre Street Heritage Impact Assessment & Conservation Plan* (Thornhill), Phaedrus Designs, 2020.
- *Crescent School Heritage Impact Assessment* (Toronto), Perkins+Will/Crescent School, 2019.
- *Cultural Heritage Landscape Impact Assessment for Residential Infill* (Mississauga), Private Client, 2018.
- *Heritage Impact Assessment for Residential Infill* (Mississauga) Private Client, 2018.
- *Western Fair District Cultural Heritage Evaluation and Heritage Impact Assessment* (London), Western Fair District, 2018.